



City of Costa Mesa

Inter Office Memorandum

TO: CITY COUNCIL AND PLANNING COMMISSION
CC: TOM HATCH, GARY ARMSTRONG, AND CLAIRE FLYNN
FROM: WILLA BOUWENS-KILLEEN, ZONING ADMINISTRATOR
DATE: FEBRUARY 4, 2016
SUBJECT: ZONING ADMINISTRATOR DECISION(S)

Will Bouwens-Killeen

This is to advise you of the following decision(s) made by the Zoning Administrator within the last week. Project descriptions have been kept brief for this notice. Please feel free to contact me by e-mail at willa.bouwens-killeen@costamesaca.gov if you have any questions or would like further details.

ZA-15-42 **3333 BEAR STREET**

Minor Conditional Use permit for the removal and replacement of 12 existing panel antennas in conjunction with the construction of related screening, as well as installation of 3 new raycaps, 12 new RRU's, 1 new mini power plant, and 3 new FRP boxes on the roof of South Coast Plaza West.

Approved, subject to conditions of approval.

Comments received: None.



CITY OF COSTA MESA

P.O. BOX 1200 • 77 FAIR DRIVE • CALIFORNIA 92628-1200

DEVELOPMENT SERVICES DEPARTMENT

February 4, 2016

Christine Song
2749 Saturn Street
Brea, CA 92821

**RE: ZONING APPLICATION ZA-15-042
MINOR CONDITIONAL USE PERMIT FOR REMOVAL AND REPLACEMENT
OF EXISTING PANNEL ANTENNAS WITH CONSTRUCTION OF RELATED
SCREENING, AND INSTALLATION OF ADDITIONAL SUPPORT
EQUIPMENT
3333 BEAR STREET, COSTA MESA**

Dear Ms. Song:

City staff's review of your zoning application for the above-referenced project has been completed. The application, as described in the attached project description, has been approved, based on the findings and subject to the conditions of approval and code requirements (attached). The decision will become final at 5:00 p.m. on February 11, 2016, unless appealed by an affected party, including filing of the necessary application and payment of the appropriate fee, or called up for review by a member of the Planning Commission or City Council.

If you have any questions regarding this letter, please feel free to contact the project planner, Justin Arios, at (714) 754-5667, or at justin.arios@costamesaca.gov.

Sincerely,

WILLA BOUWENS-KILLEEN, AICP
Zoning Administrator

Attachments: Project Description and Analysis
 Findings
 Conditions of Approval, Code Requirements, and Special District
 Requirements
 Business Description
 Approved Conceptual Plans

cc: Engineering
 Fire Protection Analyst
 Building Safety Division

BACKGROUND

Site Location

The property is zoned PDC (Planned Development Commercial), and has a General Plan land use designation of Regional Commercial. The property is surrounded by PDC-zoned properties to the east and south, and residentially zoned properties to the north and west (R2-MD and R1, respectively).

Previous Entitlements

The rooftop wireless facility was initially installed in 2003 for Nextel Communications under Development Review DR-03-08, which permitted a total of 12 antennas, divided equally into three sectors, and related equipment, all mounted behind an existing mechanical screen wall.

In 2005, AT&T requested approval for a rooftop wireless facility at the same location under Development Review DR-05-04, and were approved to install one AWS lightweight prefab equipment shelter, one AWS GPS antenna, and 12 AWS panel antennas mounted within the existing screen wall on the roof of the building.

A Minor Conditional Use Permit is required for this project because the proposed antennas and the proposed screening exceed the 30-foot maximum height permitted by Code.

PROJECT DESCRIPTION

Proposed Use

The applicant proposes to modify the existing rooftop wireless unmanned facility by removing and replacing the 12 previously entitled panel antennas mounted on the existing rooftop, installing three new raycaps, 12 RRUs, one new mini power plant, and three new FRP boxes mounted on the existing building rooftop. Additional parapet wall will be added to the top of the building to accommodate the additional equipment.

Analysis

All the antennas and related equipment will be placed behind the existing and proposed parapet/screening wall. Because of the overall height of the building, in conjunction with the existing and proposed screening, the antennas and related equipment will not be visible from the street. The parapet will be painted to match the building.

Conditions have been included to ensure antenna frequencies do not interfere with the frequency used for Public Safety communications. Additionally, the environmental radio frequency radiation generated by the antennas will comply with the ANSI/IEEE standards.

FINDINGS

- A. The information presented complies with Costa Mesa Municipal Code Section 13-29(g)(2) in that:
1. The proposed use is compatible and harmonious with developments in the same general area and would not be materially detrimental to other properties within the area. The proposed antennas will be on an existing rooftop, screened and painted to match the building.
 2. Granting the Minor Conditional Use Permit will not be detrimental to the health, safety and general welfare of the public or otherwise injurious to property or improvements within the immediate neighborhood since the antenna frequencies will comply with ANSI/IEEE standards. Conditions have also been included to certify that the antennas do not interfere with frequencies used by the City for public safety purposes. The antenna frequencies comply with all Federal standards for radio frequency emissions in accordance with the Telecommunications Act of 1996 and subsequent amendments, as well as any other applicable requirements imposed by the State and Federal agencies.
 3. Granting the Minor Conditional Use Permit will not allow a use, density or intensity that is not in accordance with the General Plan designation and any applicable specific plan for the property. The new telecommunications antennas will be location on the rooftop within an existing roof screen. Since the rooftop equipment will not be visible from the immediate surroundings, the new antennas and related equipment are not deemed visually obtrusive.
- B. The project has been reviewed for compliance with the California Environmental Quality Act (CEQA), the CEQA Guidelines, and the City environmental procedures, and has been found to be exempt under Section 15311, Class 11, Accessory Structures, of the CEQA Guidelines.
- C. The project is exempt from Chapter XII, Article 3, Transportation System Management, of Title 13 of the Costa Mesa Municipal Code.

CONDITIONS OF APPROVAL

- Plng.
1. The conditions of approval and code requirements of Minor Conditional Use Permit ZA-15-42 shall be blueprinted on the face of the site plan of the plan check submittal package.
 2. Any future modifications to the equipment or antennas shall be done only with the prior approval of Planning Staff and may require filing and approval of a Minor Conditional Use Permit.
 3. The cabinet(s) shall be located in the existing equipment area and shall not

- be visible from off-site.
4. The applicant shall provide a 24-hour phone number to which interference problems may be reported.
 5. The applicant shall provide a "single point of contact" in its Engineering and Maintenance Departments to ensure continuity on all interference issues. The name, telephone number, fax number, and email address of that person shall be provided to the City's designated representative.
 6. The applicant shall contact the Planning Division to arrange for an inspection of the site prior to the final building inspection(s). This inspection is to confirm that the conditions of approval and code requirements have been satisfied.
 7. The applicant shall ensure that lessee or other user(s) shall comply with the terms and conditions of this permit and shall be responsible for the failure of any lessee or other users under the control of the applicant to comply.
 8. The wireless telecommunications facility and all associated equipment shall be completely removed upon discontinuance of use. The applicant shall notify the Planning Division when this occurs and obtain the necessary demolition permits to remove the wireless facility and associated equipment.
- Bldg. 9. This project shall comply with the In-Building Public Safety Radio System Coverage per Sections 5-1030 to 5-137 of the Costa Mesa Municipal Code. At plan check submittal, 6 copies of an In-Building Public Safety Radio System Coverage Report (Radio System Report) shall be submitted to the Building and Safety Division. The Radio System Report shall be certified by an FCC-licensed radio technician as provided by the property owner/applicant. The technician is required by Section 5-133 to conduct initial tests and shall be employed by the owner, the engineer or architect of record, or agent of the owner, but not by the contractor or any other person responsible for the work.
- Police 10. The applicant recognizes that the frequencies used by the cellular facility located at the subject property are extremely close to the frequencies used by the City of Costa Mesa Public Safety. This proximity will require extraordinary "comprehensive advanced planning and frequency coordination" engineering measures to prevent interference, especially in the choice of frequencies and radio ancillary hardware. This is encouraged in the "Best Practices Guide" published by the Association of Public Safety Communications Officials, International, Inc. (APCO), and as endorsed by the Federal Communication Commission (FCC). Prior to the issuances of any permits to install the facility, the applicant shall meet in good faith to coordinate the use of frequencies and equipment with the Communications Division of the Orange County Sheriff-Coroner Department to minimize, to the greatest extent possible, any interference with the Public Safety 800 MHz Countywide Coordinated Communications System (CCCS). Similar consideration shall be given to any other existing or proposed wireless communications facility that may be located on the subject property.
11. At all times, the applicant shall not prevent the City of Costa Mesa from

having adequate spectrum capacity on the City's 800 MHz radio frequency.

CODE REQUIREMENTS

The following list of federal, state, and local laws applicable to the project has been compiled by staff for the applicant's reference. Any reference to "City" pertains to the City of Costa Mesa.

- PIng. 1. Approval of the zoning application is valid for one year from the effective date of this approval and will expire at the end of that period unless the applicant establishes the use by obtaining building permits for the authorized construction and initiates construction. If the applicant is unable to obtain building permits within the one-year time period, the applicant may request an extension of time. The Planning Division must receive a written request for the time extension prior to the expiration of the planning application.
2. All construction-related activity shall be limited to between the hours of 7 AM and 7 PM, Monday through Friday, and 9 AM to 6 PM Saturday. Construction is prohibited on Sundays and federal holidays. Exceptions may be made for activities that will not generate noise audible from off-site, such as painting and other quiet interior work.
3. Antennas shall comply with the Antenna Development Standards in Section 13-42 of the Costa Mesa Zoning Code including, but not limited to, the placement of all the antennas and related equipment behind the existing and new parapet/screening wall.
- Bldg. 4. Comply with the requirements of the 2013 California Building Code, 2013 California Electrical Code, 2013 California Energy Code (or the applicable adopted California Building Code, California Electrical Code, and California Energy Code at the time of plan submittal or permit issuance), and California Code of Regulations also known as the California Building Standards Code, as amended by the City of Costa Mesa.
- Bus. 5. All contractors and subcontractors must have valid business licenses to do business in the City of Costa Mesa. Final inspections will not be granted until all such licenses have been obtained.
- Lic.

**City of Costa Mesa
Modification to Existing Wireless facility
3333 Bear Street**

General Project information

Verizon Wireless is in the process of deploying the latest generation in base station, radio and core equipment which is expected to result in improved antennas, power, spectrum efficiency and capacity. Cell sites are being modified and optimized with the replacement of existing antennas, network equipment and software bringing together multiple spectrum bands, or airwaves, on a single, multimode base station. Verizon's plan to increase their LTE network capacity with the goal of increasing efficiency and enhancing network coverage, call quality and data speeds for customers across the United States.

Project Proposal

Verizon is requesting to modify an existing rooftop wireless unmanned facility. The proposed scope of work consists of the following: removal and replacement of twelve (12) previously approved panel antennas mounted on the existing rooftop, the installation of three (3) new raycaps, twelve (12) RRUs, one (1) new mini power plant, and three (3) new FRP boxes mounted on the existing building rooftop. The size of the existing equipment lease area is to remain unchanged. This wireless facility will remain unmanned and will not increase traffic or circulation in the area.

Should you have any questions or concerns, please do not hesitate to contact me.
Thank you for your time.

Respectfully submitted,



Christine Song, Project Manager -- (Verizon Wireless Representative)
Core Development Services
2749 Saturn Street
Brea, CA 92821
714-319-0370

GENERAL SPECIFICATIONS

- THE LATEST EDITION OF THE AMERICAN INSTITUTE OF ARCHITECTS DOCUMENT A201 "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION" ARE INCLUDED IN THESE SPECIFICATIONS AS IF COMPLETELY REPRODUCED HEREIN.
- THIS FACILITY IS AN UNOCCUPIED PCS TELECOMMUNICATIONS SITE AND IS EXEMPT FROM DISABLED ACCESS REQUIREMENTS.
- PRIOR TO THE SUBMISSION OF BIDS, THE CONTRACTORS PARTICIPATING SHALL VISIT THE JOB SITE AND FAMILIARIZE THEMSELVES WITH ALL FIELD CONDITIONS AFFECTING THE PROPOSED PROJECT INCLUDING DEMOLITION, ELECTRICAL, MECHANICAL AND STRUCTURAL INSTALLATIONS, AS WELL AS WITH THE CONSTRUCTION AND CONTRACT DOCUMENTS AND SHALL CONFIRM THAT THE PROJECT CAN BE ACCOMPLISHED AS SHOWN PRIOR TO PROCEEDING WITH CONSTRUCTION. SHOULD ANY ERRORS, OMISSION, OR DISCREPANCIES BE FOUND, THE GENERAL CONTRACTOR SHALL IMMEDIATELY NOTIFY VERIZON WIRELESS CONSTRUCTION MANAGER AND THE ARCHITECT IN WRITING. IN THE EVENT OF DISCREPANCIES THE CONTRACTOR SHALL INCLUDE THE MORE COSTLY OR EXTENSIVE WORK IN THE BID, UNLESS SPECIFICALLY DIRECTED OTHERWISE, IF A DISCREPANCY EXISTS AND THE PROJECT MANAGER AND ARCHITECT ARE NOT NOTIFIED, THE GENERAL CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ALL COSTS INCURRED TO REPAIR OR CORRECT ALL PROBLEMS THAT RESULT.
- DRAWINGS SHALL NOT BE SCALED. THESE DRAWINGS ARE INTENDED TO BE DIAGRAMMATIC ONLY. FIGURED DIMENSIONS HAVE PRECEDENCE OVER DRAWING SCALE AND DETAIL DRAWINGS HAVE PRECEDENCE OVER SMALL SCALE DRAWINGS. CONTRACTOR SHALL CHECK ACCURACY OF ALL DIMENSIONS IN THE FIELD. UNLESS SPECIFICALLY NOTED, DO NOT FABRICATE ANY MATERIALS, OR BEGIN ANY CONSTRUCTION UNTIL THE ACCURACY OF DRAWING DIMENSIONS HAS BEEN VERIFIED AGAINST ACTUAL FIELD DIMENSIONS.
- THE CONTRACTOR SHALL INCLUDE IN HIS OR HER BID ALL MATERIALS, EQUIPMENT, APPURTENANCES AND LABOR NECESSARY TO COMPLETE THE WORK AS INDICATED OR IMPLIED BY THESE DRAWINGS.
- CONTRACTOR SHALL NOTIFY THE VERIZON WIRELESS CONSTRUCTION MANAGER, THE PROPERTY OWNER AND THE ARCHITECT IF ANY DETAILS ARE CONSIDERED IMPRACTICAL, UNSUITABLE, UNSAFE, NOT WATERPROOF, OR NOT WITHIN CUSTOMARY TRADE PRACTICE. IF WORK IS PERFORMED, IT WILL BE ASSUMED THAT THERE IS NO OBJECTION TO ANY DETAIL. DETAILS ARE INTENDED TO SHOW THE END RESULT OF THE DESIGN. MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT JOB CONDITIONS, AND SHALL BE INCLUDED AS PART OF THE WORK.
- EXISTING ELEVATIONS AND LOCATIONS TO BE JOINED SHALL BE VERIFIED BY THE CONTRACTOR BEFORE CONSTRUCTION. IF THEY DIFFER FROM THOSE SHOWN ON THE PLANS, THE CONTRACTOR SHALL NOTIFY THE VERIZON WIRELESS CONSTRUCTION MANAGER AND THE ARCHITECT SO THAT MODIFICATIONS CAN BE MADE BEFORE PROCEEDING WITH THE WORK.
- THE CONTRACTOR SHALL VERIFY ALL TELEPHONE & RADIO EQUIPMENT LAYOUTS, SPECIFICATIONS, INSTALLATION AND FINAL LOCATIONS WITH VERIZON WIRELESS CONSTRUCTION MANAGER PRIOR TO BEGINNING WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING HIS WORK WITH THE EQUIPMENT CABINET MANUFACTURER.
- ALL SYMBOLS & ABBREVIATIONS USED ON THE DRAWINGS ARE CONSIDERED CONSTRUCTION STANDARDS. IF THE CONTRACTOR HAS QUESTIONS REGARDING THEIR EXACT MEANING, THE VERIZON WIRELESS CONSTRUCTION MANAGER AND THE ARCHITECT SHALL BE NOTIFIED FOR CLARIFICATION BEFORE THE CONTRACTOR PROCEEDS WITH THE WORK.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR PERMITS, LICENSES AND INSPECTIONS NECESSARY FOR PERFORMANCE OF THE WORK AND INCLUDE THOSE IN THE COST OF THE WORK TO VERIZON WIRELESS.
- THE CONTRACTOR SHALL PROVIDE CONTINUOUS SUPERVISION WHILE ANY SUBCONTRACTORS OR WORKMEN ARE IN THE SITE AND SHALL SUPERVISE AND DIRECT ALL WORK, USING HIS BEST SKILL AND ATTENTION. HE SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, PROCEDURES AND SEQUENCES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
- WORKMANSHIP THROUGHOUT SHALL BE OF THE BEST QUALITY OF THE TRADE INVOLVED, AND SHALL MEET OR EXCEED THE FOLLOWING MINIMUM REFERENCE STANDARDS FOR QUALITY AND PROFESSIONAL CONSTRUCTION PRACTICE:
 - NRCA NATIONAL ROOFING CONTRACTORS ASSOCIATION
O'HARE INTERNATIONAL CENTER
10255 W. HIGGINS ROAD, SUITE 600
ROSEMONT, IL 60018-5607
 - SMACNA SHEET METAL AND AIR CONDITIONING CONTRACTORS NATIONAL ASSOCIATION
4201 LAFAYETTE CENTER DRIVE
CHATTILLY, VA 20151-1209
 - ITLP INTERNATIONAL INSTITUTE FOR LATH AND PLASTER
P.O. BOX 1663
LAFAYETTE, CA 94549
- INSTALL ALL EQUIPMENT AND MATERIALS PER THE LATEST EDITION OF THE MANUFACTURER'S INSTALLATION SPECIFICATIONS UNLESS SPECIFICALLY OTHERWISE INDICATED, OR WHERE LOCAL CODES OR REGULATIONS TAKE PRECEDENCE.
- THE CONTRACTOR SHALL VERIFY, COORDINATE, AND PROVIDE ALL NECESSARY BLOCKING, BACKING, FRAMING, HANGARS OR OTHER SUPPORTS FOR ALL ITEMS REQUIRING THE SAME.
- THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL GIVE ALL NOTICES AND SHALL COMPLY WITH ALL APPLICABLE LOCAL CODES, REGULATIONS, LAWS AND ORDINANCES AS WELL AS STATE DEPARTMENT OF INDUSTRIAL REGULATIONS AND DIVISION OF INDUSTRIAL SAFETY (OSHA) REQUIREMENTS.
- THE CONTRACTOR SHALL PROTECT THE PROPERTY OWNERS, AND VERIZON WIRELESS PROPERTY FROM DAMAGE WHICH MAY OCCUR DURING CONSTRUCTION. ANY DAMAGE TO NEW AND EXISTING FINISHES, CONSTRUCTION, STRUCTURE, LANDSCAPING, CURBS, STAIRS, OR EQUIPMENT, ETC. SHALL BE IMMEDIATELY REPAIRED OR REPLACED TO THE SATISFACTION OF VERIZON WIRELESS, AND THE PROPERTY OWNER'S REPRESENTATIVE, AT THE EXPENSE OF THE CONTRACTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR, AND SHALL REPLACE OR REMEDY, ANY FAULTY, IMPROPER, OR INTERIOR MATERIALS OR WORKMANSHIP OR ANY DAMAGE WHICH SHALL APPEAR WITHIN ONE YEAR AFTER THE COMPLETION AND ACCEPTANCE OF THE WORK BY VERIZON WIRELESS UNDER THIS CONTRACT.
- IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO LOCATE ALL EXISTING UTILITIES, OR CONTACT AN OUTSIDE AGENCY TO LOCATE ALL EXISTING UTILITIES, WHETHER SHOWN HEREIN OR NOT, AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL BEAR ALL EXPENSES FOR THE REPAIR OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGED IN CONJUNCTION WITH THE EXECUTION OF WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE SECURITY OF THE PROJECT SITE WHILE THE JOB IS IN PROGRESS AND UNTIL THE JOB IS COMPLETED AND ACCEPTED BY VERIZON WIRELESS.
- THE CONTRACTOR SHALL PROVIDE TEMPORARY WATER, POWER AND TOILET FACILITIES AS REQUIRED BY THE PROPERTY OWNER, VERIZON WIRELESS, AND THE CITY OR GOVERNING AGENCY.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REDLINING THE CONSTRUCTION DOCUMENTS TO ILLUSTRATE THE AS-BUILT CONDITION OF THE SITE. THIS SHALL BE DONE AFTER THE SITE HAS BEEN AWARDED FINAL INSPECTION BY THE RESPONSIBLE BUILDING AGENCY. ONE SET OF REDLINED DRAWINGS SHALL BE PROVIDED TO THE VERIZON WIRELESS CONSTRUCTION MANAGER.
- THE LATEST EDITION OF ALL PERMITTED AND APPROVED PLANS PERTAINING TO THIS PROJECT SHALL BE KEPT IN A PLAN BOX AND SHALL NOT BE USED BY WORKERS. ALL CONSTRUCTION SETS SHALL REFLECT THE SAME INFORMATION. THE CONTRACTOR SHALL ALSO MAINTAIN IN GOOD CONDITION, ONE COMPLETE SET OF PLANS WITH ALL REVISIONS, ADDENDA AND CHANGE ORDERS ON THE PREMISES AT ALL TIMES. THESE ARE TO BE UNDER THE CARE OF THE JOB SUPERINTENDENT.
- THE CONTRACTOR SHALL REMOVE ALL RUBBISH AND WASTE MATERIALS ON A DAILY BASIS, EXCEPT FOR THAT SPECIFIED AS REMAINING THE PROPERTY OF THE BUILDING OR PROPERTY OWNER AND SHALL EXERCISE STRICT CONTROL OVER JOB CLEANING THROUGHOUT CONSTRUCTION, INCLUDING FINAL CLEAN-UP UPON COMPLETION OF WORK. ALL AREAS ARE TO BE LEFT IN A BROOM CLEAN CONDITION AT THE END OF EACH DAY AND VACUUM CLEAN CONDITION, FREE FROM PAINT SPOTS, DUST OR SMUDGES OF ANY NATURE AT COMPLETION OF WORK.
- THE GENERAL CONTRACTOR MUST PERFORM WORK DURING PROPERTY OWNER'S PREFERRED HOURS TO AVOID DISRUPTION OF NORMAL ACTIVITY.
- ALL EXPOSED METAL SHALL BE HOT-DIPPED GALVANIZED.
- SEAL ALL PENETRATIONS THROUGH FIRE-RATED AREAS WITH U.L. LISTED OR FIRE MARSHALL APPROVED MATERIALS IF AND WHERE APPLICABLE TO THIS FACILITY AND PROJECT SITE.
- PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 2-A OR 2-A10BC WITHIN 75 FEET TRAVEL DISTANCE TO ALL PORTIONS OF THE PROJECT AREA CONSTRUCTION.
- ELECTRICAL POWER SYSTEM SHALL BE GROUNDED PER NEC ARTICLES 250 AND 810.
- ALL NEW OPENINGS IN THE EXTERIOR ENVELOPE OF CONDITIONED SPACES SUCH AS AT WALL AND ROOF PENETRATIONS SHALL BE CAULKED OR SEALED TO LIMIT INFILTRATION OF AIR AND MOISTURE.
- UPON COMPLETION OF CONSTRUCTION, VERIZON WIRELESS CONSTRUCTION MANAGER SHALL CONDUCT A WALK-THRU WITH PROPERTY OWNER OR REPRESENTATIVE OF PROPERTY OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL SYSTEM EQUIPMENT IN A CLEAN WORKING ORDER UNTIL ACCEPTANCE OF THE PROJECT BY VERIZON WIRELESS.
- INSTALL ALL EQUIPMENT AND MATERIALS PER THE LATEST EDITION OF THE MANUFACTURER'S INSTALLATION SPECIFICATIONS UNLESS SPECIFICALLY OTHERWISE INDICATED, OR WHERE LOCAL CODES OR REGULATION TAKE PRECEDENCE.

ROOFING & WATERPROOFING NOTES

- CONTRACTOR SHALL CONTACT BUILDING OWNER TO DETERMINE IF ROOF IS UNDER WARRANTY. CONTRACTOR SHALL GUARANTEE THAT ANY AND ALL NEW ROOFING WORK MEETS THE SPECIFICATION OF ANY EXISTING ROOFING WARRANTIES SUCH THAT THE WARRANTY IS NOT MADE INVALID AS A RESULT OF THIS WORK. IF IT IS DETERMINED THAT THE ARCHITECT'S DETAILING IS INADEQUATE OR IMPROPER OR IF ANY OTHER DISCREPANCY IS FOUND, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT AND THE VERIZON WIRELESS PROJECT MANAGER IN WRITING. ULTIMATELY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLYING WITH THE ORIGINAL ROOF MANUFACTURER'S SPECIFICATIONS.
- CONTRACTOR SHALL USE METHODS AND MATERIALS SIMILAR AND COMPATIBLE WITH EXISTING MATERIALS & CONDITIONS FOR ROOF PATCHING, NEW PENETRATIONS, ETC.
- THE CONTRACTOR SHALL PROPERLY SEAL ALL NEW ROOF & BUILDING ENVELOPE PENETRATIONS SUCH THAT THE INTEGRITY OF THE ORIGINAL BUILDING ASSEMBLY AND ALL APPLICABLE WARRANTIES ARE MAINTAINED.
- IF IT DEEMED NECESSARY TO REMOVE EXISTING FINISHES AND/OR MATERIALS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECONSTRUCTING FINISHES AND MATERIALS TO LIKE-NEW CONDITION. CONTRACTOR SHALL MAINTAIN THE ORIGINAL COLORS, TEXTURES & FINISHES UNLESS SPECIFICALLY NOTED TO THE CONTRARY OR APPROVED BY THE VERIZON WIRELESS CONSTRUCTION MANAGER IN ADVANCE.
- AT THE VERIZON WIRELESS CONSTRUCTION MANAGER'S DIRECTION, THE CONTRACTOR SHALL PROVIDE ROOFTOP WALKPADS TO ALL NEW EQUIPMENT INCLUDING ANTENNAS AND BTS UNITS AND ALONG COAX CABLE ROUTING. ON CONVENTIONAL ROOFING, THE WALK PADS SHALL BE "DUCK BOARDS" AS MANUFACTURED BY APC OR EQUAL. ON SPECIAL ROOFING SYSTEMS SUCH AS SINGLE MEMBRANE ROOFS WILL REQUIRE A SPECIFIC PRODUCT AS NOTED ON PLANS OR AS REQUIRED BY NOTES 1 & 2 ABOVE.

PENETRATION AT FIRE RATED ASSEMBLIES

- AT THE VERIZON WIRELESS PROJECT MANAGER'S DIRECTION, THE CONTRACTOR SHALL PROVIDE "MILIT" HIGH PERFORMANCE FIRESTOP SYSTEM #F5501 AT ALL FIRE RATED PENETRATIONS INSTALLED PER MANUFACTURER'S LATEST INSTALLATION SPECIFICATIONS.
- ALL PENETRATIONS THROUGH FIRE RATED ASSEMBLIES SHALL BE CONSTRUCTED SO AS TO MAINTAIN AN EQUAL OR GREATER FIRE RATING.

PAINTING NOTES & SPECIFICATIONS

- A. GENERAL
- ALL PAINT PRODUCT LINES SHALL BE SHERWIN WILLIAMS UNLESS SPECIFICALLY NOTED OTHERWISE.
 - CONTRACTOR SHALL PREPARE ALL SURFACES AND APPLY ALL FINISHES PER LATEST EDITION OF MANUFACTURER'S SPECIFICATIONS.
 - COMPLY WITH MANUFACTURER'S WRITTEN INSTRUCTIONS REGARDING SUFFICIENT DRYING TIME BETWEEN COATS WITH PROVISIONS AS RECOMMENDED BY MANUFACTURER FOR EXISTING WEATHER CONDITIONS.
 - FINISH COLOR AND TEXTURE OF ALL PAINTED SURFACES SHALL MATCH EXISTING ADJACENT SURFACES UNLESS OTHERWISE NOTED.
 - ALL PAINT MATERIAL DATA SHEETS SHALL BE PROVIDED TO THE VERIZON WIRELESS CONSTRUCTION MANAGER.
 - PREPARE PREVIOUSLY PAINTED SURFACE BY LIGHT SANDING WITH 400 GRIT SANDPAPER AND NON-HYDROCARBON WASH. PREPARE GALVANIZED SURFACES BY ACID ETCH OR SOLVENT CLEANING IN ACCORDANCE WITH SSPC-SP1.
 - FURNISH DROP CLOTHES, SHIELDS, MASKING AND PROTECTIVE METHODS TO PREVENT SPRAY OR DROPPINGS FROM DAMAGING ADJACENT SURFACES AND FACILITIES.
 - APPLY PAINT BY AIRLESS SPRAY, SANDING LIGHTLY BETWEEN EACH SUCCEEDING ENAMEL COAT ON FLAT SURFACES. APPLY MATERIAL TO ACHIEVE A COATING NO THINNER THAN THE DRY FILM THICKNESS INDICATED.
 - APPLY BLOCK FILTER TO CONCRETE BLOCK CONSTRUCTION AT A RATE TO ENSURE COMPLETE COVERAGE WITH PORES COMPLETELY FILLED.
 - CONTRACTOR SHALL CORRECT RUNS, SACS, MISSES AND OTHER DEFECTS INCLUDING INADEQUATE COVERAGE AS DIRECTED BY THE VERIZON WIRELESS CONSTRUCTION MANAGER. REPAIR AS NECESSARY TO ACHIEVE SURFACES WHICH ARE SMOOTH, EVENLY COATED WITH UNIFORM SHEEN AND FREE FROM BLEMISHES.
- B. PAINTING SCOPE
- PAINT THE FOLLOWING MATERIALS AND SYSTEMS CHECKED BELOW WITH THE COATING SYSTEM INDICATED.
- | PAINTING SCOPE | | | |
|--|----------------|----------------------|-----|
| SURFACE TO BE PAINTED | COATING SYSTEM | PAINT (DO NOT PAINT) | N/A |
| BTS UNIT | | | |
| ALL EQUIPMENT & CONCRETE OTHER THAN THE BTS UNIT | | | |
| PERVIOUSLY PAINTED SURFACES | | | |
| PLASTER | | | |
| GLASS | | | |
| WOOD | | | |
| CONCRETE | | | |
| STEEL | | | |
| ANTENNAS | | | |
| FRIMER | | | |
| TOPCOAT | | | |
| BTS CABINET | | | |
| PRIMER | | | |
| TOPCOAT | | | |
| COAXIAL JUMPER CABLES | | | |
| PRIMER | | | |
| TOPCOAT | | | |
| RAW STEEL | | | |
| PRIMER | | | |
| TOPCOAT | | | |
| GALVANIZED METAL | | | |
| ACID ETCH WITH COMMERCIAL ETCH OR VINEGAR PRIMER COAT AND FINISH COAT (GALVITE HIGH SOLIDS OR DTM PRIMER/FINISH) | | | |
| STAINLESS STEEL | | | |
| PRIMER | | | |
| TOPCOAT | | | |
| PRE-PRIMED STEEL | | | |
| TOUCH UP ANY RUST OR UN-PRIMED STEEL WITH KEM BOND HS, S50WZ4 | | | |
| ALUMINUM & COPPER | | | |
| PRIMER | | | |
| TOPCOAT | | | |
| CONCRETE MASONRY | | | |
| PRIMER | | | |
| TOPCOAT | | | |
| CONCRETE STUCCO (EXISTING) | | | |
| 2 COATS A-100 LATEX HOUSE & TRIM, SHEEN TO MATCH | | | |
| STUCCO | | | |
| PRIMER | | | |
| TOPCOAT | | | |
| WOOD | | | |
| PRIMER | | | |
| TOPCOAT | | | |
| GLU-LAM BEAMS | | | |
| PRIMER | | | |
| TOPCOAT | | | |
| FIELD CUTS/DAMAGE (PRIOR TO PRIME & PAINT) | | | |
| FIRST & SECOND COAT - CUPRINOL CLEAR WOOD PRESERVATIVE #158-0356 | | | |
| ALL PENETRATIONS INTO FINISHED GLU-LAMS SHALL BE CAULKED WITH "SIKAFLEX" SEALANT | | | |
| STEEL TOUCH UP | | | |
| STEEL THAT HAS BEEN WELDED, CUT OR SCRATCHED IN THE FIELD SHALL BE TOUCHED UP WITH COLD GALVANIZED PAINT | | | |
- C. COATING SYSTEM SPECIFICATIONS
- DTM ACRYLIC COATING (SERIES B66) BY SHERWIN WILLIAMS CO. 1MIL DFT PER COAT APPLIED IN TWO COATS OVER DTM BONDING PRIMER (B66A50).
 - 100% ACRYLIC, LATEX COATING EQUIVALENT TO A-100 (SERIES A-82) BY SHERWIN WILLIAMS CO. 1 MIL DFT PER COAT APPLIED IN TWO COATS OVER SPECIFIED PRIMER.
- D. PAINT & PRIMER
- ANTENNAS
PRIMER - KEM AQUA E61-W525
TOPCOAT - COROTHANE II B65W200/B60V22
- BTS CABINET
PRIMER - KEM AQUA E61-W525
TOPCOAT - COROTHANE II B65W200/B60V22
- COAXIAL JUMPER CABLES
PRIMER - AS REQUIRED FOR ADHESION, APPLY ONE COAT OF KEM AQUA WATER REDUCIBLE PRIMER E61W25 REDUCED 25%
TOPCOAT - 2 COATS COROTHANE II POLYURETHANE B65W200/B60V2
- RAW STEEL
PRIMER - KEM BOND HS B50WZ4, DMT ACRYLIC PRIMER
TOPCOAT - 2 COATS COROTHANE II POLYURETHANE B65W200/B60V2
- GALVANIZED METAL
ACID ETCH WITH COMMERCIAL ETCH OR VINEGAR PRIMER COAT AND FINISH COAT (GALVITE HIGH SOLIDS OR DTM PRIMER/FINISH)
- STAINLESS STEEL
PRIMER - OTM WASH PRIMER, B71Y1
TOPCOAT - 2 COATS COROTHANE II POLYURETHANE B65W200/B60V2
- PRE-PRIMED STEEL
TOUCH UP ANY RUST OR UN-PRIMED STEEL WITH KEM BOND HS, S50WZ4
- ALUMINUM & COPPER
PRIMER - DTM WASH PRIMER, B71Y1
TOPCOAT - 2 COATS COROTHANE II POLYURETHANE B65W200/B60V2
- CONCRETE MASONRY
PRIMER - PRO MAR EXTERIOR BLOCK FILLER
TOPCOAT - 2 COATS A-100 LATEX HOUSE & TRIM, SHEEN TO MATCH
- CONCRETE STUCCO (EXISTING)
2 COATS A-100 LATEX HOUSE & TRIM, SHEEN TO MATCH
- STUCCO
PRIMER - PRO MAR MASONRY CONDITIONER B-46-W21000
TOPCOAT - SUPERPAINT A-80 SERIES A-89 SATIN A-84 GLOSS
- WOOD
PRIMER - A-100 EXTERIOR ALKYD WOOD PRIMER Y-24W20
TOPCOAT - 2 COATS A-100 LATEX HOUSE & TRIM, SHEEN TO MATCH ADJACENT SURFACES
- GLU-LAM BEAMS
PRIMER - A-100 EXTERIOR ALKYD WOOD PRIMER Y-24W20
TWO COATS SHOP APPLIED PER GLU-LAM MANUFACTURER'S SPECIFICATIONS
TOPCOAT - SUPERPAINT A-80 SERIES A-89 SATIN A-84 GLOSS
TWO COATS SHOP OR FIELD APPLIED AT CONTRACTOR'S OPTION
- FIELD CUTS/DAMAGE (PRIOR TO PRIME & PAINT)
FIRST & SECOND COAT - CUPRINOL CLEAR WOOD PRESERVATIVE #158-0356
ALL PENETRATIONS INTO FINISHED GLU-LAMS SHALL BE CAULKED WITH "SIKAFLEX" SEALANT
- STEEL TOUCH UP
STEEL THAT HAS BEEN WELDED, CUT OR SCRATCHED IN THE FIELD SHALL BE TOUCHED UP WITH COLD GALVANIZED PAINT

STRUCTURAL SPECIFICATIONS

- A. GENERAL
- PRECEDENCE: UNLESS OTHERWISE SHOWN OR SPECIFIED, THE FOLLOWING GENERAL NOTES SHALL APPLY. INFORMATION ON THESE DRAWINGS SHALL HAVE THE FOLLOWING PRECEDENCE.
- ALL DIMENSIONS TO TAKE PRECEDENCE OVER SCALE SHOWN ON PLANS, SECTIONS AND DETAILS.
 - NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS.
 - MATERIAL NOTES AND SPECIFICATIONS ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER THE SPECIFICATIONS.
2. OTHER TRADES: SEE THE ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS NOT SHOWN.
3. GENERAL DETAILS AND NOTES ON THESE SHEETS SHALL APPLY UNLESS SPECIFICALLY SHOWN OR NOTED OTHERWISE. CONSTRUCTION DETAILS NOT FULLY SHOWN OR NOTED SHALL BE SIMILAR TO DETAILS SHOWN FOR SIMILAR CONDITIONS.
4. SHORING: IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSTALL ALL TEMPORARY BRACING AND SHORING TO INSURE THE SAFETY OF THE WORK UNTIL IT IS IN ITS COMPLETED FORM. THIS INCLUDES UNDERPINNING EXISTING FOOTINGS WHERE APPLICABLE.
5. SAFETY: THESE STRUCTURAL DRAWINGS REPRESENT THE FINISHED STRUCTURE. UNLESS OTHERWISE INDICATED, THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION.
6. WATERPROOFING: WATERPROOFING AND DRAINAGE, DETAILS AND SPECIFICATIONS, ALTHOUGH SOMETIMES SHOWN ON STRUCTURAL DRAWING ARE OF GENERAL INFORMATION PURPOSES ONLY. WATERPROOFING AND DRAINAGE ARE SOLELY THE DESIGN RESPONSIBILITY OF THE ARCHITECT.
- B. STEEL
- ALL STRUCTURAL STEEL SECTIONS AND WELDED PLATE MEMBERS SHALL CONFORM TO ASTM A-36 AND BE FABRICATED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE AISC.
 - ALL BOLTS SHALL CONFORM TO ASTM A-307 UNLESS OTHERWISE NOTED ON PLANS. HIGH STRENGTH BOLTS SHALL CONFORM TO ASTM A-325.
 - STEEL PIPE COLUMNS SHALL BE GRADE "B" CONFORMING TO ASTM A53.
 - STEEL TUBING SHALL BE GRADE "B" CONFORMING TO ASTM A500.
 - ALL WELDING SHALL BE DONE BY THE SHIELDED ARC METHOD. ALL WELDERS SHALL BE PROPERLY QUALIFIED AND BE PRE-APPROVED. SURPLUS METAL SHALL BE DRESSED OFF TO SMOOTH, EVEN SURFACES WHERE WELDS ARE NOT EXPOSED TO VIEW. ALL WELDING SHALL COMPLY WITH THE LATEST A.W.S. SPECIFICATIONS.
 - THE FOLLOWING WELDING EQUIPMENT MUST BE USED:
 - 250 AMP WELDERS.
 - ROD OVENS.
 - GRINDERS.
 - NO BUZZ BOXES SHALL BE USED.
 - ALL STRUCTURAL STEEL SHALL HAVE MILL CERTIFICATION. MILL CERTIFICATION SHALL BE KEPT ON THE JOB SITE FOR EXAMINATION BY THE DESIGN ENGINEER AND THE CITY INSPECTOR.
 - ALL HIGH STRENGTH BOLTS SHALL HAVE MILL CERTIFICATION. MILL CERTIFICATION SHALL BE KEPT ON THE JOB SITE FOR EXAMINATION BY THE INSPECTOR.
 - STEEL THAT HAD BEEN WELDED, CUT OR SCRATCHED IN THE FIELD SHALL BE TOUCHED UP WITH COLD GALVANIZING PAINT.
 - WELDING INDICATED IN THESE DRAWINGS IS DESIGNED FOR ONE HALF OF ALLOWABLE CODE STRESSES UNLESS SPECIFICALLY NOTED "FULL STRESS" AT END OF WELD SYMBOL.
- C. CONCRETE
- STRENGTH: CONCRETE FOR THE PROJECT SHALL HAVE THE FOLLOWING ULTIMATE COMPRESSIVE STRENGTH AT AGE OF 28 DAYS:

LOCATION	STRENGTH	WT.	SLUMP	ADMIXTURE
A. SLAB&FOOTING	2500psi	150pcf	4"	NONE
 - INSPECTION: CONCRETE WITH SPECIFIED STRENGTH GREATER THAN 2500psi SHALL BE CONTINUOUSLY INSPECTED DURING PLACEMENT BY A DEPUTY INSPECTOR EMPLOYED BY A TESTING LABORATORY APPROVED BY THE BUILDING DEPT.
 - REBAR GRADES: REINFORCING STEEL SHALL BE CLEAN PREFORMED BARS CONFORMING TO ASTM A615 AS FOLLOWS:
 - & SMALLER BARS.....GRADE 40
 - & LARGER BARS.....GRADE 60
 - ALL BARS AT CAISSON FOOTING.....GRADE 60
 - CEMENT: FOUNDATIONS & SLABS: TYPE V, LOW ALKALI, CONFORMING TO ASTM C-150.
PIER/CAISSON FOOTINGS: TYPE V, LOW ALKALI, CONFORMING TO ASTM C-150.
 - AGGREGATE: USED IN THE CONCRETE SHALL CONFORM TO ASTM C-33. USE ONLY AGGREGATES KNOWN NOT TO CAUSE EXCESSIVE SHRINKAGE. THE MAXIMUM SIZE AGGREGATE IN CONCRETE WORK SHALL BE THE FOLLOWING:
 - FOUNDATIONS & SLABS 9" OR LESS: 3/4" GRAVEL
 - PIER/CAISSON FOOTING: 1" GRAVEL
 - WATER: SHALL BE CLEAN AND FREE FROM DELETERIOUS AMOUNT OF ACIDS, ALKALIS, ORGANIC MATERIALS AND SHALL BE SUITABLE FOR HUMAN CONSUMPTION.
7. MIXING: PREPARATION OF CONCRETE SHALL CONFORM TO ASTM C-94. NO MORE THAN 90 MINUTES SHALL ELAPSE BETWEEN CONCRETE BATCHING AND CONCRETE PLACEMENT UNLESS APPROVED BY TESTING AGENCY.
8. SEGREGATION OF AGGREGATES: CONCRETE SHALL NOT BE FLOPPED THROUGH REINFORCING STEEL (AS IN WALLS, COLUMNS, CAISSON, AND DROP CAPITALS) SO AS TO CAUSE SEGREGATION OF AGGREGATES. USE HOPPERS, CHUTES, TRUNKS OR PUMP HOSE SO THAT THE FREE UNCONFINED FALL OF CONCRETE SHALL NOT EXCEED 5 FT.
9. SPLICES OF REINFORCING STEEL SHALL BE LAPPED A MINIMUM OF 30 DIAMETERS AND SECURELY WIRED TOGETHER. SPLICES OF ADJACENT REINFORCING BARS SHALL BE STAGGERED WHEREVER POSSIBLE.
10. REAR CLEARANCE: MINIMUM COVERAGE FOR JOISTS, BEAMS, GIRDERS AND COLUMNS SHALL BE TO FACE OF STIRRUPS OR TIES. UNLESS OTHERWISE NOTED, CONCRETE COVERAGE FOR REINFORCING BARS TO FACE OF BAR SHALL BE AS FOLLOWS:
 - CONCRETE IN CONTACT WITH EARTH, UNFORMED 3"
 - CONCRETE IN CONTACT WITH EARTH, FORMED 2"
 - WALL, EXTERIOR FACE 1-1/2"
 - WALL, INTERIOR FACE 1"
 - STRUCTURAL SLABS 3/4"
 - JOISTS 3/4"
 - BEAMS, GIRDERS & COLUMNS 1-1/2"
11. PENETRATIONS: NO SLEEVES OR CHASES SHALL BE PLACED IN BEAMS, SLABS, WALLS AND COLUMNS, EXCEPT THOSE SHOWN ON THE PLANS. CONTRACTOR SHALL OBTAIN PRIOR APPROVAL FOR INSTALLATIONS OF ANY ADDITIONAL SLEEVES OR CHASES. ALL PLUMBING, ELECTRICAL AND MECHANICAL OPENINGS SHALL BE SLEEVED. CORING IS NOT ALLOWED UNLESS PRIOR APPROVAL IS OBTAINED FROM THE STRUCTURAL ENGINEER.
12. EMBEDDED ITEMS: CONDUIT PLACED IN A CONCRETE SLAB SHALL NOT HAVE AN OUTSIDE DIAMETER GREATER THAN 1/4 THE THICKNESS OF THE SLAB. CONDUIT SHALL NOT BE EMBEDDED IN A SLAB THAT IS LESS THAN 3-1/2" THICK, UNLESS SLAB IS LOCALLY THICKENED. MINIMUM CLEAR DISTANCE BETWEEN CONDUITS SHALL BE SIX INCHES.
13. ANCHORING: ALL ANCHOR BOLTS, REINFORCING STEEL, DOWELS, INSERTS, ETC. SHALL BE WELL SECURED IN POSITION PRIOR TO PLACING CONCRETE. NO REPOSITIONING DURING CONCRETE POUR IS ALLOWED.
14. CURING: SLABS SHALL BE SPRAYED WITH A CURING COMPOUND IMMEDIATELY AFTER FINISHING. CURING COMPOUNDS USED ON CONCRETE WHERE TILE OR FLOOR COVERING IS TO BE BONDED TO THE CONCRETE SURFACE SHALL BE APPROVED BY THE TILE OR FLOOR COVERING MANUFACTURER. KEEP SLAB WET FOR 7 DAY MINIMUM PERIOD.
15. CONSOLIDATION: ALL CONCRETE SHALL BE VIBRATED AS IT IS BEING PLACED WITH ELECTRICALLY OPERATED VIBRATING EQUIPMENT.
- D. TIMBER
- ALL FRAMING LUMBER FOR 4X AND LARGER BEAMS SHALL BE NO. 1 GRADE DOUGLAS FIR, S45, UNLESS NOTED OTHERWISE ON THE DRAWINGS.
 - ALL FRAMING LUMBER FOR 2X RAFTERS AND JOISTS SHALL BE NO.2 GRADE DOUGLAS FIR, S45, UNLESS NOTED OTHERWISE ON DRAWINGS
 - STRIPPING, BLOCKING, BACKING AND OTHER NON-STRUCTURAL LUMBER SHALL BE NO. 2 OR STD & BTR GRADE DOUGLAS FIR, S45. 2X4 STUD WALLS SHALL BE D.F. STANDARD & BTR.
 - ALL BEAMS, JOISTS AND RAFTERS SHALL BE INSTALLED WITH CROWN SIDE UP.
 - ROOF PLYWOOD SHALL MATCH EXISTING PLYWOOD SHEATHING WITH A SPAN INDEX RATIO 32/16. EDGE NAIL WITH 8d AT 6" O.C. UNLESS NOTED OTHERWISE ON PLANS. FIELD NAIL WITH 8d AT 12" O.C.
 - PLYWOOD SHEETS SHALL BE LAID WITH THE FACE GRAIN PERPENDICULAR TO SUPPORTS AND WITH THE EDGES STAGGERED, UNLESS NOTED OTHERWISE ON THE PLANS.
 - PLYWOOD SHALL BE GRADE MARKED BY DFPA, TECO, OR PTL AND SHALL CONFORM TO PS 1-83.
 - THE MAXIMUM MOISTURE CONTENT OF ALL LUMBER SHALL NOT EXCEED 24% AT THE TIME OF INSTALLATION.
 - MINIMUM NAILING SHALL COMPLY WITH TABLE 23-1-q OF BUILDING CODE. ALL NAILS SHALL BE COMMON WIRE NAILS.
 - ALL BOLTS SHALL HAVE STANDARD CUT WASHERS UNDER HEADS AND/OR NUTS WHERE IN CONTACT WITH WOOD.
 - LAG BOLTS SHALL BE SCREWED INTO PLACE, NOT DRIVEN. LAG BOLTS SHALL BE INSTALLED IN PRE-DRILLED HOLES WITH A DIAMETER EQUAL TO 75% DIAMETER OF BOLT.
 - CONNECTORS: ALL SHEET METAL FRAMING CONNECTORS SHOWN IN THE PLANS SHALL BE STRONG CONNECTORS AS MANUFACTURED BY THE SAMSON COMPANY. SUBSTITUTIONS MAY BE MADE WHEN APPROVED BY THE STRUCTURAL ENGINEER.
 - ALL LUMBER EXPOSED TO WEATHER OR IN CONTACT WITH MASONRY OR CONCRETE SHALL BE WOLMANIZED PRESSURE TREATED LUMBER OR A NATURALLY DECAY RESISTANT LUMBER SUCH AS REDWOOD OR CEDAR.
 - ALASKAN YELLOW CEDAR GLUE-LAMINATED BEAMS
 - LUMBER SPECIES: ALASKAN YELLOW CEDAR (A.C.) CONFORMING TO 20F-V12
 - STRENGTH PROPERTIES:
 - Fb BOTTOM FIBER BENDING STRESS 2000psi MIN.
 - Fv TOP FIBER BENDING STRESS 1000psi MIN.
 - Fv SHEAR STRESS 190psi MIN.
 - Fc COMPRESSION STRESS PERPENDICULAR TO GRAIN 560psi MIN.
 - E MODULES ELASTICITY 1400ksi MIN.
 - CAMBER TO RADIUS OF 1600' U.O.N.
 - ALL GLB'S SHALL BE FABRICATED WITH EXTERIOR GLUE.
 - MANUFACTURE OF GLB'S SHALL CONFORM TO THE UBC.
 - GLU-LAM MATERIAL SHALL BE IN ACCORDANCE WITH ANSI/AITC A190.1 AND ASTM D3737.

Jeffrey Rome | ASSOCIATES
 architecture | telecommunications
 131 Innovation Drive, Suite 100
 Irvine, California 92617
 tel 949.760.3929 | fax 949.760.3931

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PREPARED FOR

15505 SAND CANYON AVENUE
 IRVINE, CALIFORNIA 92618



APPROVALS

R.F. _____
 ZONING _____
 CONSTRUCTION _____
 SITE ACQUISITION _____
 OWNER APPROVAL _____

SITE NAME

SOUTH COAST PLAZA (PCS)

3333 BEAR STREET
 COSTA MESA, CALIFORNIA 92626

DRAWING DATES

04/22/15	PRELIM CD'S (P1-B1)
08/03/15	100% CD'S (P1-B2)
08/10/15	100% CD'S (P1-B3)
08/14/15	CLIENT COMMENTS (P1-B4)
10/13/15	RE-DESIGN (P1-B5)
11/05/15	SURVEY UPDATES (P1-B6)

SHEET TITLE

SPECIFICATIONS AND NOTES

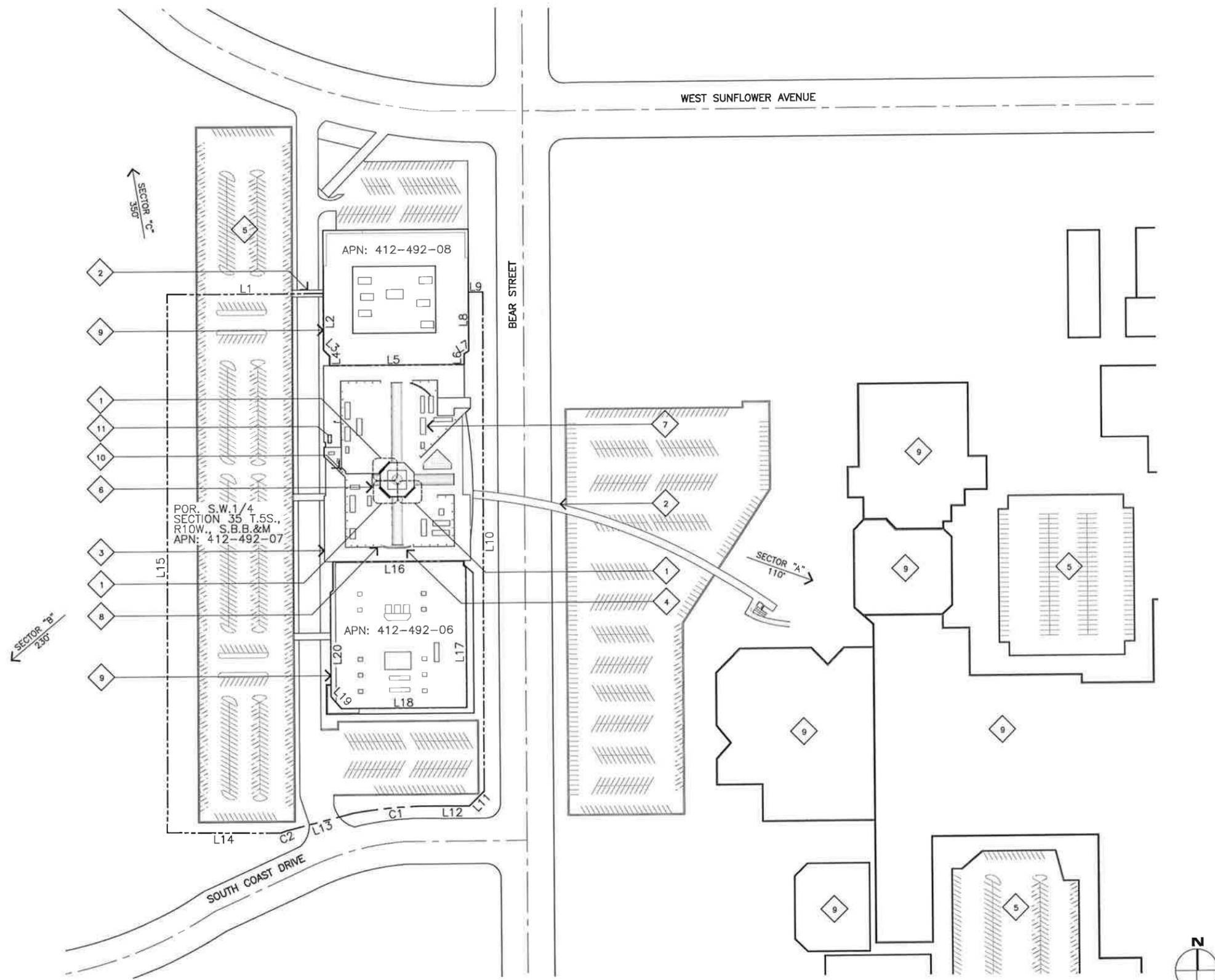
T-2

SITE PLAN KEYNOTES

- 1 (N) AND (E) VZW ANTENNAS MOUNTED BEHIND (E) FRP SCREENING; SEE SHEET A-1.
- 2 (E) PEDESTRIAN BRIDGE WALKWAY.
- 3 (E) ROOFTOP.
- 4 (E) VZW CABLE TRAY.
- 5 (E) PARKING STRUCTURE.
- 6 (E) SKYLIGHT, TYP.
- 7 (E) HVAC, TYP.
- 8 (E) FRP SCREEN, TYP.
- 9 (E) BUILDING.
- 10 (N) VZW DC POWER PLANT MOUNTED TO (E) ROOF TOP; SEE SHEET A-1.
- 11 (E) VZW EQUIPMENT AREA INSIDE (E) BUILDING.

LINE #	DIRECTION	LENGTH
L1	N89°29'28"W	291.83'
L2	N00°43'37"E	101.76'
L3	N43°53'21"W	15.85'
L4	N00°46'12"E	18.79'
L5	N89°29'28"W	256.36'
L6	S00°46'12"W	18.79'
L7	S45°20'27"W	15.85'
L8	S00°46'12"W	103.54'
L9	N89°29'28"W	25.00'
L10	S00°46'12"W	928.53'
L11	N48°34'42"E	38.28'
L12	N88°30'05"W	60.88'
L13	N78°25'18"E	126.51'
L14	N88°30'05"W	209.24'
L15	N00°43'37"E	1000.08'
L16	S88°16'12"E	265.00'
L17	S00°46'12"W	273.00'
L18	S88°31'08"E	241.64'
L19	S42°38'20"E	33.78'
L20	S00°46'12"W	243.64'

CURVE #	RADIUS	DELTA	LENGTH
C1	851.00'	107°28'34"	155.65'
C2	851.00'	075°17'	13.81'



- NOTE:
1. INTEGRATE ALL (N) INSTALLATIONS WITH (E) EQUIPMENT.
 2. THE LOCATION OF THE (E) EQUIPMENT AVAILABILITY AND SPACE SHOULD BE VERIFIED BY THE GC BEFORE INSTALLATION.

SITE PLAN

SCALE: 1"=100'

0 25' 50' 100'

1

Jeffrey Rome | ASSOCIATES
 architecture | telecommunications
 131 Innovation Drive, Suite 100
 Irvine, California 92617
 tel 949.760.3929 | fax 949.760.3931

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verizon wireless
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APPROVALS

R.F. _____

ZONING _____

CONSTRUCTION _____

SITE ACQUISITION _____

OWNER APPROVAL _____

SITE NAME
SOUTH COAST PLAZA (PCS)

3333 BEAR STREET
 COSTA MESA, CALIFORNIA 92626

DRAWING DATES

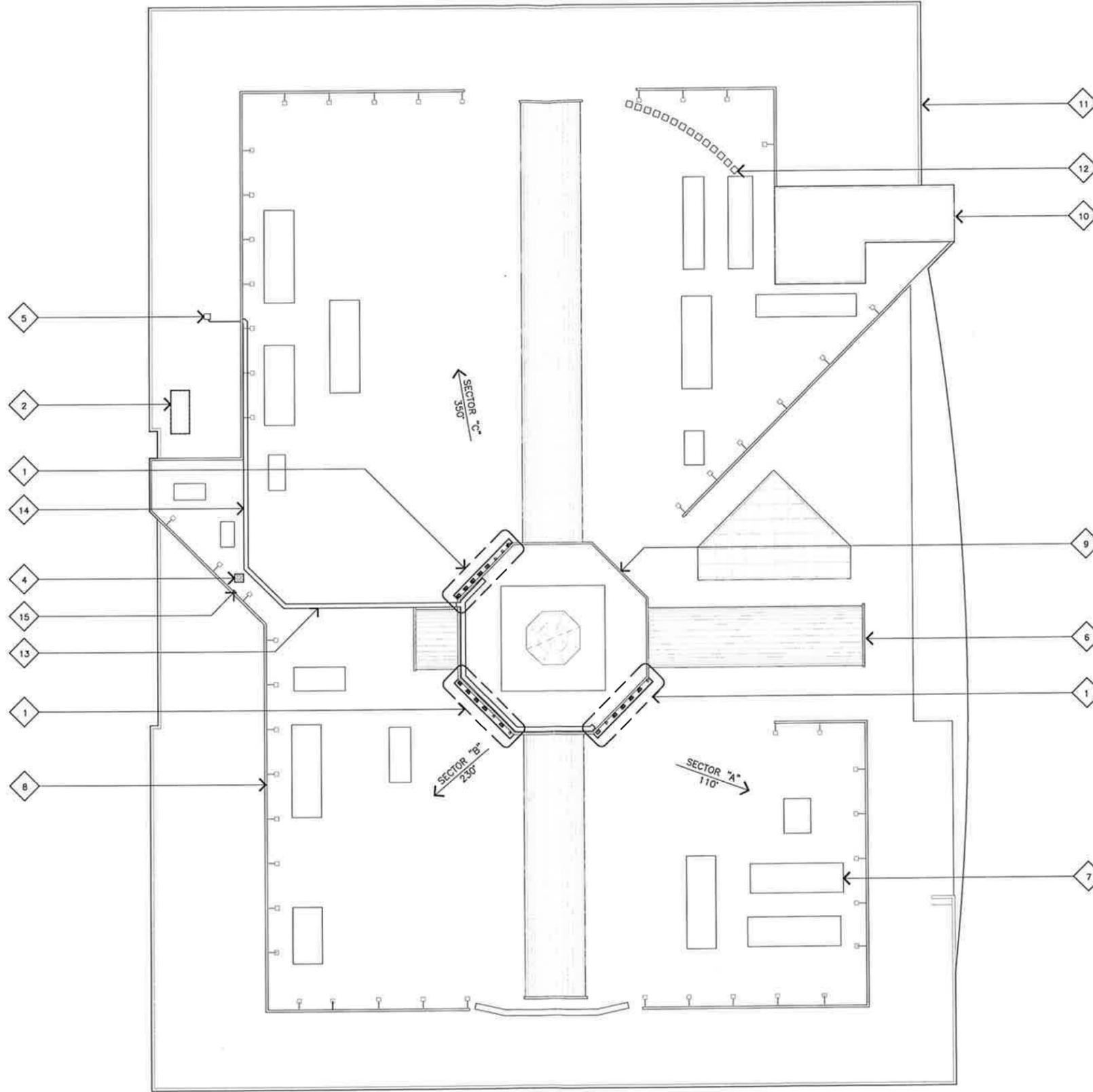
04/22/15	PRELIM CD'S (P1-B1)
08/03/15	100% CD'S (P1-B2)
08/10/15	100% CD'S (P1-B3)
08/14/15	CLIENT COMMENTS (P1-B4)
10/13/15	RE-DESIGN (P1-B5)
11/05/15	SURVEY UPDATES (P1-B6)

SHEET TITLE
SITE PLAN

A-0

ENLARGED ROOF PLAN KEYNOTES

- 1 (N) AND (E) VZW ANTENNAS TO BE RELOCATED AND MOUNTED BEHIND (N) FRP SCREENING; SEE SHEET A-3.
- 2 (E) VZW DAS EQUIPMENT ROOM INSIDE (E) BUILDING.
- 3 (E) ROOFTOP.
- 4 (N) VZW DC POWER PLANT MOUNTED TO (E) ROOF TOP; SEE SHEET A-5.
- 5 (E) VZW DOG HOUSE TO REMAIN.
- 6 (E) SKYLIGHT, TYP.
- 7 (E) HVAC (TYPICAL).
- 8 (E) ROOF SCREEN (TYPICAL).
- 9 (E) SKYLIGHT PENTHOUSE.
- 10 (E) PENTHOUSE AND (E) ROOF ACCESS.
- 11 (E) BUILDING.
- 12 (E) ROOF WALK PADS, TYP.
- 13 (N) VZW ROOF MOUNTED COAX CALBE TRAY, TYP.
- 14 (E) VZW CABLE CONDUITS, TYP.
- 15 (N) VZW ELECTRICAL PANEL MOUNTED TO (E) SCREEN.



COAX SCHEDULE		
SECTOR	AZIMUTH	LENGTH
A	110°	415'
B	230°	385'
C	350°	335'

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SITE NAME
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 COSTA MESA, CALIFORNIA 92626

DRAWING DATES

04/22/15 PRELIM CD'S (P1-B1)
 08/03/15 100% CD'S (P1-B2)
 08/10/15 100% CD'S (P1-B3)
 08/14/15 CLIENT COMMENTS (P1-B4)
 10/13/15 RE-DESIGN (P1-B5)
 11/05/15 SURVEY UPDATES (P1-B6)

SHEET TITLE
ENLARGED ROOF PLAN

A-1

ELEVATION KEYNOTES

- 1 (N) VZW ANTENNAS TO REPLACE (E) ANTENNAS; RELOCATED AND MOUNTED BEHIND (N) FRP SCREENING AS SHOWN.
- 2 (E) VZW ANTENNAS RELOCATED AND MOUNTED BEHIND (N) FRP SCREENING AS SHOWN.
- 3 (N) VZW RRU'S MOUNTED BEHIND (N) FRP SCREENING BELOW (N) ANTENNAS.
- 4 (N) VZW RAYCAP MOUNTED BEHIND (N) FRP SCREENING TO (E) SKYLIGHT PENTHOUSE.
- 5 (N) FRP SCREENING MOUNTED TO (E) SKYLIGHT PENTHOUSE.
- 6 (E) BUILDING SKYLIGHT PENTHOUSE.
- 7 (E) BUILDING.
- 8 (E) SCREENING.
- 9 (E) TREE, TYP.

Jeffrey Rome | ASSOCIATES
 architecture | telecommunications
 131 Innovation Drive, Suite 100
 Irvine, California 92617
 tel 949.760.3929 | fax 949.760.3931

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APPROVALS

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SITE ACQUISITION _____

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SITE NAME
SOUTH COAST PLAZA (PCS)

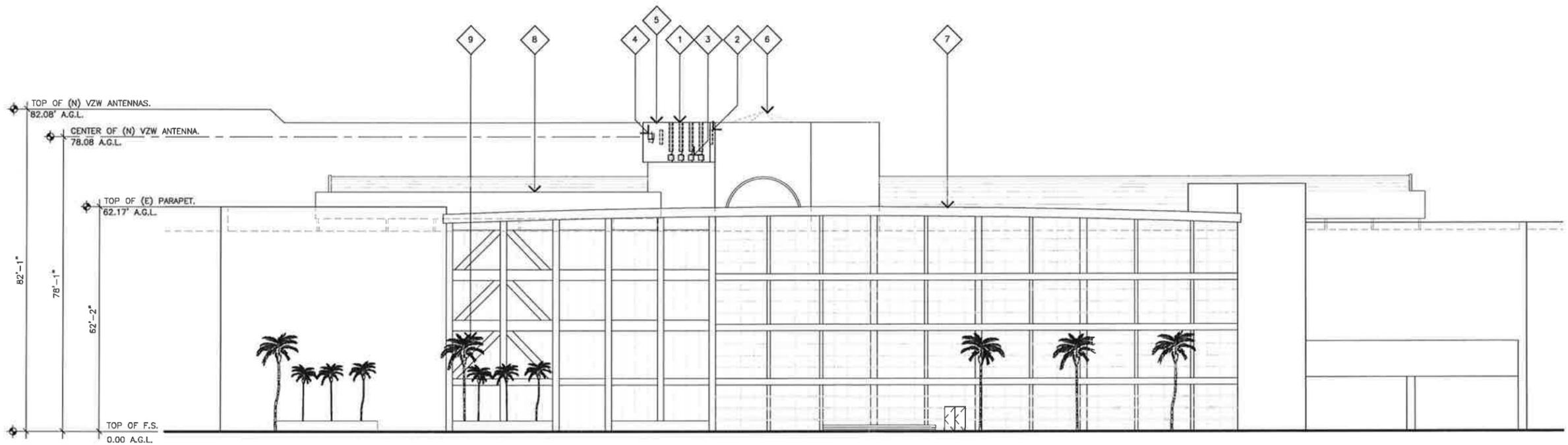
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DRAWING DATES

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- 08/03/15 100% CD'S (P1-B2)
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SHEET TITLE
EAST ELEVATION

A-2



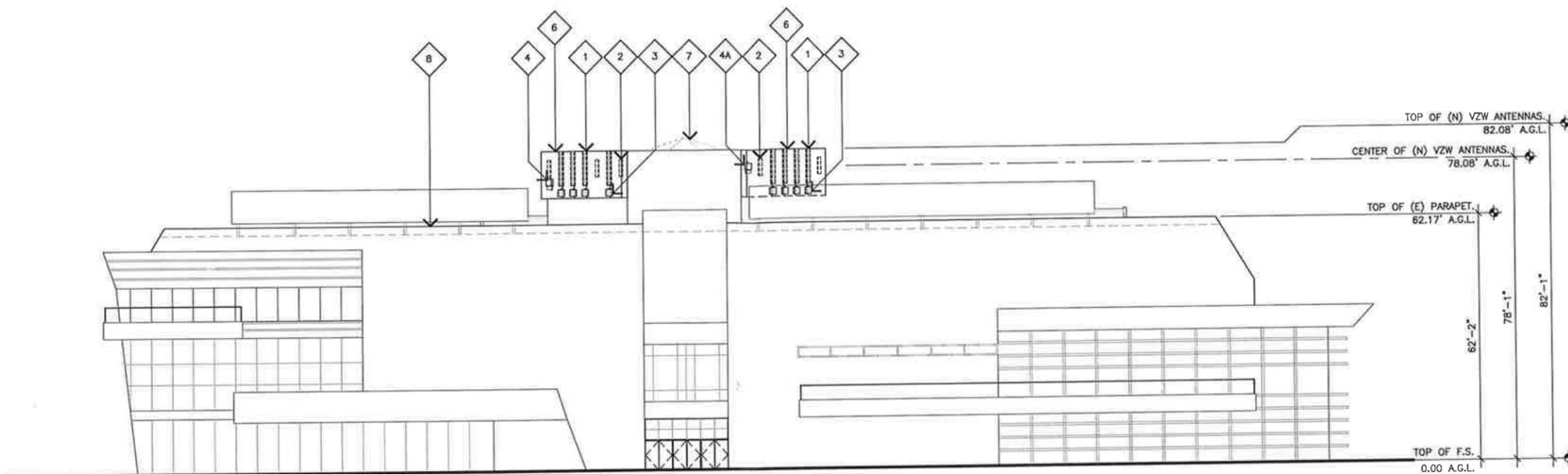
EAST ELEVATION

SCALE:
 1/8"=1'-0" 0 4' 8' **1**

JIRA JOB NUMBER: 143773

ELEVATION KEYNOTES

- 1 (N) VZW ANTENNAS TO REPLACE (E) ANTENNAS; RELOCATED AND MOUNTED BEHIND (N) FRP SCREENING AS SHOWN.
- 2 (E) VZW ANTENNAS RELOCATED AND MOUNTED BEHIND (N) FRP SCREENING AS SHOWN.
- 3 (N) VZW RRU'S MOUNTED BEHIND (N) FRP SCREENING BELOW (N) ANTENNAS.
- 4 (N) VZW RAYCAP MOUNTED BEHIND (N) FRP SCREENING BELOW (E) ANTENNA.
- 4A (N) VZW RAYCAP MOUNTED BEHIND (N) FRP SCREENING TO (E) SKYLIGHT PENTHOUSE.
- 5 (E) VZW MICROWAVE ANTENNA RELOCATED AND MOUNTED BEHIND (N) FRP SCREENING AS SHOWN.
- 6 (N) FRP SCREENING MOUNTED TO (E) SKYLIGHT PENTHOUSE.
- 7 (E) BUILDING SKYLIGHT PENTHOUSE.
- 8 (E) BUILDING.

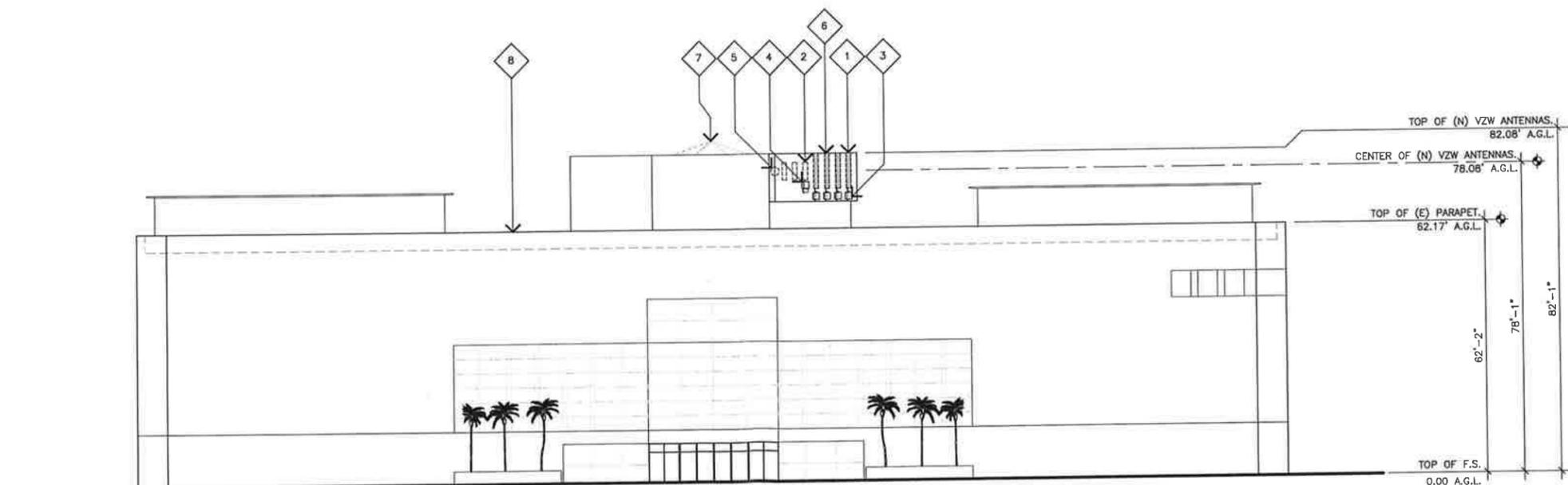


SOUTH ELEVATION

SCALE: 1/8"=1'-0" 0 4' 8' 2

ELEVATION KEYNOTES

- 1 (N) VZW ANTENNAS TO REPLACE (E) ANTENNAS; RELOCATED AND MOUNTED BEHIND (N) FRP SCREENING AS SHOWN.
- 2 (E) VZW ANTENNAS RELOCATED AND MOUNTED BEHIND (N) FRP SCREENING AS SHOWN.
- 3 (N) VZW RRU'S MOUNTED BEHIND (N) FRP SCREENING BELOW (N) ANTENNAS.
- 4 (N) VZW RAYCAP MOUNTED BEHIND (N) FRP SCREENING BELOW (E) ANTENNA.
- 5 (E) VZW MICROWAVE ANTENNA RELOCATED AND MOUNTED BEHIND (N) FRP SCREENING AS SHOWN.
- 6 (N) FRP SCREENING MOUNTED TO (E) SKYLIGHT PENTHOUSE.
- 7 (E) BUILDING SKYLIGHT PENTHOUSE.
- 8 (E) BUILDING.



NORTH ELEVATION

SCALE: 1/8"=1'-0" 0 4' 8' 1

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PREPARED FOR



APPROVALS

R.F.

ZONING

CONSTRUCTION

SITE ACQUISITION

OWNER APPROVAL

SITE NAME

SOUTH COAST PLAZA (PCS)

3333 BEAR STREET
 COSTA MESA, CALIFORNIA 92626

DRAWING DATES

- 04/22/15 PRELIM CD'S (P1-B1)
- 08/03/15 100% CD'S (P1-B2)
- 08/10/15 100% CD'S (P1-B3)
- 08/14/15 CLIENT COMMENTS (P1-B4)
- 10/13/15 RE-DESIGN (P1-B5)
- 11/05/15 SURVEY UPDATES (P1-B6)

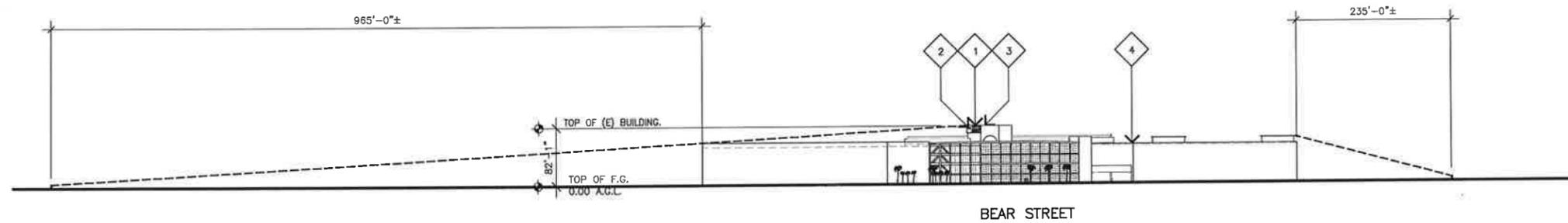
SHEET TITLE

ELEVATIONS

A-2.1

ELEVATION KEYNOTES

- 1 (N) AND (E) VZW ANTENNAS TO BE RELOCATED AND MOUNTED BEHIND (N) FRP SCREENING; SEE SHEET A-3.
- 2 (N) VZW 10'-0" HIGH FRP SCREEN MOUNTED TO (E) PENTHOUSE.
- 3 (E) BUILDING PENTHOUSE.
- 4 (E) BUILDING.



Jeffrey Rome | ASSOCIATES
 architecture | telecommunications
 131 Innovation Drive, Suite 100
 Irvine, California 92617
 tel 949.760.3929 | fax 949.760.3931

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APPROVALS

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SOUTH COAST PLAZA (PCS)

3333 BEAR STREET
 COSTA MESA, CALIFORNIA 92626

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08/10/15	100% CD'S (P1-B3)
08/14/15	CLIENT COMMENTS (P1-B4)
10/13/15	RE-DESIGN (P1-B5)
11/05/15	SURVEY UPDATES (P1-B6)

SHEET TITLE
**(LINE OF SIGHT)
 ELEVATIONS**

A-2.2

EAST ELEVATION (LINE OF SIGHT)

SCALE:
 1"=100'

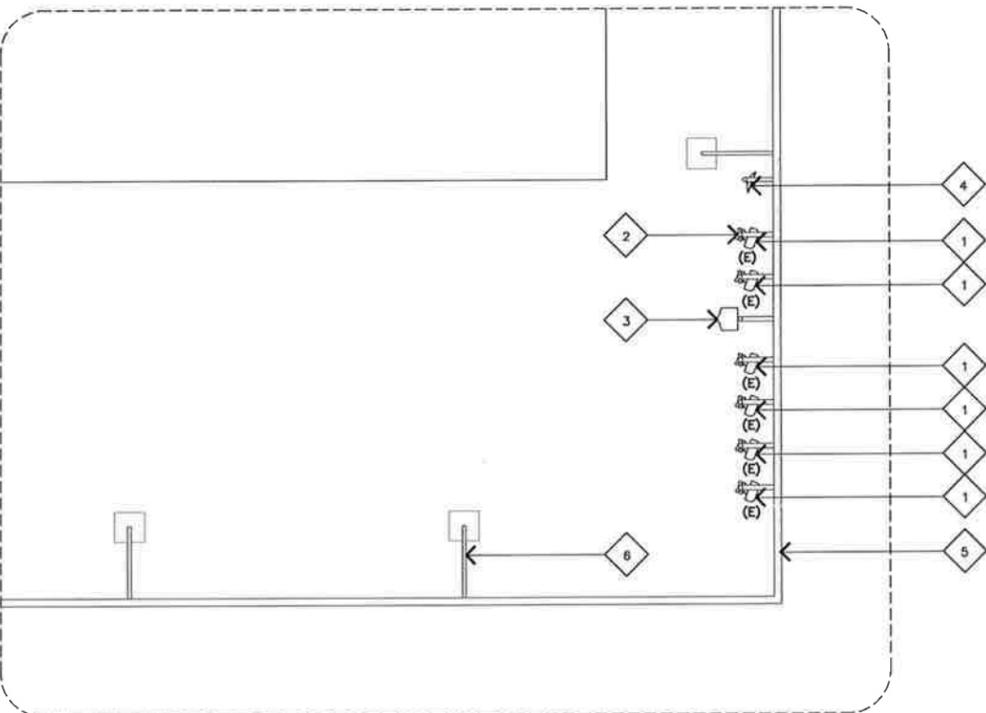
1

JRA JOB NUMBER: 143773

EXISTING ANTENNA PLAN KEYNOTES

- 1 (E) VZW ANTENNA MOUNTED BEHIND (E) SCREENING.
- 2 (E) ANTENNA MOUNTING PIPE ATTACHED TO (E) SCREEN.
- 3 (E) PRISM MOUNTED BEHIND (E) SCREENING TO BE REMOVED.
- 4 (E) VZW MICROWAVE ANTENNA MOUNTED BEHIND (E) SCREENING.
- 5 (E) VZW FRP SCREENING.
- 6 (E) SCREEN KICKER.

LEGEND
(E) EXISTING



(E) SECTOR 'A'

EXISTING ANTENNA PLAN

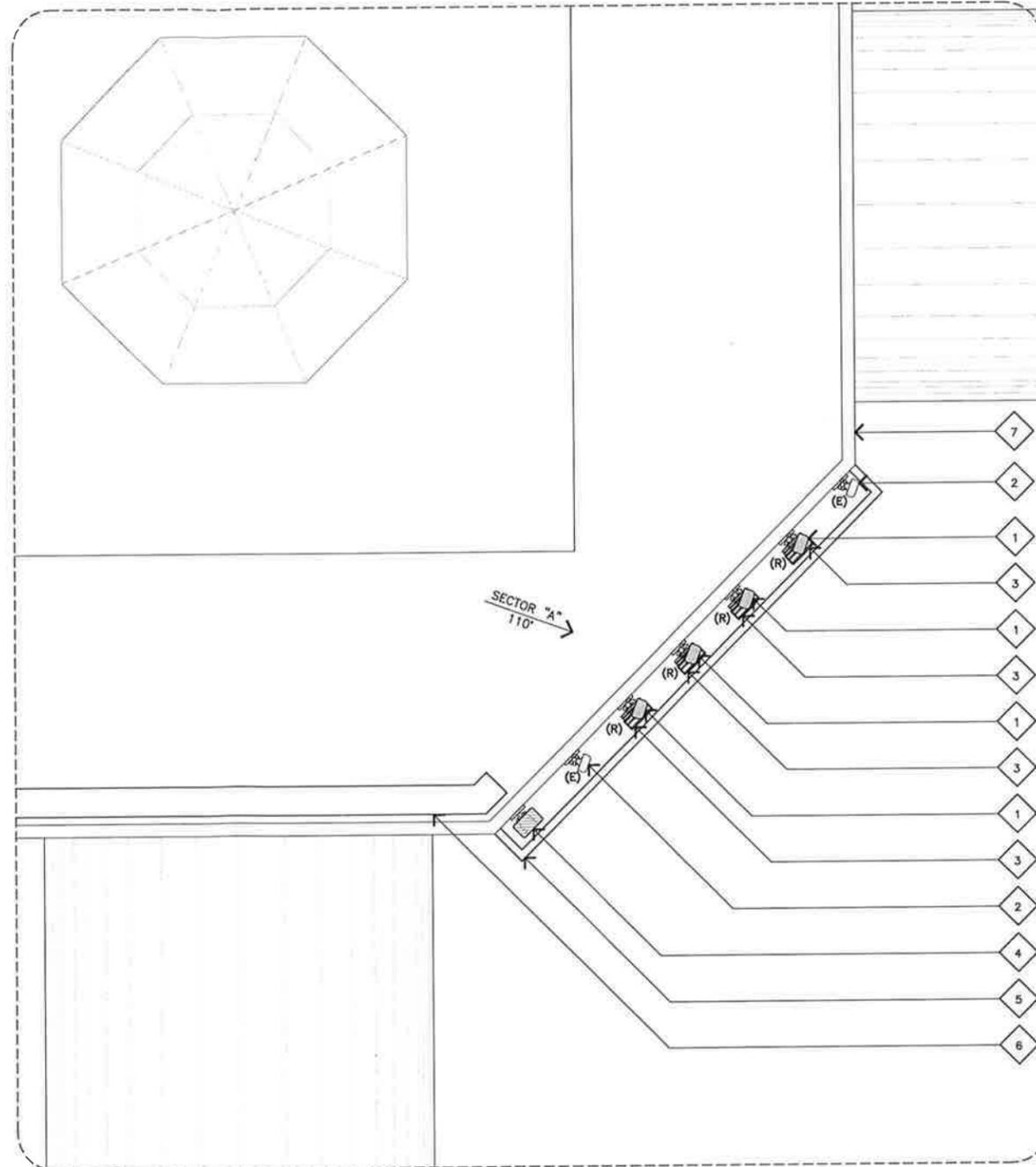
SCALE:
1/4"=1'-0" 0 2' 4'

2

PROPOSED ANTENNA PLAN KEYNOTES

- 1 (N) VZW ANTENNAS TO REPLACE (E) ANTENNAS; RELOCATED AND MOUNTED BEHIND (N) FRP SCREENING AS SHOWN; SEE DETAIL 4/A-4 AND SHEET A-4.1
- 2 (E) VZW ANTENNAS RELOCATED AND MOUNTED BEHIND (N) FRP SCREENING AS SHOWN.
- 3 (N) VZW RRU12 WITH A2 UNIT MOUNTED BEHIND (N) FRP SCREENING BELOW (N) ANTENNAS; SEE DETAILS 5/A-4 AND 6/A-4.
- 4 (N) VZW RAYCAP MOUNTED BEHIND (N) FRP SCREENING TO (E) SKYLIGHT PENTHOUSE; SEE DETAILS 2/A-4 AND 6/A-4.
- 5 (N) VZW 10'-0" HIGH FRP SCREENING MOUNTED TO (E) SKYLIGHT PENTHOUSE. PAINT TO MATCH (E) PENTHOUSE. MESH ON TOP OF BOX AND LOUVERS AT BOTTOM AND SIDES.
- 6 (N) VZW ROOF MOUNTED COAX CALBE TRAY, TYP.
- 7 (E) BUILDING SKYLIGHT PENTHOUSE.

LEGEND
(E) EXISTING
(R) REPLACE



(N) SECTOR 'A'

PROPOSED ANTENNA PLAN

SCALE:
1/4"=1'-0" 0 2' 4'

1

Jeffrey Rome | ASSOCIATES
architecture | telecommunications
131 Innovation Drive, Suite 100
Irvine, California 92617
tel 949.760.3929 | fax 949.760.3931

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APPROVALS

R.F. _____
ZONING _____
CONSTRUCTION _____
SITE ACQUISITION _____
OWNER APPROVAL _____

SITE NAME

SOUTH COAST PLAZA (PCS)

3333 BEAR STREET
COSTA MESA, CALIFORNIA 92626

DRAWING DATES

04/22/15 PRELIM CD'S (P1-B1)
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08/10/15 100% CD'S (P1-B3)
08/14/15 CLIENT COMMENTS (P1-B4)
10/13/15 RE-DESIGN (P1-B5)
11/05/15 SURVEY UPDATES (P1-B6)

SHEET TITLE

(N) & (E) ANTENNA PLANS

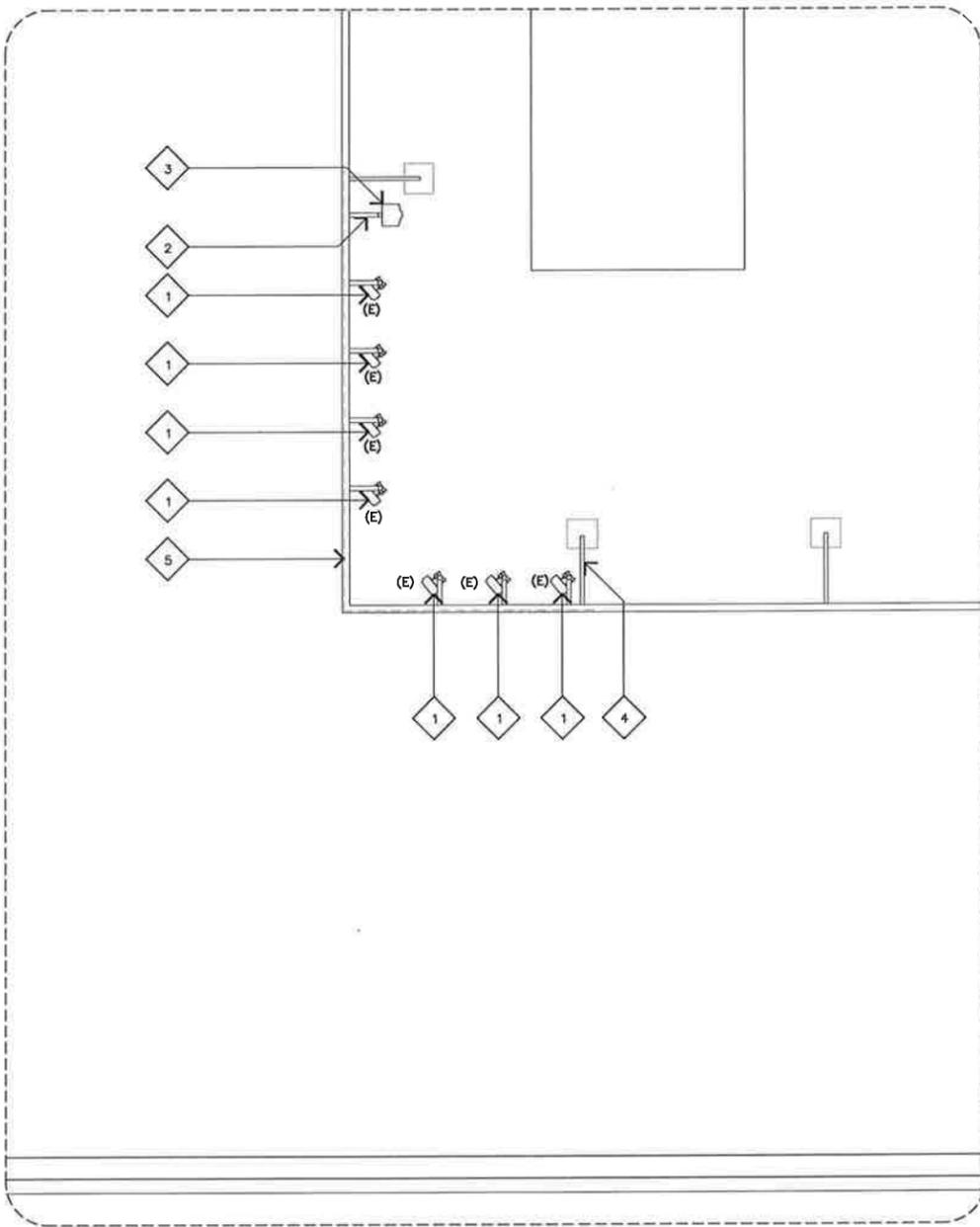
A-3

EXISTING ANTENNA PLAN KEYNOTES

- 1 (E) VZW ANTENNA MOUNTED BEHIND (E) SCREENING.
- 2 (E) ANTENNA MOUNTING PIPE ATTACHED TO (E) SCREEN.
- 3 (E) PRISM MOUNTED BEHIND (E) SCREENING TO BE REMOVED.
- 4 (E) SCREEN KICKER.
- 5 (E) VZW FRP SCREENING.

LEGEND

(E) EXISTING



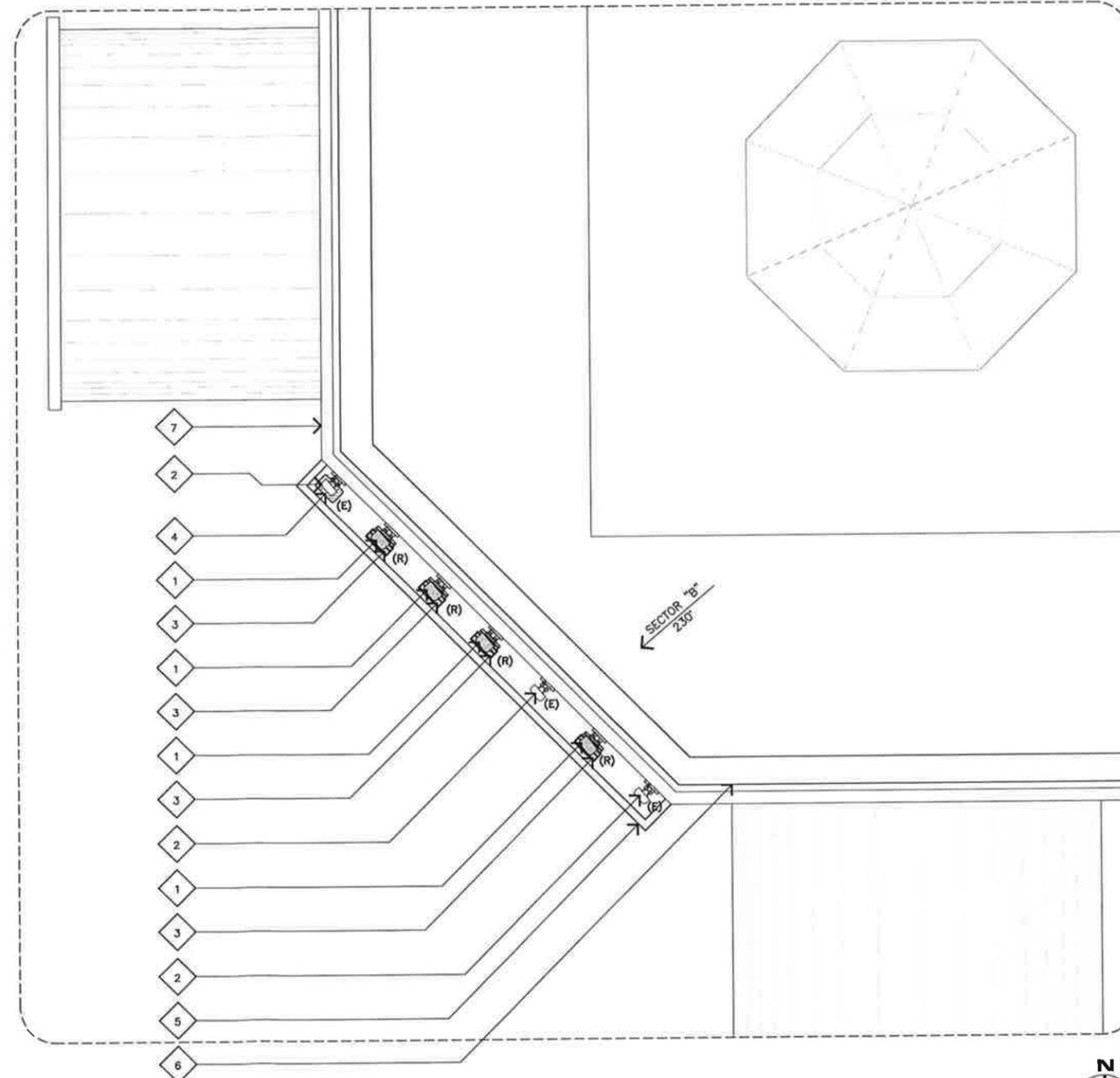
(E) SECTOR 'B'

ANTENNA PLAN KEYNOTES

- 1 (N) VZW ANTENNAS TO REPLACE (E) ANTENNAS; RELOCATED AND MOUNTED BEHIND (N) FRP SCREENING AS SHOWN; SEE DETAIL 4/A-4 AND SHEET A-4.1.
- 2 (E) VZW ANTENNAS RELOCATED AND MOUNTED BEHIND (N) FRP SCREENING BELOW (N) ANTENNAS; SEE DETAILS 5/A-4 AND 6/A-4.
- 3 (N) VZW RRU12 WITH A2 UNIT MOUNTED BEHIND (N) FRP SCREENING BELOW (N) ANTENNAS; SEE DETAILS 5/A-4 AND 6/A-4.
- 4 (N) VZW RAYCAP MOUNTED BEHIND (N) FRP SCREENING BELOW (E) ANTENNA; SEE DETAILS 2/A-4 AND 6/A-4.
- 5 (N) VZW 10'-0" HIGH FRP SCREENING MOUNTED TO (E) SKYLIGHT PENTHOUSE. PAINT TO MATCH (E) PENTHOUSE. MESH ON TOP OF BOX AND LOUVERS AT BOTTOM AND SIDES.
- 6 (N) VZW ROOF MOUNTED COAX CALBE TRAY, TYP.
- 7 (E) BUILDING SKYLIGHT PENTHOUSE.

LEGEND

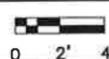
(E) EXISTING
(R) REPLACE



(N) SECTOR 'B'

EXISTING ANTENNA PLAN

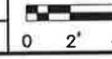
SCALE:
1/4"=1'-0"



2

PROPOSED ANTENNA PLAN

SCALE:
1/4"=1'-0"



1

Jeffrey Rome | ASSOCIATES
architecture | telecommunications
131 Innovation Drive, Suite 100
Irvine, California 92617
tel 949.760.3929 | fax 949.760.3931

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IRVINE, CALIFORNIA 92618



APPROVALS

R.F.

ZONING

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SITE ACQUISITION

OWNER APPROVAL

SITE NAME

SOUTH COAST PLAZA (PCS)

3333 BEAR STREET
COSTA MESA, CALIFORNIA 92626

DRAWING DATES

04/22/15 PRELIM CD'S (P1-B1)
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10/13/15 RE-DESIGN (P1-B5)
11/05/15 SURVEY UPDATES (P1-B6)

SHEET TITLE

(N) & (E) ANTENNA PLANS

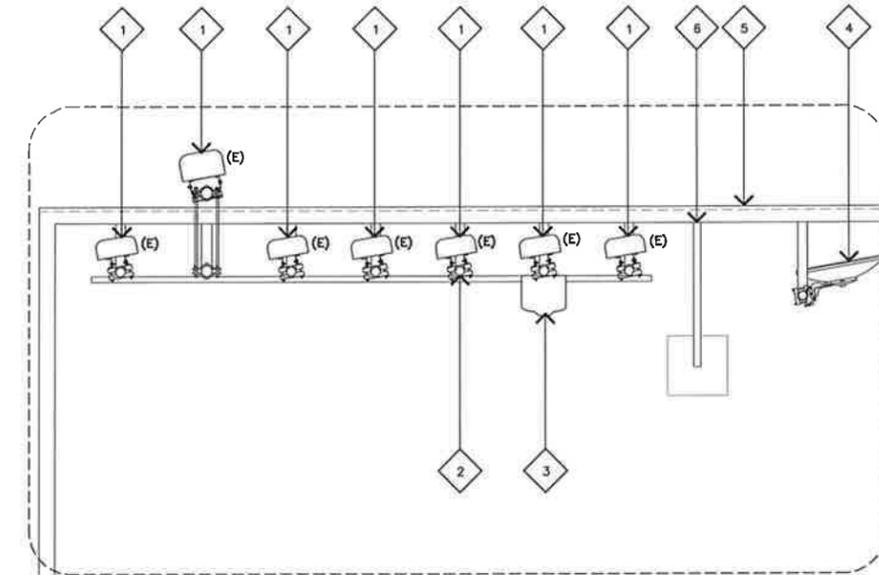
A-3.1

EXISTING ANTENNA PLAN KEYNOTES

- 1 (E) VZW ANTENNA MOUNTED BEHIND (E) SCREENING.
- 2 (E) ANTENNA MOUNTING PIPE ATTACHED TO (E) SCREEN.
- 3 (E) PRISM MOUNTED BEHIND (E) SCREENING TO BE REMOVED.
- 4 (E) VZW MICROWAVE ANTENNA MOUNTED BEHIND (E) SCREENING.
- 5 (E) VZW FRP SCREENING.
- 6 (E) SCREEN KICKER.

LEGEND

(E) EXISTING



(E) SECTOR 'C'

EXISTING ANTENNA PLAN

SCALE: 1/4"=1'-0" 0 2' 4'

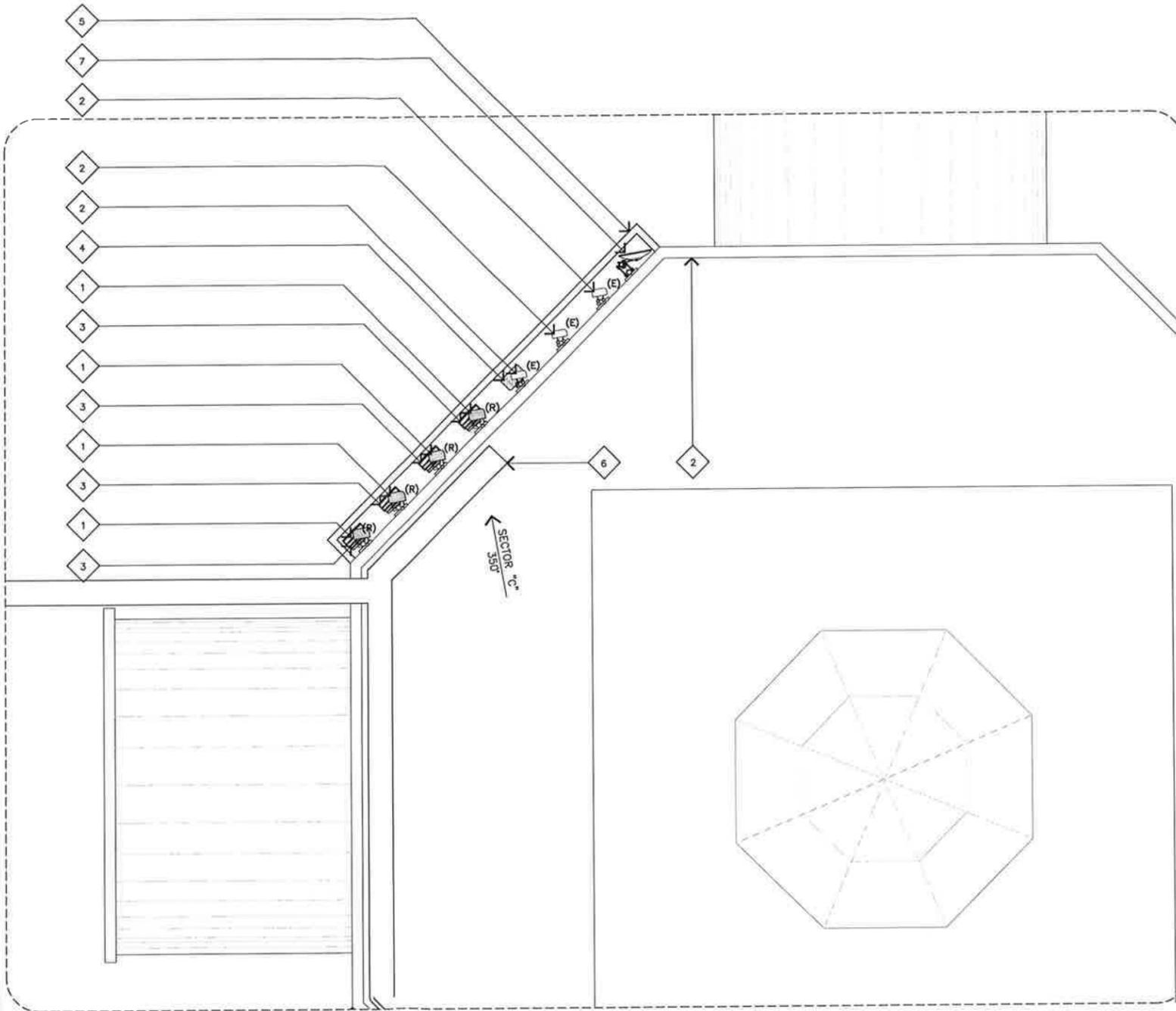
2

ANTENNA PLAN KEYNOTES

- 1 (N) VZW ANTENNAS TO REPLACE (E) ANTENNAS; RELOCATED AND MOUNTED BEHIND (N) FRP SCREENING AS SHOWN; SEE DETAIL 4/A-4 AND SHEET A-4.1.
- 2 (E) VZW ANTENNAS RELOCATED AND MOUNTED BEHIND (N) FRP SCREENING AS SHOWN.
- 3 (N) VZW RRU12 WITH A2 UNIT MOUNTED BEHIND (N) FRP SCREENING BELOW (N) ANTENNAS; SEE DETAILS 5/A-4 AND 6/A-4.
- 4 (N) VZW RAYCAP MOUNTED BEHIND (N) FRP SCREENING BELOW (E) ANTENNA; SEE DETAILS 2/A-4 AND 6/A-4.
- 5 (N) VZW 10'-0" HIGH FRP SCREENING MOUNTED TO (E) SKYLIGHT PENTHOUSE. PAINT TO MATCH (E) PENTHOUSE. MESH ON TOP OF BOX AND LOUVERS AT BOTTOM AND SIDES.
- 6 (N) VZW ROOF MOUNTED COAX CALBE TRAY, TYP.
- 7 (E) VZW MICROWAVE ANTENNA RELOCATED BEHIND (N) SCREEN AS SHOWN.
- 8 (E) BUILDING SKYLIGHT PENTHOUSE.

LEGEND

(E) EXISTING
(R) REPLACE



(N) SECTOR 'C'

PROPOSED ANTENNA PLAN

SCALE: 1/4"=1'-0" 0 2' 4'

1

Jeffrey Rome | ASSOCIATES
architecture | telecommunications
131 Innovation Drive, Suite 100
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SITE NAME

SOUTH COAST PLAZA (PCS)

3333 BEAR STREET
COSTA MESA, CALIFORNIA 92626

DRAWING DATES

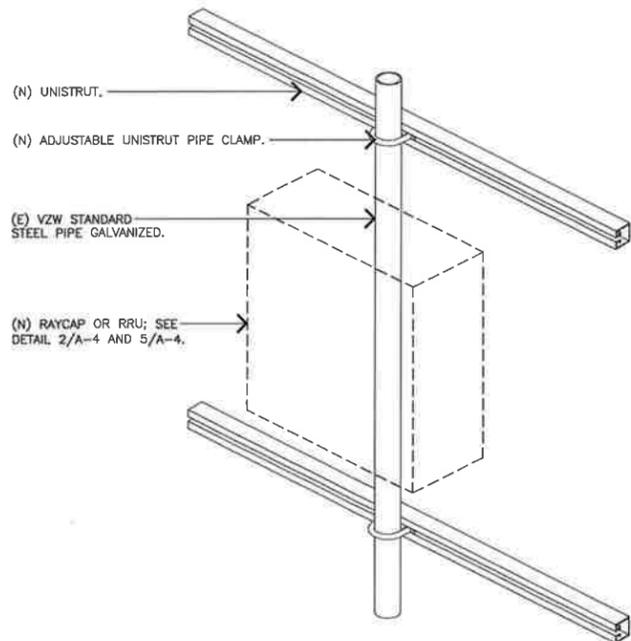
04/22/15 PRELIM CD'S (P1-B1)
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08/10/15 100% CD'S (P1-B3)
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11/05/15 SURVEY UPDATES (P1-B6)

SHEET TITLE

(N) & (E) ANTENNA PLANS

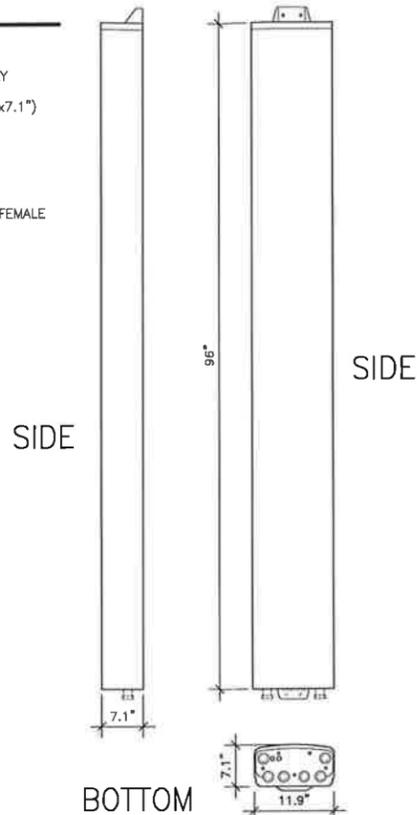
A-3.2

JRA JOB NUMBER: 143773



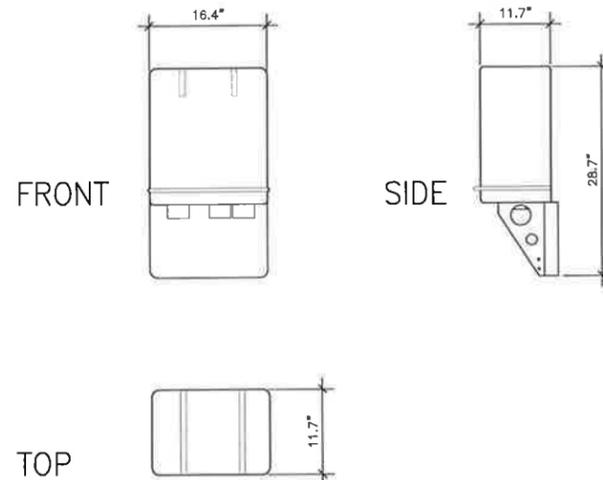
COMMSCOPE SBNHH-1D65C

ANTENNA MATERIAL: GRP
 ANTENNA COLOR: LIGHT GREY
 DIMENSIONS, HxWxD: (96"x11.9"x7.1")
 WEIGHT: 49.6 lbs
 WIND LOAD, FRONTAL/LATERAL/REAR: 286 lbf/106 lbf/ 297 lbf
 CONNECTOR: 7/16 DIN FEMALE



RAYCAP RCMD 33150PF-48

COLOR: GRAY
 DIMENSIONS, HxWxD: 28.7"x16.4"x11.7"
 WEIGHT: 32.0 lbs



RRU AND RAYCAP MOUNT

SCALE: NONE **6**

(N) ANTENNA SPECIFICATIONS

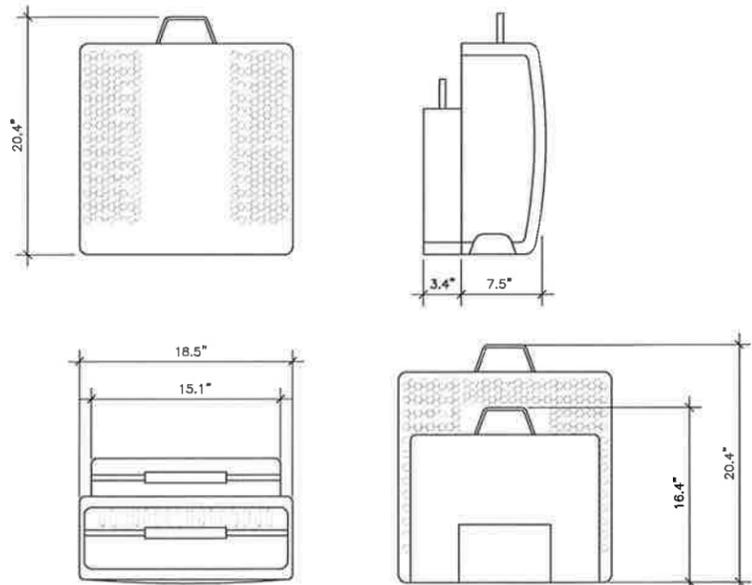
SCALE: NONE **4**

RAYCAP SPECIFICATIONS

SCALE: NONE **2**

ERICSSON RRUS 12+RRUS A2

COLOR: LIGHT GRAY
 DIMENSIONS, HxWxD: RRUS: 20.4"x18.5"x7.5"
 RRUS A2: 16.4"x15.1"x3.4"
 WEIGHT: RRUS: 58.0 LBS.
 RRUS A2: 22.0 LBS.

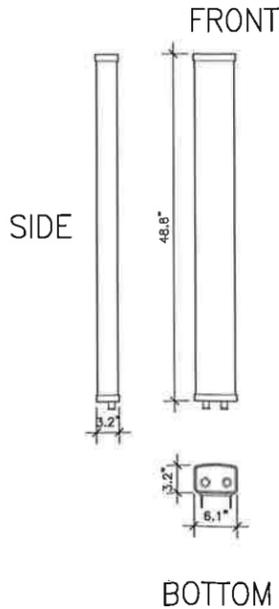


RRU SPECIFICATIONS

SCALE: NONE **5**

ANTEL BXA-185060/8CF

ANTENNA MATERIAL: FIBERGLASS
 ANTENNA COLOR: LIGHT GREY
 DIMENSIONS, HxWxD: (48.8"x6.1"x3.2")
 WEIGHT: 10.0 lbs
 WIND LOAD MAX: 617.7 N @ 150 KM/H
 138.9 LBF @ 150 KM/H



(E) ANTENNA SPECIFICATIONS

SCALE: NONE **3**

NOT USED

SCALE: NONE **1**

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OWNER APPROVAL _____

SITE NAME

SOUTH COAST PLAZA (PCS)

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 COSTA MESA, CALIFORNIA 92626

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 08/14/15 CLIENT COMMENTS (P1-B4)
 10/13/15 RE-DESIGN (P1-B5)

SHEET TITLE

DETAILS

A-4



SOUTH COAST PLAZA

3333 BEAR STREET COSTA MESA CA 92626



VIEW 1





SOUTH COAST PLAZA

3333 BEAR STREET COSTA MESA CA 92626

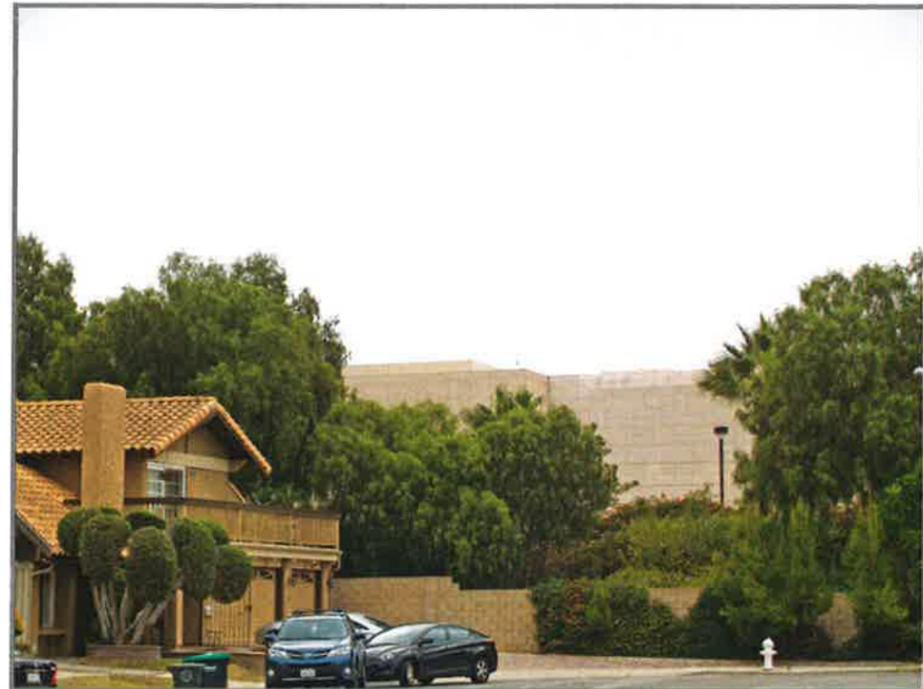


VIEW 2



LOCATION

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EXISTING



PROPOSED

LOOKING NORTHEAST FROM CROCUS CIRCLE



SOUTH COAST PLAZA

3333 BEAR STREET COSTA MESA CA 92626

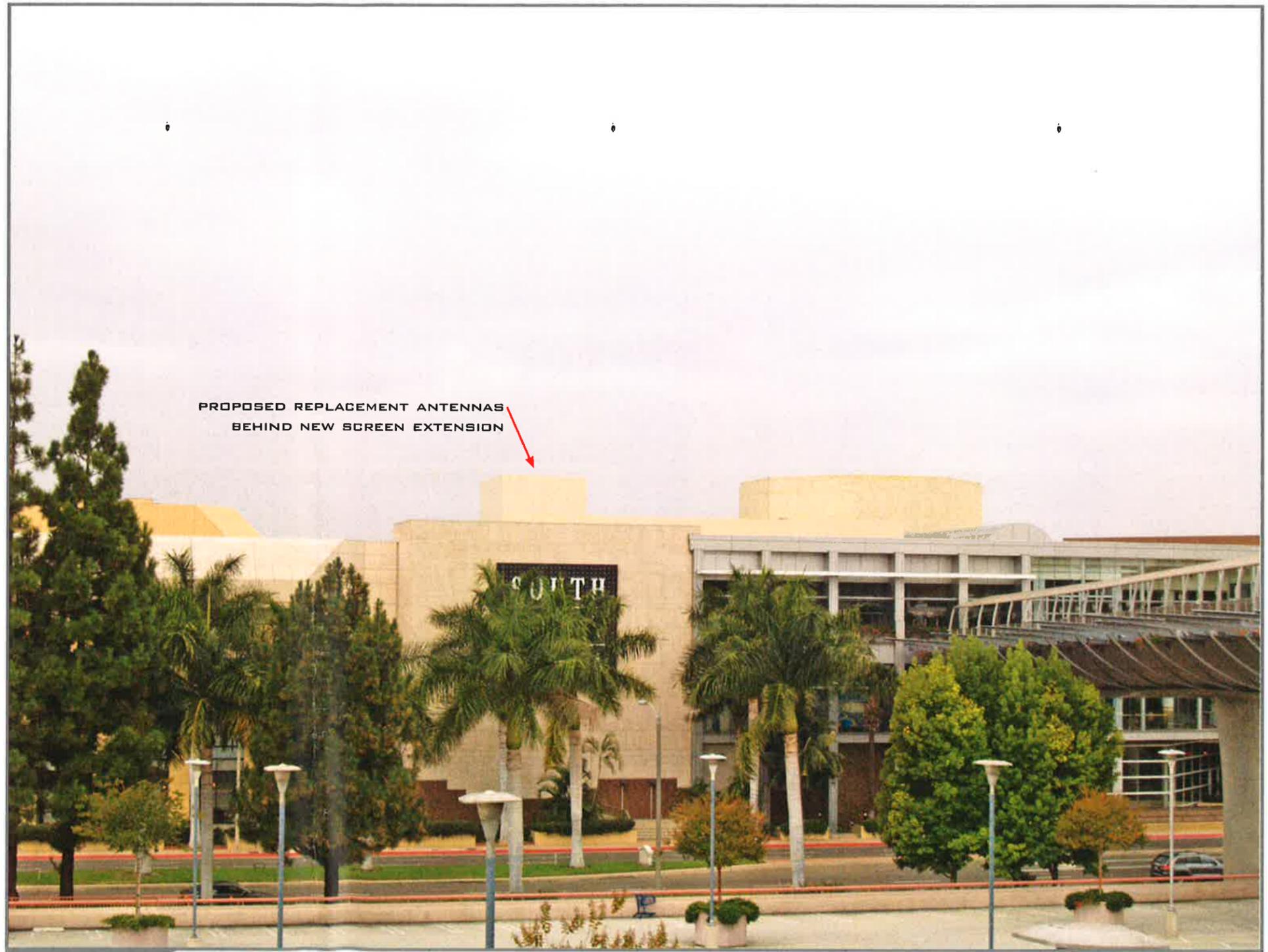


VIEW 3



LOCATION

©2014 Google Maps



PROPOSED REPLACEMENT ANTENNAS
BEHIND NEW SCREEN EXTENSION



EXISTING

PROPOSED LOOKING WEST FROM PEDESTRIAN BRIDGE



SOUTH COAST PLAZA

3333 BEAR STREET COSTA MESA CA 92626



VIEW 4



PROPOSED LOOKING SOUTHEAST FROM PARKING LOT