

FREQUENTLY ASKED QUESTIONS

What is Measure K?

On August 2, 2022, Costa Mesa City Council overwhelmingly approved placing **Measure K - Ordinance to Revitalize Commercial and Industrial Areas and Protect Residential Neighborhoods** on the November 8, 2022 ballot. The Measure would protect residential neighborhoods while enabling the revitalization of major commercial and industrial corridors such as Newport and Harbor Boulevards, and creating future opportunities for additional affordable housing for working and middle class families.



PRESERVES RESIDENTIAL NEIGHBORHOODS



REVITALIZES COMMERCIAL AND INDUSTRIAL CORRIDORS



CREATES AFFORDABLE HOUSING OPPORTUNITIES



PROTECTS THE ENVIRONMENT, PARKS AND OPEN SPACE



REQUIRES DEVELOPERS TO PAY FEES TO MITIGATE TRAFFIC AND IMPROVE PARKS



MAINTAINS LOCAL CONTROL

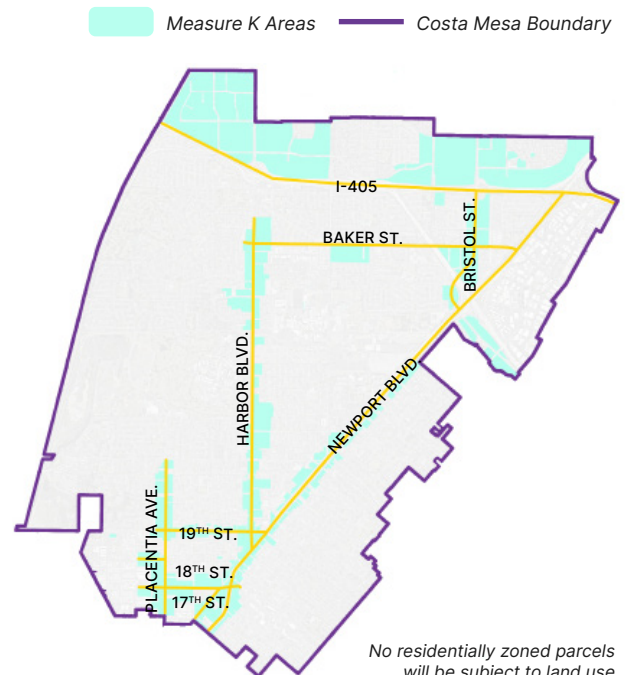
What areas of the City are included in Measure K?

Measure K will only affect major corridors and will create housing opportunities in certain existing industrial and commercial areas only. Measure K allows for a new vision of major corridors that creates opportunities for unique and vibrant shops, restaurants, and businesses that would increase economic activity while preserving Costa Mesa's existing single-family and multi-family residential neighborhoods. For more information, please visit www.CostaMesaMeasureK.com to view a virtual map of areas subject to Measure K.

Will I be able to share input on the vision for the areas included in Measure K?

Community outreach and engagement are important components of our City land use plans and activities, including Measure K. Community involvement and oversight will be achieved through public design charrettes, workshops, and community surveys for any land-use plans adopted or amended for any part of the defined commercial and industrial corridors included in Measure K.

AREAS INCLUDED IN MEASURE K



What are Costa Mesa's housing needs?

The high cost of housing makes it challenging for working and middle-class families, individuals, and seniors to afford housing in Costa Mesa. There is clear data showing the housing shortage and affordability challenges in our City:



Approximately 50 percent of renters and one third of homeowners spend **more than 30 percent** of their income on housing.



The number of renters in Costa Mesa receiving eviction notices is **nearly 2X higher** than the Orange County average.



Rental rates are rising fast. In July 2017, the average 2-bedroom apartment was renting for approximately \$2,130. In July 2022, the increased to more than \$2,850 - **nearly a 34% increase** in just five years.

Source: "Housing in Costa Mesa Study Session and Update." City of Costa Mesa Housing Study Session, 12 July 2022, <https://tinyurl.com/costamesahousing>.

How will Measure K help address Costa Mesa's housing needs?

Existing City regulations create significant constraints and barriers that make it difficult to build housing that is affordable for working and middle-class families, individuals, and seniors. In the past six years, just 179 units of housing have been entitled. To date, we are on track this year to approve zero new housing units. The City's existing regulations severely reduce the likelihood that enough units will be built within Costa Mesa to address housing affordability and existing needs. Measure K will provide the City with the opportunity to create affordable housing to meet its community needs.

How will Measure K address height restrictions?

Measure K **only** affects certain existing commercial and industrial areas of the City. There will be no changes to the rules for existing single-family and multi-family residential homes and neighborhoods under Measure K. All land use plans for the Measure K defined areas will include restrictions on building heights to ensure any future changes are compatible. Measure K makes no changes to existing height restrictions in single-family residential neighborhoods.

What are the traffic impacts?

Costa Mesa has an imbalance of available housing versus the number of jobs within the City. Costa Mesa's daytime population nearly doubles, meaning most people who work in Costa Mesa commute into the City, adding to traffic congestion. It also forces the City to serve a larger daytime population without receiving the benefit of additional property taxes and retail spending. Measure K allows for walkable, live-work neighborhoods with new housing near jobs, public transportation, and bikeways.

Measure K also requires that new development projects pay their fair share of the improvements needed to mitigate traffic, including street, bike paths, pedestrian facilities, and traffic signal upgrades, as well as parks and open space.

