



City of Costa Mesa

Inter Office Memorandum

TO: CITY COUNCIL AND PLANNING COMMISSION
CC: TOM HATCH, PETER NAGHAVI, AND CLAIRE FLYNN
FROM: WILLA BOUWENS-KILLEEN, ZONING ADMINISTRATOR
DATE: MARCH 15, 2013
SUBJECT: ZONING ADMINISTRATOR DECISION(S)

A handwritten signature in blue ink, appearing to be "W. Bouwens-Killeen", written over the "FROM" line of the memorandum.

This is to advise you of the following decision(s) made by the Zoning Administrator within the last week. The decision(s) will become final unless a member of the Planning Commission or City Council requests a review of the decision(s) or an interested party files an appeal by 5:00 p.m. on March 22, 2013. Project descriptions have been kept brief for this notice. As a result, there may be details to the project or conditions of approval that would be of interest to you in deciding whether to request a review of a decision. Please feel free to contact me by e-mail at willa.bouwens-killeen@costamesaca.gov if you have any questions or would like further details.

ZA-13-04 260 E. 18th Street

Request to reconstruct an existing one car garage and a two-story addition with a minor design review to deviate from the Residential Design Guidelines for a two-story addition to a single-story house with a five-foot setback from the side property line (10 feet recommended).

Approved, subject to conditions.

Comments received: None.



CITY OF COSTA MESA

P.O. BOX 1200 • 77 FAIR DRIVE • CALIFORNIA 92628-1200

DEVELOPMENT SERVICES DEPARTMENT

March 15, 2013

Mr. Charles Melton
1401 Dove Street, Suite 240
Newport Beach, CA 92660

**RE: ZONING APPLICATION ZA-13-04
MINOR DESIGN REVIEW FOR A NEW TWO-STORY ADDITION WITH AN
ATTACHED ONE-CAR GARAGE
260 E. 18TH STREET, COSTA MESA**

Dear Mr. Melton:

City staff's review of Zoning Application ZA-13-04 for the above-referenced project has been completed. The application, as described in the attached project description, has been approved; based on the findings and subject to the conditions of approval, code requirements, and special district requirements (attached). The decision will become final at 5 p.m. on March 22, 2013, unless appealed by an affected party, including filing of the necessary application and payment of the appropriate fee, or called up for review by a member of the Planning Commission or City Council.

If you have any questions regarding this letter, please feel free to contact the project planner, Raynald F. Pascua, at (714) 754-5245, or at ray.pascua@costamesaca.gov.

Sincerely,

WILLA BOUWENS-KILLEEN, AICP
Zoning Administrator

Attachments: Project Description
 Findings
 Conditions of Approval, Code Requirements, and Special District
 Requirements
 Approved Conceptual Plans

cc: Engineering
 Fire Protection Analyst
 Building Safety Division

PROJECT DESCRIPTION

- The subject property is located at 260 E. 18th Street, within a single-family residential neighborhood in the R1 Zone. The properties immediately abutting the subject property include single story residences with two story apartments across the street.

The proposed project involves the following:

- Demolition of a 214 square foot, one-car garage.
- Construction of a new two-story, 1,802 square foot addition with an attached 284 square-foot one-car garage.
- Proposal to deviate from the Residential Design Guidelines; specifically, to reduce the side yard setback for the second floor on both sides of the property from 10 feet (recommended) to five feet (proposed).

ANALYSIS:

A minor design review is required since the proposed second floor does not meet the recommended 10-foot average side yard setback on both sides of the property. City staff considers the proposed five-foot reduction to be a minor deviation from the Residential Design Guidelines.

The Residential Design Guidelines were adopted to promote quality and compatible design by promoting design excellence. Consequently, standards such as the 10-foot average side setback for second floors are intended to promote design excellence. However, the Residential Design Guidelines also allow consideration to be given for designs that further promote design excellence without satisfying the specific criteria.

The proposed project contains many elements desired by the Residential Design Guidelines:

- Varied height and elevations achieved through the application of a covered porch along the front of the residence. The two-story portion of the house is situated 60 feet from the front property line.
- Exterior materials such as wood siding and stacked stone veneer, decorative shutters, grid-style windows, and varied rooflines.
- Privacy impact on the adjacent neighbors is expected to be minimal. There are windows proposed on the east and west elevations of the second story addition. To mitigate any privacy impacts on the adjacent neighbors, obscured glass will be used for one of the bathrooms, and the other windows will be installed at a minimum height of 5.5 feet above the finished floor. A condition of approval is included to ensure compliance with this requirement. The proposed two-story residence is designed with a hip roof. The hip roof on the second story slopes away from the side yards, which provides visual relief to the overall height of the structure.

The current General Plan land use designation for the subject property is Low Density Residential, which allows a single dwelling on this lot. The proposed development is to construct a two-story addition on a 6,533 square-foot lot and is therefore, consistent with the General Plan land use designation.

FINDINGS

- A. The information presented substantially complies with Costa Mesa Municipal Code, Section 13-29(g) (14) in that the proposed construction is substantially compatible and harmonious with existing and/or anticipated development on surrounding properties. This includes site planning, landscaping, appearance, scale of structures, location of windows and any other applicable features relative to a compatible and attractive development.

Privacy impacts upon the adjacent neighbors immediately located to the east and west are expected to be minimal due to the type (obscure) and height above the finished floor.

- B. The information presented substantially complies with Costa Mesa Municipal Code Section 13-29(14), despite the request to deviate from the side yard setback along the north property line. The exterior design of the proposed residence exhibits a contemporary-style that incorporates the use of wood siding, stacked stone veneer, decorative shutters, grid-style windows and varied rooflines to enhance the overall design of the house and add interest to the streetscape of the neighborhood. The proposed development would not negatively impact the surrounding properties or aesthetics of the neighborhood since the two-story structure includes a single story garage, and front porch and the two-story portion is situated 60 feet from the front property line. In addition, the proposed five foot side yard setbacks are sufficient and allows for installation of additional trees for privacy, if necessary. Currently, there are two-story residences in the immediate area.
- C. The proposed project complies with Costa Mesa Municipal Code Section 13-29 (e) because:
1. The proposed development and use is compatible and harmonious with uses both on-site as well as those on surrounding properties.
 2. Safety and compatibility of the design of the buildings, parking areas, landscaping, and other site features including functional aspects of the site development such as automobile and pedestrian circulation have been considered.
 3. The project is consistent with the General Plan designation because the proposed residence will not exceed the General Plan density for the site.
 4. The zoning application is for a project-specific case and does not establish a precedent for future development.
- D. The project has been reviewed for compliance with the California Environmental Quality Act (CEQA), the CEQA Guidelines, and the City environmental procedures,

and has been found to be exempt under Section 15303, Class 3, New Construction, of the CEQA Guidelines.

- E. The project is exempt from Chapter XII, Article 3, Transportation System Management, of Title 13 of the Costa Mesa Municipal Code.

CONDITIONS OF APPROVAL

- Plng.
1. The conditions of approval, code provisions, and special district requirements of Zoning Application ZA-13-04 shall be blueprinted on the face of the site plan as part of the plan check submittal package.
 2. The applicant shall contact the Planning Division to arrange a Planning inspection of the site prior to the release of occupancy. This inspection is to confirm that the conditions of approval and code requirements have been satisfied.
 3. The subject property's ultimate finished grade level may not be filled/raised unless it is necessary to provide proper drainage, and in no case shall it be raised in excess of 36 inches above the finished grade of any abutting property. If additional fill dirt is needed to provide acceptable on-site stormwater flow to a public street, an alternative means of accommodating that drainage shall be approved by the City's Building Official prior to issuance of any grading or building permits. Such alternatives may include subsurface tie-in to public stormwater facilities, subsurface drainage collection systems and/or sumps with mechanical pump discharge in-lieu of gravity flow. If mechanical pump method is determined appropriate, said mechanical pump(s) shall be continuously maintained in working order. In any case, development of subject property shall preserve or improve the existing pattern of drainage on abutting properties.
 4. No modification(s) of the approved building elevations including, but not limited to, changes that increase the building height, additional second story windows, removal of building articulation, or a change of the finish material(s), shall be made during construction without prior Planning Division written approval. Failure to obtain prior Planning Division approval for any modifications could result in the requirement of the applicant to (re)process the modification through a discretionary review process such as a design review, a variance, or in the requirement to modify the construction to reflect the approved plans.
 5. Demolition permits for the existing structures shall be obtained and all work and inspections shall be completed prior to final building inspections. Applicant is notified that a written notice to the Air Quality Management District (AQMD) may be required ten (10) days prior to demolition.
 6. Every effort shall be made to follow sustainable building (i.e., "green") practices in the construction of the residence. The applicant may contact the Building Safety Division at (714) 754-5273 for further information.

7. Landscape plans shall incorporate water-efficient landscape treatment. No artificial turf shall be permitted.
8. The applicant shall contact the current cable company prior to issuance of building permits to arrange for pre-wiring for future cable communication service.
9. The project is subject to compliance with all applicable Federal, State, and local laws. A copy of the applicable Costa Mesa Municipal Code requirements has been forwarded to the Applicant and, where applicable, the Authorized Agent, for reference.
10. All on-site utility services shall be installed underground, or provisions made for future undergrounding, if it is impractical at this time.
11. Existing mature trees shall be retained wherever possible. Should it be necessary to remove existing trees, the applicant shall submit a written request and justification to the Planning Division. A report from a California-licensed arborist shall be required as part of the justification. Replacement trees shall be of a size consistent with trees to be removed and may be required on a 1:1 basis. This requirement shall be completed under the direction of the Planning Division.
12. Relocation or expansion of the second-story window along the east and west elevations, are expressly prohibited without prior written approval of the Zoning Administrator
13. The windows along the east and west building elevations of the new second story addition shall be placed a minimum of 5.5 feet above the finished floor.
- Park. 14. The applicant shall plant one 24 inch box Pinus Canariensis in the right-of-way.

CODE REQUIREMENTS

The following list of federal, state and local laws applicable to the project has been compiled by staff for the applicant's reference. Any reference to "City" pertains to the City of Costa Mesa.

- Plng. 1. Approval of the zoning application is valid for one (1) year from the effective date of this approval and will expire at the end of that period unless applicant establishes the use by obtaining building permits for the authorized construction and initiates construction. If the applicant is unable to obtain building permits within the one-year time period, the applicant may request an extension of time. The Planning Division must receive a written request for the time extension prior to the expiration of the zoning application.
2. Development shall comply with all requirements of Article 1, Chapter 5, and Article 9, Chapter 5 of Title 13 of the Costa Mesa Municipal Code relating to development standards for residential projects.
3. Garage shall be provided with automatic garage door openers.
4. The paving under required covered parking spaces shall be Portland Cement Concrete (PCC).
5. All noise-generating construction activities shall be limited to 7:00 a.m. to 7:00 p.m. Monday through Friday and 9:00 a.m. to 6:00 p.m. Saturday. Noise-generating construction activities shall be prohibited on Sunday and the following Federal holidays: New Years Day, Memorial Day, Independence Day, Labor Day, Thanksgiving Day and Christmas Day.
6. All on-site utility services shall be installed underground.
7. Installation of all utility meters shall be performed in a manner so as to obscure the installation from view from any place on or off the property. The installation vault, wall cabinet, or wall box under the direction of the Planning Division.
8. The street address shall be visible from the public street and may be displayed either on the front door, on the fascia adjacent to the main entrance, or on another prominent location. Numerals shall be a minimum six (6) inches in height with not less than one-half-inch stroke and shall contrast sharply with the background.
9. Landscaping and irrigation shall be installed in accordance with the approved plans prior to final inspection or occupancy clearance.
10. All landscaped areas shall be separated from paved vehicular areas by 6" high continuous Portland Cement Concrete curbing.
11. All exterior property lines of the master development lot shall have solid masonry walls that conform to the City's Walls, Fences and Landscaping Standards. Wall location, height, masonry materials, and finish shall be subject to approval by the Planning Division.
12. Any new mechanical equipment such as air-conditioning equipment and duct work shall be screened from view in a manner approved by the Planning Division. Any roof-mounted equipment is prohibited.
- Bus. Lic. 13. All contractors and subcontractors must have valid business licenses to do business in the City of Costa Mesa. Final inspections, final

occupancy and utility releases will not be granted until all such licenses have been obtained.

- | | | |
|--------|-----|---|
| Bldg. | 14. | Applicant shall comply with the requirements of the 2010 California Building Code, 2010 California Residential Code, California Electrical Code, California Mechanical Code, California Plumbing Code, California Green Building Standards Code and 2010 California Energy Code (or the applicable adopted California Building Code, California Residential Code California Electrical Code, California Mechanical Code California Plumbing Code, California Green Building Standards and California Energy Code (at the time of plan submittal) and California Code of Regulations also known as the California Building Standards Code, as amended by the City of Costa Mesa. |
| Eng. | 15. | At the time of development, submit for approval an off-site plan to the Engineering Division and grading plan to the Building Division that shows sewer, water, existing parkway improvements and the limits of work on the site, and hydrology calculations, both prepared by a registered civil engineer or architect. Cross lot drainage shall not occur. Construction access approval shall be obtained prior to building or engineering permits being issued by the City of Costa Mesa. Pay off-site plan check fee per Section 13-29(2)(b) of the C.C.M.M.C. and an approved off-site plan shall be required prior to engineering permits being issued by the City of Costa Mesa. |
| | 16. | Obtain a permit from the City of Costa Mesa, Engineering Division, at the time of development and then construct P.C.C. driveway approach per City of Costa Mesa Standards as shown on the Offsite Plan. Location and dimensions are subject to the approval of the Transportation Services Manager. ADA compliance required for all new driveway approaches. |
| | 17. | Fulfill Drainage Ordinance Fee requirements prior to approval of plans. |
| | 18. | For demolition, grading, or building permits involving projects with a valuation of \$10,000 or more, the contractor shall use a City-permitted hauler(s) to haul any debris or solid waste from the job site (refer to Section 8-83(h), Regulations, of Title 8 of the Costa Mesa Municipal Code). Use of a City-permitted hauler for such projects is the responsibility of the designated contractor. Non-compliance is subject to an administrative penalty as follows: \$1,000 or 3% of the total project value, whichever is greater. |
| | 19. | Maintain the public right-of-way in a "wet-down" condition to prevent excessive dust and promptly remove any spillage from the public right-of-way by sweeping or sprinkling. |
| Fire | 20. | Provide smoke detectors per CRC. |
| | 21. | Provide Residential Fire Sprinkler Systems per CRC. |
| Trans. | 22. | Revise site plan to correctly identify public parkway width and street width from centerline to property line. |
| | 23. | Revise site plan to correctly identify public alley. Include alley width from centerline to rear property line. |
| | 24. | Provide minimum parking space widths per City parking standards with required clearance from vertical restrictions. |

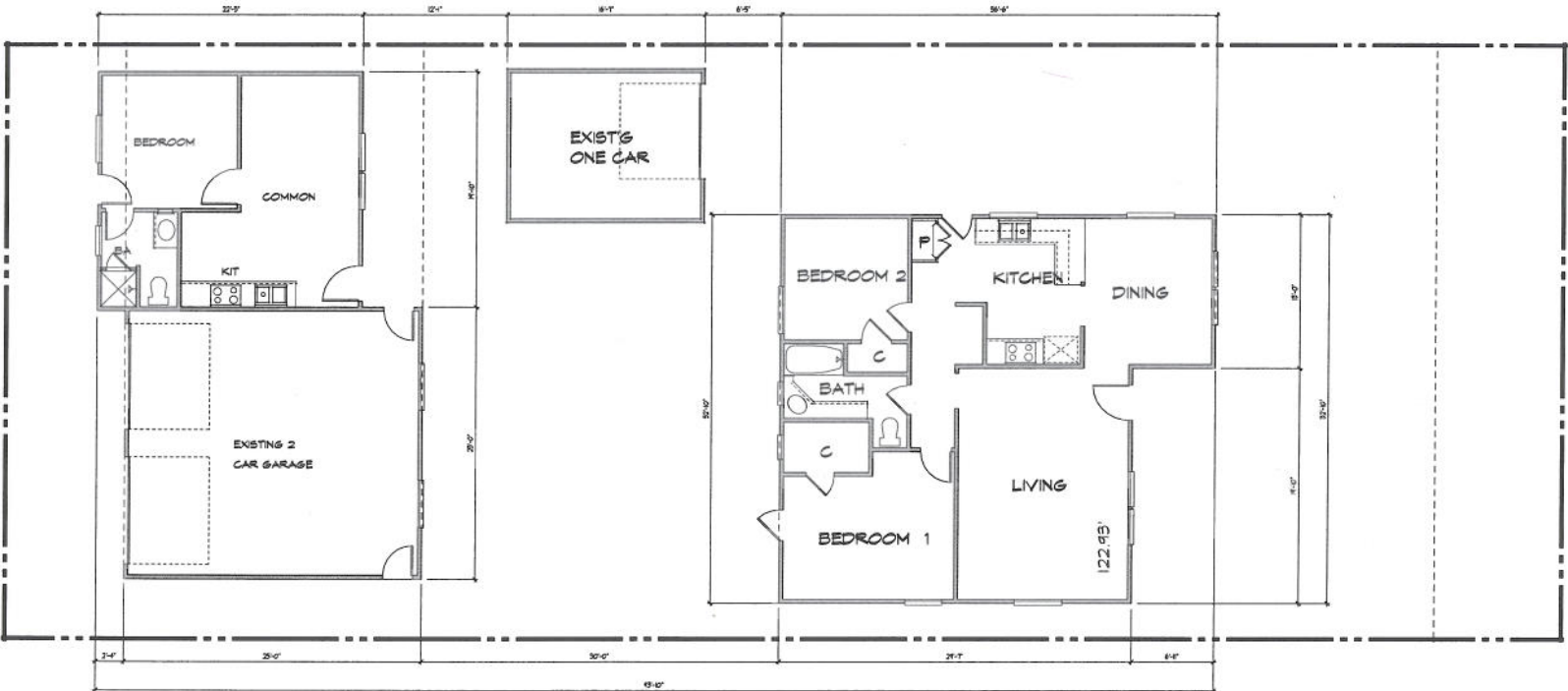
25. Revise the site plan to provide a minimum of 25' clearance in front of each garage door in order to provide adequate maneuvering.

SPECIAL DISTRICT REQUIREMENTS

The requirements of the following special districts are hereby forwarded to the applicant:

- | | | |
|-------|----|--|
| Sani. | 1. | It is recommended that the applicant contact the Costa Mesa Sanitary District at (949) 645-8400 for current district requirements. |
| AQMD | 2. | Applicant shall contact the Air Quality Management District (800) 288-7664 for potential additional conditions of development or for additional permits required by the district. |
| State | 3. | Applicant shall comply with the requirements of the California Department of Food and Agriculture (CDFA) to determine if red imported fire ants (RIFA) exist on the property prior to any soil movement or excavation. |

PLOT NAME: BATHYMANE



EXISTING MAIN RESIDENCE-1060 S.F.

EXISTING RESIDENCE
1060 S.F.

**BILLINGTON RESIDENCE
EXISTING SQ FT**

MAIN FLOOR	1060	sq ft
GRANNY FLAT	440	sq ft
GARAGE-1	214	sq ft
GARAGE-2	568	sq ft

FOR DIMENSIONS USE ONLY - REFERENCED TO PAGE OF PLAN

PRELIMINARY DESIGN SET-2, 8-07-18

KPI
KNITTER PARTNERS
INTERNATIONAL, INC.
architecture & planning

1401 DOVE ST. SUITE 240
NEWPORT BEACH, CA 92660
PHONE: (949) 752-1177
FAX: (949) 752-0151
WWW.KNITTER.COM

©KNITTER PARTNERS INTERNATIONAL
ALL RIGHTS RESERVED 2010

THIS DOCUMENT IS THE PROPERTY AND COPYRIGHT OF
KNITTER PARTNERS INTERNATIONAL, INC. AND SHALL NOT BE
USED IN ANY FORM OR BY ANY MEANS, IN WHOLE OR IN PART,
WITHOUT THE WRITTEN PERMISSION FROM KNITTER
PARTNERS INTERNATIONAL.

NO.	DATE	REVISION
△	8-07-18	planning
△		
△		
△		

**BILLINGTON RESIDENCE
A LIVING SPACE ADDITION
AND CUSTOM REMODEL**
260 E 18TH STREET.
COSTA MESA, CA.



PROJECT INFO
REMODEL
JOB NUMBER 18001
PROJECT MGR. CHIP HELTON
DRAWN BY STAFF

SHEET TITLE
EXISTING RES.

SHEET NUMBER

E-1



KNITTER PARTNERS INTERNATIONAL, INC.
architecture & planning

1401 DOVE ST. SUITE 240
NEWPORT BEACH, CA 92660
PHONE: (949) 752-1177
FAX: (949) 752-0151
WWW.KNITTER.COM

©KNITTER PARTNERS INTERNATIONAL
ALL RIGHTS RESERVED 2010

THIS DOCUMENT IS THE PROPERTY AND COPYRIGHT OF KNITTER PARTNERS INTERNATIONAL, INC. AND SHALL NOT BE USED OR REPRODUCED IN ANY MANNER OR BY ANY MEANS WITHOUT THE WRITTEN PERMISSION OF KNITTER PARTNERS INTERNATIONAL, INC.

NO.	DATE	REVISION
△	8-07-18	planning
△		
△		
△		

PRELIMINARY DESIGN SET-2 8-07-18

BILLINGTON RESIDENCE
A LIVING SPACE ADDITION
AND CUSTOM REMODEL
2400 E 18TH STREET,
COSTA MESA, CA.



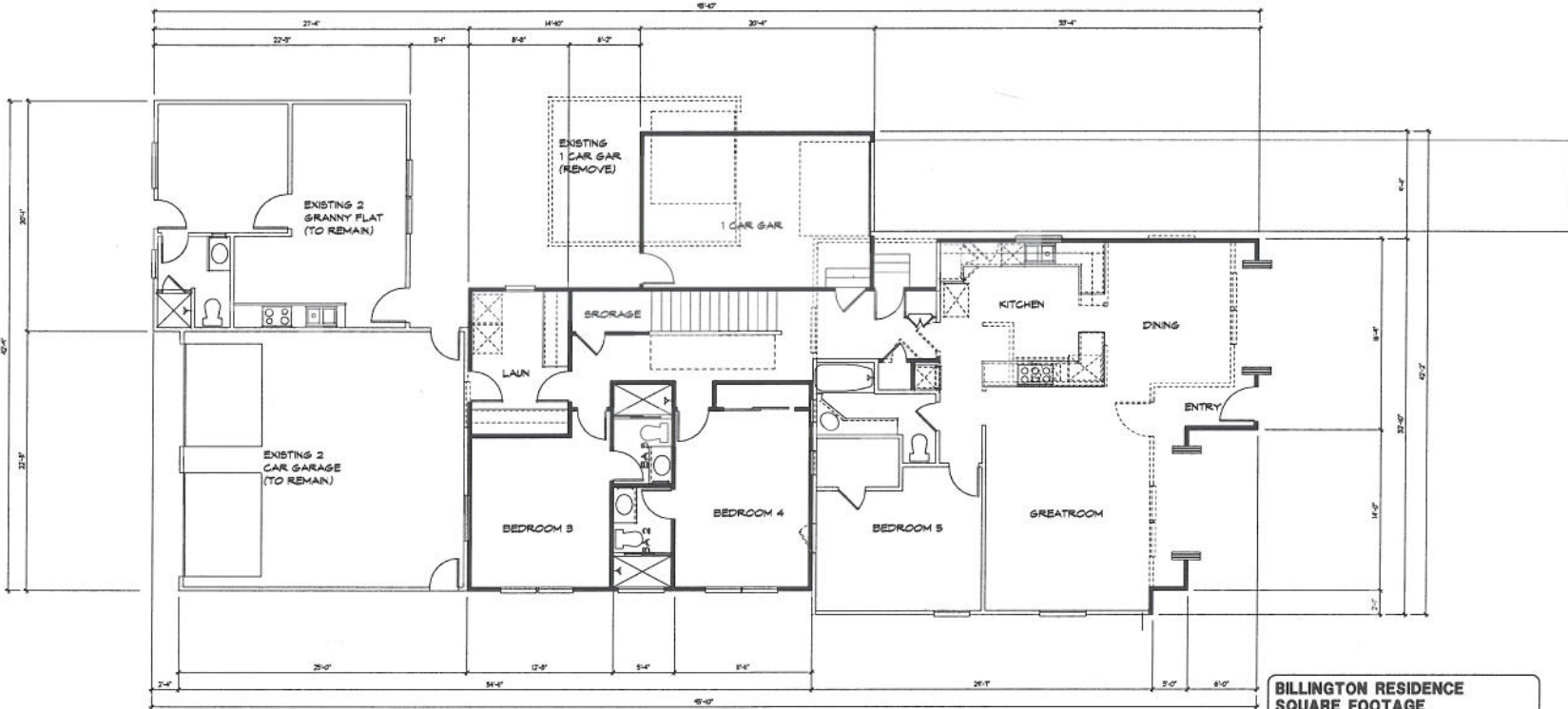
PROJECT INFO
REMODEL

JOB NUMBER 18001
PROJECT MGR. GUY MELTON
DRAWN BY SHY

SHEET TITLE
FIRST FLOOR PLAN

SHEET NUMBER

A-2



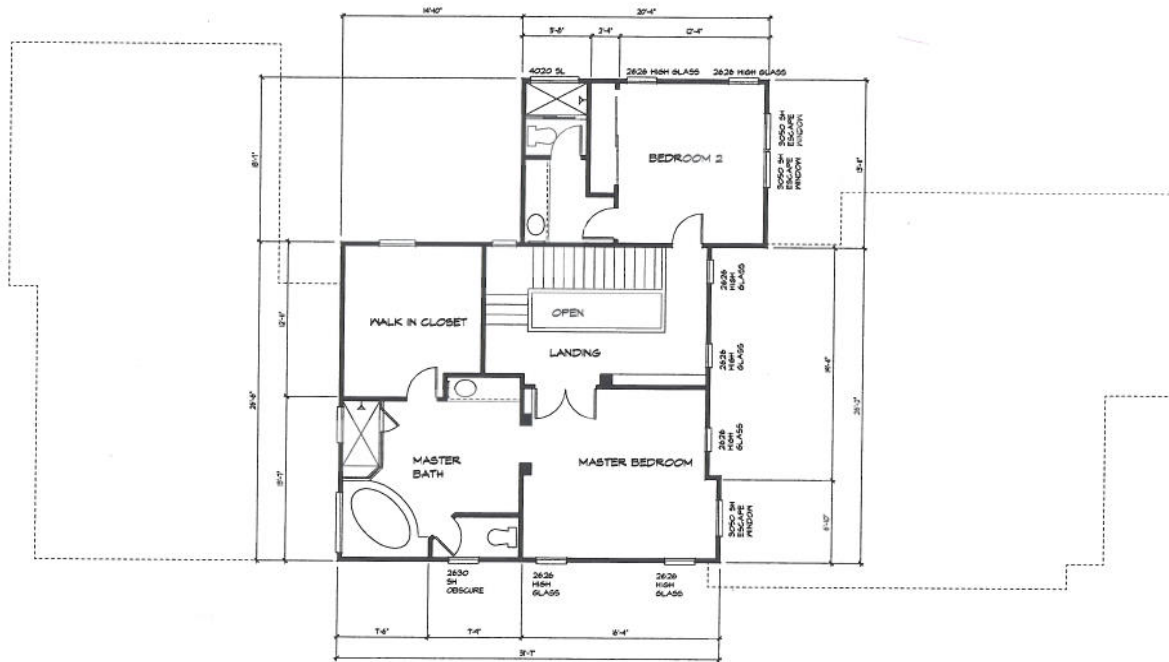
PROPOSED FIRST FLOOR PLAN

NEW WALLS TO BE BUILT/CHANGED
EXISTING WALL TO REMAIN
EXISTING WALL TO BE REMOVED

BILLINGTON RESIDENCE SQUARE FOOTAGE	
EXISTING 1ST FLOOR	1060 sq ft
EXIST'G 1ST FLR-TO BE REMOVED	46 sq ft
ADDITIONAL 1ST FLOOR	810 sq ft
END TOTAL 1ST FLOOR	1836 sq ft
2ND FLOOR (NEW)	892 sq ft
TOTAL	2828 sq ft
EXISTING GRANNY FLAT	460 sq ft
EXISTING 2 CAR GARAGE	567 sq ft
NEW 1 CAR GARAGE	276 sq ft

FOR DIMENSIONS SEE ONLY - REFERENCE TO PAGE OF SHEET

DATE: 8/7/18



PROPOSED SECOND FLOOR PLAN

NEW WALL TO BE BUILT - CONCRETE
 EXISTING WALL TO REMAIN
 EXISTING WALL TO BE REMOVED

BILLINGTON RESIDENCE SQUARE FOOTAGE	
EXISTING 1ST FLOOR	1060 sq ft
EXISTING 1ST FLR-TO BE REMOVED	46 sq ft
ADDITIONAL 1ST FLOOR	610 sq ft
END TOTAL 1ST FLOOR	1636 sq ft
2ND FLOOR (NEW)	892 sq ft
TOTAL	2828 sq ft
EXISTING GRANNY FLAT	460 sq ft
EXISTING 2 CAR GARAGE	567 sq ft
NEW 1 CAR GARAGE	276 sq ft

FOR ACCURACY USE ONLY - DIMENSIONS TAKEN TO FACE OF STUD



KNITTER PARTNERS INTERNATIONAL, INC.
 architecture & planning

1401 ODYE ST. SUITE 240
 NEWPORT BEACH, CA 92660
 PHONE: (949) 752-1177
 FAX: (949) 752-0151
 WWW.KNITTER.COM

©KNITTER PARTNERS INTERNATIONAL
 ALL RIGHTS RESERVED 2010

THE CONTENTS OF THIS DRAWING ARE THE PROPERTY AND CONFIDENTIAL INFORMATION OF KNITTER PARTNERS INTERNATIONAL, INC. AND SHALL NOT BE USED IN ANY OTHER WORK OR DISCLOSED OR REPRODUCED IN ANY MANNER WITHOUT THE WRITTEN AUTHORIZATION OF KNITTER PARTNERS INTERNATIONAL, INC.

NO.	DATE	REVISION
1	9-07-18	planning
2		
3		
4		

PRELIMINARY DESIGN SET-2 9-07-18

BILLINGTON RESIDENCE
 A LIVING SPACE ADDITION
 AND CUSTOM REMODEL
 260 E 18TH STREET,
 COSTA MESA, CA.



PROJECT INFO
REMODEL
 JOB NUMBER 18001
 PROJECT MGR. GUY MELTON
 DRAWN BY STAFF

SHEET TITLE
SECOND FLOOR PLAN

SHEET NUMBER
 A-B

CITY OF COSTA MESA ALLOWS A MAXIMUM OF 27'
TOTAL BUILDING HEIGHT.



FRONT ELEVATION



LEFT SIDE

2ND FLOOR WINDOW PLACEMENT
 WINDOWS AT SECOND FLOOR ARE LOCATED IN AN AREA THAT OVERLOOKS NEIGHBORING ROOFS AND OPEN AREAS. CARE HAS BEEN TAKEN TO AVOID CONTACT OF ALL PROPERTIES CONCERNED.

BUILDING HEIGHT
 CITY OF COSTA MESA ALLOWS A MAXIMUM OF 27'
 TOTAL BUILDING HEIGHT.
 PROPOSED BUILDING HAS A PLATE HEIGHT ON EACH FLOOR OF 8'-0"
 FLOOR JOISTS ARE 12"Ø
 PLR JOISTS ASSIGNED TO BE 3"Ø
 ROOF JOISTS ASSIGNED TO BE 2Ø (1-1/2")
 ROOF JOISTS ASSIGNED 1/2"
 ROOF MATERIAL ASSIGNED 1/4"
 6'4" x 6'4" 11-1/8" x 3 1/4" 8-1/2" x 10' 4-1/2" x 6.25 x 3.25
 62 x 1-1/2"Ø ASKING 1/2"
25.75' MAX FROM F.F.

ELEVATION NOTES

1. 1/2" STREGG COVER TO SPECIFY FROM REFER TO GENERAL NOTES
2. GUTTERING & STREGG SCHEDULE REFER TO DETAIL
3. TYPE 'S' VENT FOR GAS APPLIANCE PREPLACEMENT
4. 6L SHINGLE AND FLASHING
5. ELDERWOOD STONE MATHAS AND PFT-405
6. 6L FLASHING
7. 30 YEAR LAMP SHINGLE - GLASS 1/4" RATED ROOF MATERIAL. REFER TO ROOF NOTES
8. STREGG SUPPORT ON METAL LATH OF BUILDING PAPER
9. ATTIC VENT REFER TO ATTIC VENT CALCUL
10. PAINTED WOOD SIDING - TYPE 1 - WOOD PLANK - TYPE 2 - CEDAR SDC-405-405
11. 2Ø SHROTT FROM PANGLOSS SHANK
12. RES TRIM OR EXPOSED AND FINISHED STRUCTURAL BEAM SEE ELEV.
13. STREGG OVER FOAM TRIM
14. WOOD CORNER TRIM - 1Ø-405
15. LINE OF CEILING
16. FRAMES OF ARCHITECTURAL PROJECTION
17. LINE OF ROOF ABOVE
18. SHOP BUILT ALL DETAIL - PROVIDE SHOP DRAWINGS FOR SPEC.
19. 6L ROSETT
20. ROOD OR VENT SWITCHES NON ACTIVE /
21. ROOD CORREL - SEE ELEV / DETAILS
22. STREGG REGISS
23. FINISH GYPS OVER FOAM TRIM. REFER TO DETAIL
24. ROOD OUTLOOKER
25. SECTIONAL GARAGE DOOR
26. 1/4" x 1/4" 6L SCHEDULE AND LOWRDED ATTIC VENT
27. 1/4" x 1/4" STREGG REGISS
28. TEMPLER BLASS
29. 2-2Ø POST AND BEAM STRUCTURE - SEE STRUCTURAL AND ARCHITECTURAL DETAILS

PRELIMINARY DESIGN SET-2 B-07-1B



KNITTER PARTNERS INTERNATIONAL, INC.
 architecture & planning

1401 DOVE ST. SUITE 240
 NEWPORT BEACH, CA 92660
 PHONE: (949) 752-1177
 FAX: (949) 752-0151
 WWW.KNITTER.COM

© KNITTER PARTNERS INTERNATIONAL
 ALL RIGHTS RESERVED 2010
 THIS DOCUMENT IS THE PROPERTY AND COPYRIGHT OF
 KNITTER PARTNERS INTERNATIONAL, INC. AND SHALL NOT BE
 REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY
 MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING,
 RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL
 SYSTEMS WITHOUT THE WRITTEN PERMISSION OF KNITTER
 PARTNERS INTERNATIONAL, INC.

NO.	DATE	REVISION
△	8-07-18	planning
△		
△		
△		

BILLINGTON RESIDENCE
A LIVING SPACE ADDITION AND CUSTOM REMODEL
 2600 B 18TH STREET,
 COSTA MESA, CA.



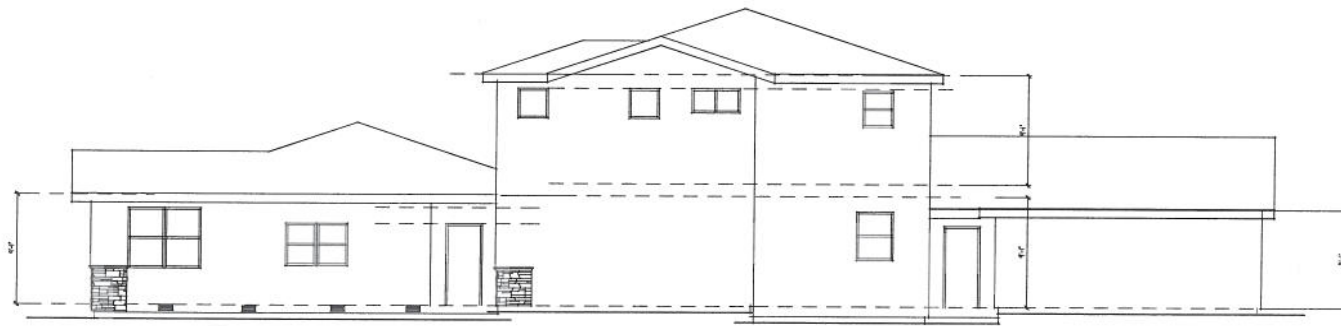
PROJECT INFO
REMODEL
 JOB NUMBER **18001**
 PROJECT MGR. **GHP MELTON**
 DRAWN BY **554P**

SHEET TITLE
REAR AND RIGHT ELEVATIONS

SHEET NUMBER
A-6



REAR ELEVATION



RIGHT SIDE

2ND FLOOR WINDOW PLACEMENT
 WINDOWS AT SECOND FLOOR ARE LOCATED IN AN AREA THAT OVERLOOKS NEIGHBORING ROOFS AND OPEN AREAS CARE HAS BEEN TAKEN TO INSURE PRIVACY OF ALL PROPERTIES CONCERNED

BUILDING HEIGHT
 CITY OF COSTA MESA ALLOWS A MAXIMUM OF 27' TOTAL BUILDING HEIGHT.
 PROPOSED BUILDING HAS A PLATE HEIGHT ON EACH FLOOR OF 6'-0"
 FLOOR JOISTS ARE 12"Ø
 FUR SITS ASSIGNED TO BE 24"
 ROOF JOISTS ASSIGNED TO BE 24" (7'-0")
 ROOF SITS ASSIGNED 12"
 ROOF MATERIAL ASSIGNED 3/4"
 6'-0" x 6'-0" x 12'-0" x 24" 12'-0" x 12'-0" x 24" x 300
 12" x 12"Ø ASSIGNED 12'-0"
25.75' MAX FROM F.F.

ELEVATION NOTES

1. 18" STGGO- OWNER TO SPECIFY FROM REFER TO GENERAL NOTES
2. CONTINGAS ALL STGGO SCHEDULE REFER TO DETAIL
3. TYPE "B" VENT FOR GAS APPLIANCE FIREPLACE
4. #1 SHINGLE AND FLASHING
5. ELDORADO 3000C W/RAIN FRO P/1-405
6. #1 FLASHING
7. 30 YEAR GWP DRINKLE- GLASS "A" RATED ROOF MATERIAL REFER TO ROOF NOTES
8. STGGO SYPPE OF METAL LATH OF BUILDING PAPER
9. ATTIC VENT REFER TO ATTIC VENT CALLOUT
10. PAINTED HARDE BOARD- TYPE 1 HARDE PLANK- TYPE 3- CEDAR 300-400-405
11. 2x6 SHEATH FROM PANGUIN BARGE
12. RED TRIM OR EXPOSED AND FINISHED STRUCTURAL BEAM SEE ELEV.
13. STGGO OVER FOAM TRIM
14. HARDE CORNER TRIM- 12x4-25
15. LINE OF CEILING
16. TRIMED OUT ARCHITECTURAL PROJECTION
17. LINE OF ROOF ABOVE
18. SHOP SILL- ALL DETAIL- PROVIDE SHOP DRAWINGS FOR SPEC.
19. #1 ROULET
20. ROOF OR VENT SHATTERS (NON ACTIVE)
21. ROOF CORREL- SEE ELEV/ DETAILS
22. STGGO RESIN
23. FINISH GWT OVER FOAM TRIM REFER TO DETAIL
24. ROOF OUT-CORNER
25. SECTIONAL GARAGE DOOR
26. 1/2" x 4" #1 SHARDED AND LAMBERED ATTIC VENT
27. 4" x 10" STGGO RESIN
28. TRIMMED GLASS
29. 2x12x10 POST AND BEAM STRUCTURE- SEE STRUCTURAL AND ARCHITECTURAL DETAILS

PRELIMINARY DESIGN SET-2 3-07-13



KNITTER PARTNERS INTERNATIONAL, INC.
 architecture & planning

1401 DOVE ST. SUITE 240
 NEWPORT BEACH, CA 92660
 PHONE: (949) 752-1177
 FAX: (949) 752-0151
 WWW.KNITTER.COM

© KNITTER PARTNERS INTERNATIONAL
 ALL RIGHTS RESERVED 2010

THIS DOCUMENT IS THE PROPERTY AND COPYRIGHT OF KNITTER PARTNERS INTERNATIONAL, INC. AND SHALL NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM.

NO.	DATE	REVISION
1	3-07-13	planning

BILLINGTON RESIDENCE
A LIVING SPACE ADDITION AND CUSTOM REMODEL
 2600 B. 18TH STREET,
 COSTA MESA, CA.



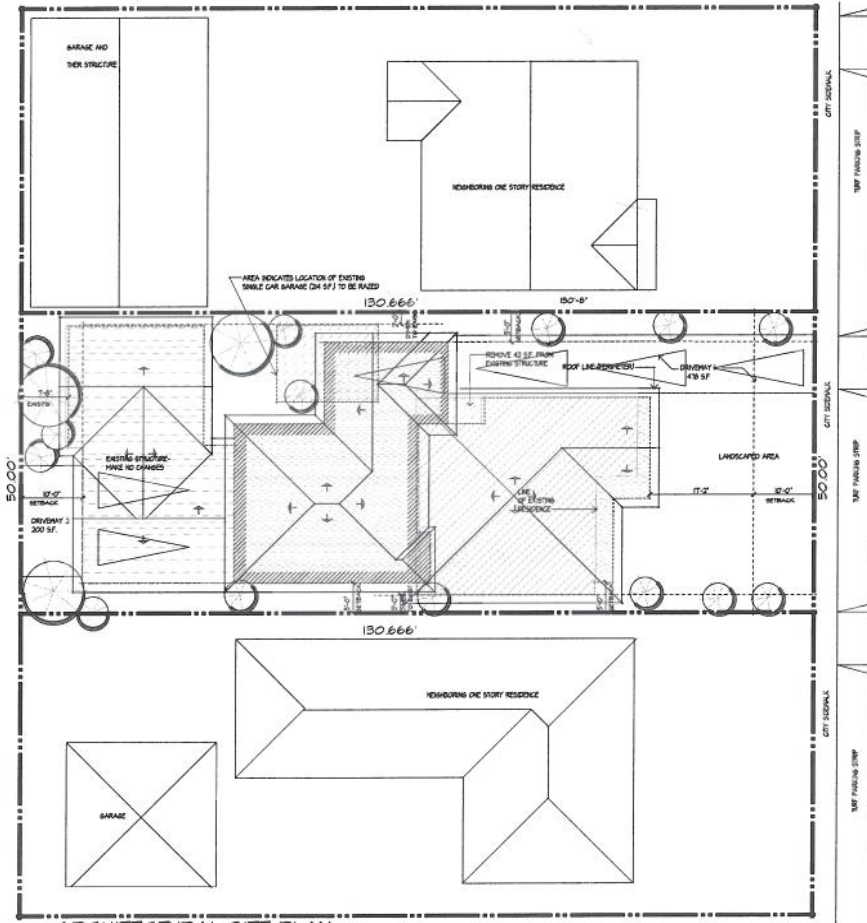
PROJECT INFO
REMODEL
 JOB NUMBER **13001**
 PROJECT MGR. **GUY MELTON**
 DRAWN BY **STMT**

SHEET TITLE
REAR AND RIGHT ELEVATIONS

SHEET NUMBER
A-7

PLOT TIME: 1/1/2013 10:00 AM

LOT 166 PART 10/10



ARCHITECTURAL SITE PLAN
SCALE: 1/8" = 1'-0"

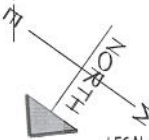
NOTE:
EXISTING SEWER LATERAL TO BE CHANGED AND A CLEAN-OUT INSTALLED AS SHOWN ON PLAN LINE TO COMPLY WITH CITY STANDARDS. ANY OF THE FOLLOWING OCCUR, PROVIDE PUBLIC WORKS DIVISIONS DETAIL ON DRAWING.
A. ALTERATION TO THE BUILDING SEWER IS DONE.
B. ADDITIONAL PLUMBING FIXTURES REQUIRE INCREASES IN SIZE OF BUILDING SEWER LINES.
C. WHEN IT IS FOUND THAT THE BUILDING SEWER IS INSTALLED IN AN ILLEGAL OR INADEQUATE MANNER.

NOTE:
DISTANCE FROM FACE OF THE FOUNDATION TO PROPERTY LINE TO BE 30" MINUS RETRACK PLUS MULL FINISH THICKNESS (MIN)

LEGEND

- EXISTING AREA TO REMAIN
- EXISTING AREA TO BE REMOVED
- REMODELED AREA
- NEW SQUARE FOOTAGE

AN APPROVED ENCROACHMENT PERMIT IS REQUIRED FOR ALL WORK ACTIVITIES WITHIN THE PUBLIC RIGHT OF WAY.
A CITY ENCROACHMENT AGREEMENT IS REQUIRED FOR ALL NON-STANDARD IMPROVEMENTS WITHIN THE PUBLIC RIGHT OF WAY.
NOTE:
A PUBLIC WORKS DEPARTMENT ENCROACHMENT PERMIT IN SPECIFICATION IS REQUIRED BEFORE THE BUILDING DEPARTMENT FINAL CAN BE ISSUED. AT THE TIME OF PUBLIC WORKS DEPARTMENT INSPECTION IF ANY OF THE EXISTING PUBLIC IMPROVEMENTS IS DAMAGED, NEW CONCRETE SIDEWALK CURB AND INTERLOCK ALLEYS/PAVEMENT AND OTHER PUBLIC IMPROVEMENTS SHALL BE REQUIRED BY THE CITY AT THE TIME OF PRIVATE CONSTRUCTION COMPLETION AND PAID FOR BY THE OWNER. SAID DETERMINATION AND THE EXTENT OF THE REPAIR WORK SHALL BE MADE AT THE DISCRETION OF THE PUBLIC WORKS INSPECTOR.



LEGAL DESCRIPTION:

LOT NUMBER: TBD
TRACT NUMBER: TBD
A.P.M.: 117 211 00
OWNER: BRAD AND TAMMY BELLINGTON
ADDRESS: 260 E. 18TH STREET, COSTA MESA, CALIFORNIA
TEL.: 949-432-0644

LOT COVERAGE:

TOTAL LOT SIZE:	6633 ± S.F.
ALLOWABLE LOT COVERAGE:	80% - 3204 S.F.
TOTAL BUILDING FOOTPRINT:	-3204 S.F.
† INCLUDES NEW BUILT AND EXISTING TO REMAIN	
TOTAL DRIVEWAY 1:	-478 S.F.
TOTAL DRIVEWAY 2:	-200 S.F.
TOTAL LOT COVERAGE:	-3882 S.F.

REQUIRED OPEN SPACE:	40% - 2653 S.F.
OPEN SPACE PROVIDED:	40.6% - 2851 S.F.

PRELIMINARY DESIGN SET-2 3-07-13



KNITTER PARTNERS INTERNATIONAL, INC.
architecture & planning

1401 DOVE ST. SUITE 240
NEWPORT BEACH, CA 92660
PHONE: (949) 752-1177
FAX: (949) 752-0151
WWW.KNITTER.COM

© KNITTER PARTNERS INTERNATIONAL
ALL RIGHTS RESERVED 2010

THIS DOCUMENT IS THE PROPERTY AND COPYRIGHT OF KNITTER PARTNERS INTERNATIONAL, INC. AND SHALL NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM.

NO.	DATE	REVISION
1	8-07-13	planning

BILLINGTON RESIDENCE
A LIVING SPACE ADDITION AND CUSTOM REMODEL
260 E 18TH STREET,
COSTA MESA, CA.



PROJECT INFO
REMODEL
JOB NUMBER: 13001
PROJECT MGR: GUY HELTON
DRAWN BY: STMT

SHEET TITLE
ARCHITECTURAL SITE PLAN
SHEET NUMBER
SITE