



City of Costa Mesa

Inter Office Memorandum

TO: CITY COUNCIL AND PLANNING COMMISSION
CC: TOM HATCH, GARY ARMSTRONG, AND JERRY GUARRACINO
FROM: WILLA BOUWENS-KILLEEN, ZONING ADMINISTRATOR
DATE: JUNE 5, 2014
SUBJECT: ZONING ADMINISTRATOR DECISION(S)

A handwritten signature in blue ink, likely belonging to Willa Bouwens-Killeen, is written over the "FROM" and "DATE" lines of the memorandum.

This is to advise you of the following decision(s) made by the Zoning Administrator within the last week. The decision(s) will become final unless a member of the Planning Commission or City Council requests a review of the decision(s) or an interested party files an appeal by 5:00 p.m. on June 12, 2014. Project descriptions have been kept brief for this notice. As a result, there may be details to the project or conditions of approval that would be of interest to you in deciding whether to request a review of a decision. Please feel free to contact me by e-mail at willa.bouwens-killeen@costamesaca.gov if you have any questions or would like further details.

ZA-13-32 **375 BRISTOL STREET, SUITE 30**

Minor conditional use permit to establish a fitness studio in a 4,928 square foot tenant space within a commercial center, with a deviation from shared parking requirements due to offset hours of operation. The classes have a maximum of 5 to 12 students and two trainers (one hour classes) at 6:00 am, 9:00 am, 12:00 pm, 3:45 pm, 5:45 pm, 6:45 pm, and 7:45 pm, 7 days a week.

Approved, subject to conditions of approval.

Comments received: None.

ZA-14-16 **250 BRISTOL STREET**

Minor conditional use permit to remodel an existing drive-through restaurant (formerly Der Weinerschnitzel) into a Starbucks drive-through with extended operating hours of 4:00 a.m. to 12:00 a.m. within 200 feet of a residential zone.

Approved, subject to conditions of approval.

Comments received: None.

ZA-14-17 **3100 BRISTOL STREET**

Minor conditional use permit to modify an existing rooftop mounted antenna facility for Sprint Wireless to add 3 new panel antennas and related equipment behind the screen wall.

Approved, subject to conditions of approval.

Comments received: None.



CITY OF COSTA MESA

P.O. BOX 1200 • 77 FAIR DRIVE • CALIFORNIA 92628-1200

DEVELOPMENT SERVICES DEPARTMENT

June 5, 2014

Carter Grant
604 ½ Heliotrope Avenue
Corona Del Mar, CA 92625

**RE: ZONING APPLICATION ZA-13-32
MINOR CONDITIONAL USE PERMIT FOR A PHYSICAL FITNESS STUDIO
375 BRISTOL STREET SUITE 30, COSTA MESA**

Dear Mr. Grant:

City staff's review of your zoning application for the above-referenced project has been completed. The application, as described in the attached project description, has been approved, based on the findings and subject to the conditions of approval and code requirements (attached). The decision will become final at 5:00 p.m. on June 12, 2014, unless appealed by an affected party, including filing of the necessary application and payment of the appropriate fee, or called up for review by a member of the Planning Commission or City Council.

If you have any questions regarding this letter, please feel free to contact the project planner, Chelsea Crager, at (714) 754-5609, or at chelsea.crager@costamesaca.gov.

Sincerely,

WILLA BOUWENS-KILLEEN, AICP
Zoning Administrator

Attachments: Project Description and Analysis
Findings
Conditions of Approval, Code Requirements, and Special District Requirements
Business Description
Approved Conceptual Plans

cc: Engineering
Fire Protection Analyst
Building Safety Division

PROJECT DESCRIPTION

The property is located on Bristol Street near the 73 Freeway in the Autoplex commercial center. The site is in the PDC (Planned Development Commercial) zoning district, and has a General Plan land use designation of General Commercial. Physical on-site improvements include 37,557 square feet over three buildings with 181 parking spaces, landscaping along the street frontage, and two points of ingress/egress on Bristol Street. The site was developed under Planned Development Review PA-86-223.

The use will occupy a 4,298 square foot tenant space, located in the existing multi-tenant building. The tenant space consists of two offices, two bathrooms, storage areas, and a large open workout area. Based on the submitted floor plan, there is an entrance/exit door on the east side of the tenant space adjacent to the parking lot and a roll-up door on the west side of the tenant space.

The applicant requests approval of a minor conditional use permit (MCUP) to allow establishment of a physical fitness studio use and deviation from the shared parking requirements due to offset operating hours.

ANALYSIS

Noise

Noise impacts, other than the occasional dropping of equipment, are not anticipated. Offsetting the operating hours of the larger class sizes from the other businesses, small class sizes midday, as well as the existence of several auto repair uses on the property should minimize any noise impacts on surrounding uses.

Parking

The total on-site parking spaces provided for the entire property is 181 spaces. Applying the restaurant parking ratio to suites 10 and 40 (10 spaces per 1,000 square feet of building area for the first 3,000 square feet, and 12 spaces for each additional 1,000 square feet) and the commercial parking ratio to remaining building (4 spaces per 1,000 square feet of building area), the minimum number of required parking is 166 spaces. Based on this analysis, the site complies with the code required parking and, currently, there is an excess of 15 parking spaces.

The parking ratio for a physical fitness studio is 10 spaces per 1,000 square feet of floor area or 43 parking spaces for this studio. The applicant is requesting approval of a minor conditional use permit to deviate from shared parking requirements.

Proposed class times and maximum class sizes are summarized below, each with up to two trainers:

Class time	Maximum Participants
6:00 am	12
9:00 am	5
12:00 pm	5
3:45 pm	5
5:45 pm	12
6:45 pm	12
7:45 pm	12

Limiting the maximum class size will ensure that the parking demand for the studio does not exceed available parking at the center. During regular business hours (9:00 am-5:00 pm) the maximum class size will be limited to 5 participants to prevent conflict with neighboring businesses. Additionally, due to the limitation on class size, the maximum occupancy in the suite will be 14 people (2 trainers and 12 participants) during the early morning and evening classes, and 7 people (2 trainers and 5 participants) during the midday classes. Therefore, the limitation on class size creates less of a demand on the center's parking than if the suite were utilized as retail (4 spaces per 1,000 square feet of building area, or 17 spaces for this suite).

If parking shortages or other parking-related problems develop, the business operator will be required to institute appropriate operational measures necessary to minimize or eliminate the problem including, but not limited to, reducing the class sizes and/or operating hours of the business.

Additional Discussion

When visiting the site, staff noted an unpermitted wall sign. Per Code requirements, permits must be obtained for all permanent signs. This sign will be required to be permitted or removed. Staff also noted that the business has been operating prior to receiving planning approval or a business license. A business license must be obtained for the use to continue.

General Plan Consistency

The General Commercial General Plan land use designation is intended to permit a wide range of commercial uses to serve local and regional needs; this business fits within those types of uses. The maximum allowable FAR for moderate traffic generating uses (20 to 75 average daily trips per 1,000 square feet in commercial designations) is 0.30 in the General Commercial designation. This site area is 3.18 acres, resulting in a floor area ratio of 0.27, compatible with the General Commercial designation FAR.

The proposed use, as conditioned, is consistent with the Zoning Code and the City's

General Plan because, with the recommended conditions of approval, the physical fitness studio use should not adversely impact surrounding uses.

FINDINGS

- A. The information presented complies with Costa Mesa Municipal Code Section 13-29(g)(2) in that:
1. The proposed use is compatible and harmonious with developments in the same general area and would not be materially detrimental to other properties within the area. The proposed use will be limited to small classes during the day to minimize and noise and parking impacts on surrounding uses.
 2. Granting the minor conditional use permit will not be detrimental to the health, safety and general welfare of the public or otherwise injurious to property or improvements within the immediate neighborhood. The proposed use will be conditioned to have all training take place inside the tenant space.
 3. Granting the minor conditional use permit will not allow a use, density or intensity that is not in accordance with the General Plan designation and any applicable specific plan for the property. The proposed use does not increase the intensity of the use beyond what is allowed by the General Plan FAR requirements.
- B. The information presented complies with Costa Mesa Municipal Code Section 13-29(e) in that:
1. There will be a compatible and harmonious relationship between the proposed building and the site development, and use(s), and the building and site developments, and uses that exist or have been approved for the general neighborhood. The proposed fitness studio, with its small class sizes, is in a multi-tenant center with many auto repair uses, so noise impacts are not anticipated. Parking impacts will be avoided by conditioning the studio to operate with small class sizes.
 2. Safety and compatibility of the design of buildings, parking area, landscaping, luminaries, and other site features which may include functional aspects of the site development such as automobile and pedestrian circulation have been considered and will not be affected.
 3. The project complies with performance standards described elsewhere in this Zoning Code, and is conditioned to operate as described in this staff report.
 4. The structure is consistent with the General Plan in that it does not exceed to allowable intensity for the existing FAR at the site.

5. This zoning application is for a project-specific case and is not to be construed to be setting a precedent for future development.

- C. The project has been reviewed for compliance with the California Environmental Quality Act (CEQA), the CEQA Guidelines, and the City environmental procedures, and has been found to be exempt under Section 15301, Existing Facilities, of the CEQA Guidelines.
- D. The project is exempt from Chapter XII, Article 3, Transportation System Management, of Title 13 of the Costa Mesa Municipal Code.

CONDITIONS OF APPROVAL

- Plng. 1. The use shall be limited to the type of operation described in this staff report: small group fitness training. Any change in the operational characteristics including, but not limited to, type of service provided, number and size of classes, or time of classes will require approval of an amendment to the conditional use permit, subject to Planning Commission approval.
2. There shall be a minimum of 15 minutes between sessions to allow departing students to leave before arriving students.
3. All uses shall be conducted within the tenant space (underroof).
4. If parking shortages or other parking-related problems arise, the business operator shall institute appropriate operational measures necessary to minimize or eliminate the problem, including, but not limited to reducing the days and/or hours of the business.
5. The use shall be conducted, at all times, in a manner that will allow the quiet enjoyment of the surrounding neighborhood. The applicant and/or business owner shall institute appropriate security and operational measures are necessary to comply with this requirement.
6. The parking spaces shall remain unobstructed and available for customer and employee parking.
7. The applicant shall contact the Planning Division to arrange a Planning inspection of the site. This inspection is to confirm that the conditions of approval and code requirements have been satisfied.

CODE REQUIREMENTS

The following list of federal, state, and local laws applicable to the project has been compiled by staff for the applicant's reference. Any reference to "City" pertains to the City of Costa Mesa.

- Plng. 1. Approval of the zoning application is valid for one year from the effective date of this approval and will expire at the end of that period unless

applicant establishes the use by one of the following actions: 1) obtains building permits for the authorized construction and initiates construction; and/or 2) obtains a business license and/or legally establishes the business. If the applicant is unable to establish the use/obtain building permits within the one-year time period, the applicant may request an extension of time. The Planning Division must receive a written request for the time extension prior to the expiration of the zoning application.

2. Permits shall be obtained for all signs according to the provisions of the Costa Mesa Sign Ordinance.
- Bldg. 3. Comply with the requirements of the 2010 California Building Code, 2010 California Electrical code, 2010 California Mechanical code , 2010 California Plumbing code , 2010 California Green Building Standards Code (if applicable) and 2010 California Energy Code (or the applicable adopted, California Building code, California Electrical code, California Mechanical code California Plumbing Code, California Green Building Standards and California Energy Code at the time of plan submittal or permit issuance) and California Code of Regulations also known as the California Building Standards Code, as amended by the City of Costa Mesa.
- Bus. 4. All contractors and subcontractors must have valid business licenses to do
Lic. business in the City of Costa Mesa. Final inspections, final occupancy and utility releases will not be granted until all such licenses have been obtained.
5. Business license shall be obtained prior to the initiation the business.

SPECIAL DISTRICT REQUIREMENTS

The requirements of the following special districts are hereby forwarded to the applicant:

- Sani. 1. It is recommended that the applicant contact the Costa Mesa Sanitary District at 949.645.8400 for current district requirements.
2. Comply with the requirements of the California Food and Agriculture (CDFA) to determine if red imported fire ants exist on the property prior to any soil movement or excavation. Call CDFa at (714) 708-1910 for information.
- AQMD 3. Applicant shall contact the Air Quality Management District (800) 288-7664 for potential additional conditions of development or for additional permits required by AQMD.

Applicant Letter:

Mind Body Athletics is a fitness studio offering its members pre-scheduled, semi-private exercise classes. We are proposing to operate at 375 Bristol St, Suite 30. Our one-hour classes are scheduled at 6:00AM, 9:00AM, 12:00PM, 3:45PM, 5:45PM and 7:45PM. The studio is only open and available during the scheduled times, drop-ins are not allowed. All classes are capped at 12 members per class and we will have two trainers available per class time. Mind Body has been allocated 17 parking spaces in the retail complex so we will have ample parking for both the members and trainers.

Description of Justification:

Currently the retail center located at 375 Bristol is occupied by auto care facilities, a sandwich shop and a sushi restaurant. We believe Mind Body will further the diversity of the center and compliment the uses. Our hours of operation are largely outside normal business hours so our parking impacts to the existing tenants will be nominal at most. The other surrounding uses include the 73 Freeway, John Wayne Airport, a golf course and a small amount of residential units. We believe we will not impact these uses at all.

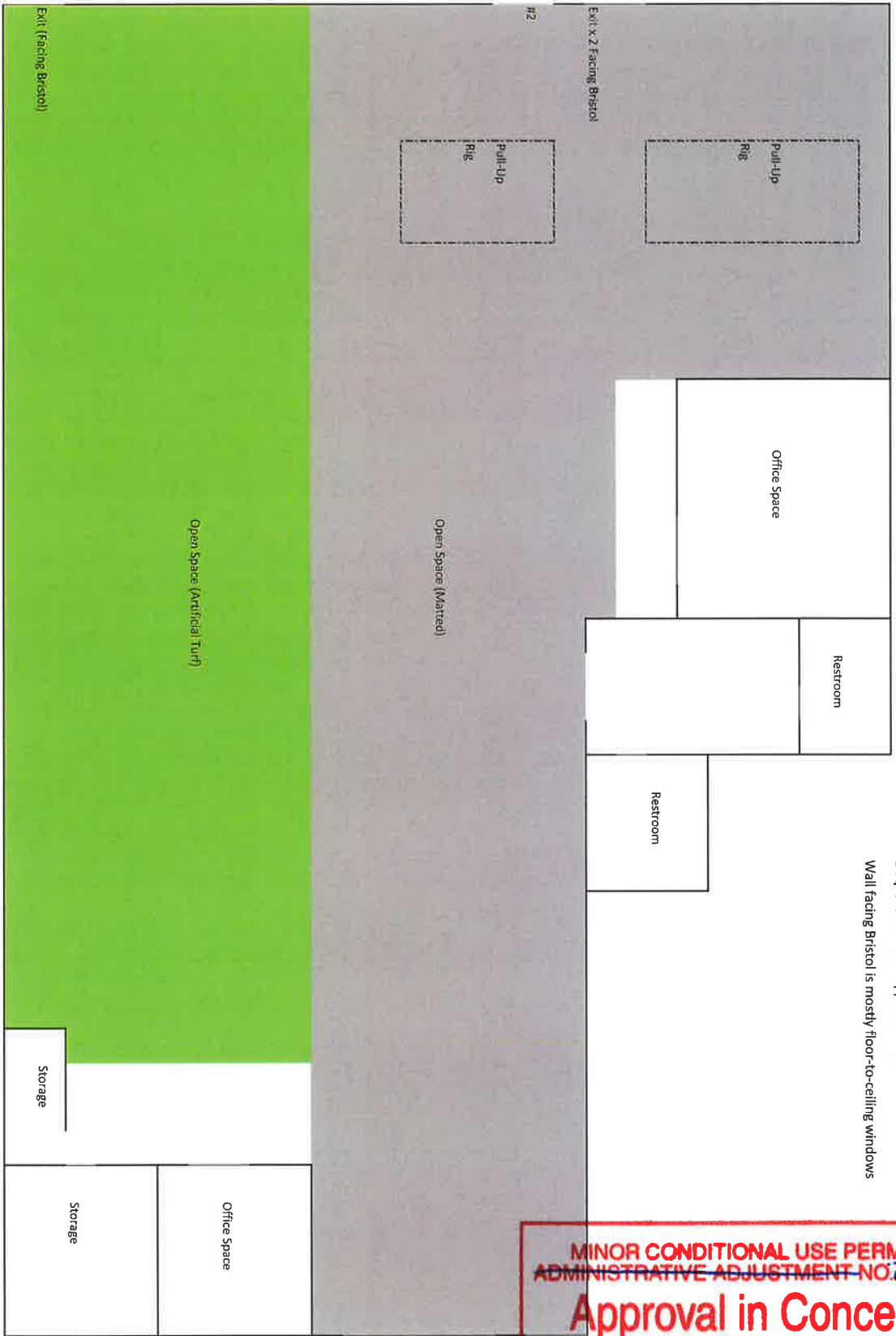
If you have any questions comments or concerns please feel free to reach out to me directly.

Carter Grant

425 802 9377

CLASSES AT 9a 12p AND 345p WILL BE CAPPED
AT 5 PARTICIPANTS

also 6:45pm 12 participants



**MINOR CONDITIONAL USE PERMIT/
 ADMINISTRATIVE ADJUSTMENT NO. ~~2A-13-32~~**

Approval in Concept

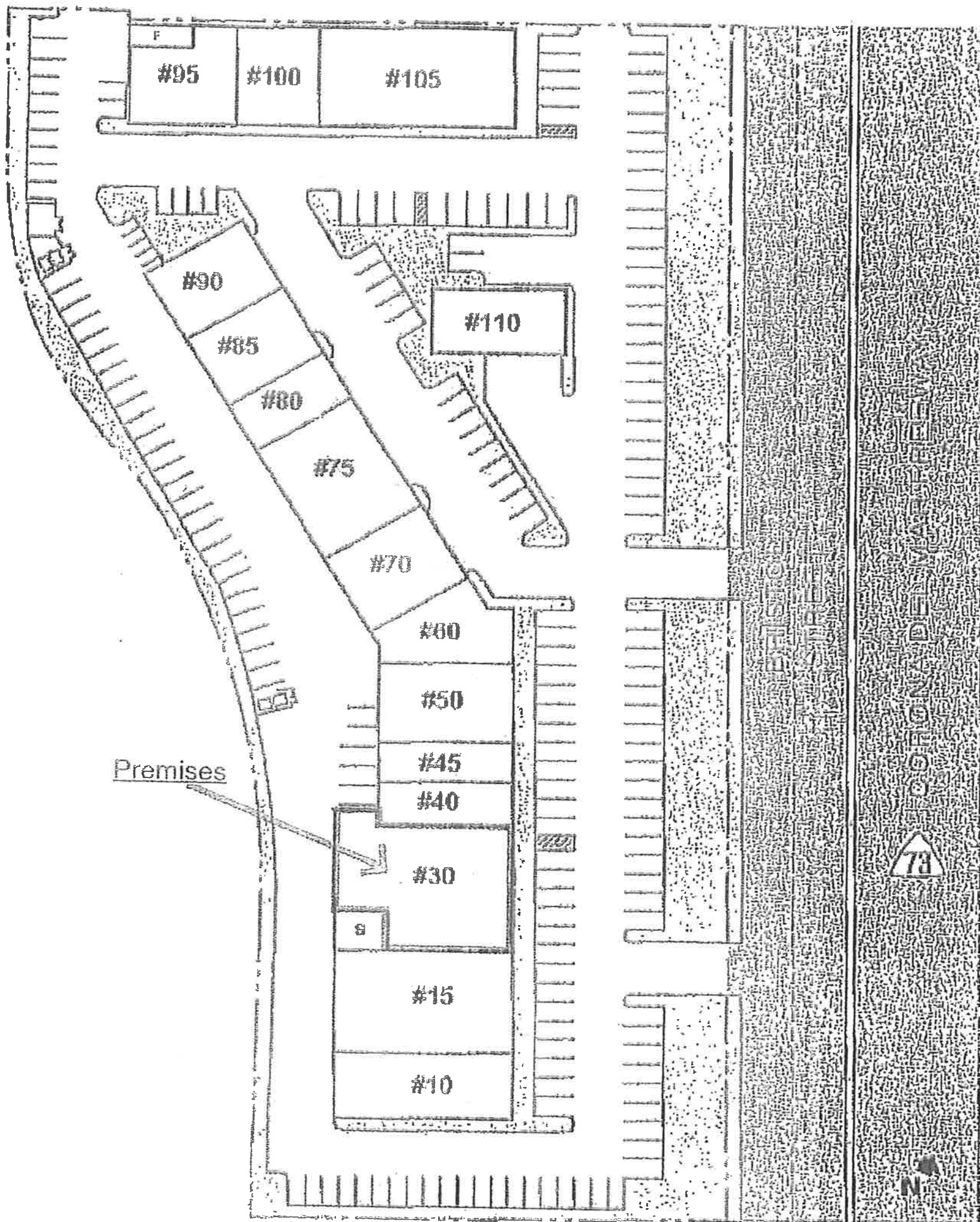
**SUBJECT TO CONDITIONS
 CITY OF COSTA MESA
 PLANNING DEPT.**

BY *Chelsea Crager* DATE *6/5/14*

BRISTOL AUTOPLEX

EXHIBIT "A"

SITE PLAN





CITY OF COSTA MESA

P.O. BOX 1200 • 77 FAIR DRIVE • CALIFORNIA 92628-1200

DEVELOPMENT SERVICES DEPARTMENT

June 5, 2014

Keith Glassman
1309 Post Avenue
Torrance, CA 90501

**RE: ZONING APPLICATION ZA-14-16
MINOR CONDITIONAL USE PERMIT TO REMODEL EXISTING DRIVE-
THROUGH RESTAURANT WITH EXTENDED OPERATING HOURS
250 BRISTOL STREET, COSTA MESA**

Dear Mr. Glassman:

City staff's review of your zoning application for the above-referenced project has been completed. The application, as described in the attached project description, has been approved, based on the findings and subject to the conditions of approval and code requirements (attached). The decision will become final at 5:00 p.m. on June 12, 2014, unless appealed by an affected party, including filing of the necessary application and payment of the appropriate fee, or called up for review by a member of the Planning Commission or City Council.

If you have any questions regarding this letter, please feel free to contact the project planner, Chelsea Crager, at (714) 754-5609, or at chelsea.crager@costamesaca.gov.

Sincerely,

WILLA BOUWENS-KILLEEN, AICP
Zoning Administrator

Attachments: Project Description and Analysis
 Findings
 Conditions of Approval, Code Requirements, and Special District
 Requirements
 Approved Conceptual Plans

cc: Engineering
 Fire Protection Analyst
 Building Safety Division

Donahue Schriber

ZA-14-16
June 5, 2014
Page 2 of 8

200 East Baker Suite 100
Costa Mesa, CA 92626

PROJECT DESCRIPTION

The property is located in the Bristol Village shopping center on the north side of Bristol Street near Redhill Avenue, and contains a 2,380 square-foot building (formerly a Der Wienerschnitzel) with 563 square feet of outdoor seating and 15 on-site parking spaces. The building has an existing 80-foot drive-through lane. The property is zoned C1 (Local Business) and has a General Plan land use designation of General Commercial.

Proposed Project

The applicant is requesting approval of a minor conditional use permit for a 1,926 square-foot Starbucks Coffee with 611 square feet of outdoor seating and drive-through service operating 4:00 a.m. to 12:00 a.m. daily. The applicant proposes lengthening the drive-through lane from 80 feet to 185 feet (minimum 160 feet required) and restriping the parking lot while maintaining a total of 15 parking spaces. The total area of the restaurant, including the outdoor seating area, is proposed to decrease by 406 square feet.

The property has shared parking with the surrounding shopping center, which provides 244 parking spaces while 233 parking spaces are required.

ANALYSIS

The proposed remodel of the existing drive-through restaurant will be an improvement to the current conditions in that the drive-way lane will be lengthened to 185 feet (minimum 160 feet required) and the floor area will be decreased. The proposed length of the drive-through lane will provide adequate vehicle queuing and circulation. The entrance to the drive-through lane will be from within the parking lot, preventing the vehicle queue from blocking traffic on Bristol Street. The drive-through exit will be near the front of the property, allowing vehicles to exit onto Bristol Street. The design of the queuing lane has been reviewed by the City's Transportation Services Division, and there are no concerns with the design or length of the lane.

The restaurant has proposed operating hours of 4:00 a.m. to 12:00 a.m. daily. Although the restaurant is located within 200 feet of a residential zone, this nearby residential property is buffered by Bristol Street which is approximately 100 feet in width. There are no anticipated noise impacts of the drive-through restaurant to surrounding uses.

The total area of the restaurant and outdoor patio area is proposed to be decreased by 406 square feet (2,943 square feet total existing; 2,537 square feet total proposed). Restaurant uses require 10 spaces per 1,000 square feet when under 3,000 square feet in area. At this ratio, the restaurant will require 25 parking spaces but is legal nonconforming with 15 spaces. Because the total floor area of the proposed restaurant

is decreasing, the use is not being increased or intensified so no additional parking is required.

The proposed remodel, as conditioned, is consistent with the Zoning Code and the City's General Plan. Specifically, with the recommended conditions of approval and the code requirements, the remodel is consistent with Community Design element Objectives CD-8A.1 "New and remodeled commercial structures and properties in Costa Mesa should be designed to reflect the City's architectural diversity, yet be compatible with nearby existing buildings' scale and character. As a condition of approval, commercial uses shall be required to include interesting roof lines, building shapes, and patterns of shade and shadow while demonstrating sensitivity to the contextual influences of the surrounding area and compatibility with surrounding neighborhoods" and CD-8A.2 "High quality commercial architectural style in Costa Mesa is meant to reinforce a positive sense of place and to respond to the geographical location and climate for the area."

FINDINGS

- A. The information presented complies with Costa Mesa Municipal Code Section 13-29(g)(2) in that:
1. The proposed use is compatible and harmonious with developments in the same general area, which include many other commercial uses and two other drive-through restaurants within the same shopping center. While the proposed development is within 200 feet of residentially zoned property, this property is separated by Bristol Street which is approximately 100 feet in width.
 2. Granting the minor conditional use permit will not be detrimental to the health, safety and general welfare of the public or other properties or improvements within the immediate vicinity because the vehicle queuing lane for the drive-through will be lengthened and will not block traffic on Bristol Street.
 3. Granting the minor conditional use permit will not allow a use, density or intensity that is not in accordance with the General Plan designation for the property because the use is decreasing in floor area and is compliant with the allowed floor area ratio for this use.
- B. The information presented complies with Costa Mesa Municipal Code Section 13-29(e) in that:
1. There will be a compatible and harmonious relationship between the proposed building and the site development, and use(s), and the building and site developments, and uses that exist or have been approved for the general neighborhood. The proposed drive-through is surrounded by similar commercial uses with the exception of residentially zoned properties to the west, which are

separated by Bristol Street.

2. Safety and compatibility of the design of buildings, parking area, landscaping, luminaries, and other site features which may include functional aspects of the site development such as automobile and pedestrian circulation have been considered. The project will not block traffic on Bristol Street because the vehicle queuing lane starts within the parking lot. The design of the drive through lane and circulation has been approved by the City's Transportation Services Division.

3. The project complies with performance standards described elsewhere in this Zoning Code. Specifically the project complies with commercial development standards including lot size, floor area ratio, and setbacks. The project has parking that is legal nonconforming. Additionally, the restaurant shares parking with the surrounding shopping center, which provides sufficient parking.

4. The structure is consistent with the General Plan in that it does not exceed to allowable intensity for the site. The project complies with Objectives CD-8A.1 and CD-8A.2 of the Community Design Element.

5. This zoning application is for a project-specific case and is not to be construed to be setting a precedent for future development.

C. The project has been reviewed for compliance with the California Environmental Quality Act (CEQA), the CEQA Guidelines, and the City environmental procedures, and has been found to be exempt under Section 15301, Existing Facilities, of the CEQA Guidelines.

D. The project is exempt from Chapter XII, Article 3, Transportation System Management, of Title 13 of the Costa Mesa Municipal Code.

CONDITIONS OF APPROVAL

- PIng.
1. The use shall be limited to the type of operation as described in the staff report and conditions of approval. Any change in the operational characteristics including, but not limited to, the hours of operation, shall require review by the Planning Division and may require an amendment subject to approval by the Zoning Administrator.
 2. Hours of operation shall be limited to 4:00 a.m. to 12:00 a.m. daily.
 3. If parking shortages or other parking-related problems arise, the business operator shall institute whatever reasonable operational measures necessary to minimize or eliminate the problem. These measures may include identifying select parking spaces for short-term parking and/or any other measures deemed appropriate by the Development Services Director.
 4. The conditions of approval, code requirements, and special district

- requirements of ZA-14-16 shall be blueprinted on the face of the site plan as part of the plan check submittal package.
5. The applicant shall contact the Planning Division to arrange a Planning inspection of the site prior to occupancy permit. This inspection is to confirm that the conditions of approval and code requirements have been satisfied.
 6. All on-site utility services shall be installed underground or with the ability to be underground in the future.
 7. The use shall be conducted, at all times, in a manner that will allow the quiet enjoyment of the surrounding neighborhood. The applicant and/or business owner shall institute whatever reasonable security and operational measures are necessary to comply with this requirement.
 8. No modification(s) of the approved building elevations including, but not limited to, changes that increase the building height, removal of building articulation, or a change in the finish material(s), shall be made during construction without prior Planning Division written approval.
 9. Transformers, backflow preventers, and any other approved above-ground utility improvement shall be located outside of the required street setback area and shall be screened from view under direction of Planning staff. Any deviation from this requirement shall be subject to review and approval of the Development Services Director.
 10. The existing drive-through directional sign shall be removed and replaced with new and accurate directional signs.
 11. Drive-through menus and speakers shall not be visible or audible from off-site.

CODE REQUIREMENTS

The following list of federal, state, and local laws applicable to the project has been compiled by staff for the applicant's reference. Any reference to "City" pertains to the City of Costa Mesa.

- Plng.
1. Approval of the planning application is valid for one year from the effective date of this approval and will expire at the end of that period unless applicant establishes the use by obtaining building permits for the authorized construction and initiates construction. If the applicant is unable to obtain building permits within the one-year time period, the applicant may request an extension of time. The Planning Division must receive a written request for the time extension prior to the expiration of the planning application.
 2. All construction-related activity shall be limited to between the hours of 7 a.m. and 7 p.m., Monday through Friday, and 9 a.m. to 6 p.m. Saturday. Construction is prohibited on Sundays and federal holidays. Exceptions may be made for activities that will not generate noise audible from off-site, such as painting and other quiet interior work.
 3. Any new mechanical equipment such as air-conditioning equipment and

duct work shall be screened from view in a manner approved by the Planning Division.

4. Permits shall be obtained for all signs according to the provisions of the Costa Mesa Sign Ordinance.
5. Use shall comply with all requirements of Articles 3 and 9, Chapter V, Title 13 of the Costa Mesa Municipal Code relating to commercial development standards.
6. Use shall comply with all requirements of Sections 13-49 and 13-50 of the Costa Mesa Municipal Code relating to development standards for establishments within 200 feet of residentially zoned property and development standards for drive-through operations.
7. Street address shall be visible from the public street and shall be displayed on the freestanding sign. If there is no freestanding sign, the street address may be displayed on the fascia adjacent to the main entrance or on another prominent location. Numerals shall be a minimum 12 inches in height with not less than three-fourth inch stroke and shall contrast sharply with the background.
8. Parking stalls shall be double-striped in accordance with City standards.
9. Two sets of detailed landscape and irrigation plans, which meet the requirements set forth in Costa Mesa Municipal Code Sections 13-101 through 13-108, shall be required as part of the project plan check review and approval process. Plans shall be forwarded to the Planning Division for final approval prior to issuance of building permits.
10. Landscaping and irrigation shall be installed in accordance with the approved plans prior to final inspection or occupancy clearance.
11. Two sets of landscape and irrigation plans, approved by the Planning Division, shall be attached to two of the final building plan sets.
12. The freestanding sign on the northwest side of the property shall have the post and any words removed or replaced with a Starbucks sign.
- Bldg. 13. Comply with the requirements of the 2013 California Building Code, 2013 California Electrical Code, 2013 California Mechanical Code, 2013 California Plumbing Code, 2013 California Green Building Standards Code and 2013 California Energy Code (or the applicable adopted California Building Code, California Residential Code, California Electrical Code, California Mechanical Code, California Plumbing Code, California Green Building Standards and California Energy Code at the time of plan submittal or permit issuance) and California Code of Regulations also known as the California Building Standards Code, as amended by the City of Costa Mesa.
14. Provide a plan to the County of Orange Health Department for review and approval.
- Bus. 15. All contractors and subcontractors must have valid business licenses to do
Lic. business in the City of Costa Mesa. Final inspections will not be granted until all such licenses have been obtained.
16. A business license must be obtained prior to the initiation of the business.

SPECIAL DISTRICT REQUIREMENTS

The requirements of the following special districts are hereby forwarded to the applicant:

- Sani. 1. It is recommended that the applicant contact the Costa Mesa Sanitary District at 949.645.8400 for current district requirements.
- 2. Comply with the requirements of the California Food and Agriculture (CDFA) to determine if red imported fire ants exist on the property prior to any soil movement or excavation. Call CDFA at (714) 708-1910 for information.
- AQMD 3. Applicant shall contact the Air Quality Management District (800) 288-7664 for potential additional conditions of development or for additional permits required by AQMD.

PLANNING APPLICATION SUMMARY

Location: 250 Bristol Street Permit No.: ZA-14-16

Request: Remodel existing drive-through restaurant into a 2,537 square foot Starbucks drive-through with outdoor patio

SUBJECT PROPERTY:

Zone: C1
 General Plan: General Commercial
 Lot Dimensions: Irregular
 Lot Area: 20,999 SF
 Existing Development: 2,953 SF drive-through restaurant with outdoor patio

SURROUNDING PROPERTY:

North: C2, Commercial Uses
 South: C1, Commercial Uses
 East: C1, Commercial Uses
 West: Across Bristol Street, R2-MD, Residential Uses

DEVELOPMENT STANDARD COMPARISON

<u>Development Standard</u>	<u>Code Requirement</u>	<u>Proposed/Provided</u>
<u>Lot size:</u>		
Lot Area	12,000 SF	20,999 SF
Floor Area Ratio (FAR)	0.20	0.12
Building Height	2 Stories/30 FT	1 Story/16 FT
<u>Setbacks (Building):</u>		
Front (Bristol Street)	20 FT	30.4 FT
Side (left/right)	15 FT one side	13.25 FT/26.1 FT
Rear	0 FT	92.1 FT
Parking	25	15 ¹
Drive-through lane length	160 FT minimum	185 FT

Final Action: Approved with conditions
 Environmental Determination: Exempt

1. Legal nonconforming

ABBREVIATIONS

3PL	THIRD PARTY LOGISTICS	MAX	MAXIMUM
A/C	AIR CONDITIONING	MEP	MECHANICAL, ELECTRICAL, AND PLUMBING
ACT	ACOUSTICAL CEILING TILE	MFR	MANUFACTURER
ADJ	ADJUSTABLE	MIN	MINIMUM
AFF	ABOVE FINISHED FLOOR	NIC	NOT IN CONTRACT
AMP	AMPERE	NL	NIGHT LIGHT
ARCH	ARCHITECT	NTS	NOT TO SCALE
BOH	BACK OF HOUSE	OC	ON CENTER
B.O.	BOTTOM OF	OD	OUTSIDE DIAMETER
CAB	CABINET	OF/CI	OWNER FURNISHED / CONTRACTOR INSTALLED
CL	CENTER LINE	OF/IO	OWNER FURNISHED / OWNER INSTALLED
CLG	CEILING	PD	PRODUCTION DESIGNER
CM	CONSTRUCTION MANAGER	PLC	PLACE
CTR	CENTER	PM	PROJECT MANAGER
CX	COMMISSIONING	R	RADIUS
CXA	COMMISSIONING AGENT	RCM	RENOVATIONS CONSTRUCTION MANAGER
DEG	DEGREE	REF	REFERENCE
DET	DETAIL	REQ(D)	REQUIRED
DIA	DIAMETER	REV	REVISION
DIM	DIMENSION	RND	ROUND
DM	DESIGN MANAGER	SB	STARBUCKS SOLID CORE
DN	DOWN	SC	SQUARE FEET
EA	EACH	SHT	SHEET
EL	ELEVATION	SIM	SIMILAR
EQ	EQUAL	SPEC	SPECIFICATION
EXIST	EXISTING	SQ	SQUARE
EXT	EXTERIOR	TEMP	TEMPORARY
FF&E	FURNITURE, FIXTURE, AND EQUIPMENT	T.O.	TOP OF
FIO	FURNISHED AND INSTALLED BY OWNER	TYP	TYPICAL
FLR	FLOOR	UNO	UNLESS OTHERWISE NOTED
FOH	FRONT OF HOUSE	VD	VENDOR DIRECT
FOS	FACE OF STUD	VERT	VERTICAL
FT	FOOT/FEET	VIF	VERIFY IN FIELD
G	GROUND		
GC	GENERAL CONTRACTOR		
HC	HOLLOW CORE		
HDW	HARDWARE		
HM	HOLLOW METAL		
HORIZ	HORIZONTAL		
HR	HOUR		
HT	HEIGHT		
HVAC	HEATING, VENTILATING, AND AIR CONDITIONING		
ID	INSIDE DIAMETER		
LL	LANDLORD		

GENERAL NOTES

- GENERAL CONTRACTOR SHALL VISIT THE SITE, REVIEW THE BUILDING SHELL DRAWINGS AS SUBMITTED BY THE LANDLORD OR STARBUCKS SITE SURVEYOR, AND BECOME THOROUGHLY FAMILIAR WITH THE SITE CONDITIONS PRIOR TO BIDDING OR CONSTRUCTION.
- GENERAL CONTRACTOR SHALL CONSULT WITH STARBUCKS CONSTRUCTION MANAGER TO RESOLVE ANY CHANGES, OMISSIONS, OR PLAN DISCREPANCIES PRIOR TO BIDDING OR CONSTRUCTION.
- ALL WORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH LOCAL, COUNTY, STATE, AND FEDERAL CODES AND ORDINANCES.
- GENERAL CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES.
- GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS, INCLUDING CLEARANCES REQUIRED BY OTHER TRADES, AND NOTIFY STARBUCKS CONSTRUCTION MANAGER OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH THE WORK. ALL DIMENSIONS ARE TO THE FACE OF THE FINISHED SURFACE (UNO). ALL DIMENSIONS TO BE TAKEN FROM DESIGNATED DATUM POINT. DO NOT SCALE DRAWINGS.
- GENERAL CONTRACTOR SHALL PATCH AND REPAIR ALL EXISTING WALLS, FLOORS, CEILING, OR OTHER SURFACES IDENTIFIED TO REMAIN THAT MAY BECOME DAMAGED DURING THE COURSE OF THE WORK.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMITS FOR FIRE PROTECTION, PLUMBING, MECHANICAL, AND ELECTRICAL SYSTEMS PRIOR TO INSTALLATION OF SUCH SYSTEMS.
- GENERAL CONTRACTOR SHALL RETAIN ONE SET OF THE PLANS TO NOTE AND DOCUMENT ALL CHANGES DURING CONSTRUCTION. THIS SET SHALL BE A PART OF THE GENERAL CONTRACTOR'S "STORE CLOSE-OUT PACKAGE" AS DESCRIBED IN THE CONSTRUCTION MANAGEMENT AGREEMENT.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING DELIVERY OF MATERIALS FROM STARBUCKS CONTRACTED THIRD PARTY LOGISTICS DISTRIBUTION SERVICES AND VENDOR DIRECT SHIPMENTS. REFER TO CONSTRUCTION MANAGEMENT AGREEMENT FOR METHODS AND LEAD TIMES.
- RESPONSIBILITY FOR SUPPLY AND DELIVERY OF MATERIALS AND EQUIPMENT IS IDENTIFIED IN THE DRAWING SCHEDULE SHEETS UNDER THE COLUMN LABELED "RESPONSIBILITY".
- FOR THE PURPOSE OF THE DOCUMENTS, TO "INSTALL", SHALL MEAN TO PROVIDE ALL FASTENERS, MISCELLANEOUS HARDWARE, BLOCKING, ELECTRICAL CONNECTIONS, PLUMBING CONNECTIONS, AND OTHER ITEMS REQUIRED FOR A COMPLETE AND OPERATION INSTALLATION (UNO).
- ALL ITEM SUBSTITUTIONS MUST BE APPROVED BY THE STARBUCKS DESIGN MANAGER.
- REFER TO ITEM CUTSHEETS FOR ADDITIONAL INFORMATION.

SITE & OCCUPANCY

ODE AUTHORITIES: CITY OF COSTA MESA

BUILDING CODE: 2013 CALIFORNIA BUILDING CODE
2013 CALIFORNIA GREEN BUILDING STANDARDS CODE

PLUMBING CODE: 2013 CALIFORNIA PLUMBING CODE

MECHANICAL CODE: 2013 CALIFORNIA MECHANICAL CODE

ELECTRICAL CODE: 2013 CALIFORNIA ELECTRICAL CODE

FIRE CODE: 2013 CALIFORNIA FIRE CODE

ENERGY CODE: 2010 CALIFORNIA ENERGY CODE

ACCESSIBILITY CODE: 2013 CALIFORNIA BUILDING CODE (CHAPTER 11B)

PROJECT DESCRIPTION: TENANT IMPROVEMENT FOR A SINGLE-STORY FREE-STANDING BUILDING WITH DRIVE THRU.

ZONING: C1
TYPE OF USE: RETAIL SALES & SERVICES
TYPE OF OCCUPANCY: A-2 RETAIL / RESTAURANT
TYPE OF CONSTRUCTION: TYPE V-B NON SPRINKLERED

OCCUPANCY LOAD:

LOOSE SEATING	556 S.F. / 15	= 37
SALES	184 S.F. / 30	= 6
SERVICE (BAR)	425 S.F. / 200	= 2
WORKROOM	423 S.F. / 300	= 2
STORAGE	100 S.F. / 300	= 1
RESTROOMS	212 S.F.	= N/A
TOTAL OCCUPANTS		= 48

BUILDING AREA: 1,926 S.F.
PATIO AREA: 611 S.F.
TOTAL LEASABLE AREA: 2,943 S.F.

INTERIOR SEATING: 36 SEATS
EXTERIOR SEATING: 19 SEATS
TOTAL SEATING: 55 SEATS

SCOPE OF WORK

REMODEL OF EXISTING 2,200 S.F. "WIENERSCHNITZEL" RESTAURANT INTO NEW STARBUCKS COFFEE WITH DRIVE THRU LANE REALIGNMENT AND NEW EQUIPMENT.

NOTE:
EXTERIOR SIGNAGE UNDER SEPARATE PERMIT.

PROJECT CONTACTS

MAILING ADDRESS: STARBUCKS COFFEE COMPANY
2401 UTAH AVENUE SOUTH
MS STOP: S-SD10
SEATTLE, WASHINGTON 98134
P: (206) 318-1575

DESIGN MANAGER: JONATHAN ALPERT
STARBUCKS COFFEE COMPANY
17700 NEVHOPE STREET #200
FOUNTAIN VALLEY, CA 92708
P: (714) 424-1900 EXT. 2240
F: (714) 424-1920

CONSTRUCTION MANAGER: STEVE WOLFESTIEG
STARBUCKS COFFEE COMPANY
17700 NEVHOPE ST. #200
FOUNTAIN VALLEY, CA 92708
P: (714) 424-1900
F: (714) 424-1920

LANDLORD: DONAHUE SCRIBER
CONTACT: CHRIS ELLIOT
200 E BAKER SUITE 100
COSTA MESA, CA 92626
P: (714) 966-6483

ARCHITECT OF RECORD: STEVEN LANGFORD ARCHITECTS
18022 COWAN SUITE 285
IRVINE, CA 92614
P: (949) 833-9066
F: (949) 833-9159

MEP CONSULTANT OF RECORD: CRO ENGINEERS GROUP, INC.
18652 FLORIDA ST. SUITE 100
HUNTINGTON BEACH, CA 92648
P: (714) 847-7100
F: (714) 841-6000

SIGN PERMIT & INSTALLATION COMPANY: SUPERIOR ELECTRICAL ADVERTIZING
1700 WEST ANAHEIM ST.
LONG BEACH, CA 90813
P: (562) 495-3808
F: (562) 437-3284

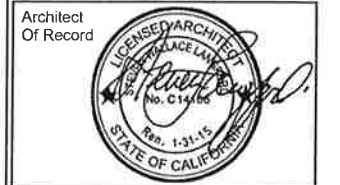
SHEET INDEX

SHEET	SHEET TITLE
GENERAL	GENERAL INFORMATION
G-001	GENERAL INFORMATION
G-002	SITE PLAN
G-003	COMPOSITE PLAN
G-004	ACCESSIBILITY REQUIREMENTS
G-005	SITE DETAILS
G-010	DESIGN SPECIFICATIONS
G-011	DESIGN SPECIFICATIONS
G-012	DESIGN SPECIFICATIONS
G-013	DESIGN SPECIFICATIONS
INTERIORS	DEMOLITION PLAN
I-101	FLOOR PLAN
I-110	PENETRATION PLAN
I-111	FF AND E PLAN
I-112	CASEWORK PLAN
I-113	FLOOR FINISH PLAN
I-114	WALL FINISH PLAN
I-115	REFLECTED CEILING PLAN
I-121	LIGHTING PLAN
I-122	ROOF PLAN
I-123	EXTERIOR ELEVATIONS
I-201	EXTERIOR ELEVATIONS
I-211	INTERIOR ELEVATIONS
I-212	ENGINE ELEVATIONS
I-300	WALL SECTIONS
I-411	ENLARGED RESTROOM PLAN AND ELEVATIONS
I-412	ENLARGED ENGINE PLANS
I-500	EXTERIOR DETAILS
I-501	EXTERIOR DETAILS
I-502	CONSTRUCTION DETAILS
I-503	CONSTRUCTION DETAILS
I-600	DOOR / WINDOW SCHEDULE & DETAILS
I-601	SCHEDULES
I-602	SCHEDULES
PLUMBING	SCHEDULES
P1.0	GENERAL NOTES
P1.1	DETAILS
P1.2	GENERAL NOTES
P2.0	WASTE & VENT PIPING PLAN
P2.1	WATER PIPING PLAN
P2.2	GAS, CONDENSATE AND STORM DRAIN PIPING PLAN
P3.0	ROOF PLAN
MECHANICAL	MECHANICAL SCHEDULES & NOTES
M1.0	MECHANICAL FLOOR PLAN
M2.0	MECHANICAL FLOOR PLAN
M3.0	ROOF PLAN
M4.0	TITLE 24
M4.1	TITLE 24
M4.2	TITLE 24
ELECTRICAL	SYMBOLS LIST
E1.0	FIXTURE SCHEDULES
E1.1	SITE PLAN
E2.0	LIGHTING PLAN
E3.0	POWER PLAN
E4.0	ROOF PLAN
E5.0	SINGLE LINE DIAGRAM AND PANEL SCHEDULES
E5.1	DETAILS
E6.0	TITLE 24
E7.0	GENERAL SPECIFICATIONS
STRUCTURAL	GENERAL NOTES AND SPECIFICATIONS
S1	FOUNDATION PLAN
S2	FOUNDATION PLAN
S3	ROOF FRAMING PLAN
S4	DETAILS
S5	DETAILS
S6	DETAILS
CIVIL	CUP PRELIMINARY GRADING PLAN
C-01	STORM WATER RUNOFF MANAGEMENT PLAN
C-02	STORM WATER RUNOFF MANAGEMENT PLAN
C-03	PATH OF TRAVEL EXHIBIT



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Rev	Date	By	Description
1	5/01/14		1ST PLAN CHECK CORRECTION

SYMBOL LEGEND

	NORTH ARROW		PAINT TAG
	EXTERIOR ELEVATION		DESIGN ID TAG
	INTERIOR ELEVATION		DOOR/WINDOW TAG
	SECTION CALLOUT		ABOVE FINISHED FLOOR HEIGHT TAG (IMPERIAL)
	DETAIL CALLOUT		ABOVE FINISHED FLOOR HEIGHT TAG (METRIC)
	REVISION TAG		DIMENSION LINE FROM FINISH FACE TO FINISH FACE



MINOR CONDITIONAL USE PERMIT / ADMINISTRATIVE ADJUSTMENT NO. 2A-14-10

Approval in Concept

SUBJECT TO CONDITIONS

CITY OF COSTA MESA

PLANNING DEPT.

BY *Chelsea Croger* DATE 6/15/14

VICINITY MAP

PROJECT NAME: **Bristol & Red Hill**
PROJECT ADDRESS: **250 South Bristol St
Costa Mesa, CA 92626**

STORE #: 22637
PROJECT #: 62184-001

CONCEPT:
PALETTE:
ISSUE DATE:
DESIGN MANAGER: Jon Alpert
LEED® AP:
PRODUCTION DESIGNER:
CHECKED BY:

SHEET TITLE: **GENERAL INFORMATION**

SCALE: 1/4" = 1'-0"

SHEET NUMBER: **G-001**

P:12-13 Starbucks Projects\13-043 Bristol & Red Hill_REVIT\62184-001_BRISTOL & RED HILL.rvt 5/21/2014 9:59:50 AM



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Architect
 Of Record



Revision Schedule			
Rev	Date	By	Description
1	5/01/14		1ST PLAN CHECK CORRECTION

PROJECT NAME:
Bristol & Red Hill
 PROJECT ADDRESS:
 250 South Bristol St
 Costa Mesa, CA 92626

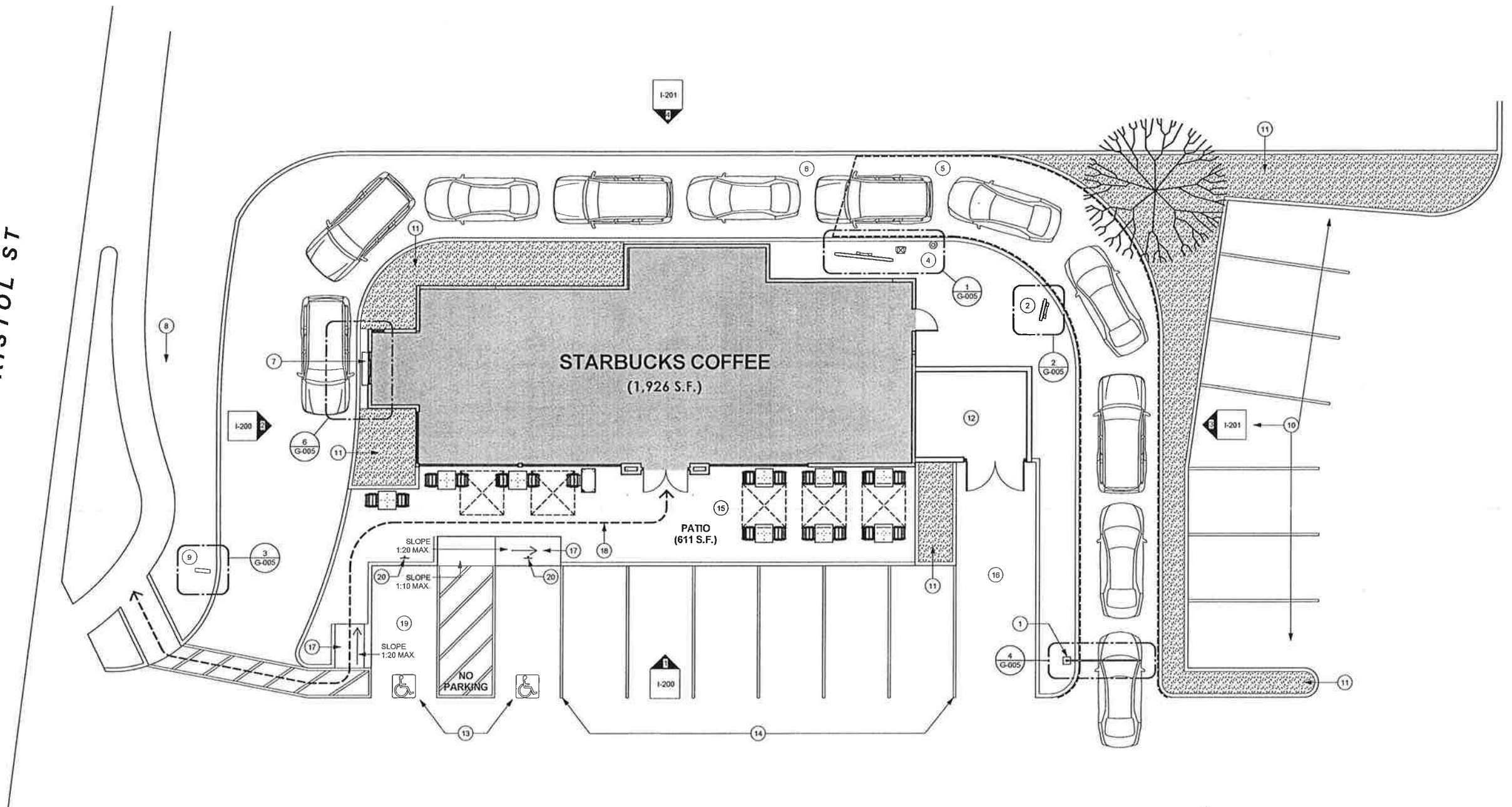
STORE #: 22637
 PROJECT #: 62184-001
 CONCEPT:
 PALETTE:
 ISSUE DATE:
 DESIGN MANAGER: Jon Alpert
 LEED@AP:
 PRODUCTION DESIGNER:
 CHECKED BY:

SHEET TITLE:
SITE PLAN

SCALE: As indicated

SHEET NUMBER:
G-002

BRISTOL ST



RED HILL AVE
 (500 FT. SOUTH EAST)



ARCHITECTURAL SITE PLAN NOTES

- A. REFER TO EXTERIOR ELEVATIONS FOR BUILDING SIGNAGE LOCATION & DESIGN ID. REFER TO ELECTRICAL PLANS FOR ELECTRICAL REQUIREMENTS.
- B. LANDSCAPING TO BE PROVIDED PER ZONING CODE AND LEED REQUIREMENTS.
- C. DRIVE-THRU EQUIPMENT INCLUDING VEHICLE DETECTION LOOP, WIRELESS COMMUNICATION, AND MONITORS COORDINATED BY STARBUCKS CONSTRUCTION MANAGER. REFER TO ELECTRICAL SPECS FOR ELECTRICAL REQUIREMENTS.
- D. NEW BOLLARDS, FOOTING AND CONDUIT FOR DRIVE-THRU SIGNAGE. COORDINATE WITH STARBUCKS CONSTRUCTION MANAGER.
- E. NOT USED
- F. TRASH ENCLOSURE TO BE LOCKABLE USING STEEL GATES OR CHAIN.
- G. 6" (150MM) THICK CONCRETE PAVING THE LENGTH OF THE DRIVE-THRU LANE, EXTENT TO INCLUDE DRIVE-THRU WINDOW STANDING PAD.
- H. GENERAL CONTRACTOR TO APPLY CONCRETE SEALER TO ALL EXTERIOR CONCRETE PATIO AND WALKWAY SURFACES.
- I. PROVIDE A WARNING SIGN AT THE ENTRANCE TO THE PARKING AREA FROM THE STREET REGARDING UNAUTHORIZED VEHICLES SHALL NOT USE THE DESIGNATED ACCESSIBLE PARKING SPACES (FIELD VERIFY).

SHEET NOTES

- 1 NEW CLEARANCE HEIGHT BAR.
- 2 NEW PRE-MENU BOARD.
- 3 NEW DIRECTIONAL DRIVE THRU SIGN.
- 4 NEW MENU BOARD & SPEAKER POST.
- 5 NEW DRIVE THRU LANE. REFER TO CIVIL DRAWINGS.
- 6 EXISTING DRIVE THRU LANE.
- 7 NEW DRIVE THRU WINDOW.
- 8 NEW MONUMENT STARBUCKS SIGN.
- 9 NEW DIRECTIONAL DRIVE THRU EXIT SIGN.
- 10 NEW PARKING STALLS.
- 11 NEW LANDSCAPING - T.B.D.
- 12 NEW TRASH ENCLOSURE.
- 13 NEW ACCESSIBLE PARKING WITH NEW PAINTED STRIPING. SEE DETAIL 8/G-005.
- 14 EXISTING PARKING STALLS WITH NEW PAINTED STRIPING.
- 15 NEW EXTERIOR SEATING AREA.
- 16 NEW LOADING AREA.
- 17 NEW CURB RAMP WITH SLIP RESISTANT DETECTABLE WARNING SURFACE. SEE DETAIL 9/G-005 & REFER TO CIVIL DRAWINGS.
- 18 PATH OF TRAVEL TO PUBLIC RIGHT OF WAY.
- 19 NEW VAN ACCESSIBLE PARKING STALL WITH 8' WIDE LOADING ZONE.
- 20 NEW ACCESSIBLE PARKING SPACE IDENTIFICATION SIGN.

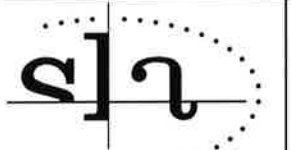
SITE SCHEDULE - "Y"					
DESIGN ID	COUNT	DESCRIPTION	RESP.	BULB	COMMENTS
EXTERIOR MENU					
10046	1	MENU BOARD - DT SPEAKER POST	VD		
10050	1	MENU BOARD - DT PRE MENU FREESTANDING	VD		
10052	1	MENU BOARD - DT 5 PANEL FREESTANDING	VD		
OTHER					
10020	1	DT WINDOW SHELF - 48IN 1205MM - SST	VD		
UMBRELLA					
10065	5	UMBRELLA - 6FT 183CM - GREEN CANVAS WITH STARBUCKS WORDMARK F0056	3PL		
10071	5	UMBRELLA - BASE FOR 6FT 183CM	3PL		



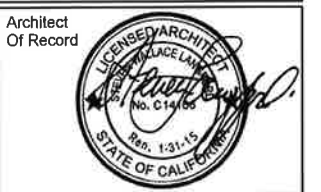
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STEVEN LANGFORD ARCHITECTS INC

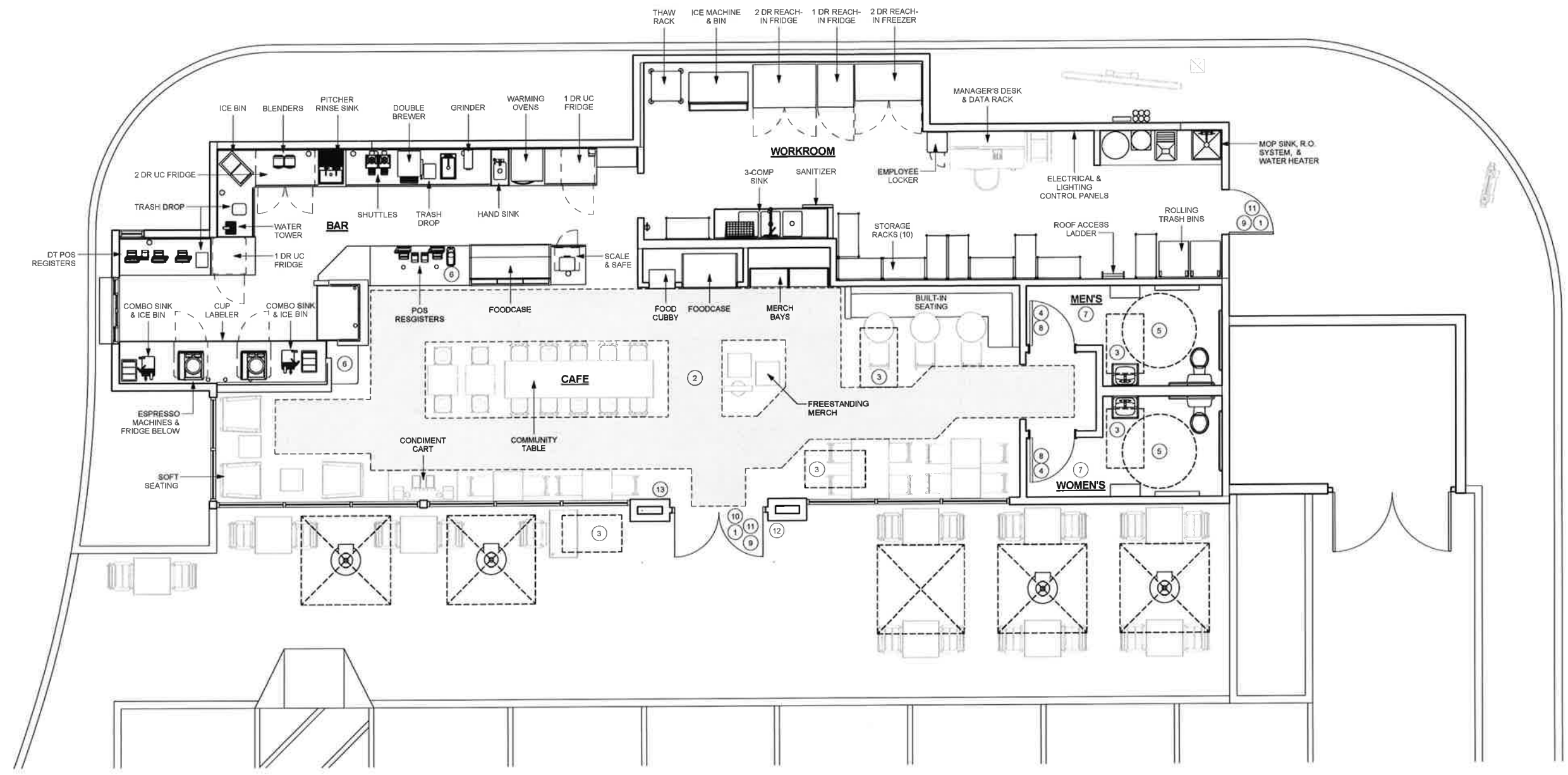


Revision Schedule			
Rev	Date	By	Description

PROJECT NAME:
Bristol & Red Hill
 PROJECT ADDRESS:
 250 South Bristol St
 Costa Mesa, CA 92626

STORE #: 22637
 PROJECT #: 62184-001
 CONCEPT:
 PALETTE:
 ISSUE DATE:
 DESIGN MANAGER: Jon Alpert
 LEED® AP:
 PRODUCTION DESIGNER:
 CHECKED BY:

SHEET TITLE:
COMPOSITE PLAN
 SCALE: 1/4" = 1'-0"
 SHEET NUMBER:
G-003



1 COMPOSITE PLAN
 SCALE: 1/4" = 1'-0"

COMPOSITE PLAN NOTES

- A. NEW ACCESSIBILITY COMPLIANT PATH OF TRAVEL.
- B. WHERE TWO EXITS OR EXIT ACCESS DOORWAYS ARE REQUIRED FROM ANY PORTION OF THE EXIT ACCESS, THE EXIT DOORS OR EXIT ACCESS DOORWAYS SHALL BE PLACED IN A DISTANCE APART EQUAL TO NOT LESS THAN ONE-HALF OF THE LENGTH OF THE MAXIMUM OVERALL DIAGONAL DIMENSION OF THE BUILDING OR AREA TO BE SERVED MEASURED IN A STRAIGHT LINE BETWEEN EXIT DOORS OR EXIT ACCESS DOORWAYS, CBC 1015 2.1.
- C. ALL THRESHOLD & FLOORING MATERIAL TRANSITIONS TO MEET ACCESSIBILITY REQUIREMENTS ON G-004.
- D. ALL DOORS TO PROVIDE 32" MIN. CLEAR OPENING WHEN OPENED TO 90 DEGREES, U.O.N.
- E. CONTRACTOR TO VERIFY EXISTING SITE ACCESSIBILITY COMPLIANCE WITH 2010 CBC.

ACCESSIBILITY KEY NOTES

- ① LEVEL LANDING THRESHOLD - SEE DETAIL 2/1-114.
- ② 44" MIN. CLEAR BARRIER-FREE PATH OF TRAVEL (SHADED AREA)
- ③ 30"x48" CLEAR FOR WHEELCHAIR ACCESS.
- ④ 32" MIN. CLEAR AT RESTROOM DOOR.
- ⑤ 60" DIAMETER CLEAR FOR WHEELCHAIR ACCESS.
- ⑥ POS HANDOFF PLANES & CONDIMENT COUNTERTOPS ARE 2'-10" A.F.F. FOR WHEELCHAIR ACCESSIBILITY.
- ⑦ ACCESSIBLE RESTROOM, SEE SHEET I-411 & G-003 FOR MOUNTING HEIGHTS.
- ⑧ NEW TACTILE SIGNAGE - REFER TO G-003.
- ⑨ NEW DOOR - REFER TO DOOR SCHEDULE ON SHEET I-600.
- ⑩ GC TO POST SIGN THAT READS "THIS DOOR TO REMAIN OPEN WHILE OCCUPIED"
- ⑪ NEW EXIT/EMERGENCY LIGHTS.
- ⑫ GC TO POST INTERNATIONAL SYMBOL OF ACCESSIBILITY.
- ⑬ GC TO POST A TACTILE EXIT SIGN WITH THE THE WORD "EXIT" IN RAISED CHARACTERS AND BRAILLE.

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SITE SCHEDULE - "Y"					
DESIGN ID	COUNT	DESCRIPTION	RESP.	BULB	COMMENTS
EXTERIOR MENU					
10046	1	MENU BOARD - DT SPEAKER POST	VD		
10050	1	MENU BOARD - DT PRE MENU FREESTANDING	VD		
10052	1	MENU BOARD - DT 5 PANEL FREESTANDING	VD		
OTHER					
10030	1	DT WINDOW SHELF - 48IN 1205MM - SST	VD		
UMBRELLA					
10065	5	UMBRELLA - 6FT 183CM - GREEN CANVAS WITH STARBUCKS WORDMARK F0056	3PL		
10071	5	UMBRELLA - BASE FOR 6FT 183CM	3PL		

EXTERIOR FINISH SCHEDULE			
MAT. ID	MATERIAL / FINISH	RESP.	COMMENTS
EXTERIOR CEMENT PLASTER			
ADL22	CEMENT PLASTER W/ INTEGRAL COLOR FINISH	GC	COLOR TO MATCH SHERWIN WILLIAMS - 7016 MINDFUL GRAY
EXTERIOR METAL			
ADL27	METAL COPING - BRONZE DARK	GC	PRE-FINISHED
EXTERIOR PAINT			
ADL23	PAINT - SHERWIN WILLIAMS - BLACK FOX 7020	GC	
EXTERIOR WOOD			
ADL20	WOOD SIDING - RUSTIC GREY	GC	MATTE CLEAR COAT SEALER

SIGNAGE SCHEDULE - "S"					
DESIGN ID	COUNT	DESCRIPTION	RESP.	BULB	COMMENTS
SIGNAGE - DISK					
13163	1	SIGN - DISK SF ILLUMINATED FLUSH MOUNTED EVOLVED - 48IN 1220MM	VD		
SIGNAGE - DRIVE THRU					
11169	2	SIGN - DRIVE THRU SF ILLUMINATED FLUSH MOUNTED - 62IN 1575MM	VD		
11307	1	SIGN - DT DIRECTIONAL DF ILLUMINATED - 48IN 1170MM	VD		
12732	1	SIGN - DT CLEARANCE BAR FREESTANDING FREESTANDING FLAT BLACK MT0028	VD		
SIGNAGE - WORDMARK					
11408	1	SIGN - IN-LINE ILLUMINATED ON FREESTANDING RACEWAY - 18IN 455MM	VD		

EXTERIOR ELEVATION NOTES

- A. GENERAL CONTRACTOR TO COORDINATE AND SCHEDULE SIGNAGE INSTALLATION WITH THE SIGNAGE CONTRACTOR PROVIDING A MINIMUM SCHEDULING NOTICE OF 4 WEEKS AND 1 WEEK PRIOR TO SCHEDULED DATE OF INSTALLATION. STARBUCKS CONSTRUCTION MANAGER TO PROVIDE GENERAL CONTRACTOR WITH SIGNAGE CONTRACTOR CONTACT INFORMATION.
- B. GENERAL CONTRACTOR SHALL COORDINATE WITH ELECTRICAL CONTRACTOR TO FURNISH AND INSTALL ELECTRICAL CIRCUITS INCLUDING ALL CONDUIT, WIRE, CONNECTIONS, AND BREAKER AT PANEL BOARD NECESSARY TO SERVE SIGNAGE.
- C. GENERAL CONTRACTOR TO PROVIDE FIRE TREATED WOOD STUD BLOCKING, OR EQUIVALENT TO SUPPORT SIGNAGE.
- D. SIGNAGE CONTRACTOR SHALL VERIFY SIZE AND LOCATION OF ANY & ALL ALLOWABLE MONUMENT OR POLE SIGNAGE WITH LANDLORD AND PROVIDE SHOP DRAWING(S) PRIOR TO FABRICATION TO STARBUCKS DESIGNER FOR APPROVAL.
- E. SIGNAGE CONTRACTOR TO INSTALL SIGNAGE IN COMPLIANCE WITH LOCAL CODES AND OBTAIN PERMIT AND LANDLORD APPROVAL.
- F. SIGNAGE CONTRACTOR TO SUPPLY SHOP DRAWINGS TO STARBUCKS CONSTRUCTION MANAGER AND TO THE GENERAL CONTRACTOR AS NEEDED. GENERAL CONTRACTOR TO NOTIFY STARBUCKS CONSTRUCTION MANAGER IMMEDIATELY IF SHOP DRAWINGS OR INSTALLATION IS IN DISCREPANCY WITH STARBUCKS ARCHITECTURAL DRAWINGS.
- G. GENERAL CONTRACTOR TO CLEAN, PATCH AND REPAIR EXISTING EXTERIOR AS REQUIRED.



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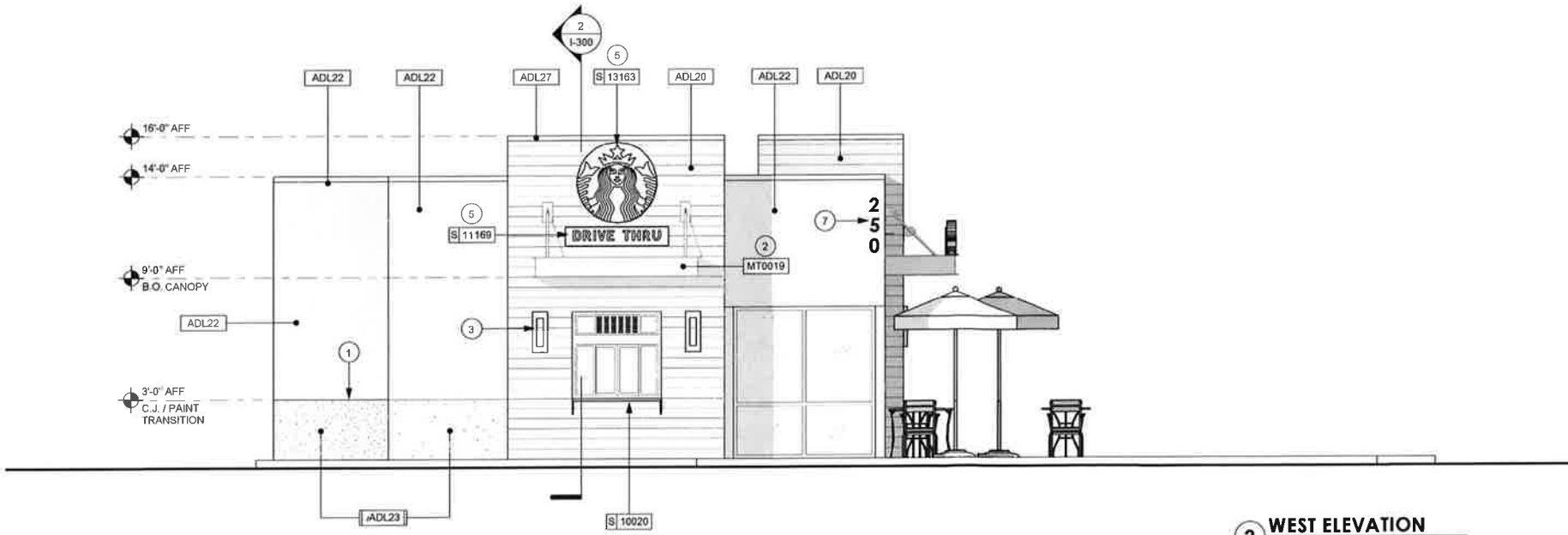
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Revision Schedule			
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1 SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"



2 WEST ELEVATION
 SCALE: 1/4" = 1'-0"

SHEET NOTES

- 1 CEMENT PLASTER CONTROL JOINT, SEE DETAIL 6/1-500.
- 2 STEEL CHANNEL CANOPY WITH DIAGONAL ROD SUPPORT REFER TO STRUCTURAL DRAWINGS. DIAGONAL SUPPORT FINISH TO MATCH CHANNEL.
- 3 NEW WALL SCONCE. ALIGN T.O. OF FIXTURE WITH T.O. ADJACENT WINDOW OR DOOR. REFER TO LIGHTING PLAN SHEET I-122. SEE DETAIL 7/1-500.
- 4 ILLUMINATED FREESTANDING SIGN WITH STEEL ANGLE RACEWAY BY OTHERS UNDER SEPARATE PERMIT. STEEL RACEWAY TO MATCH CANOPY FINISH.
- 5 ILLUMINATED WALL MOUNTED SIGN BY OTHERS UNDER SEPARATE PERMIT.
- 6 EXPOSED ARCHITECTURAL CMU BLOCK WALL WITH SMOOTHFACE FINISH.
- 7 8" HIGH BLACK ANODIZED ADDRESS NUMBERS WITH STAND OFFS BY G.C.
- 8 PAINT TRASH ENCLOSURE GATE AND STEEL POSTS TO MATCH. ADL22



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 Costa Mesa, CA 92626

STORE #: 22637
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CONCEPT:
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ISSUE DATE:
DESIGN MANAGER: Jon Alpert
LEED AP:
PRODUCTION DESIGNER:
CHECKED BY:

SHEET TITLE:
 EXTERIOR ELEVATIONS

SCALE: 1/4" = 1'-0"

SHEET NUMBER:
 I-200



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STEVEN LANGFORD ARCHITECTS INC

Architect
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 CHECKED BY:

SHEET TITLE:
EXTERIOR ELEVATIONS

SCALE: 1/4" = 1'-0"

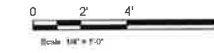
SHEET NUMBER:
1-201

SITE SCHEDULE - "Y"					
DESIGN ID	COUNT	DESCRIPTION	RESP.	BULB	COMMENTS
EXTERIOR MENU					
10046	1	MENU BOARD - DT SPEAKER POST	VD		
10050	1	MENU BOARD - DT PRE MENU FREESTANDING	VD		
10052	1	MENU BOARD - DT 5 PANEL FREESTANDING	VD		
OTHER					
10020	1	DT WINDOW SHELF - 48IN 1205MM - SST	VD		
UMBRELLA					
10095	5	UMBRELLA - 6FT 183CM - GREEN CANVAS WITH STARBUCKS WORDMARK F0056	3PL		
10071	5	UMBRELLA - BASE FOR 6FT 183CM	3PL		

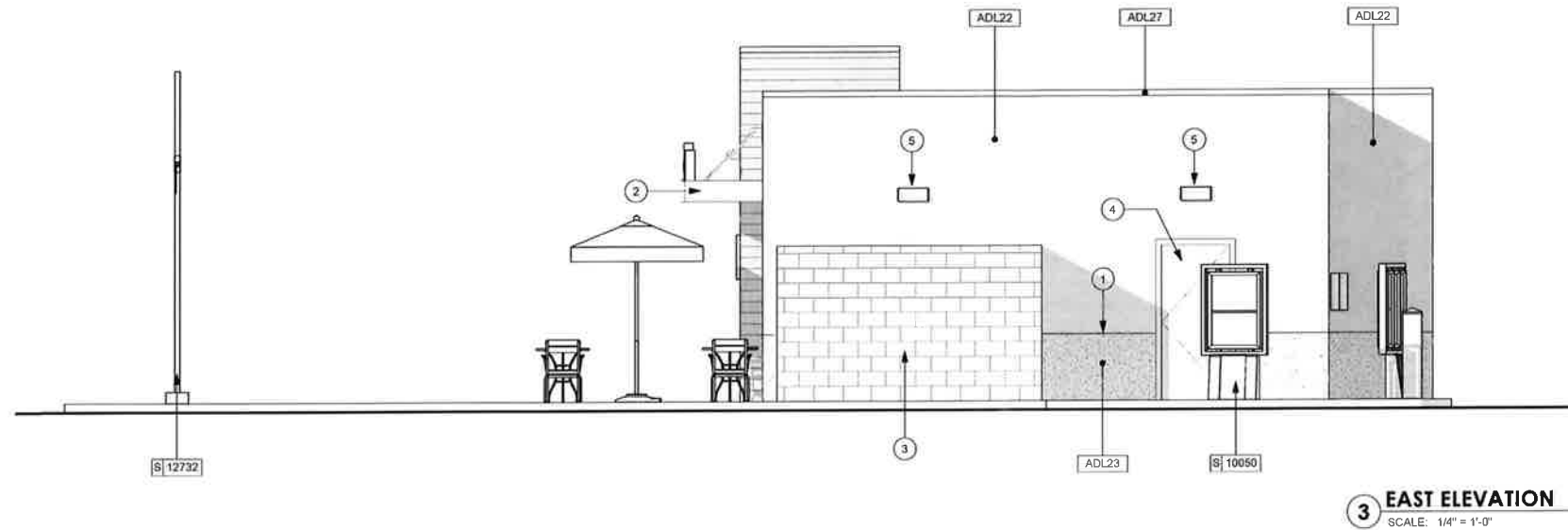
EXTERIOR FINISH SCHEDULE			
MAT. ID	MATERIAL / FINISH	RESP.	COMMENTS
EXTERIOR CEMENT PLASTER			
ADL22	CEMENT PLASTER W/ INTEGRAL COLOR FINISH	GC	COLOR TO MATCH SHERWIN WILLIAMS - 7016 MINDFUL GRAY
EXTERIOR METAL			
ADL27	METAL COPING - BRONZE DARK	GC	PRE-FINISHED
EXTERIOR PAINT			
ADL23	PAINT - SHERWIN WILLIAMS - BLACK FOX 7020	GC	
EXTERIOR WOOD			
ADL20	WOOD SIDING - RUSTIC GREY	GC	MATTE CLEAR COAT SEALER

SHEET NOTES

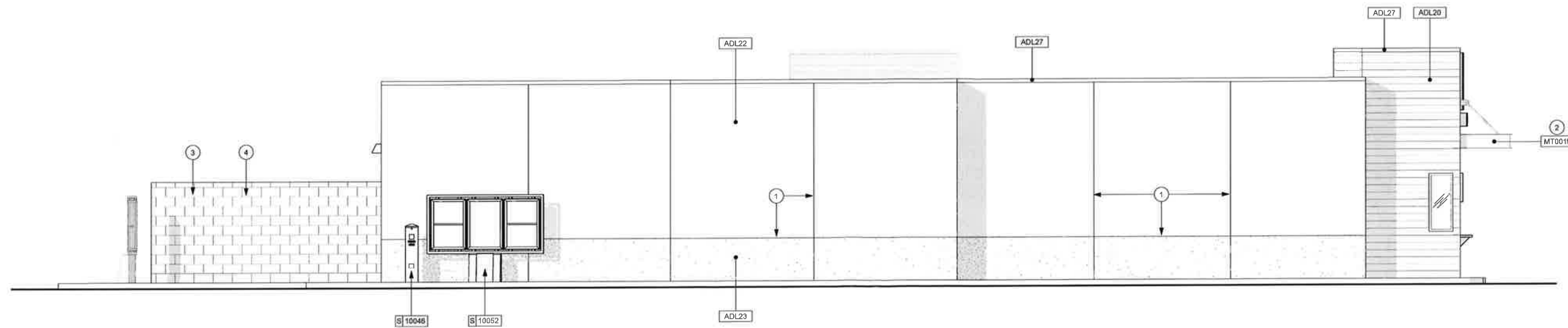
- CEMENT PLASTER CONTROL JOINT, SEE DETAIL 6/I-500.
- STEEL CHANNEL CANOPY WITH DIAGONAL ROD SUPPORT. REFER TO STRUCTURAL DRAWINGS.
- EXPOSED ARCHITECTURAL CMU BLOCK WALL WITH SMOOTHFACE FINISH.
- PAINT NEW EXTERIOR DOOR AND FRAME TO MATCH ADL23
- NEW WALL SCONE, BOTTOM OF FIXTURE @ 9'-0" A.F.F. REFER TO ELECTRICAL DRAWINGS AND SEE DETAIL 6/I-500.



SIGNAGE SCHEDULE - "S"					
DESIGN ID	COUNT	DESCRIPTION	RESP.	BULB	COMMENTS
SIGNAGE - DISK					
13163	1	SIGN - DISK SF ILLUMINATED FLUSH MOUNTED EVOLVED - 48IN 1226MM	VD		
SIGNAGE - DRIVE THRU					
11169	2	SIGN - DRIVE THRU SF ILLUMINATED FLUSH MOUNTED - 62IN 1575MM	VD		
11307	1	SIGN - DT DIRECTIONAL DF ILLUMINATED - 48IN 1170MM	VD		
12732	1	SIGN - DT CLEARANCE BAR FREESTANDING FREESTANDING FLAT BLACK MT0028	VD		
SIGNAGE - WORDMARK					
11408	1	SIGN - INLINE ILLUMINATED ON FREESTANDING RACEWAY - 18IN 455MM	VD		



3 EAST ELEVATION
 SCALE: 1/4" = 1'-0"



4 NORTH ELEVATION
 SCALE: 1/4" = 1'-0"



CITY OF COSTA MESA

P.O. BOX 1200 • 77 FAIR DRIVE • CALIFORNIA 92628-1200

DEVELOPMENT SERVICES DEPARTMENT

June 5, 2014

Core Development Services
Kim Nguyen
2749 Saturn Street
Brea, CA 92821

**RE: ZONING APPLICATION ZA-14-17
MINOR CONDITIONAL USE PERMIT TO MODIFY EXISTING ROOF-
MOUNTED CELLULAR ANTENNAS
3100 BRISTOL STREET, COSTA MESA**

Dear Ms. Nguyen:

City staff's review of your zoning application for the above-referenced project has been completed. The application, as described in the attached project description, has been approved, based on the findings and subject to the conditions of approval and code requirements (attached). The decision will become final at 5:00 p.m. on June 12, 2014, unless appealed by an affected party, including filing of the necessary application and payment of the appropriate fee, or called up for review by a member of the Planning Commission or City Council.

If you have any questions regarding this letter, please feel free to contact the project planner, Jessica Magana, at (714) 754-5278, or at jessica.magana@costamesaca.gov.

Sincerely,

WILLA BOUWENS-KILLEEN, AICP
Zoning Administrator

Attachments: Project Description
 Findings
 Conditions of Approval, Code Requirements, and Special District
 Requirements
 Approved Conceptual Plans

cc: Engineering
 Fire Protection Analyst
 Building Safety Division

BACKGROUND

Zoning Action ZA-97-08 allowed a total of nine panel antennas with a maximum height of 88 feet for all related improvements, as measured from grade, for roof-mounted antennas and screening materials. Subsequently, ZA-99-62 allowed three additional antennas, for a total of twelve antennas with a maximum height of 88 feet for all related improvements. Since additional antennas are proposed, an amendment to the existing Minor Conditional Use Permit is required.

PROJECT DESCRIPTION

Site Location

The property is zoned Planned Development Commercial (PDC) with a General Plan Land Use designation of General Commercial. The property is surrounded by the I-405 Freeway to the north; commercial properties to the south and across Bristol Street to the west; and residential properties across Santa Ana Delhi Channel to the east. The property is improved with two five-story office buildings (3100 and 3150 Bristol Street) totaling 155,441 square feet.

Proposed Use

The applicant proposes to modify an existing roof mounted wireless telecommunications facility by adding three new panel antennas, three remote radio units (RRU's), four batteries, one baseband unit, and associated hybrid cables. The height of the new antennas is proposed to be the same as allowed under both ZA-97-08 and ZA-99-62.

Analysis

The proposed antennas will be mounted on the existing penthouse and will maintain the same height as the existing antennas. The proposed antennas will be screened from public view and will be textured and painted to match the existing penthouse walls to further reduce its visibility from public view. Conditions have been included to ensure that all proposed and existing equipment cabinets, antennas, wiring, cables, and conduit will be screened from view at all times. All new mechanical equipment will be located behind existing equipment screening.

Conditions have been included to ensure antenna frequencies do not interfere with the frequency used for Public Safety communications. The applicant has submitted a letter explaining that the wireless facility will have no impact on circulation and will generate no noise, odor, smoke, or have any other adverse impact on the subject or surrounding properties. The environmental radio frequency radiation generated by the antennas will not exceed ANSI/IEEE standards.

The proposed antennas and screening comply with Costa Mesa General Plan Community Design Element Goal CD8A.8 in that the proposed antennas will be screened and/or will match the exterior of the existing building.

FINDINGS

- A. The information presented complies with Costa Mesa Municipal Code Section 13-29(g)(2) in that:
1. The proposed use is compatible with developments in the same general area; specifically the new antennas will be mounted on the existing penthouse with an equipment screen, both painted to match the existing building to minimize visual impacts and will maintain the height of the existing antennas.
 2. Granting the Minor Conditional Use Permit will not be detrimental to the health, safety and general welfare of the public or other properties or improvements within the immediate vicinity since the antenna frequencies will comply with ANSI/IEEE standards.
 3. Granting the Minor Conditional Use Permit will not allow a use, density or intensity that is not in accordance with the General Plan designation for the property since the antennas will be screened from the street, and nearby properties, minimizing visual impacts.
- B. The information presented complies with Costa Mesa Municipal Code Section 13-29(e) in that:
1. The new antennas will have a compatible and harmonious relationship between the proposed building and the site development and use, and the building and site developments and uses that exist or have been approved for the general neighborhood. The new antennas will be screened and will be compatible with the existing building.
 2. Safety and compatibility of the design of buildings, parking area, landscaping, luminaries, and other site features which may include functional aspects of the site development such as automobile and pedestrian circulation have been considered and will not be affected by the new antennas.
 3. The antennas comply with performance standards described elsewhere in this Zoning Code.
 4. The new antennas are consistent with the General Plan, specifically Community Design Element CD-8A.8, in that the screening for the antennas will be painted to match the exterior of the building.
 5. This zoning application is for a project-specific case and is not to be construed to

be setting a precedent for future development.

- C. The project has been reviewed for compliance with the California Environmental Quality Act (CEQA), the CEQA Guidelines, and the City environmental procedures, and has been found to be exempt under Section 15301, Class 1, Existing Facilities, of the CEQA Guidelines.
- D. The project is exempt from Chapter XII, Article 3, Transportation System Management, of Title 13 of the Costa Mesa Municipal Code.

CONDITIONS OF APPROVAL

- Plng.
- 1. All proposed antennas will be mounted on the existing penthouse with an equipment screen, both painted to match the existing building to minimize visual impacts.
 - 2. All proposed and existing equipment cabinets, wiring, cables, and conduit shall be screened from view. Screening shall be of a material and color compatible with the existing material and color of building and/or placed behind existing building walls. Such screening material shall be approved by Planning staff prior to installation.
 - 3. All proposed and existing equipment cabinets, antennas, wiring, cables, and conduit shall be well maintained and kept in good condition at all times. Any broken, damaged, faded, and exposed material shall be replaced and approved by Planning staff prior to installation.
 - 4. Any future modifications to the equipment or antennas shall be done only with the prior approval of Planning staff and may require filing and approval of a minor conditional use permit.
 - 5. Maximum building height may not exceed 88 feet measured from property grade.
 - 6. At all times, the applicant shall not prevent the City of Costa Mesa from having adequate spectrum capacity on the City's 800 MHz radio frequency.
 - 7. The applicant shall provide a 24-hour phone number to which interference problems may be reported.
 - 8. The applicant shall provide a "single point of contact" in its Engineering and Maintenance Departments to ensure continuity on all interference issues. The name, telephone number, fax number, and email address of that person shall be provided to the City's designated representative.
 - 9. The conditions of approval and Code requirements of Zoning Application ZA-14-17 shall be blueprinted on the face of the site plan of the plan check submittal package.
 - 10. The applicant shall contact the Planning Division to arrange for an inspection of the site prior to the final building inspection(s). This inspection is to confirm that the conditions of approval and Code requirements have been satisfied.

CODE REQUIREMENTS

The following list of federal, state, and local laws applicable to the project has been compiled by staff for the applicant's reference. Any reference to "City" pertains to the City of Costa Mesa.

- Plng. 1. Approval of the zoning application is valid for one (1) year from the effective date of this approval and will expire at the end of that period unless applicant establishes the use by obtaining building permits for the authorized construction and initiates construction. If the applicant is unable to obtain building permits within the one-year time period, the applicant may request an extension of time. The Planning Division must receive a written request for the time extension prior to the expiration of the planning application.
2. All construction-related activity shall be limited to between the hours of 7 a.m. and 7 p.m., Monday through Friday, and 9 a.m. to 6 p.m. Saturday. Construction is prohibited on Sundays and federal holidays. Exceptions may be made for activities that will not generate noise audible from off-site, such as painting and other quiet interior work.
3. Antennas shall comply with the Antenna Development Standards in Section 13-142 of the Costa Mesa Zoning Code.
- Bldg. 4. Comply with the requirements of the 2013 California Building Code, 2013 California Electrical Code, 2013 California Energy Code (or the applicable adopted California Building Code, California Electrical Code, and California Energy Code at the time of plan submittal or permit issuance), and California Code of Regulations also known as the California Building Standards Code, as amended by the City of Costa Mesa.
- Bus.
Lic. 5. All contractors and subcontractors must have valid business licenses to do business in the City of Costa Mesa. Final inspections will not be granted until all such licenses have been obtained.



PROJECT: 2.5 EQUIPMENT DEPLOYMENT

SITE NAME: OLYMPIC

SITE CASCADE: OG03XC151-B

SITE ADDRESS: 3100 S. BRISTOL ST.
COSTA MESA, CA 92626

SITE TYPE: ROOFTOP

PLANS PREPARED FOR:

330 Commerce
Irvine, CA 92602

PLANS PREPARED BY:

DEVELOPMENT SERVICES
A&E SERVICES
2749 Saturn Street
Brea, California 92821
(714)729-8404 (714)333-4441 fax
www.core.us.com

EQUIPMENT MANUFACTURER:

MLA PARTNER:

ENGINEERING LICENSE:

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REVISIONS:

DESCRIPTION	DATE	BY	REV
ISSUED FOR ZONING	04/29/14	JMB	0

SITE NAME:

OLYMPIC

SITE CASCADE:

OG03XC151-B

SITE ADDRESS:

3100 S. BRISTOL ST.
COSTA MESA, CA 92626

SHEET DESCRIPTION:

TITLE SHEET

SHEET NUMBER:

T-1

SITE INFORMATION

PROPERTY OWNER:
CARRAMERICA REALTY CORP.
1700 PENNSYLVANIA AVE.
WASHINGTON, DC 20006

LATITUDE (NAD83):
33° 41' 8.57" N
33.68571388° N

LONGITUDE (NAD83):
-117° 53' 5.76" W
-117.88493333° W

COUNTY:
ORANGE

ZONING JURISDICTION:
CITY OF COSTA MESA

ZONING DISTRICT:
N/A

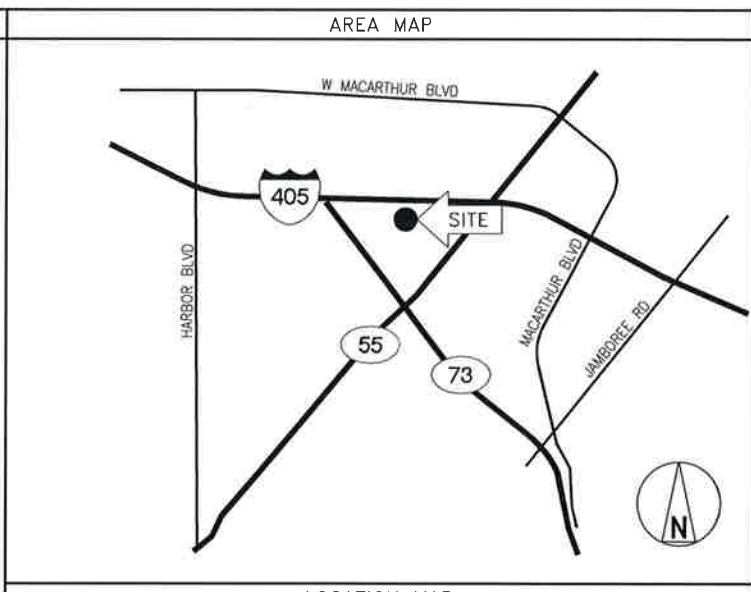
APN:
418-071-05

POWER COMPANY:
SOUTHERN CALIFORNIA EDISON

AAV PROVIDER:
AT&T
CONTACT: TOM ASBURY
PHONE: 714.394.5924

SPRINT AGENT:
NAME: JAMIE SANDOVAL
PHONE: 714.984.3610
JSANDOVAL@CORE.US.COM

SPRINT CM:
NAME: JON FRANKLIN
PHONE: 909.528.4709
JON.2.FRANKLIN@SPRINT.COM

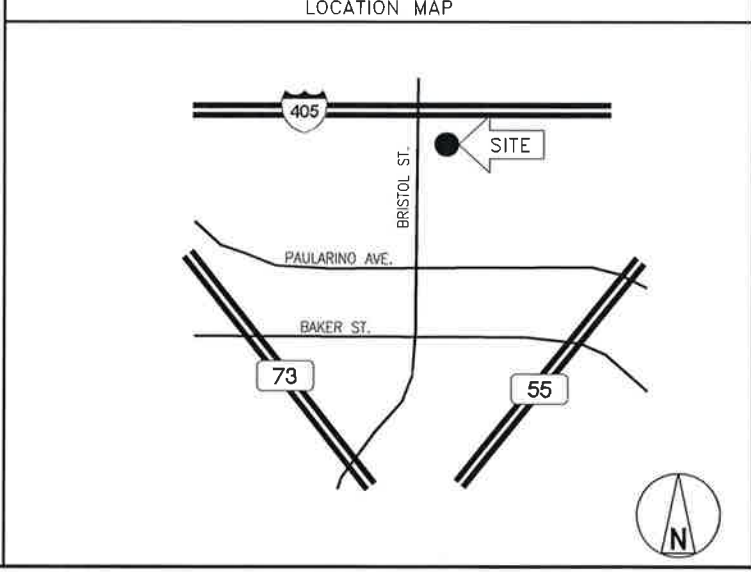


PROJECT DESCRIPTION

- INSTALL (3) (N) 2.5GHz PANEL ANTENNAS ON EXISTING PENTHOUSE
- INSTALL (1) (N) 2.5GHz BASEBAND UNIT WITHIN EXISTING MMBTS CABINET
- INSTALL (3) (N) 2.5GHz RRU'S ON EXISTING PENTHOUSE
- INSTALL (3) (N) FIBER CABLES
- INSTALL (4) (N) BATTERIES WITHIN (E) BATTERY CABINET

DRAWING INDEX

SHEET NO:	SHEET TITLE
T-1	TITLE SHEET
A-1	SITE PLAN
A-2	EQUIPMENT PLAN AND ROOF PLAN
A-3	ANTENNA PLAN
A-4	NORTH ELEVATIONS
A-5	EAST ELEVATIONS
A-6	EQUIPMENT DETAILS



APPLICABLE CODES

ALL WORK SHALL BE PERFORMED AND MATERIALS INSTALL IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES.

- 2013 CALIF. ADMINISTRATIVE CODE (INCL. TITLES 24 & 25)
- 2013 CALIFORNIA BUILDING CODES
- 2013 CALIFORNIA ELECTRICAL CODES
- 2013 CALIFORNIA MECHANICAL CODES
- 2013 CALIFORNIA PLUMBING CODES
- 2013 CALIFORNIA FIRE CODES
- 2013 CALIFORNIA ENERGY CODES
- TIA-222-G STANDARD
- LOCAL BUILDING CODES
- CITY/COUNTY ORDINANCES

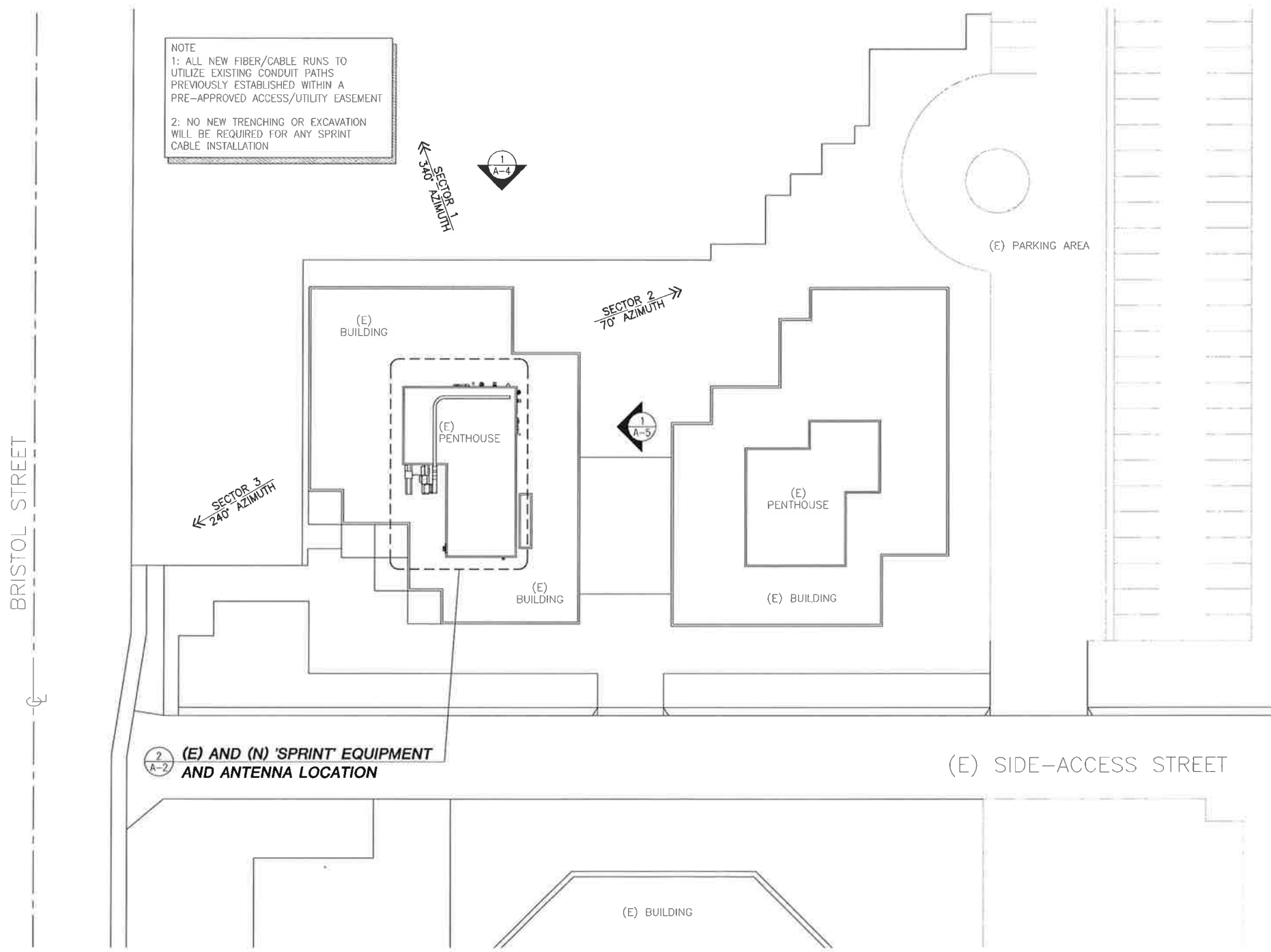
MINOR CONDITIONAL USE PERMIT/
ADMINISTRATIVE ADJUSTMENT NO. 24-14 T

Approval in Concept

SUBJECT TO CONDITIONS
CITY OF COSTA MESA
PLANNING DEPT.

BY: J. Magallon DATE: 6/5/14





NOTE
 1: ALL NEW FIBER/CABLE RUNS TO UTILIZE EXISTING CONDUIT PATHS PREVIOUSLY ESTABLISHED WITHIN A PRE-APPROVED ACCESS/UTILITY EASEMENT
 2: NO NEW TRENCHING OR EXCAVATION WILL BE REQUIRED FOR ANY SPRINT CABLE INSTALLATION

PLANS PREPARED FOR:

330 Commerce
Irvine, CA 92602

PLANS PREPARED BY:

DEVELOPMENT SERVICES
A&E SERVICES
2749 Saturn Street
Brea, California 92621
(714)729-8404 (714)333-4441 fax
www.core.us.com

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MLA PARTNER:

ENGINEERING LICENSE:

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REVISIONS:

DESCRIPTION	DATE	BY	REV
ISSUED FOR ZONING	04/29/14	JMB	0

SITE NAME:
OLYMPIC

SITE CASCADE:
OG03XC151-B

SITE ADDRESS:
**3100 S. BRISTOL ST.
 COSTA MESA, CA 92626**

SHEET DESCRIPTION:
SITE PLAN

SHEET NUMBER:
A-1



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ISSUED FOR ZONING	DESCRIPTION	DATE	BY	REV
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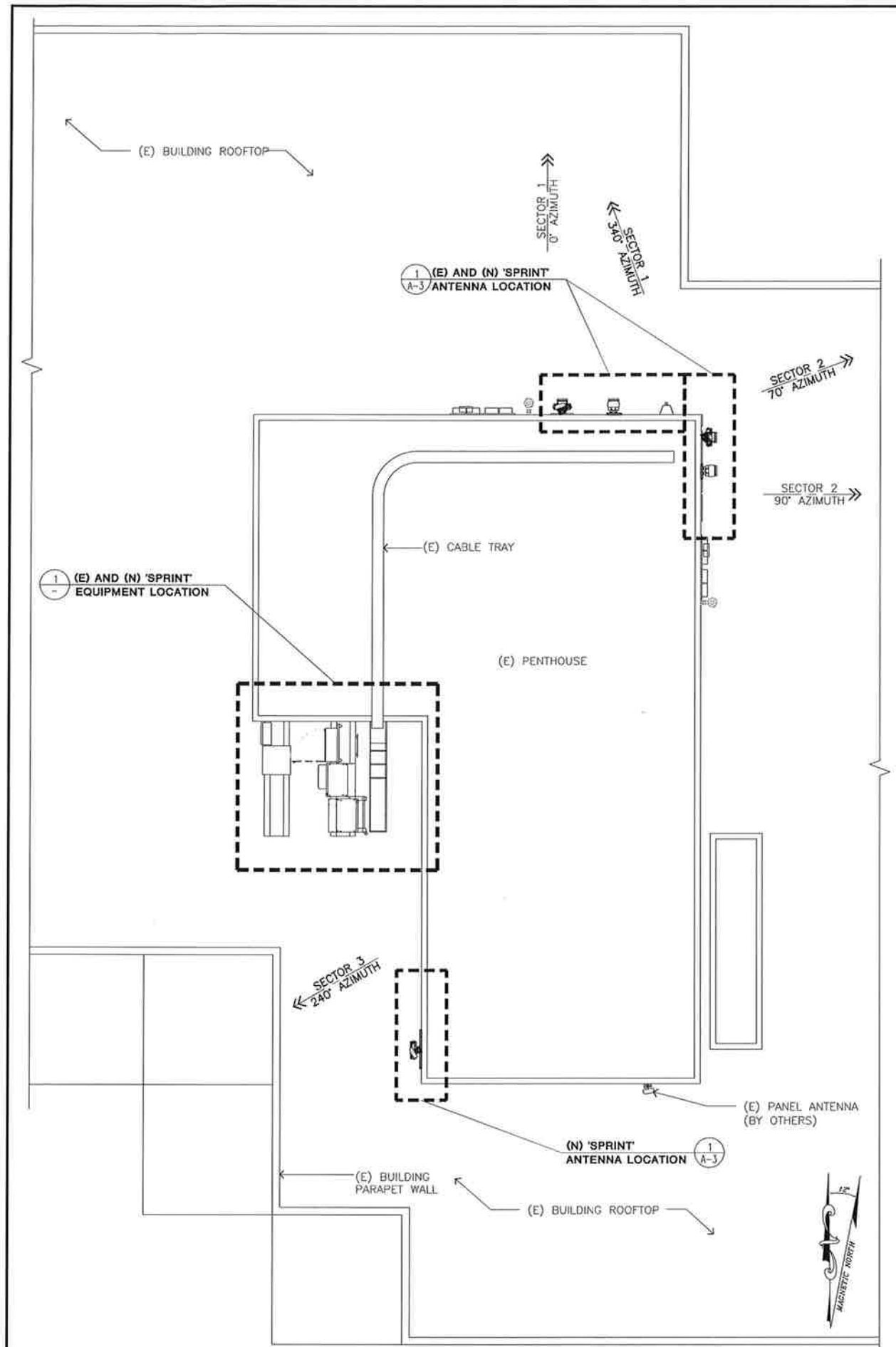
OLYMPIC

OG03XC151-B

3100 S. BRISTOL ST. COSTA MESA, CA 92626

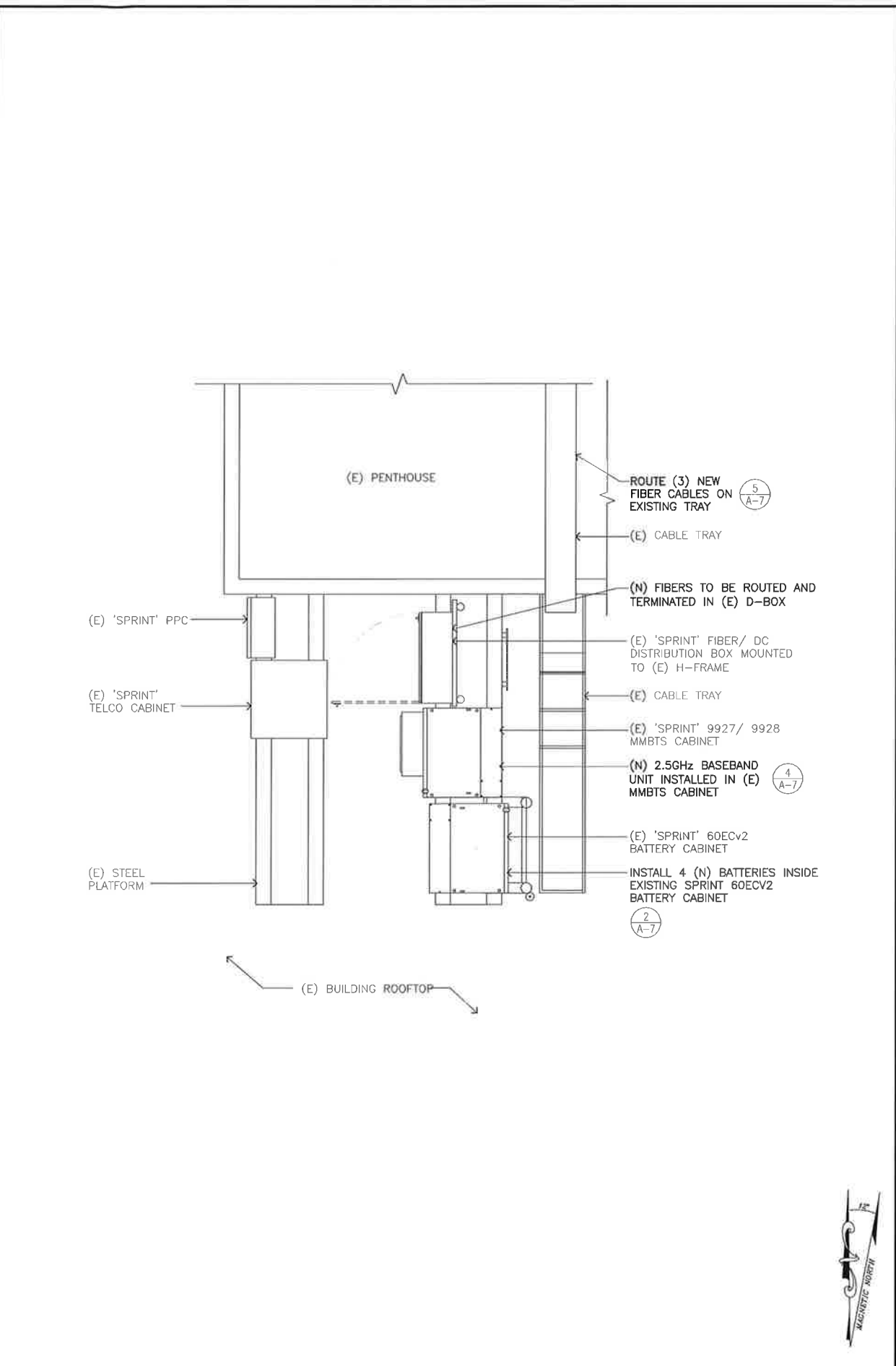
EQUIPMENT PLAN AND ROOF PLAN

A-2



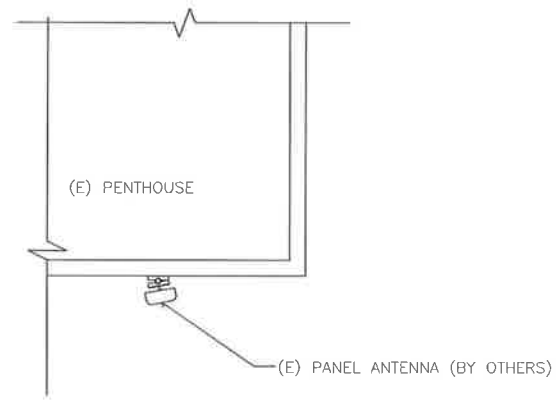
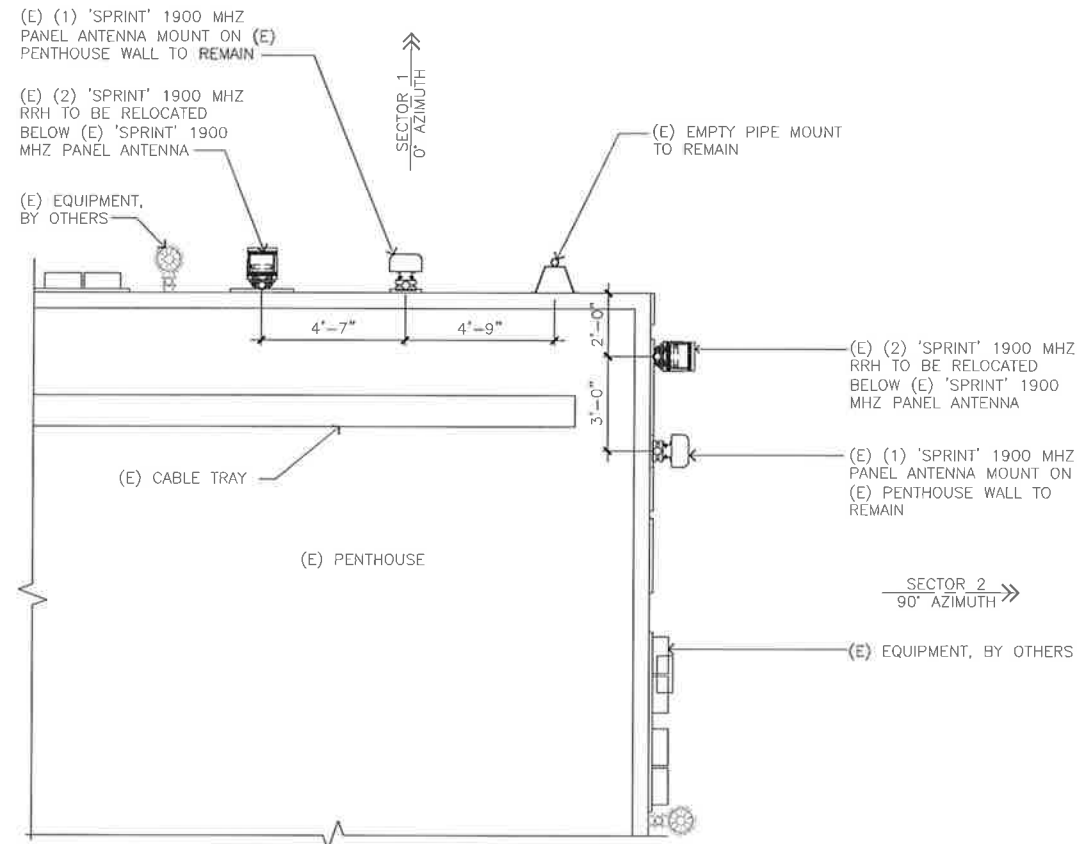
ROOF PLAN

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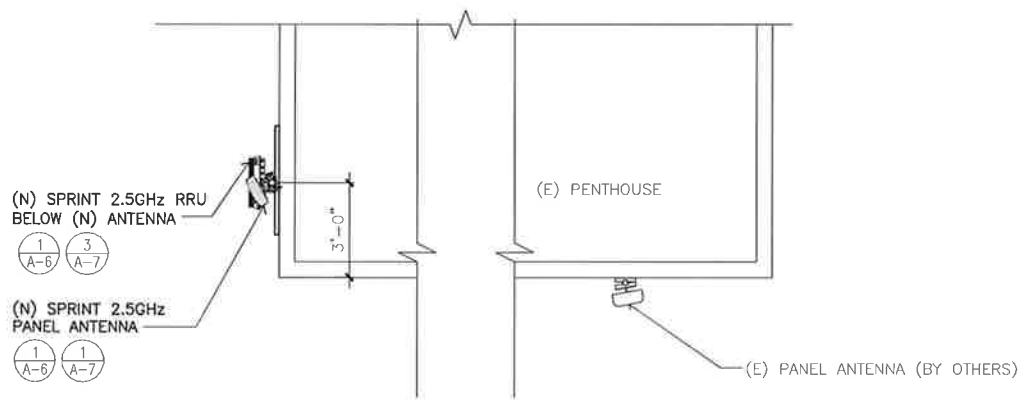
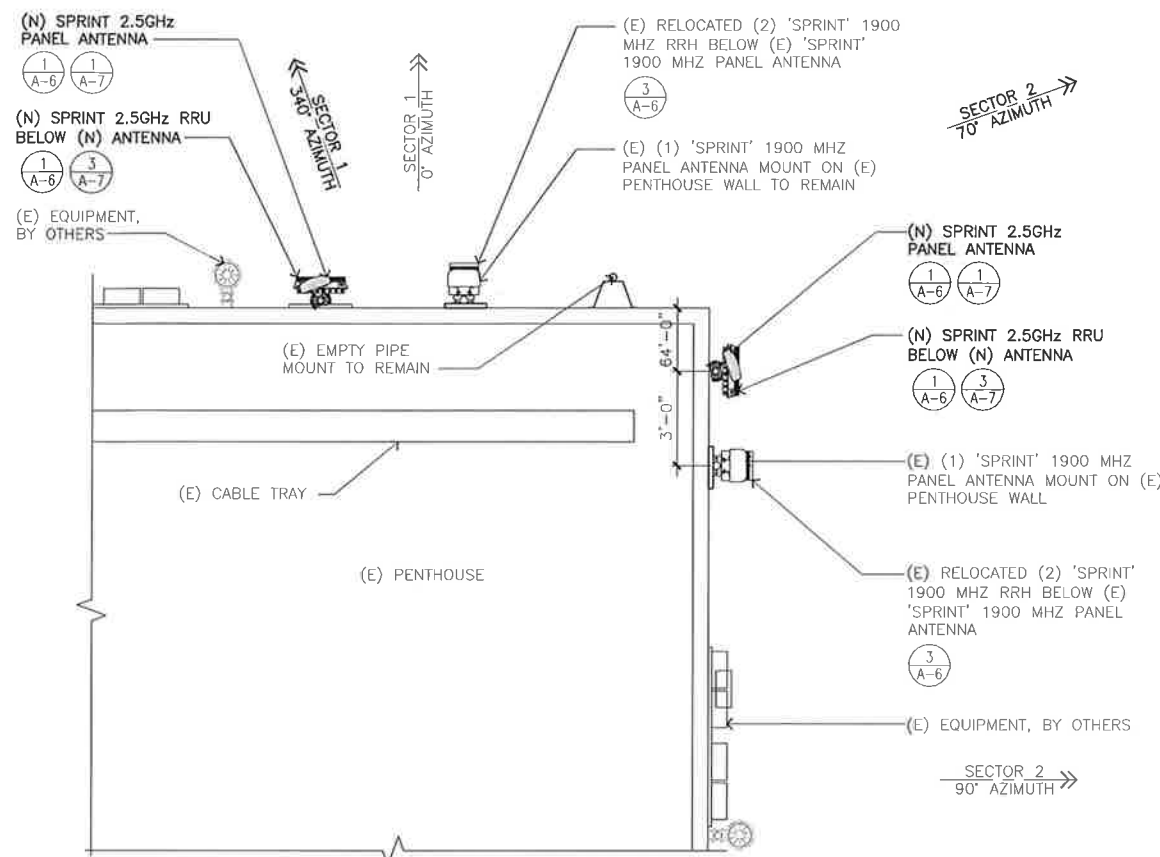


EQUIPMENT PLAN

SCALE 1/2"=1'-0" 0 1' 2' 4' 1



(E) BUILDING ROOFTOP



(E) BUILDING ROOFTOP

SECTOR	ANTENNA	AZIMUTH	RAD CENTER	NUMBER OF ANTENNAS	ANTENNA MODEL	ELECTRICAL TILT	MECHANICAL TILT	RRH	FIBER OPTIC MODEL	FIBER OPTIC LENGTH (±10')
1	2.5GHz	340°	85°-0"	1	RFS APXVM14-C-120	-2	0	1	HYBRIFLEX 1-1/4" HB058-M12-075F	90'-0"±
2	2.5GHz	70°	85°-0"	1	RFS APXVM14-C-120	-2	0	1	HYBRIFLEX 1-1/4" HB058-M12-075F	90'-0"±
3	2.5GHz	240°	85°-0"	1	RFS APXVM14-C-120	-2	0	1	HYBRIFLEX 1-1/4" HB058-M12-075F	75'-0"±

VERIFY CURRENT EBTS PRIOR TO BUILD

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Irvine, CA 92602

PLANS PREPARED BY:

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DESCRIPTION	DATE	BY	REV
ISSUED FOR ZONING	04/29/14	JMB	0

SITE NAME:
OLYMPIC

SITE CASCADE:
OG03XC151-B

SITE ADDRESS:
**3100 S. BRISTOL ST.
COSTA MESA, CA 92626**

SHEET DESCRIPTION:
ANTENNA PLAN

SHEET NUMBER:
A-3

PLANS PREPARED FOR:



PLANS PREPARED BY:



EQUIPMENT MANUFACTURER:



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SITE ADDRESS:

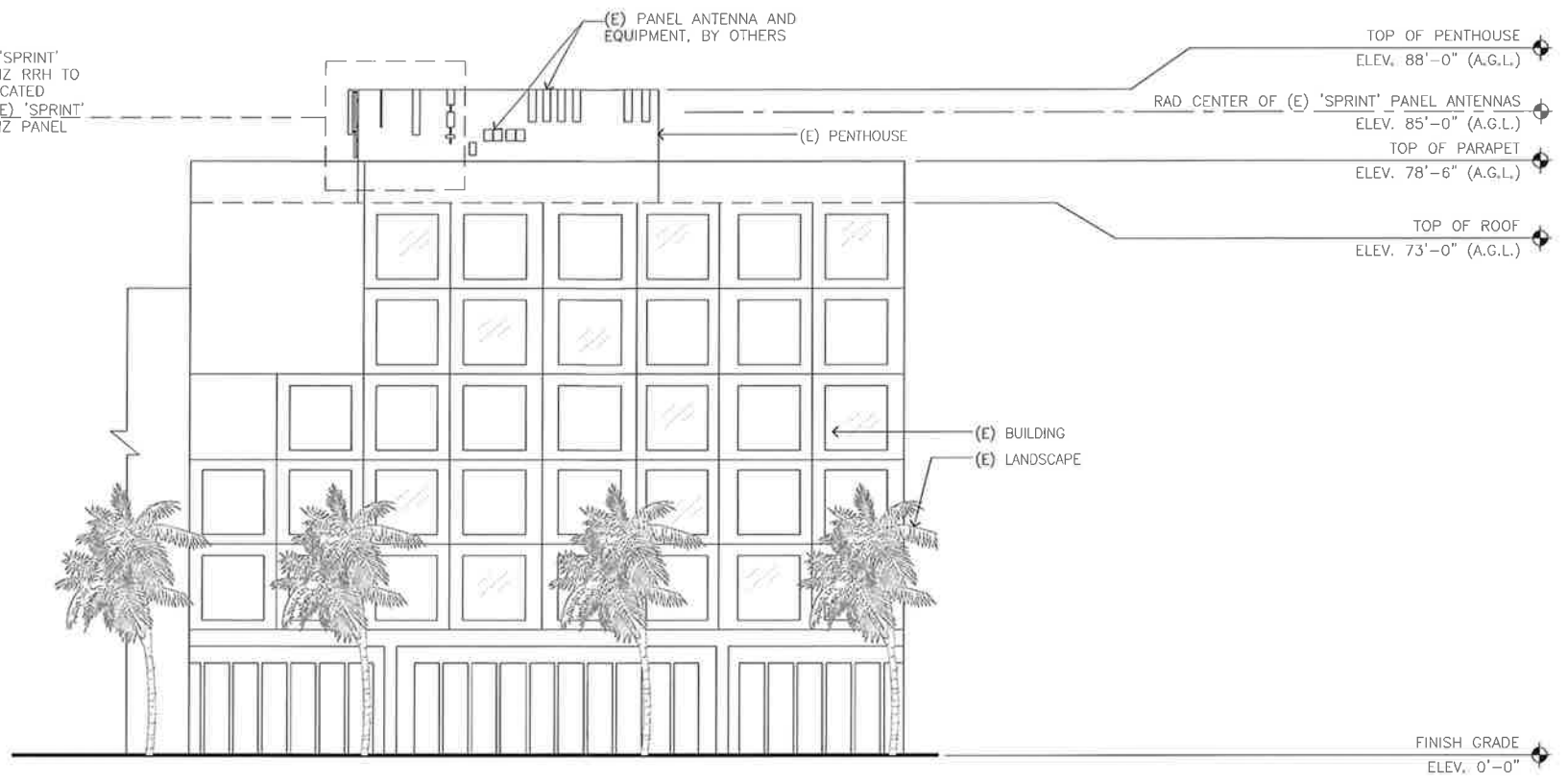
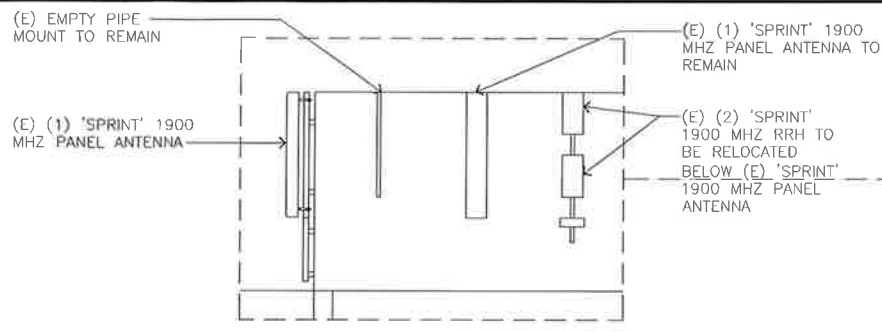
3100 S. BRISTOL ST.
COSTA MESA, CA 92626

SHEET DESCRIPTION:

NORTH ELEVATIONS

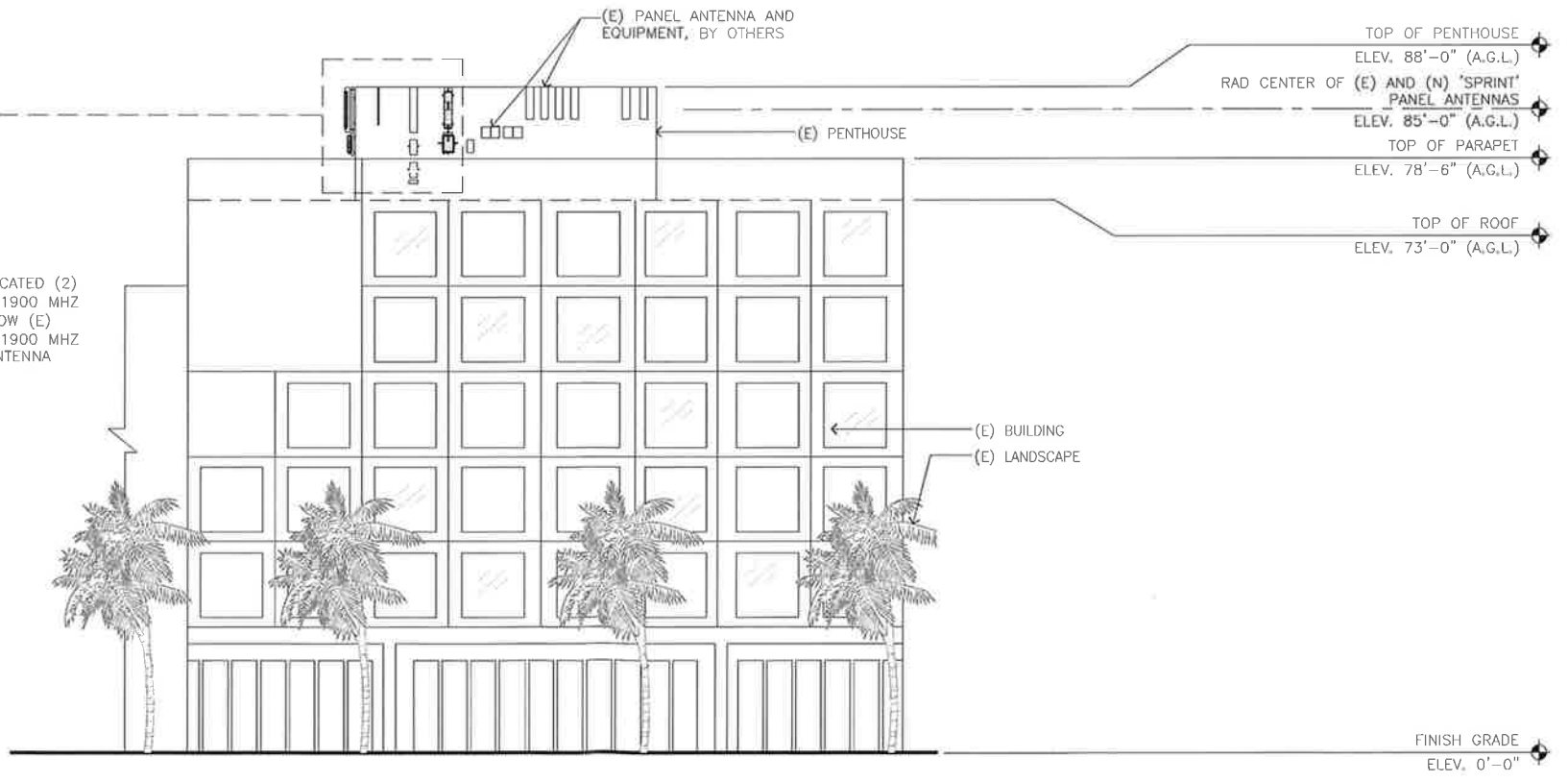
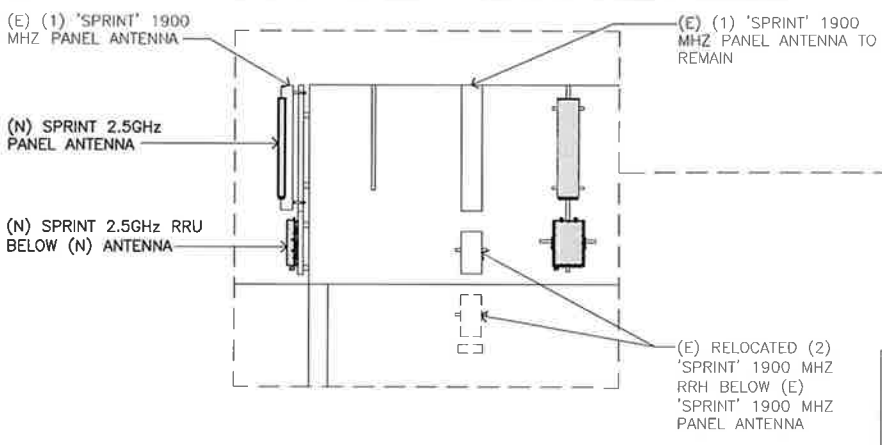
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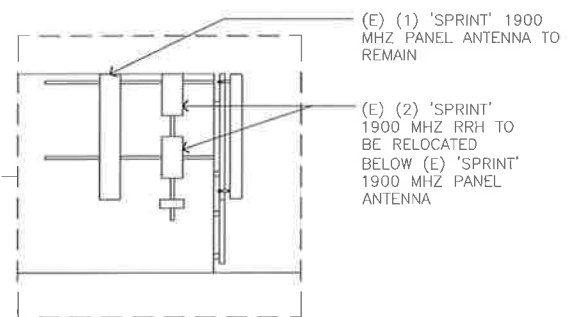
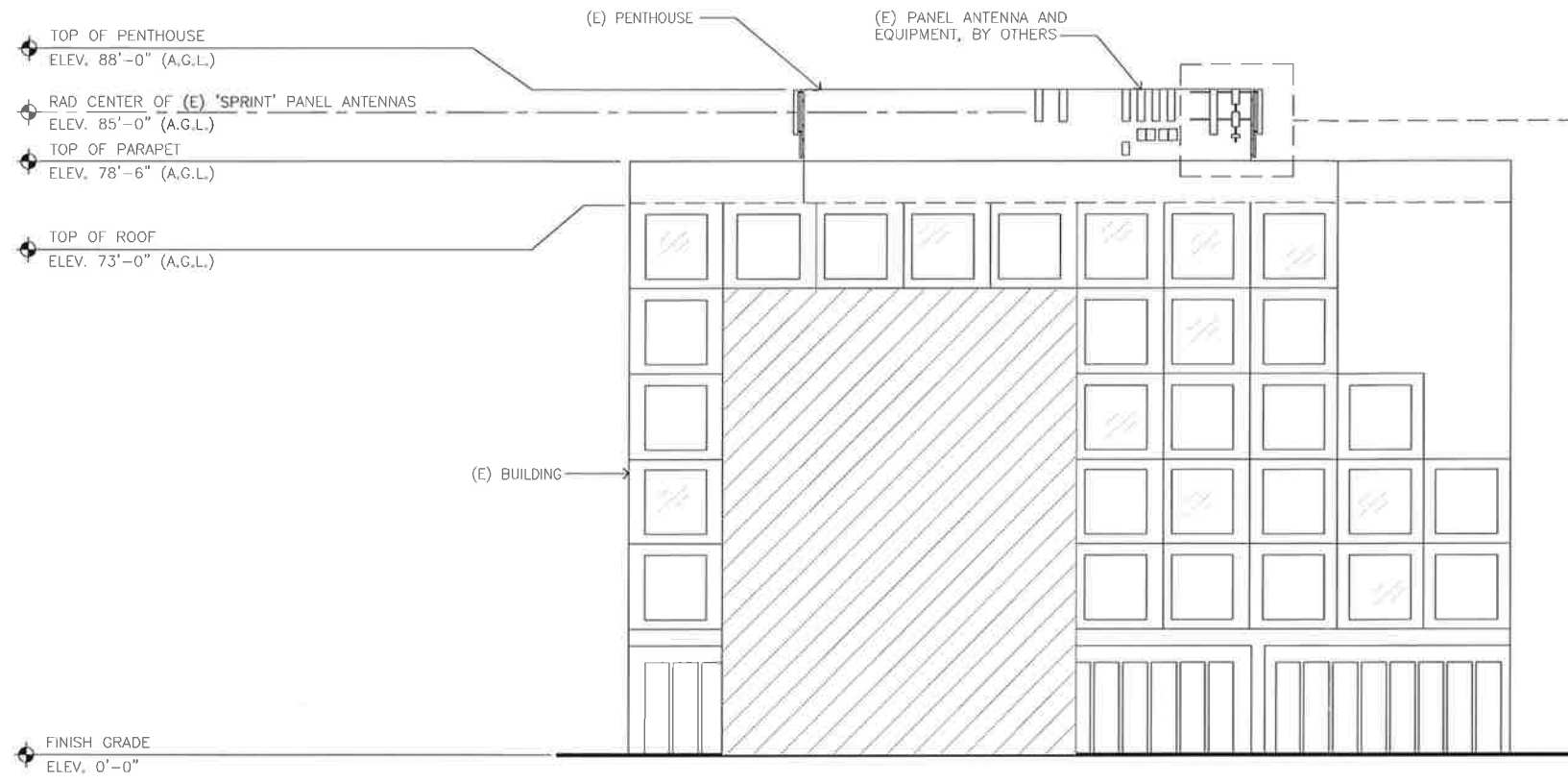
EXISTING SOUTH ELEVATION

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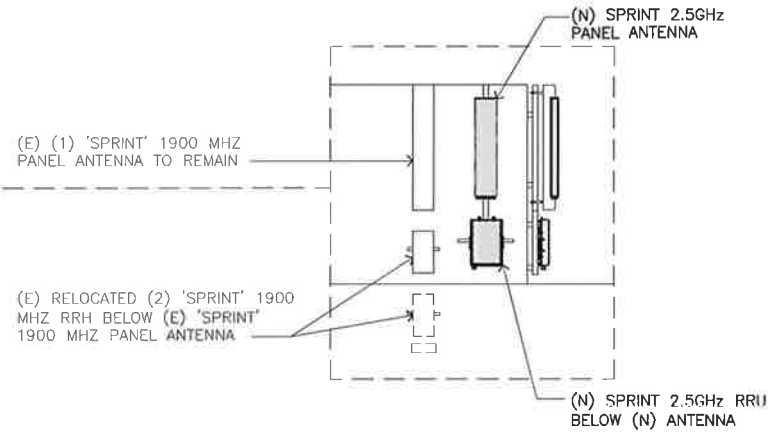
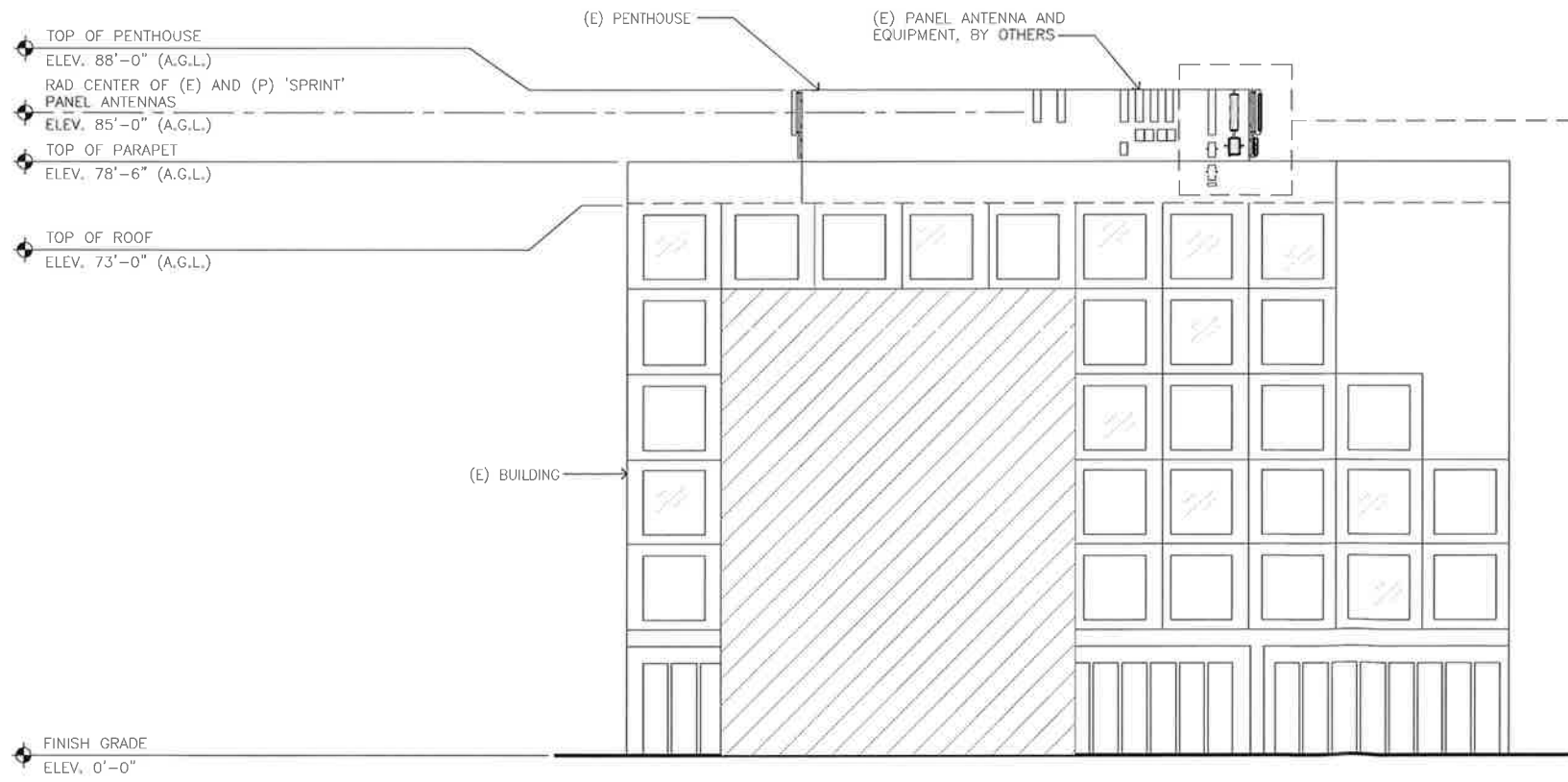
FINAL NORTH ELEVATION

SCALE 3/32"=1'-0" 0' 2' 4' 8' 16' 2



EXISTING EAST ELEVATION

SCALE 1/32"=1'-0" 0' 2' 4' 8' 16' **1**



FINAL EAST ELEVATION

SCALE 1/32"=1'-0" 0' 2' 4' 8' 16' **2**

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PLANS PREPARED BY:

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		04/29/14	JMB	0

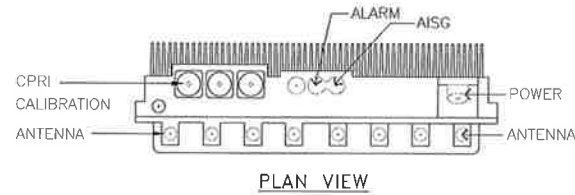
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SITE CASCADE:
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SITE ADDRESS:
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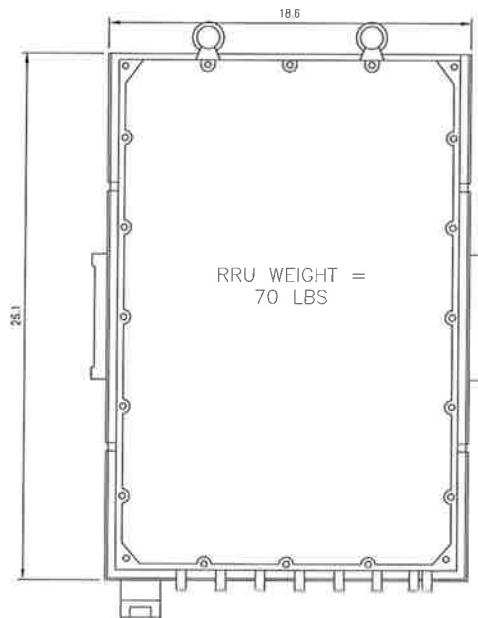
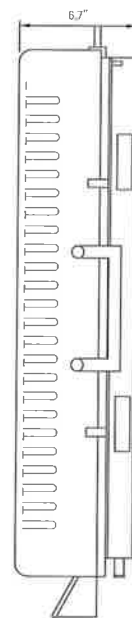
SHEET DESCRIPTION:
EAST ELEVATIONS

SHEET NUMBER:
A-5



RRH MAKE AND MODEL
 MANUFACTURER: ALU
 MODEL: TD-RRH8x20-25
 DIMENSIONS, HxWxD,in(mim): 26,1" X 18,6" X 6,7"
 WEIGHT: 70 lbs

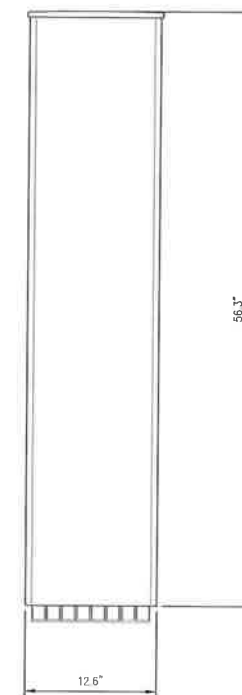
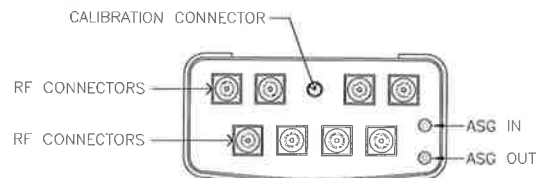
ANTENNA MAKE AND MODEL
 MANUFACTURER: RFS/CELLWAVE
 MODEL: APXVTM14-C-120
 DIMENSIONS, HxWxD,in(mim): 56.3" X 12.6" X 6.3"
 WEIGHT: 56.2 lbs



RRU WEIGHT = 70 LBS

NOTES

COMPLY WITH MANUFACTURERS INSTRUCTIONS TO ENSURE THAT ALL RRU'S RECEIVE ELECTRICAL POWER WITHIN 24 HOURS OF BEING REMOVED FROM THE MANUFACTURER'S PACKAGING, DO NOT OPEN RRU PACKAGES IN THE RAIN



PLANS PREPARED FOR:
Sprint
 330 Commerce
 Irvine, CA 92602

PLANS PREPARED BY:
core
 DEVELOPMENT SERVICES
 A&E SERVICES
 2749 Saturn Street
 Brea, California 92821
 (714)729-8404 (714)333-4441 fax
 www.core.us.com

EQUIPMENT MANUFACTURER:
Alcatel-Lucent

MLA PARTNER:

ENGINEERING LICENSE:

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REVISIONS:

DESCRIPTION	DATE	BY	REV
ISSUED FOR ZONING	04/29/14	JMB	0

SITE NAME:
OLYMPIC

SITE CASCADE:
OG03XC151-B

SITE ADDRESS:
**3100 S. BRISTOL ST.
 COSTA MESA, CA 92626**

SHEET DESCRIPTION:
EQUIPMENT DETAILS

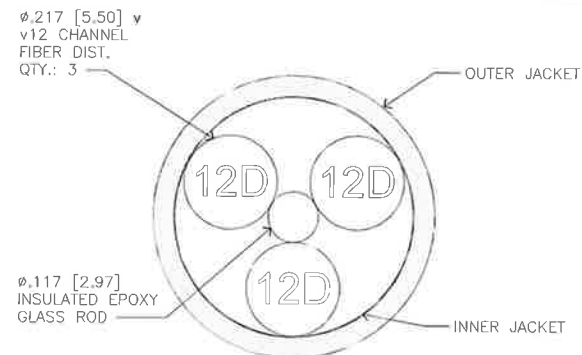
SHEET NUMBER:
A-6

2500MHz RRUS

SCALE: 3
 N.T.S.

2500MHz ANTENNA

SCALE: 1
 N.T.S.

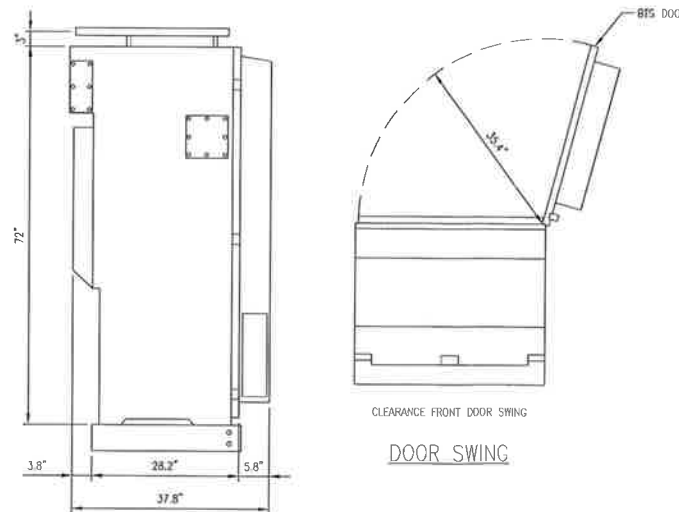


NOTE: CABLE CROSS-SECTION NOT DRAWN TO SCALE

HYBRIFLEX™ RRH Fiber Only Cabling Solution, 0x18, Riser, 5/8", Multi-Mode Fiber

Mechanical Properties	
Weight, Approximate	0.36 (0.242)
Minimum Bending Radius, Single Bending	90 (4)
Minimum Bending Radius, Repeated Bending	254 (10)
Fiber Optic Properties	
Version	Multi-mode bend tolerant fiber-12 channel cable
Quantity, Fiber Count	18 pairs (9 main, 9 spares)
Minimum Bending Radius (Installation)	114.3 (4.5)
Environment	
Installation Temperature	-20 to +65 (-4 to +149)
Operation Temperature	-40 to +65 (-40 to +149)
Storage Temperature	-40 to +70 (-40 to +158)

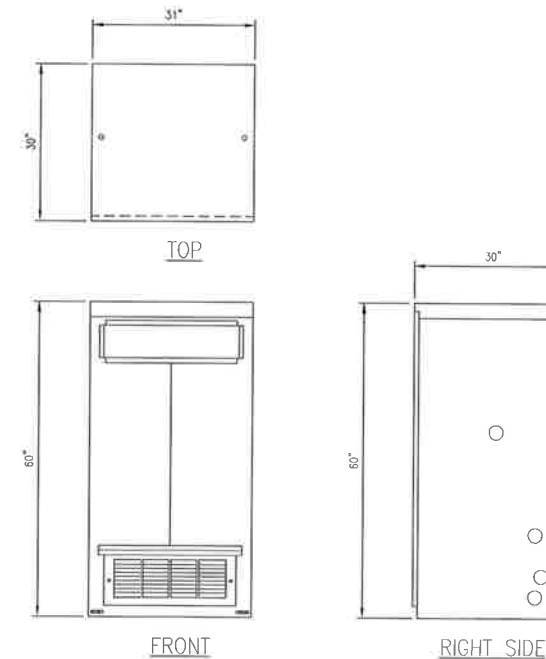
Assembly Length, ft	Model Number	Description
25	HB058-M12-025F	18pr multi-mode fiber, TOP: 3 MPO connectors; BOTTOM: 18 LC connectors
50	HB058-M12-050F	18pr multi-mode fiber, TOP: 3 MPO connectors; BOTTOM: 18 LC connectors
75	HB058-M12-075F	18pr multi-mode fiber, TOP: 3 MPO connectors; BOTTOM: 18 LC connectors
100	HB058-M12-100F	18pr multi-mode fiber, TOP: 3 MPO connectors; BOTTOM: 18 LC connectors
125	HB058-M12-125F	18pr multi-mode fiber, TOP: 3 MPO connectors; BOTTOM: 18 LC connectors
150	HB058-M12-150F	18pr multi-mode fiber, TOP: 3 MPO connectors; BOTTOM: 18 LC connectors
175	HB058-M12-175F	18pr multi-mode fiber, TOP: 3 MPO connectors; BOTTOM: 18 LC connectors
200	HB058-M12-200F	18pr multi-mode fiber, TOP: 3 MPO connectors; BOTTOM: 18 LC connectors



SIDE VIEW

DOOR SWING

SPRINT TO INSTALL (1) NEW BASEBAND UNIT INSIDE THE EXISTING MMBTS CABINET



FRONT

RIGHT SIDE

SPRINT TO INSTALL (4) NEW BATTERIES INSIDE THE EXISTING BATTERY CABINET

FIBER ONLY CABLE (16) X-SECTION

SCALE: 5
 N.T.S.

(E) MMBTS CABINET

SCALE: 4
 N.T.S.

(E) BATTERY CABINET

SCALE: 2
 N.T.S.