



City of Costa Mesa

Inter Office Memorandum

TO: CITY COUNCIL AND PLANNING COMMISSION
CC: TOM HATCH, GARY ARMSTRONG, AND JERRY GUARRACINO
FROM: WILLA BOUWENS-KILLEEN, ZONING ADMINISTRATOR
DATE: JULY 10, 2014
SUBJECT: ZONING ADMINISTRATOR DECISION(S)

WPK

This is to advise you of the following decision(s) made by the Zoning Administrator within the last week. The decision(s) will become final unless a member of the Planning Commission or City Council requests a review of the decision(s) or an interested party files an appeal by 5:00 p.m. on July 17, 2014. Project descriptions have been kept brief for this notice. As a result, there may be details to the project or conditions of approval that would be of interest to you in deciding whether to request a review of a decision. Please feel free to contact me by e-mail at willa.bouwens-killeen@costamesaca.gov if you have any questions or would like further details.

ZA-13-33 55 FAIR DRIVE

The proposed project involves the following amendment to the Master Plan for the Vanguard University Campus previously approved under Planning Applications PA-02-03, PA-97-01, PA-96-69, PA-92-06, PA-91-28, and PA-85-76: A remodel of the existing 23,076 square foot Scott Academic Center building, including a 16,135 square foot addition consisting of a new one- and two-story classroom wing (ten classrooms total) and a new third-story office wing; the demolition of the existing 9,000 square foot mail room and nursing buildings; and the addition of 40 on-site parking spaces. The University currently has an enrollment of 1,500 students and 500 faculty and staff (no increase is proposed).

Approved, subject to conditions of approval.

Comments received: None.

ZA-14-08 151 KALMUS DRIVE, SUITE J7

Minor conditional use permit to establish a dance studio in a 4,216 square foot tenant space within an industrial center, with a deviation from shared parking requirements due to offset hours of operation (3:00 pm to 10:00 pm Monday through Friday). The classes have a maximum of 10 people, with performances for friends and family four times a year (60 people maximum).

Approved, subject to conditions of approval.

Comments received: None.



CITY OF COSTA MESA

P.O. BOX 1200 • 77 FAIR DRIVE • CALIFORNIA 92628-1200

DEVELOPMENT SERVICES DEPARTMENT

July 10, 2014

Anthony Massaro
2533 Greenbriar Lane
Costa Mesa, CA 92626

**RE: ZONING APPLICATION ZA-13-33 FOR VANGUARD UNIVERSITY SCOTT
BUILDING REMODEL AND EXPANSION
55 FAIR DRIVE, COSTA MESA**

Dear Mr. Massaro:

Staff's review of your zoning application for the above-referenced project has been completed. The application, as described in the attached project description, has been approved, based on the findings and subject to the conditions of approval and code requirements (attached). The decision will become final at 5:00 p.m. on July 17, 2014, unless appealed by an affected party including filing of the necessary application and payment of the appropriate fee or called up for review by a member of the Planning Commission or City Council.

If you have any questions regarding this letter, please feel free to contact the project planner, Mel Lee, at (714) 754-5611, or at mel.lee@costamesaca.gov.

Sincerely,

WILLA BOUWENS-KILLEEN, AICP
Zoning Administrator

Attachments: Background/Project Description
 Findings
 Conditions of Approval, Code Requirements, and Special District
 Requirements
 Planning Application Summary
 Applicant's Project Description Letter
 Parking Study
 Approved Conceptual Plans

cc: Director of Economic & Development / Deputy CEO
 Public Services Director
 City Engineer
 Transportation Services Manager
 Fire Protection Analyst

Vanguard University
Attn: Lettie Cowie
55 Fair Drive
Costa Mesa, CA 92626

BACKGROUND

Vanguard University (formerly Southern California College) is private, four-year University with a graduate program in religion. The campus is located on a 33-acre site that includes a library, classrooms, study halls, dormitories, gymnasium, administrative offices, a book store and cafeteria, and athletic fields.

Under the I&R zone, new development is subject to approval of a master plan amendment. Per CMMC Section 13-28(h)(2), this type of master plan amendment can be approved by the Zoning Administrator. The last major project approved as a master plan amendment for the university was for construction of the 38,000 square foot classroom and faculty offices for the Heath Building under PA-02-03. Other past amendments included a four-story, 85-unit student dormitory building, approved under PA-00-05. The projects are part of the long-term expansion and upgrade of the campus facilities. Additional amendments to the master plan for future buildings and campus facilities will be necessary as university funding becomes available.

ANALYSIS

The project consists of the remodel and expansion of the 23,076 square foot Scott Academic Center, which is located along the Fair Drive frontage of the campus and is also the closest building to Costa Mesa City Hall. The project involves a facade remodel and a 16,135 square foot addition. The building architecture is similar to the nearby Needham Chapel and Heath Building. The building is proposed to be three stories in height and includes the following:

First Level (11,610 sq. ft. existing; 6,002 sq. ft. proposed)	Classrooms (5 Total) and Administrative Offices
Second Level (11,466 sq. ft. existing; 5,429 sq. ft. proposed)	Classrooms (5 Total) and Administrative Offices
Third Level (4,704 sq. ft. proposed)	Future Office Space (No Classrooms Proposed)
TOTAL BUILDING AREA = 39,211 SQ. FT.	

During the construction of the project, the temporary buildings containing the Scott Annex Mail Room and the Nursing Annex will be relocated to the north of the Library Building. Upon completion of construction, those buildings will be demolished and removed from the campus. After those temporary buildings are removed, 40 additional on-site parking spaces will be restored to the site, bringing the total site parking to 1,240.

The proposed addition will add 10 new classrooms to the campus; as discussed previously, the Nursing Annex Building, which contains 4 classrooms, will be removed from the campus at the completion of construction, creating a net gain of 6 classrooms to the campus.

According to the applicant, no increase in the existing number of faculty (currently 500 faculty members) or student enrollment (currently 1,500 students) is proposed. No other alterations to the existing campus facilities are proposed as part of this project.

As noted earlier, there will be a total of 1,240 spaces available to the university both on- and off-site, which is shared between the university, the Southern California Assemblies of God Church, and the Newport Mesa Christian Center, through reciprocal parking agreements. Code does not specify a parking requirement for school campuses; however, a parking study prepared by Willdan Associates for the project compared the parking requirements of other jurisdictions including Irvine, Lake Forest, Mission Viejo, Orange, Placentia, Santa Ana, and Yorba Linda. The study concluded a minimum parking requirement of 1 space per 3 students and 1 space per 2 faculty members would be sufficient for the campus, which translates to a parking requirement of 750 spaces based on the current number of student and faculty members. As a result, the 1,240 parking spaces proposed should be adequate for this project.

As part of the project, 48 on-site trees in proximity to the building will be protected in place, 9 trees are proposed to be relocated, 24 trees are proposed to be removed from the site, and 28 new trees will be planted. All landscaping revisions will require submittal of landscape plans and subject to approval by the Planning Division.

ENVIRONMENTAL DETERMINATION

If the request is approved, it would be exempt from the provisions of the California Environmental Quality Act under Section 15314 for Minor Additions to Schools. The project site is an existing school where the proposed expansion will not result in an increase of more than 10 classrooms (10 classrooms are proposed and, as discussed previously, the Nursing Annex Building will be removed from the campus at the completion of construction, creating a net gain of 6 classrooms) or an increase of the existing student enrollment, which is currently 1,500 students (no increase to the existing student enrollment is proposed).

GENERAL PLAN CONFORMITY

With the recommended conditions of approval, the use is consistent with Land Use Objective LU-1F.5: Provide opportunities for the development of well-planned and designed projects which, through vertical or horizontal integration, provide for the development of compatible uses within a single project or neighborhood. The project also complies with the uses and development as allowed per the General Commercial designation of the property and the maximum allowable Floor Area Ratio (FAR).

FINDINGS

- A. The proposed project complies with Costa Mesa Municipal Code Section 13-29(e) because:
Required Finding: A compatible and harmonious relationship exists between the

proposed use and existing buildings, site development, and uses that exist or have been approved for the general neighborhoods.

Response: With the implementation of the recommended conditions of approval, the proposed project will be compatible and harmonious with uses that exist within the general neighborhood. The project features quality construction and materials. The proposed site improvements and upgrades will improve and enhance the appearance of the property from Fair Drive.

Required Finding: Safety and compatibility of the design of the parking areas, landscaping, luminaries, and other site features including functional aspects of the site development such as automobile and pedestrian circulation have been considered.

Response: Code does not specify a parking requirement for school campuses; however, based on a parking study prepared by Willdan Associates for the project compared the parking requirements of other jurisdictions including Irvine, Lake Forest, Mission Viejo, Orange, Placentia, Santa Ana, and Yorba Linda. The study concluded a minimum parking requirement of 1 space per 3 students and 1 space per 2 faculty members would be sufficient for the campus, which translates to a parking requirement of 750 spaces based on the current number of student and faculty members. As a result the 1,240 parking spaces proposed should be adequate for this project.

Required Finding: The use complies with performance standards as prescribed elsewhere in the Zoning Code.

Response: The project complies with the intent of the City's Zoning Code as it pertains to building height, setbacks, and on-site landscaping, and complies with the intent of the Zoning Code as it pertains to on-site parking spaces and overall project Floor Area Ratio (FAR).

Required Finding: The use is consistent with the General Plan.

Response: Because the project, if approved, is required to be operated in compliance with the recommended conditions of approval, the project would conform to the City's General Plan. The specific General Plan objective with which the proposed project complies with is the following:

Land Use Objective LU-1F.5: Provide opportunities for the development of well-planned and designed projects which, through vertical or horizontal integration, provide for the development of compatible uses within a single project or neighborhood. The project also complies with the uses and development as allowed per the General Commercial designation of the property and the maximum allowable Floor Area Ratio (FAR).

Required Finding: The cumulative effect of all the planning applications have been considered.

Response: The cumulative effects of the previous master plan amendments for this site have all been considered for this project. No increase in the number of faculty or students is proposed as part of this project.

- B. The information presented substantially complies with Costa Mesa Municipal Code Section 13-29(g)(5) because:

Required Finding: The master plan amendment meets the broader goals of the General Plan, any applicable specific plan, and the Zoning Code by exhibiting excellence in design, site planning, integration of uses and structures, and protection of the integrity of neighboring development. Additionally, the master plan amendment is consistent with the floor area ratio and trip budget standards established by the General Plan.

Response: The proposed development, with the recommended conditions of approval, will be compatible with the other uses in the immediate vicinity. Compliance with the conditions of approval will allow this use to operate with minimal impact on surrounding properties and uses. The project site is zoned I&R and has a General Plan Designation of Public/Institutional. The project complies with the intent of the City's Zoning Code as it pertains to building height, setbacks, and on-site landscaping, and complies with the intent of the Zoning Code as it pertains to on-site parking spaces and the General Plan as it pertains to overall project Floor Area Ratio (FAR) and trip budget standards.

- C. The project is exempt from Chapter XII, Article 3, Transportation System Management, of Title 13 of the Costa Mesa Municipal Code.
- D. The project has been reviewed for compliance with the California Environmental Quality Act (CEQA), the CEQA Guidelines; and the City environmental procedures, and has been found to be exempt from CEQA under Section 15314 for Minor Additions to Schools.

CONDITIONS OF APPROVAL

- Plng.
- 1. The conditions of approval, code requirements, and special district requirements of ZA-13-33 shall be blueprinted on the face of the site plan as part of the plan check submittal package.
 - 2. The use shall be limited to the type of operation as described herein. Any change in the operational characteristics shall require review by the Planning Division and may require an amendment to the conditional use permit, subject to either Zoning Administrator or Planning Commission approval, depending on the nature of the proposed change. The applicant is reminded that Code allows the Planning Commission to modify or revoke any planning application based on findings related to public nuisance and/or noncompliance with conditions of approval [Title 13, Section 13-29(o)].
 - 3. A copy of the conditions of approval for the conditional use permit must be kept on premises and presented to any authorized City official upon request. New business/property owners shall be notified of conditions of approval upon transfer of business or ownership of land.
 - 4. The developer shall contact the Planning Division to arrange a Planning inspection of the site prior to the release of occupancy. This inspection is to confirm that the Planning Division conditions of approval and code requirements have been satisfied.
 - 5. It is recommended that the project incorporate green building design and

construction techniques where feasible. The applicant may contact the Building Safety Division at (714) 754-5273 for additional information.

6. Demolition permits for existing structures shall be obtained and all work and inspections completed prior to final building inspections. Applicant is notified that written notice to the Air Quality Management District may be required ten (10) days prior to demolition.
7. The subject property's ultimate finished grade level may not be filled/raised unless necessary to provide proper drainage, and in no case shall it be raised in excess of 30 inches above the finished grade of any abutting property. If additional fill dirt is needed to provide acceptable on-site stormwater flow to a public street, an alternative means of accommodating that drainage shall be approved by the City's Building Official prior to issuance of any grading or building permits. If mechanical pump method is determined appropriate, said mechanical pump(s) shall continuously be maintained in working order. In any case, development of subject property shall preserve or improve the existing pattern of drainage on abutting properties.
8. Permits shall be obtained for all signs according to the provisions of the Costa Mesa Sign Ordinance. Freestanding signs shall be subject to review and approval by the Planning Division/Development Services Director to ensure compatibility in terms of size, height, and location with the proposed/existing development, and existing freestanding signs in the vicinity.
9. No exterior roof access ladders, roof drain scuppers, or roof drain downspouts are permitted. This condition relates to visually prominent features of scuppers or downspouts that not only detract from the architecture but may be spilling water from overhead without an integrated gutter system which would typically channel the rainwater from the scupper/downspout to the ground. An integrated downspout/gutter system which is painted to match the building would comply with the condition. This condition shall be completed under the direction of the Planning Division.
10. Developer shall defend, indemnify, and hold harmless the City, its elected and appointed officials, agents, officers and employees from any claim, action, or proceeding (collectively referred to as "proceeding") brought against the City, its elected and appointed officials, agents, officers or employees arising out of (1) City's approval of the project, including but not limited to any proceeding under the California Environmental Quality Act. The indemnification shall include, but not be limited to, damages, fees and/or costs awarded against the City, if any, and cost of suit, attorney's fees, and other costs, liabilities and expenses incurred in connection with such proceeding whether incurred by the applicant, the City and/or the parties initiating or bringing such proceeding. This indemnity provision shall include the applicant's obligation to indemnify the City for all the City's costs, fees, and damages that the City incurs in enforcing the indemnification provisions set forth in this section.
- Eng. 11. Maintain the public right-of-way in a "wet-down" condition to prevent excessive dust and promptly remove any spillage from the public right-of-way by sweeping or sprinkling.

CODE REQUIREMENTS

The following list of federal, state and local laws applicable to the project has been compiled by staff for the applicant's reference. Any reference to "City" pertains to the City of Costa Mesa.

- Plng.
1. All contractors and subcontractors must have valid business licenses to do business in the City of Costa Mesa. Final inspections, final occupancy and utility releases will not be granted until all such licenses have been obtained.
 2. Approval of the zoning application is valid for one (1) year from the effective date of this approval and will expire at the end of that period unless applicant establishes the use by one of the following actions: 1) obtains demo permit(s), grading permit(s), or building permit(s) for the authorized construction and initiates construction; and/or 2) obtains a business license and/or legally establishes the business. If the applicant is unable to establish the use/obtain building permits within the one-year time period, the applicant may request an extension of time. The Planning Division must receive a written request for the time extension prior to the expiration of the zoning application.
 3. Street address shall be visible from the fascia adjacent to the main entrance or on another prominent location. Numerals shall be a minimum twelve (12) inches in height with not less than three-fourth-inch stroke and shall contrast sharply with the background. Identification of individual units shall be provided adjacent to the unit entrances. Letters or numerals shall be four (4) inches in height with not less than one-fourth-inch stroke and shall contrast sharply with the background.
 4. All noise-generating construction activities shall be limited to 7 a.m. to 7 p.m. Monday through Friday and 9 a.m. to 6 p.m. Saturday. Noise-generating construction activities shall be prohibited on Sunday and the following Federal holidays: New Years Day, Memorial Day, Independence Day, Labor Day, Thanksgiving Day and Christmas Day.
 5. All new on-site utility services shall be installed underground.
 6. Parking stalls shall be double-striped in accordance with City standards.
 7. Installation of all new utility meters shall be performed in a manner so as to obscure the installation from view from any place on or off the property. The installation shall be in a manner acceptable to the public utility and shall be in the form of a vault, wall cabinet, or wall box under the direction of the Planning Division.
 8. Any mechanical equipment such as air-conditioning equipment and duct work shall be screened from view in a manner approved by the Planning Division.
 9. Two (2) sets of detailed landscape and irrigation plans, which meet the requirements set forth in Costa Mesa Municipal Code Sections 13-101 through 13-108, shall be required as part of the project plan check review and approval process. Plans shall be forwarded to the Planning Division for final approval prior to issuance of building permits.

10. Landscaping and irrigation shall be installed in accordance with the approved plans prior to final inspection or occupancy clearance.
11. Two (2) sets of landscape and irrigation plans, approved by the Planning Division, shall be attached to two of the final building plan sets.
12. Existing mature trees shall be retained wherever possible. Should it be necessary to remove existing trees, the applicant shall submit a written request and justification to the Planning Division. A report from a California licensed arborist may be required as part of the justification. Replacement trees shall be of a size consistent with trees to be removed and may be required on a 1:1 basis. This requirement shall be completed under the direction of the Planning Division.
13. Trash enclosure(s) or other acceptable means of trash disposal shall be provided. Design of trash enclosure(s) shall conform with City standards. Standard drawings are available from the Planning Division.
- Bldg. 14. Comply with the requirements of the 2013 California Building Code, California Electrical Code, California Mechanical Code, California Plumbing Code, California Green Building Standards Code and 2013 California Energy Code (or the applicable adopted California Building Code, California Electrical Code, California Mechanical Code, California Plumbing Code, California Green Building Standards and California Energy Code at the time of plan submittal) and California Code of Regulations also known as the California Building Standards Code, as amended by the City of Costa Mesa.
15. This project shall comply with the in-Building Public Safety Radio System Coverage per section 5-130 to 5-137 of the Costa Mesa Municipal Code. At plan check submittal 6 copies of an in-building Public Safety Radio System Coverage report (Radio system report) shall be submitted to the Building and Safety Division. The Radio System report shall be certified by an FCC licensed radio technician as provided by the property owner/applicant. The technician is required by section 5-133 to conduct initial tests and shall be employed by the owner, the engineer or architect of record, or agent of the owner, but not by the contractor or any other person responsible for the work.
16. Submit grading plans, an erosion control plan and a hydrology study. A precise grading plan shall not be required if any of the following are met:
 - An excavation which does not exceed 50 CY on any one site and which is less than 2 ft. in vertical depth, or which does not create a cut slope greater than 1 ½:1 (excluding foundation area).
 - A fill less than 1 foot in depth placed on natural grade with a slope flatter than 5:1, which does not exceed 50 CY on any one lot and does not obstruct a drainage course.
 - A fill less than 3 ft. in depth, not intended to support structures, which does not exceed 50 CY on any one lot and does not obstruct a drainage course.
17. Submit a soils report for this project. Soil's Report recommendations

shall be blueprinted on both the architectural and grading plans. For an existing slopes or when new slopes are proposed the Soils report shall address how existing slope or the new slope will be maintained to avoid any future failure.

18. On graded sites the top of exterior foundation shall extend above the elevation of the street gutter at point of discharge or the inlet of an approved discharge device a minimum of 12 inches plus 2 percent. 2013 California Building Code CBC 1808.7.4
19. The ground immediately adjacent to the foundation shall be sloped away from the building at a slope of not less than 5% for a minimum of 10 ft. measured perpendicular to the face of the wall. CBC 1803.3
20. Projections, including eaves, shall be one-hour fire resistive construction, heavy timber or of noncombustible material if they project into the 5 ft. (setback area from the property line. They may project a maximum of 12 inches beyond the 3 ft. setback. CRC Tables R302.1(1) and R302.1(2).
21. Show on plans compliance with Chapter 11B of the 2013 California Building Code.
- Eng. 22. For demolition, grading, or building permits involving projects with a valuation of \$10,000 or more, the contractor shall use a City-permitted hauler(s) to haul any debris or solid waste from the job site (refer to Section 8-83(h), Regulations, of Title 8 of the Costa Mesa Municipal Code). Use of a City-permitted hauler for such projects is the responsibility of the designated contractor. Non-compliance is subject to an administrative penalty as follows: \$1,000 or 3% of the total project value, whichever is greater.
- Trans. 23. Parking spaces shall comply with City standards.

SPECIAL DISTRICT REQUIREMENTS

The requirements of the following special districts are hereby forwarded to the applicant:

- Sani 1. It is recommended that the developer contact the Costa Mesa Sanitary District at (949) 645-8400 to obtain Sanitary District requirements.
- AQMD 2. Applicant shall contact the Air Quality Management District (800) 288-7664 for potential additional conditions of development or for additional permits required by the district.
- State 3. Comply with the requirements of the California Department of Food and Agriculture (CDFA) to determine if red imported fire ants (RIFA) exist on the property prior to any soil movement or excavation.
- Water 4. Customer shall contact the Mesa Water District – Engineering Desk and submit an application and plans for project review. Customer must obtain a letter of approval and a letter of project completion from Mesa Water District.

PLANNING APPLICATION SUMMARY

Location: 55 Fair Drive Application: ZA-13-33

Request: Amendment to master plan to construct an addition to the Scott Academic Center

SUBJECT PROPERTY:

SURROUNDING PROPERTY:

Zone: <u>I&R</u>	North: <u>(Acr Fair Dr.) I&R, O.C. Fairgrounds</u>
General Plan: <u>Public/Institutional</u>	South: <u>R3, 88-Unit Condominium Development</u>
Lot Dimensions: <u>Irregular Shaped Lot</u>	East: <u>Newport Blvd. and 57 Freeway</u>
Lot Area: <u>33 Ac (1,437,480 SQ. FT.)</u>	West: <u>(Acr Vanguard Way) R3, Multi-Fam. Res. & I&R, City Hall</u>
Existing Development: <u>Vanguard University Campus</u>	

DEVELOPMENT STANDARD COMPARISON

<u>Development Standard</u>	<u>Required/Allowed</u>	<u>Proposed/Provided</u>
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Lot Size:		
Lot Width	60 FT	1,134 + FT
Lot Area	6,000 SQ. FT.	33 Ac (1,437,480 SQ. FT.)
Floor Area Ratio: (.25 Traffic FAR)	.25 (413,750 SQ. FT.)	.24 (394,394 SQ. FT.)
Building Height	4 Stories	3 Stories/47 FT (To Towers) 3 Stories/ 39 FT (To Main Bldg.)
Interior Landscaping:	1,000 SQ. FT.	1,000 SQ. FT.
Setbacks (Fair Dr. Is Considered Front):		
Front	20 FT	94 FT
Side (left/right)	20 FT/10 FT	680 FT/98 FT
Rear	5 FT	750 FT
Parking (Entire University + Remodeled Building):		
TOTAL:	750 Spaces (1)	1,240 Spaces
Driveway Width:	20 FT	25 FT
CEQA Status:	Exempt	
Final Action:	Zoning Administrator	
(1) Refer to staff report discussion on parking analysis		



Community Development Department
City of Costa Mesa
77 Fair Drive
Costa Mesa, CA 92626

May 27, 2014

Subject: Detailed Project Description
Scott Building Remodel and Addition
Vanguard University, 55 Fair Drive, Costa Mesa, CA

Background Information:

1. The previous Master Plan Amendment for Vanguard University was: PA-02-03 for the two story 38,776 square foot Heath Classroom and Faculty Office Building.
2. The Heath Building was part of the proposed Vision 2010 Master Plan, which was a comprehensive overhaul of the entire campus and included demolishing a significant amount of structures on the Campus. The full Vision 2010 Master Plan was never formally submitted. Only the Heath Building and its associated footprint impact was part of the amendment.
3. Recent projects at Vanguard University, none of which have required Master Plan amendments:
 - a. Huntington and Laguna Towers lobby interior remodel and addition of exterior non-conditioned pavilion.
 - b. Needham Chapel addition of 126 square feet to accommodate a new accessible ramp.
 - c. Soccer Field renovation which is currently under construction.
 - d. Free standing toilet structure adjacent to soccer field, which is currently in plan check.
4. The University currently has an enrollment of 1,500 students and 500 faculty and staff.

Submittal Objectives:

The submittal includes detail drawings for the Scott Academic Center, which is the University's "front door" building. The plans include a significant facade remodel on all sides as well as adding 16,135 new square feet of conditioned space. The construction for this remodel and additions is proposed for summer 2014.

Scott Academic Center Remodel and Addition:

1. Detailed plans, elevations and renderings are a part of this Master Plan Amendment submittal. Please note that the construction documents are being

processed with the Building Department concurrently with this Planning submittal. Construction is scheduled for 2014.

2. During the construction of the project, the Scott Annex Mail Room (building #21 on sheet MP-1) and Nursing Annex (building #27 on sheet MP-1) will be relocated just north of the Library (building #13 on Sheet MP-1). Upon completion of the construction, those buildings will be demolished or located off the campus.
3. After the above mentioned structures have been relocated, 40 new parking spaces will be added to the site, bringing the total to 1,240.
4. The proposed addition will add ten new classrooms to the campus. There are currently four classrooms in the Nursing Building Annex that will be lost, creating a net gain of six classrooms. Based upon the submitted Parking Analysis by Wildan Engineering, the additional classrooms don't impact the overall campus parking requirements.

Please feel free to contact me at my office if you have any specific questions or comments at (714) 556-8299.

Best Regards,

Anthony P. Massaro
Architect

VANGUARD UNIVERSITY MASTER PLAN

7-Jun-14

Existing Property Area S.F.	1,654,998
.25 FAR Allowable Area S.F.	413,750
Existing Building Areas	378,259
Proposed Building Area including 16,135 s.f. Scott Addition	394,394
FAR after Scott addition	0.238

EXISTING CAMPUS STRUCTURES

BLDG. NO.	BUILDING NAME	AREA S.F.
1	Scott Academic Center	23,076
4	Huntington Hall	33,650
5	Laguna Hall	33,650
6	Gymnasium	13,700
7	The Cove/ Bookstore	4,000
8	The Café	9,900
9	Newport Hall	33,943
10	Balboa Hall	33,943
11	Catalina Hall	41,989
12	Theater Modular	-
13	Library/Lyceum Theater	15,900
14	Information Technology	8,264
14a	Human Resources	-
15	Smith Hall	16,500
16	Natural Sciences Offices	4,000
16a	Music Studios	-
17	Natural Sciences	7,600
18	Needham Chapel	4,737
18a	Forrest Room / Campus Safety	-
19	Fine Arts Offices	4,000
20	Newpot Mesa Church	32,291
21	Scott Annex Mail Room	-
22	Social Sciences Offices	11,340
22a	Psychology Offices	-
23	Grad Clinical Psych	-
23a	Classrooms	-
24	Maintenance Central Plant	7,000
25	NMC Dome	-
26	Heath Academic Center	38,776
27	Nursing Annex	-
TOTAL EXISTING AREA		378,259

November 25, 2013

Ms. Lettie Cowie
Vanguard University
Fifty-Five Flair Drive
Costa Mesa, CA 92626-9601

Subject: Vanguard University Master Plan Parking Study

Dear Ms. Cowie:

This letter report summarizes Willdan Engineering's (Willdan's) parking study regarding future parking needs for Vanguard University based on the number of students. Vanguard University is a private Christian university of liberal arts and professional studies. It is located at Fifty-five Fair Drive in the City of Costa Mesa, generally bounded by Fair Drive on the north, Vanguard Way on the west and Newport Boulevard (southbound lanes) on the east.

Introduction

Vanguard University is currently preparing a Master Plan to guide future campus development. The University currently has an allowable 0.25 floor area ratio (FAR), however, the City will allow a 0.30 FAR if there is no impact to traffic or parking. The purpose of this study is to determine how many future students the planned 1,400 on-site parking spaces in the Master Plan can accommodate and meet City parking requirements. Since the City of Costa Mesa's Parking Code does not include a College or University land use, a reasonable rate that would be acceptable to the City was also developed.

Specifically, the parking study examined the number of future students the proposed on-site parking could accommodate, and included a review of local cities' required parking rates for university and colleges, the development of a representative parking rate to be used in the study, an estimate of required parking spaces for the current 1,500 students and for possible future student populations of 2,000, 2,500, and 3,000, and the creation of a per-student parking ratio for Vanguard University's use in developing the Master Plan.

Survey of Parking Code Requirements

The City of Costa Mesa's Parking Code does not include requirements for four-year colleges or universities. To estimate a reasonable rate for use in the study, Willdan reviewed the parking codes for local cities and for Los Angeles/Orange County area cities with similar colleges, regarding the College and University land uses. Willdan reviewed the parking codes for over 20 cities and found 10 with parking code requirements for College or University land uses. The findings are summarized in Table 1. The relevant Parking Code for each city is attached.

Table 1
Summary of Required Parking Spaces for Colleges/Universities

CITY	LAND USE	REQUIRED PARKING SPACES
Azusa	College, University	1 space/employee, plus 1 space/each 5 students based on maximum student capacity
Irvine	College	0.5 spaces/faculty member/employee, plus 1 space/3 students
Lake Forest	Colleges, universities and institutions of higher learning	1 space/every 3 FTE students, plus 1 space/every 2 faculty member/employee
Mission Viejo	Community college/university	1 space/every 2 full time students, plus 1 space/every 2 employees
Laguna Niguel	Colleges, universities and institutions of higher learning	1 space/3 FTE students plus 1 space/each faculty member/employee
Orange	College and university	1 space/employee, plus 4 spaces/10 students based on maximum classroom capacity. Parking for on-campus student housing may be deducted from requirements if commuter-only lots are not available to student residents. Also, due to unique needs of colleges, a conditional use permit may be granted by the PC where different parking standards may be justified.
Pasadena	Colleges - non-traditional campus setting (smaller, compact campus, no student housing)	3 spaces/TSF
	Colleges - traditional campus setting (large campus with student housing, student unions, libraries, etc.).	1 space/3 non-resident students; plus 1 space/ 3 employees/faculty members
Placentia	Colleges and business colleges	1 space/3 students plus 1 space/employee
Santa Ana	Colleges, trade schools, business schools and adult education facilities	1 space/40 SF of classroom floor area, plus 1 space/each 333 SF of office floor area
Yorba Linda	College or university, including auditoriums, stadiums and housing facilities	0.75 spaces/FTE student, plus 1 space/every 2 on-campus housing rooms

FTE = Full Time Equivalent



Analysis of Parking Code Requirements

Generally, the parking requirements included rates for faculty and staff, as well as for students, with a variety of requirements and combinations. The rates were analyzed by identifying the number of times a particular combination of student rate and faculty/staff rate was used, then applying a weighted average to arrive at an average student rate and an average faculty/staff rate, as shown in Table 2.

**Table 2
 University Parking Rates Analysis**

CITY REQUIREMENTS ¹		NO.	RATES ²		AVE RATES ³	
STUDENTS (STU)	FACULTY/STAFF (F/S)		STU	F/S	STU	F/S
1 sp /3FTE students	+ 1 sp /2 faculty/employee	2	0.33	0.50	0.34	0.54
1 sp /2 full time students	+ 1 sp /2 employees	1	0.50	0.50		
1 sp /3 FTE students	+ 1 sp /1 faculty/employee	2	0.33	1.00		
4 sp /10 students	+ 1 sp /employee	1	0.40	1.00		
1 sp/ 3 non-resident students	+ 1 sp /3 employee/faculty	1	0.33	0.33		
1 sp/ 5 students (max cap)	+ 1 sp /employee	1	0.20	1.00		

¹ From Table 1

² Rates = number of spaces per each student and per each faculty/staff member, from City requirements

³ Average Rates = number of spaces required per each student and per each faculty/staff member, based on the weighted average of the various Rates using the number of cities having each set of requirements

Notes:

1. For Pasadena, the rates for traditional campus were used instead of non-traditional campus since non-traditional is per thousand square feet, not students
2. The Santa Ana rate was excluded since it is based on thousand square feet, not students
3. The Yorba Linda rate was excluded since it also has spaces per on-campus housing units, which the others do not

The results of the analysis provide a minimum average rate of 0.34 spaces per student plus an average rate of 0.54 spaces per faculty/staff member. In the standard format, these are equivalent to a minimum of 1 space per 3.03 students plus 1 space per 1.85 faculty/staff member. When rounded to the nearest whole number, the proposed requirement becomes:



1 space per 3 students plus 1 space per 2 faculty/staff members

It should be noted that some cities' requirements are based on full time equivalent (FTE) students or on non-resident students, whereas most cities do not specify. To be conservative, the total number of students, including both resident and non-resident, is assumed for the proposed parking requirement and ratios.

Based on the proposed requirement, the minimum required number of parking spaces is calculated by dividing the number of students by 3 and the number of faculty/staff members by 2, rounding up to the next highest whole number for each, then adding them together.

Estimated Parking Requirements for Existing and Future Conditions

The proposed requirement was applied to the current conditions of 1,500 students and 500 faculty/staff and to future possible conditions of 2,000, 2,500 and 3,000 students. If it is assumed that the ratio of 500 faculty/staff to 1,500 students (1-to-3) would remain the same, the required minimum number of parking spaces for existing and future conditions are as follows:

EXISTING	1,500	Students	+	500	Faculty/Staff	=	750	Spaces
FUTURE	2,000	Students	+	667	Faculty/Staff	=	1,001	Spaces
FUTURE	2,500	Students	+	833	Faculty/Staff	=	1,251	Spaces
FUTURE	3,000	Students	+	1,000	Faculty/Staff	=	1,500	Spaces

Per-Student Parking Ratio

A simple equation was developed to estimate the future minimum required number of parking spaces for any given number of students at Vanguard University, based on the assumption that the ratio of the number of faculty/staff members to the number of students will remain constant at 1-to-3. The equation is:

$$\begin{aligned} \text{Minimum number of parking spaces} &= \text{Number of students} \div 2. \\ \text{OR} &= 0.5 \times \text{Number of students} \end{aligned}$$

Note: If the number of students is an odd number, add 1 to the result to account for rounding.

Proposed Parking Supply

Vanguard University is planning 1,400 parking spaces in its proposed Master Plan. Based on the equation above, the planned parking supply would support a maximum of 2 x 1,400 or 2,800 students.



Summary

Vanguard University is preparing a Master Plan for future development of the university. One issue is the FAR that can be used in determining the maximum floor area the university will be allowed to develop. The maximum allowable FAR is tied to the City's minimum parking requirements. Because the City of Costa Mesa does not have on-site parking requirements for the University or College land use, a proposed requirement was developed based on the minimum parking requirements that local cities have for University and College land uses. The local rates were used to develop a proposed rate for Vanguard University of *1 space per 3 students plus 1 space per 2 faculty/staff members*.

The above rate was applied to the number of existing students and various numbers of future students proposed for the Master Plan. The analysis showed that the proposed 1,400 parking spaces would accommodate more than 2,500 students, but less than 3,000 students.

A per-student parking rate was also developed from the proposed rate, for the University's use in preparing the Master Plan. Assuming a constant ratio of 1 faculty/staff member to 3 students, the minimum required number of parking spaces is *0.5 times the number of students OR the number of students divided by 2*.

Based on the proposed required parking ratio, the planned parking supply of 1,400 spaces would support a maximum of 2,800 students.

We appreciate this opportunity to continue to serve Vanguard University. If you have any questions, please contact me at (714) 978-8225 or at ruthsmith@willdan.com.

Very truly yours,

WILLDAN ENGINEERING



Ruth Smith, TE, PTP
Project Manager

Attachment



City of Azusa Parking Code

School (public or private)	
Elementary or middle school	1.5 space for each classroom, plus 1 space per 5 fixed seats in auditorium, gym, or other assembly facility, or 1 space for each 35 sf of floor assembly floor area with no fixed seats.
Secondary (high) school	1.5 spaces for each classroom, plus 1 space for each 5 students based on maximum student capacity.
College, university	1 space for each employee, plus 1 space for each 5 students based on maximum student capacity.
Specialized education/training	1 space for each 3 students, plus one space for each employee.

City of Irvine Parking Code

28.	College:	0.5 space/faculty member and employee, plus 1 space/3 students	75%
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City of Laguna Niguel Parking Code

Schools (1) Elementary and junior high (2) Senior high schools (3) Colleges, universities and institutions of higher learning (4) Trade schools, business colleges and commercial schools	2 spaces/classroom 1 space per faculty member and employee, plus 1 space per 6 full-time equivalent students regularly enrolled 1 space per 3 full-time equivalent students, plus 1 space per 2 faculty and employee members 1 space per 3 student capacity of each classroom plus 1 for each faculty and employee member
--	--

City of Lake Forest Parking Code

33. Schools.	
a. Elementary and junior high.	2 for each classroom.
b. Colleges, universities and institutions of higher learning.	1 for each 3 full-time equivalent students, plus 1 for each 2 faculty and employee members.
c. Senior high schools.	1 for each member of the faculty and each employee, plus 1 for each 6 full-time equivalent students regularly enrolled.
d. Trade schools, business colleges and commercial schools.	1 for each 3 student capacity of each classroom plus 1 for each faculty and employee member.

City of Mission Viejo Parking Code

(8)	Schools:		
		Nursery/preschool	1 space for each staff member, plus 1 space for each 6 children
		Elementary/junior high	2 spaces for each classroom
		High school	7 spaces for each classroom
		Community college/university	1 space for every 2 full time students, plus 1 space for every 2 employees

City of Orange Parking Code

Educational Facilities	
Day Care, Nursery School	2 spaces/employee
Elementary and Junior High School	1.8 spaces/classroom
High School	8 spaces/classroom
Trade School, Business School, Adult Education	1 space/35 sq. ft. of instructional area GFA
Libraries, Museums, Art Galleries	4 spaces/1,000 sq. ft. GFA
College and University	1 space/employee, plus 4 spaces/10 students based on maximum classroom capacity
	Parking for on-campus student housing may be deducted from requirements if commuter-only lots are not available to student residents. Also, due to unique needs of colleges, a conditional use permit may be granted by the Planning Commission where different parking standards may be justified.

City of Pasadena Parking Code

G.

Colleges - Nontraditional Campus Setting	3 spaces per 1,000 sq. ft.
Colleges - Traditional Campus Setting	1 per 3 nonresident students; plus 1 per 3 employees and members of the faculty.

City of Pasadena Parking Code (continued)

Colleges - Nontraditional campus setting (land use). Includes public or private colleges and universities granting associate arts degrees, certificates, undergraduate and graduate degrees, and requiring for admission at least a high school diploma or equivalent general academic training. These facilities typically offer classrooms, laboratories, and staff offices within a shared office building, often containing typical business and professional office suites. This use does not include any form of student housing (e.g., dormitories, fraternities, multi-family housing, or sororities).

Colleges - Traditional campus setting (land use). Includes community colleges, public or private colleges, universities, and professional schools granting associate arts degrees, certificates, undergraduate and graduate degrees, and requiring for admission at least a high school diploma or equivalent general academic training. These facilities maintain a traditional campus setting, typically covering many acres of land with extensive landscaped court yards adjoining multi-story buildings that house lecture halls, classrooms, laboratories, and offices for professors and department administrative staff. Other on-campus structures may contain administrative centers, student unions, libraries, and cafeteria facilities.

City of Placentia Parking Code

Colleges and business colleges—One (1) space per three (3) students plus one (1) space per employee;

City of Yorba Linda Parking Code

Community	
Church, chapel, or mortuary, clubs or lodges	1 space for each 3 seats in the main assembly room or one space for each 30 square feet in the main assembly room where no seats are provided, or as otherwise identified by a parking study and approved by the Planning Commission through a conditional use permit
College or university, including auditoriums, stadiums and housing facilities	0.75 spaces for each full-time equivalent student, plus the number of spaces provided for on-campus housing facilities according to this schedule
Convalescent home/hospital	1 space for each 3 patient beds
Day nursery or nursery school	1 space for each staff member plus 1 space for each 10 students
Dormitories or other student housing	1 space for each two guest rooms
Elementary or junior high school	2 spaces for each teaching station
High school, including auditoriums and stadiums on site	7 spaces for each teaching station
Hospital	1.5 spaces for each patient bed
Theater or auditorium not on school site	1 space for each 3 seats in main assembly room; or, 1 space for each 30 square feet in main assembly room where no seats are provided

City of Santa Ana Parking Code

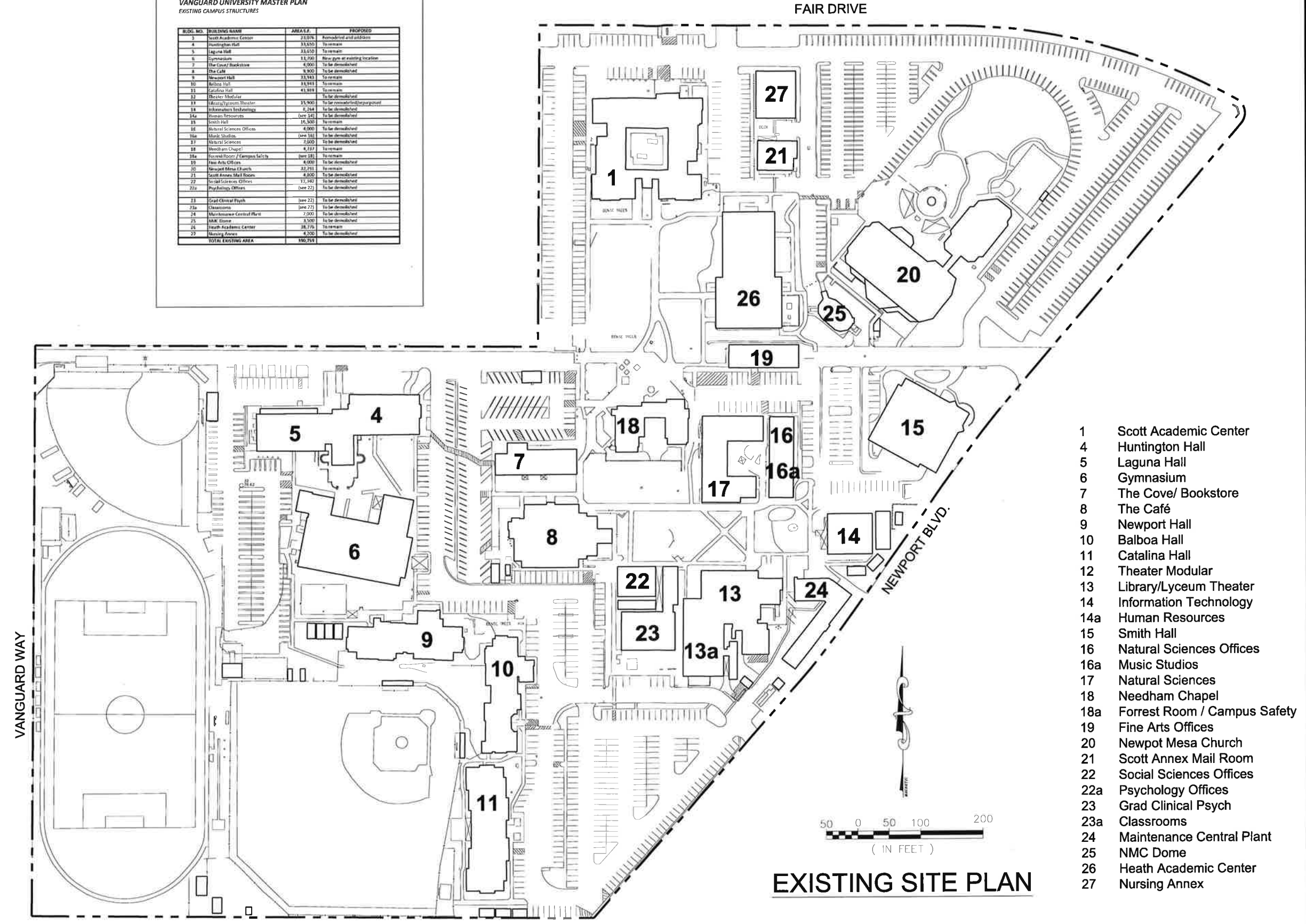
Sec. 41-1402. - Colleges, trade schools, business schools and adult education facilities. س

The minimum off-street parking requirements for colleges, trade schools, business schools and adult education facilities are as follows: one (1) space for each forty (40) square feet of classroom floor area, plus one (1) space for each three hundred thirty-three (333) square feet of office floor area.

(Ord. No. NS-2091, § 1, 11-19-90)

VANGUARD UNIVERSITY MASTER PLAN
 EXISTING CAMPUS STRUCTURES

BUILD. NO.	BUILDING NAME	AREA (A)	PROPOSED
1	Scott Academic Center	21,076	Remodified and assign
4	Huntington Hall	33,650	To remain
5	Laguna Hall	33,550	To remain
6	Gymnasium	33,200	Remain at existing location
7	The Cove/ Bookstore	4,000	To be demolished
8	The Café	9,900	To be demolished
9	Newport Hall	33,943	To remain
10	Balboa Hall	33,943	To remain
11	Catalina Hall	43,818	To remain
12	Theater Modular		To be demolished
13	Library/Lyceum Theater	33,900	To be remodified/repurposed
14	Information Technology	5,244	To be demolished
14a	Human Resources	(see 14)	To be demolished
15	Smith Hall	16,300	To remain
16	Natural Sciences Offices	4,000	To be demolished
16a	Music Studios	(see 16)	To be demolished
17	Natural Sciences	2,600	To be demolished
18	Needham Chapel	4,117	To remain
18a	Forrest Room / Campus Safety	(see 18)	To remain
19	Fine Arts Offices	4,000	To be demolished
20	Newport Mesa Church	32,781	To remain
21	Scott Annex Mail Room	4,800	To be demolished
22	Social Sciences Offices	17,400	To be demolished
22a	Psychology Offices	(see 22)	To be demolished
23	Grad Clinical Psych	(see 22)	To be demolished
23a	Classrooms	(see 22)	To be demolished
24	Maintenance Central Plant	7,000	To be demolished
25	NMC Dome	3,500	To be demolished
26	Health Academic Center	38,778	To remain
27	Nursing Annex	4,200	To be demolished
TOTAL EXISTING AREA		590,793	



- 1 Scott Academic Center
- 4 Huntington Hall
- 5 Laguna Hall
- 6 Gymnasium
- 7 The Cove/ Bookstore
- 8 The Café
- 9 Newport Hall
- 10 Balboa Hall
- 11 Catalina Hall
- 12 Theater Modular
- 13 Library/Lyceum Theater
- 14 Information Technology
- 14a Human Resources
- 15 Smith Hall
- 16 Natural Sciences Offices
- 16a Music Studios
- 17 Natural Sciences
- 18 Needham Chapel
- 18a Forrest Room / Campus Safety
- 19 Fine Arts Offices
- 20 Newport Mesa Church
- 21 Scott Annex Mail Room
- 22 Social Sciences Offices
- 22a Psychology Offices
- 23 Grad Clinical Psych
- 23a Classrooms
- 24 Maintenance Central Plant
- 25 NMC Dome
- 26 Health Academic Center
- 27 Nursing Annex

EXISTING SITE PLAN

SCOTT CENTER
VANGUARD UNIVERSITY
 55 FAIR DRIVE, COSTA MESA, CA



FAIR DRIVE VEIW FROM NORTH WEST



FAIR DRIVE VEIW FROM NORTH EAST



SOUTH VEIW FROM HEATH BUILDING

MARSHALL
 STUDIO
 ARCHITECTS
 2005 HILL STREET, SUITE 100
 COSTA MESA, CA 92626
 (714) 440-1111
 www.marshallstudio.com

REGISTERED ARCHITECT
 PROFESSIONAL SEAL
 STATE OF CALIFORNIA
 DATE OF SIGNING

Revisions

SCOTT CENTER
VANGUARD UNIVERSITY
 55 FAIR DRIVE, COSTA MESA, CA

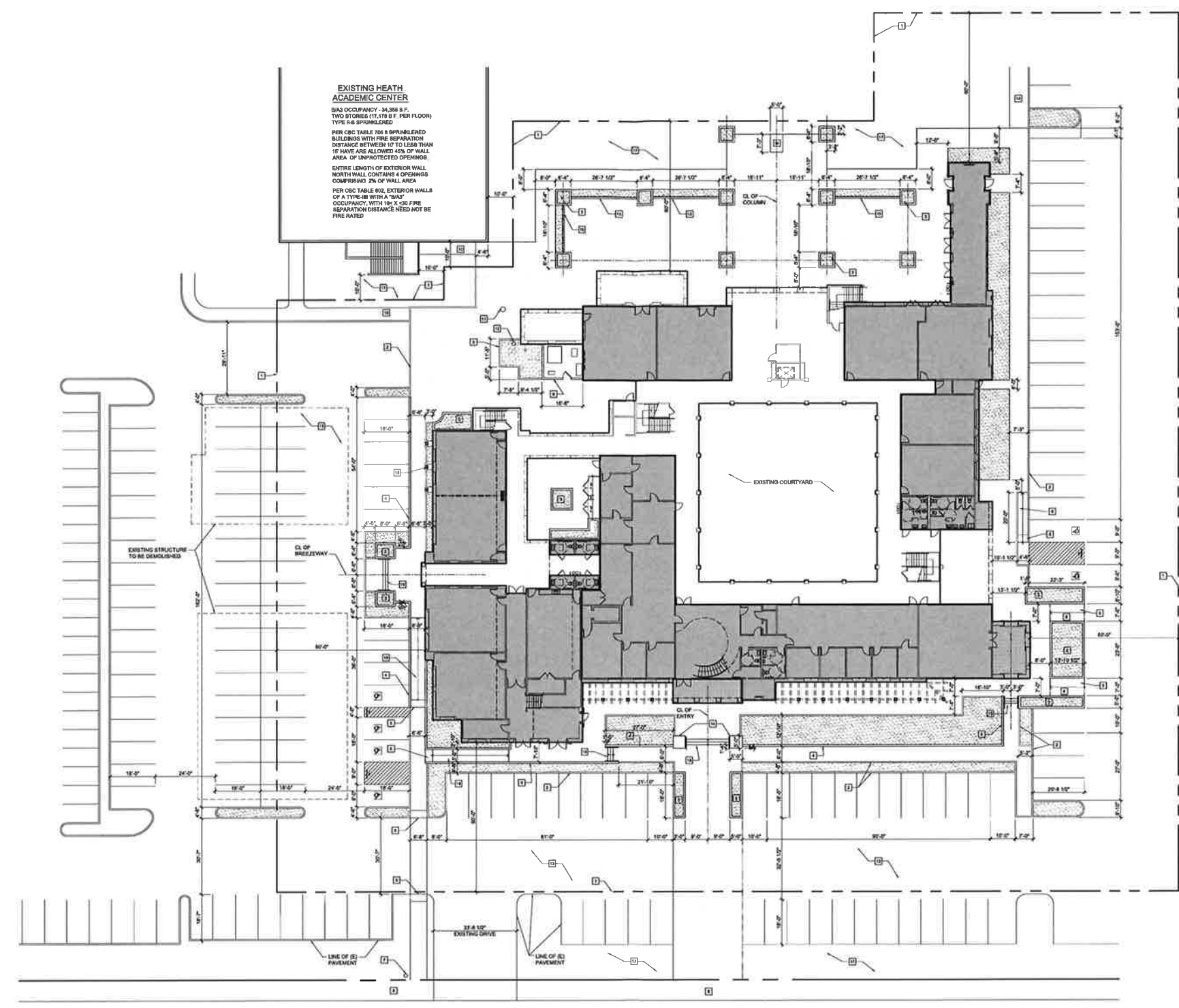
PLAN CHECK
 SUBMITTAL 1

Issue Date 11/27/13

Title
 BUILDING
 RENDERINGS

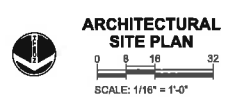
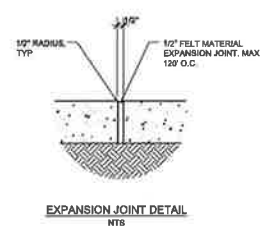
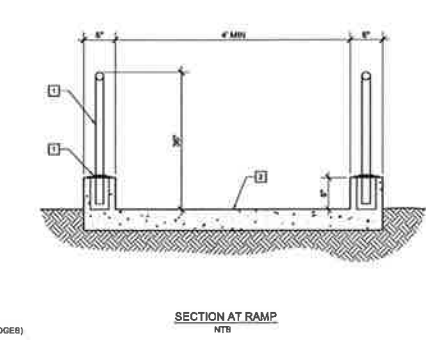
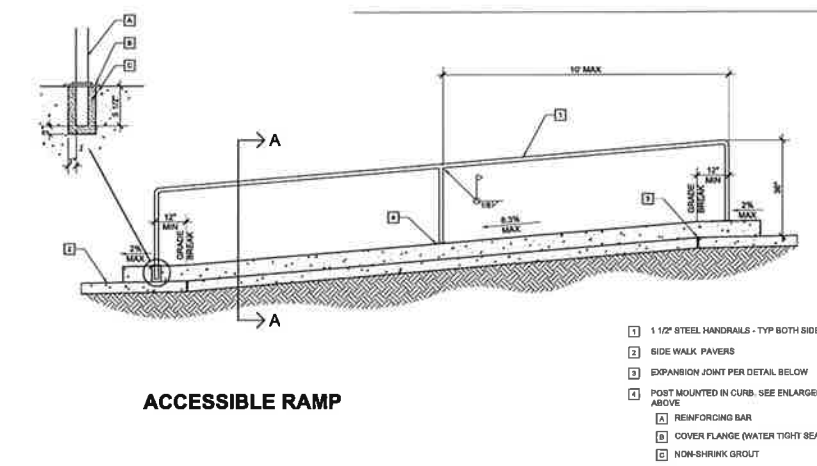
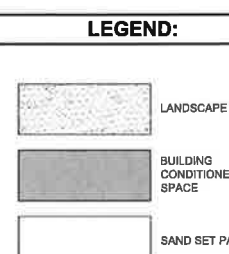
Sheet No.

SR-1



- KEY NOTES:**
- NOTE:
 THIS KEY NOTE LIST APPLIES TO THIS SHEET ONLY.
- 1 ASSUMED PROPERTY LINE
 - 2 CONCRETE CURB - SEE CIVIL DWGS
 - 3 RAISED PLANTER - SEE CIVIL DWGS
 - 4 RETAINING WALL - SEE CIVIL DWGS
 - 5 36" WIDE TRUNCATED DOMES
 - 6 CURB RAMP - SEE CIVIL DRAWINGS
 - 7 BUILDING ACCESSIBILITY SIGN
 - 8 PUBLIC SIDEWALK
 - 9 LOW WALL AT YARD - SEE FLOOR PLAN
 - 10 EXISTING SIDEWALK TO REMAIN
 - 11 EXISTING SECURITY POLE
 - 12 EXISTING FIRE HYDRANT
 - 13 AC PAVING - SEE CIVIL DRAWINGS
 - 14 MOVEMENT PLINTH
 - 15 LOW WALL - SEE CIVIL DRAWINGS
 - 16 TRELLIS - SEE FLOOR PLAN
 - 17 EXISTING LANDSCAPE TO REMAIN
 - 18 ACCESSIBLE RAMP - SEE DETAIL
 - 19 CONC. STEPS ON GRADE W/ 12" TREADS - SEE CIVIL DWGS FOR RISER HEIGHT - SEE DETAIL.

- SITE NOTES:**
1. SITE PLAN IS FOR DIAGNOSTIC AND DIMENSIONING PURPOSES ONLY. REFER TO PRELIMINARY GRADING PLAN FOR ADDITIONAL INFORMATION.
 2. SEPARATE PLAN REVIEW AND PERMITS ARE REQUIRED FOR THE FOLLOWING ITEMS WHEN APPLICABLE:
 - A) PARKING LIGHT STANDARDS: PARKING LIGHT STANDARDS EXCEEDING 8 FEET IN HEIGHT REQUIRE STRUCTURAL CALCULATIONS.
 - B) BLOCK WALLS
 3. ACCESSIBLE PARKING SPACE NOTES:
 EACH ACCESSIBLE PARKING SPACE SHALL BE IDENTIFIED WITH THE FOLLOWING:
 - A. A MINIMUM 18 SQUARE INCH PERMANENTLY AFFIXED REFLECTORIZED SIGN CONSISTING OF A PROFILE VIEW OF A WHEELCHAIR WITH OCCUPANT IN WHITE ON A DARK BLUE BACKGROUND, POSTED 80" FROM FINISH GRADE OR 30" ABOVE GRADE WHEN LOCATED ON A WALL AND WITHIN 6" OF THE INTERIOR END OF THE SPACE.
 - B. SURFACE IDENTIFICATION CONSISTING OF THE WHEELCHAIR WITH OCCUPANT IN WHITE ON A DARK BLUE BACKGROUND 3' SQUARE (OR) THE SPACE OUTLINED IN BLUE.
 - C. PROVIDE MINIMUM FINE 200P SIGN BELOW THE ACCESSIBILITY SIGN.
 - D. POSTED AT SIGN ENTRANCE TO CITY-STREET FACILITIES OR ADJACENT TO AND VISIBLE FROM EACH STALL A 17" X 22" MINIMUM SIGN WITH 1" LETTERING STATING:
 *UNAUTHORIZED VEHICLES PARKED IN DESIGNATED DISABLED SPACES NOT DISPLAYING Distinguishing PLACARDS OR LICENSE PLATES ISSUED FOR PHYSICALLY DISABLED PERSONS MAY BE TOWED AWAY AT OWNERS EXPENSE. TOWED VEHICLES MAY BE RECALLED AT AUTHORIZED POLICE DEPARTMENT, TOWING AGENCY OR BY TELEPHONING (714) 794-6252. SECTION 22887.8 (A) (CVC)



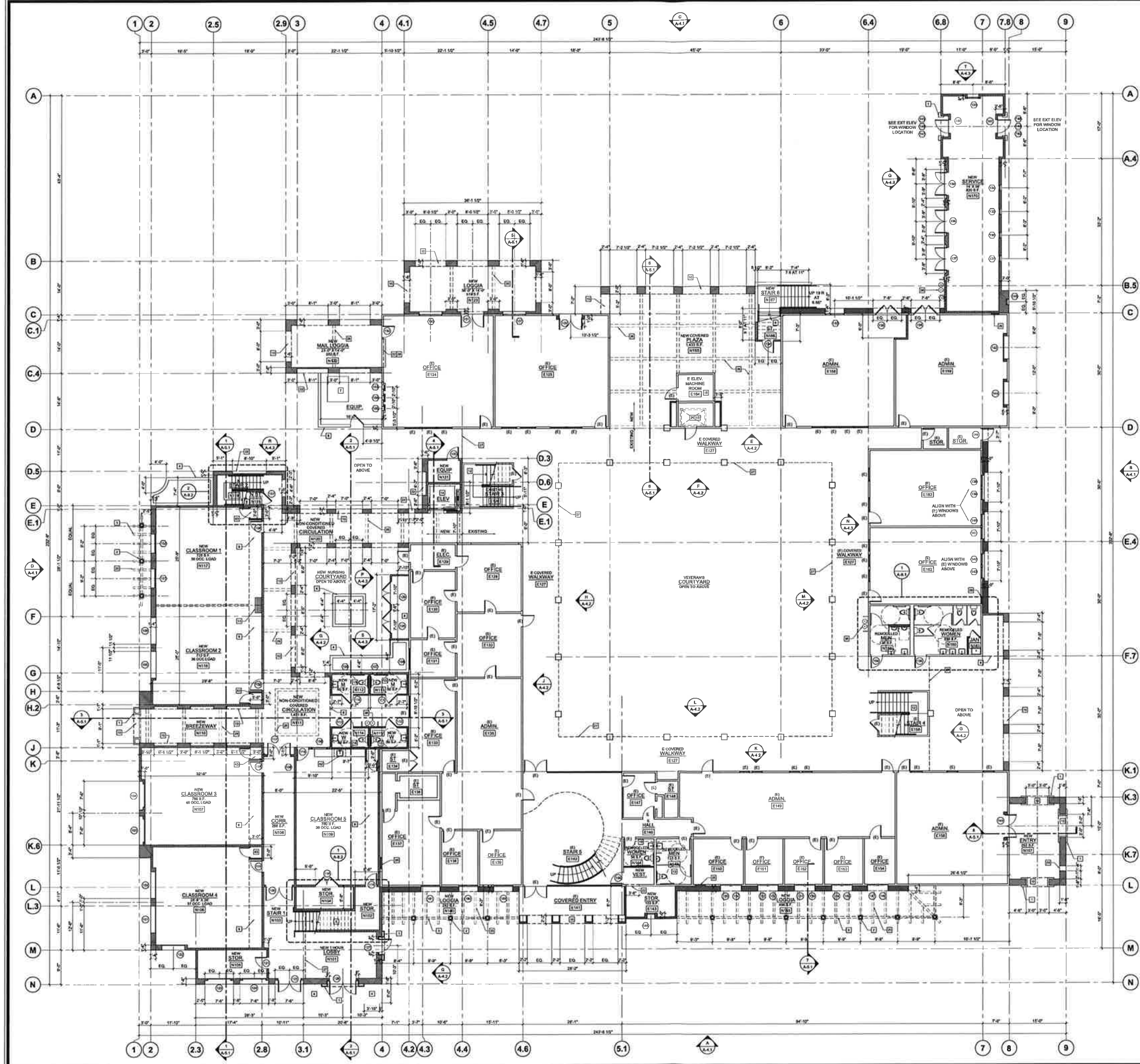
SCOTT CENTER
VANGUARD UNIVERSITY
 55 FAIR DRIVE, COSTA MESA, CA

PLAN CHECK SUBMITTAL 1

Issue Date: 11/27/13

Title: **SITE PLAN**

Sheet No.: **A-1.1**



- KEY NOTES:**
- 1 PRE-CAST SURROUND - SEE EXT. ELEVATIONS
 - 2 PRE-CAST COLUMN - SEE EXT. ELEVATIONS
 - 3 LINE OF WOOD BEAM ABOVE
 - 4 1" RAISED CAU PLANTER
 - 5 PROVIDE 1 LAYER TYPE-X GYP. BOARD UNDER USABLE SPACE UNDER STAIRS
 - 6 4" HIGH CMU WALL WITH 3/4" WIDE WOOD GATE
 - 7 FIRE SPRINKLER RISER AND VALVES
 - 8 ELECTRICAL PANEL CLOSET - SEE ELECTRICAL DRAWINGS
 - 9 LINE OF SOFFIT OR DROPPED CEILING ABOVE - SEE RCP FOR HEIGHTS
 - 10 LINE OF ARCH OR HEADER ABOVE
 - 11 8'-0" HIGH MOVABLE PARTITION
 - 12 EXISTING STAIRS - PROVIDE NEW HANDRAILS AND TREAD STRIPING PER DETAIL
 - 13 REMODELED ACCESSIBLE TOILET - SEE
 - 14 *OTIS* HOLES HYDRAULIC ELEVATOR - 3500 CAPACITY / GURNEY ACCESSIBLE - ELEVATOR DESIGN TO COMPLY WITH CBC 1106.3 MAIN TO PROVIDE SHOP DRAWINGS - SEE DETAILS 15-58A-2.3
 - 15 EXISTING ELEVATOR TO BE DEMOLISHED - INFILL PIT PER STRUCTURAL DRAWINGS
 - 16 EXISTING ELEVATOR EQUIPMENT TO BE REMOVED
 - 17 NEW ACCESSIBLE TOILET - SEE
 - 18 NEW WROUGHT IRON GUARD - SEE DETAIL
 - 19 DECK DRAIN - SLOPE 1% TO DRAIN
 - 20 WOOD RAFTER ABOVE - SEE STRUCTURAL DRAWINGS
 - 21 PROVIDE NEW FLOOR AT EXISTING ELEVATOR SHAFT - SEE STRUCTURAL DRAWINGS
 - 22 PROVIDE NEW OPENING WITH HEADER AT 6'-0" - SEE STRUCTURAL DRAWINGS
 - 23 DEMOLISH EXISTING WALL
 - 24 PUNCHY OPENING - SEE EXTERIOR ELEVATIONS
 - 25 LOW WALL
 - 26 DECORATIVE WOOD BEAM AT CEILING - SEE RCP
 - 27 LINE OF FLOOR ABOVE
 - 28 FUTURE MAIL BOX LOCATION - FIXTURE BY OWNER
 - 29 INFILL EXISTING WINDOW / DOOR
 - 30 SHELF BELOW - SEE EXTERIOR ELEVATIONS
 - 31 LINE OF STAIR ABOVE
 - 32 NEGATIVE RECESS - SEE EXTERIOR ELEVATIONS
 - 33 LINE OF ROOF ABOVE
 - 34 WALL BELOW
 - 35 LINE OF EXTERIOR WALL AT TOWER ABOVE
 - 36 ROOF HATCH
 - 37 ROOF ACCESS LADDER
 - 38 HIGH AND LOW DRINKING FOUNTAINS W/ ALCOVE BARS BOTH SIDES - SEE SHEET A-2 FOR ADDITIONAL INFORMATION
 - 39 ROOF PARAPET BELOW - SEE EXTERIOR ELEVATIONS
 - 40 8'-0" HIGH WALL - SEE EXTERIOR ELEVATIONS
 - 41 EXTEND SURROUND 6" ABOVE AND BELOW WINDOW
 - 42 SINK W/ ACCESSIBLE COUNTER
 - 43 FAU CLOSET - SEE MECHANICAL DRAWINGS FOR PLATFORM AND LOOPER SIZE AND LOCATIONS - PROVIDE SOLID CORE WOOD DOOR 3/4" TO FIELD VERIFY SIZE
 - 44 LIGHT WEIGHT CONCRETE DECK WITH INTEGRAL COLOR OVER WATERPROOF MEMBRANE OVER SHEATHING - SEE STRUCTURAL DRAWINGS

- PLAN NOTES:**
- 1 *FINISHED FLOOR* ELEVATIONS ARE TO TOP OF CONCRETE FLOOR SLAB
 - 2 ALL DIMENSIONS ARE TO FACE OF STUD, FACE OF CURB, GROUNE, AND CENTER OF OPENING UNLESS NOTED OTHERWISE
 - 3 SEE STRUCTURAL DRAWINGS FOR WALL STUD SIZES
 - 4 CONTRACTOR TO PROVIDE MAX OCCUPANT CAPACITY SIGN IN ACCORDANCE WITH BUILDING CODE AND FIRE DEPARTMENT REQUIREMENTS FOR EACH ROOM REQUIRING SIGNS
 - 5 CONTRACTOR TO PROVIDE SOLID BACKING CONCEALED BEHIND DYPHUM BOARD FOR ALL GRAB BARS, HANDRAIL, BRACKETS, WALL MOUNTED MIRROR, ARTWORK, EQUIPMENT, MIRRORS, FURNISHINGS, ETC. REQUIRING WALL ANCHORAGE OR SUPPORT.
 - 6 SEE SHEET A-2 FOR DISABLED ACCESS DETAILS AND STANDARDS, WHICH SHALL APPLY TYPICALLY TO ALL APPLICABLE CONDITIONS
 - 7 REFER TO PLUMBING AND ELECTRICAL DRAWINGS FOR UNDER SLAB UTILITIES
 - 8 ALL REQUIRED EXITS ARE TO BE ACCESSIBLE PROVIDE ACCESSIBLE ENTRANCE SIGN AT ALL ACCESSIBLE ENTRANCES. SIGNAGE TO BE DESIGNED BY *TACTILE DESIGN, INC.* (909) 281-7831.
 - 9 PROVIDE TACTILE EXIT SIGNAGE. TACTILE EXIT SIGNAGE TO BE DESIGNED BY *TACTILE DESIGN, INC.* (909) 281-7831.

WALL LEGEND:

- EXISTING WALL
- NEW NON RATED WALL
- NEW 1 HOUR WALL SEE SHEET A-5.1

LOWER LEVEL FLOOR PLAN

SCALE: 1/8" = 1'-0"

MARSHALL
11122127 | 114616

1000 MEL STONE, INC.
2222 Broadway Lane
Costa Mesa, CA 92626
714.444.8877 Fax
www.marshall.com

REGISTERED ARCHITECT
STATE OF CALIFORNIA
No. 61297
Exp. 12/31/2018

Project No.

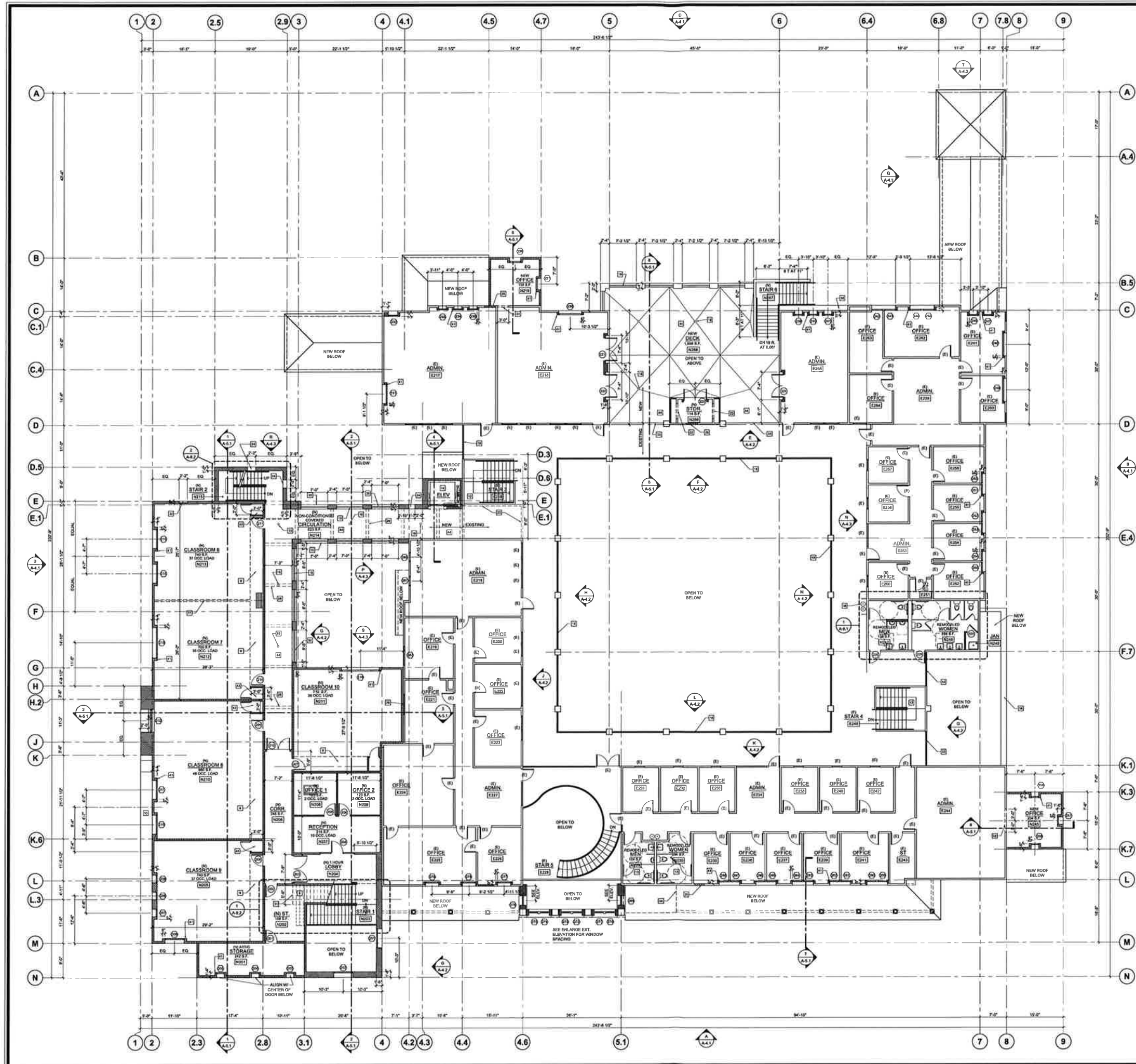
SCOTT CENTER
VANGUARD UNIVERSITY
55 FAIR DRIVE, COSTA MESA, CA

PLAN CHECK
SUBMITTAL 1

Issue Date 11/27/13

Title
**LOWER LEVEL
FLOOR PLAN**

Sheet No.
A-2.1



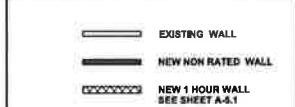
KEY NOTES:

- NOTE: SEE KEY NOTE LIST FOR SHEET A-2.1 - A-2.3 ONLY
- 1 PRE-CAST SURROUND - SEE EXT. ELEVATIONS
- 2 PRE-CAST COLUMN - SEE EXT. ELEVATIONS
- 3 LINE OF WOOD BEAM ABOVE
- 4 1" RAISED CHAIR PLANTER
- 5 PROVIDE 1 LAYER TYPE-X GYP. BOARD UNDER USABLE SPACE UNDER STAIRS
- 6 4" HIGH CHAIR WALL WITH 3/4" WIDE WOOD GATE
- 7 FIRE SPRINKLER RISER AND VALVES
- 8 ELECTRICAL PANEL, CLOSET - SEE ELECTRICAL DRAWINGS
- 9 LINE OF SOFFIT OR DROPPED CEILING ABOVE - SEE RCP FOR HEIGHTS
- 10 LINE OF ARCH OR HEADER ABOVE
- 11 8'-0" HIGH MOVABLE PARTITION
- 12 EXISTING STAIRS - PROVIDE NEW HANDRAILS AND TREAD STRIPS PER DETAIL
- 13 REMODELED ACCESSIBLE TOILET - SEE
- 14 "OTIS" HOLES HYDRAULIC ELEVATOR - 550W CAPACITY / GURNEY ACCESSIBLE - ELEVATOR DESIGN TO COMPLY WITH CBC 1109.3 HAWK. TO PROVIDE SHOP DRAWINGS - SEE DETAILS 15-15A-3
- 15 EXISTING ELEVATOR TO BE DEMOLISHED - SEE S&L FIT FOR STRUCTURAL DRAWINGS
- 16 EXISTING ELEVATOR EQUIPMENT TO BE REMOVED
- 17 NEW ACCESSIBLE TOILET - SEE
- 18 NEW WROUGHT IRON GUARD - SEE DETAIL
- 19 DECK DRAIN - SLOPE 1% TO DRAIN
- 20 WOOD RAFTER ABOVE - SEE STRUCTURAL DRAWINGS
- 21 PROVIDE NEW FLOOR AT EXISTING ELEVATOR SHAFT - SEE STRUCTURAL DRAWINGS
- 22 PROVIDE NEW OPEN HG WITH HEADER AT 8'-0" - SEE STRUCTURAL DRAWINGS
- 23 DEMOLISH EXISTING WALL
- 24 PUNCHED OPENING - SEE EXTERIOR ELEVATIONS
- 25 LOW WALL
- 26 DECORATIVE WOOD BEAM AT CEILING - SEE RCP
- 27 LINE OF FLOOR ABOVE
- 28 FUTURE MAIL BOX LOCATION - FIXTURE BY OWNER
- 29 INFILL EXISTING WINDOW / DOOR
- 30 SHELF BELOW - SEE EXTERIOR ELEVATIONS
- 31 LINE OF STAIR ABOVE
- 32 DECORATIVE RECESS - SEE EXTERIOR ELEVATIONS
- 33 LINE OF ROOF ABOVE
- 34 WALL BELOW
- 35 LINE OF EXTERIOR WALL AT TOWER ABOVE
- 36 ROOF HATCH
- 37 ROOF ACCESS LADDER
- 38 HIGH AND LOW DRINKING FOUNTAINS W/ ALCOVE BARS BOTH SIDES - SEE SHEET A-2.3 FOR ADDITIONAL INFORMATION
- 39 ROOF PAN/PET BELOW - SEE EXTERIOR ELEVATIONS
- 40 8'-0" HIGH WALL - SEE EXTERIOR ELEVATIONS
- 41 EXTEND SURROUND 1" ABOVE AND BELOW WINDOW
- 42 SINK W/ ACCESSIBLE COUNTER
- 43 FAN CLOSET - SEE MECHANICAL DRAWINGS FOR PLATFORM AND LOWER SIZE AND LOCATIONS - PROVIDE SOLID CORE WOOD DOOR CAS TO FELD VENTIFY SIZ
- 44 LIGHT WEIGHT CONCRETE DECK WITH INTEGRAL COLOR OVER WATERPROOF MEMBRANE OVER SHEATHING - SEE STRUCTURAL DRAWINGS

PLAN NOTES:

1. "FINISHED FLOOR" ELEVATIONS ARE TO TOP OF CONCRETE FLOOR SLAB.
2. ALL DIMENSIONS ARE TO FACE OF STUD. FACE OF CURB, GRIDLINE AND CENTER OF OPENING UNLESS NOTED OTHERWISE.
3. SEE STRUCTURAL DRAWINGS FOR WALL STUD SIZES.
4. CONTRACTOR TO PROVIDE MAX OCCUPANT CAPACITY SIGN IN ACCORDANCE WITH BUILDING CODE AND THE DEPARTMENT REQUIREMENTS FOR EACH ROOM REQUIRING SIGN.
5. CONTRACTOR TO PROVIDE SOLID BACKING CONCEALED BEHIND GYPSUM BOARD FOR ALL GRAB BARS, HANDRAILS, BRACKETS, WALL MOUNTED MULLWORK, ARTWORK, EQUIPMENT, MIRRORS, FURNISHINGS, ETC. REQUIRING WALL ANCHORAGE OR SUPPORT.
6. SEE SHEET A-2 FOR DISABLED ACCESS DETAILS AND STANDARDS WHICH SHALL APPLY TYPICALLY TO ALL APPLICABLE CONDITIONS.
7. REFER TO PLUMBING AND ELECTRICAL DRAWINGS FOR UNDER SLAB UTILITIES.
8. ALL REQUIRED ENITS ARE TO BE ACCESSIBLE. PROVIDE ACCESSIBLE ENTRANCE SIGN AT ALL ACCESSIBLE ENTRANCES. SIGNAGE TO BE DESIGNED BY "TACTILE DESIGN, INC." (206) 291-7791.
9. PROVIDE TACTILE EXIT SIGNAGE. TACTILE EXIT SIGNAGE TO BE DESIGNED BY "TACTILE DESIGN, INC." (206) 291-7791.

WALL LEGEND:



SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"



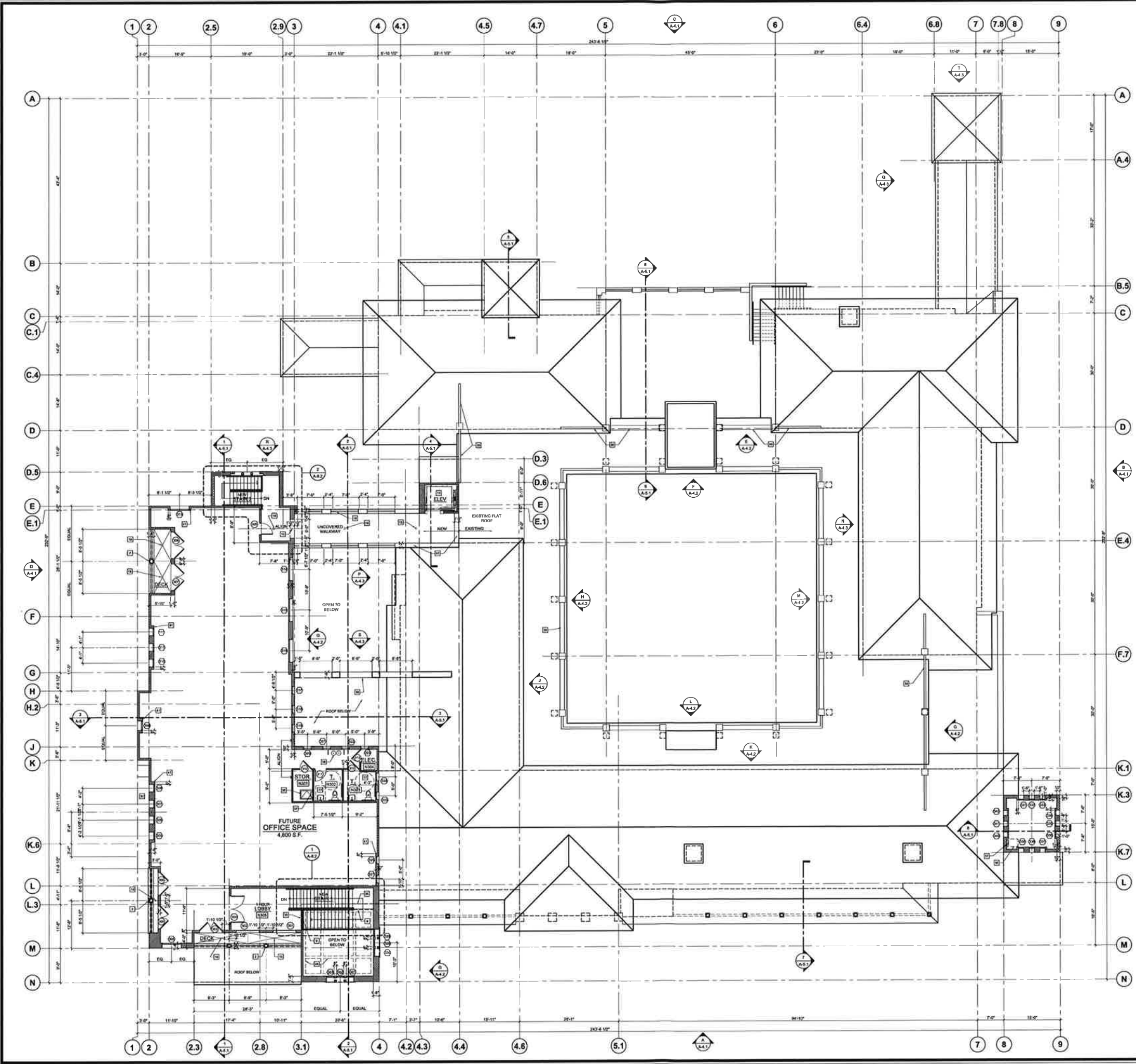
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 55 FAIR DRIVE, COSTA MESA, CA

PLAN CHECK
 SUBMITTAL SECOND

Issue Date: 11/27/13

Title: SECOND FLOOR PLAN

Sheet No. **A-2.2**



- KEY NOTES:**
- 1 PRE-CAST SURROUND - SEE EXT. ELEVATIONS
 - 2 PRE-CAST COLUMN - SEE EXT. ELEVATIONS
 - 3 LINE OF WOOD BEAM ABOVE
 - 4 1" RAISED CMU PLANTER
 - 5 PROVIDE 1 LAYER TYPE-X GYP. BOARD UNDER USABLE SPACE UNDER STAIRS
 - 6 4" HIGH CMU WALL WITH 3" WOOD GATE
 - 7 FIRE SPRINKLER RISER AND VALVES
 - 8 ELECTRICAL PANEL CLOSET - SEE ELECTRICAL DRAWINGS
 - 9 LINE OF BOFFIT OR DROPPED CEILING ABOVE - SEE RCP FOR HEIGHTS
 - 10 LINE OF ARCH OR HEADER ABOVE
 - 11 8'-0" HIGH MOVABLE PARTITION
 - 12 EXISTING STAIRS - PROVIDE NEW HANDRAILS AND TREAD STRIPS PER DETAIL
 - 13 REMODELED ACCESSIBLE TOILET - SEE
 - 14 "OTIS" HOLES HYDRAULIC ELEVATOR - 350W CAPACITY / GURNEY ACCESSIBLE - ELEVATOR DESIGN TO COMPLY WITH CBC 1105.3 SAME TO PROVIDE SHOP DRAWINGS - SEE DETAILS 14-18A-1-2
 - 15 EXISTING ELEVATOR TO BE DEMOLISHED - IN-LL FIT PER STRUCTURAL DRAWINGS
 - 16 EXISTING ELEVATOR EQUIPMENT TO BE REMOVED
 - 17 NEW ACCESSIBLE TOILET - SEE
 - 18 NEW WROUGHT IRON GUARD - SEE DETAIL
 - 19 DECK DRAIN - SLOPE 1% TO DRAIN
 - 20 WOOD RAFTER ABOVE - SEE STRUCTURAL DRAWINGS
 - 21 PROVIDE NEW FLOOR AT EXISTING ELEVATOR SHAFT - SEE STRUCTURAL DRAWINGS
 - 22 PROVIDE NEW OPENING WITH HEADER AT 8'-0" - SEE STRUCTURAL DRAWINGS
 - 23 DEMOLISH EXISTING WALL
 - 24 FINISHED OPENING - SEE EXTERIOR ELEVATIONS
 - 25 LOW WALL
 - 26 DECORATIVE WOOD BEAM AT CEILING - SEE RCP
 - 27 LINE OF FLOOR ABOVE
 - 28 FUTURE MAIL BOX LOCATION - FIXTURE BY OWNER
 - 29 INFILL EXISTING WINDOW / DOOR
 - 30 SHELF BELOW - SEE EXTERIOR ELEVATIONS
 - 31 LINE OF STAR ABOVE
 - 32 DECORATIVE RECESS - SEE EXTERIOR ELEVATIONS
 - 33 LINE OF ROOF ABOVE
 - 34 WALL BELOW
 - 35 LINE OF EXTERIOR WALL AT TOWER ABOVE
 - 36 ROOF HATCH
 - 37 ROOF ACCESS LADDER
 - 38 HIGH AND LOW DRINKING FOUNTAINS W/ ALCOVE BARS BOTH SIDES - SEE SHEET A-0.2 FOR ADDITIONAL INFORMATION
 - 39 ROOF PARAPET BELOW - SEE EXTERIOR ELEVATIONS
 - 40 6'-0" HIGH WALL - SEE EXTERIOR ELEVATIONS
 - 41 EXTEND SURROUND 8" ABOVE AND BELOW WINDOW
 - 42 SINK W/ ACCESSIBLE COUNTER
 - 43 PAU CLOSET - SEE MECHANICAL DRAWINGS FOR PLATFORM AND LOUVER SIZE AND LOCATIONS - PROVIDE SOLID CORE WOOD DOOR 400 TO FIELD - VERIFY SIZE
 - 44 LUBRICATE W/ CONCRETE DECK WITH INTEGRAL COLOR OVER WATERPROOF MEMBRANE OVER BREATHING - SEE STRUCTURAL DRAWINGS

- PLAN NOTES:**
1. FINISHED FLOOR ELEVATIONS ARE TO TOP OF CONCRETE FLOOR SLAB
 2. ALL DIMENSIONS ARE TO FACE OF STUD, FACE OF CURB, OR DLINE AND CENTER OF OPENING UNLESS NOTED OTHERWISE.
 3. SEE STRUCTURAL DRAWINGS FOR WALL STUD SIZES
 4. CONTRACTOR TO PROVIDE MAX. OCCUPANT CAPACITY SIGNS IN ACCORDANCE WITH BUILDING CODE AND FIRE DEPARTMENT REQUIREMENTS FOR EACH ROOM REQUIRING SIGNS
 5. CONTRACTOR TO PROVIDE SOLID BACKING CONCEALED BEHIND GYP/PLUM BOARD FOR ALL GRAB BARS, HANDRAILS, BRACKETS, WALL MOUNTED MIRROR, ARTWORK, EQUIPMENT, MIRRORS, FURNISHINGS, ETC. REQUIRING WALL ANCHORAGE OR SUPPORT.
 6. SEE SHEET A-0.2 FOR DISABLED ACCESS DETAILS AND STANDARDS WHICH SHALL APPLY TYPICALLY TO ALL APPLICABLE CONDITIONS.
 7. REFER TO PLUMBING AND ELECTRICAL DRAWINGS FOR UNDER SLAB UTILITIES
 8. ALL REQUIRED DOOR ARE TO BE ACCESSIBLE. PROVIDE ACCESSIBLE ENTRANCE SIGN AT ALL ACCESSIBLE ENTRANCES. SIGNAGE TO BE DESIGNED BY TACTILE DESIGN, INC. (09) 281-7851.
 9. PROVIDE TACTILE EXIT SIGNAGE. TACTILE EXIT SIGNAGE TO BE DESIGNED BY TACTILE DESIGN, INC. (09) 281-7851.

WALL LEGEND:

- EXISTING WALL
- NEW NON RATED WALL
- NEW 1 HOUR WALL SEE SHEET A-0.1

THIRD FLOOR PLAN
 SCALE: 1/8" = 1'-0"

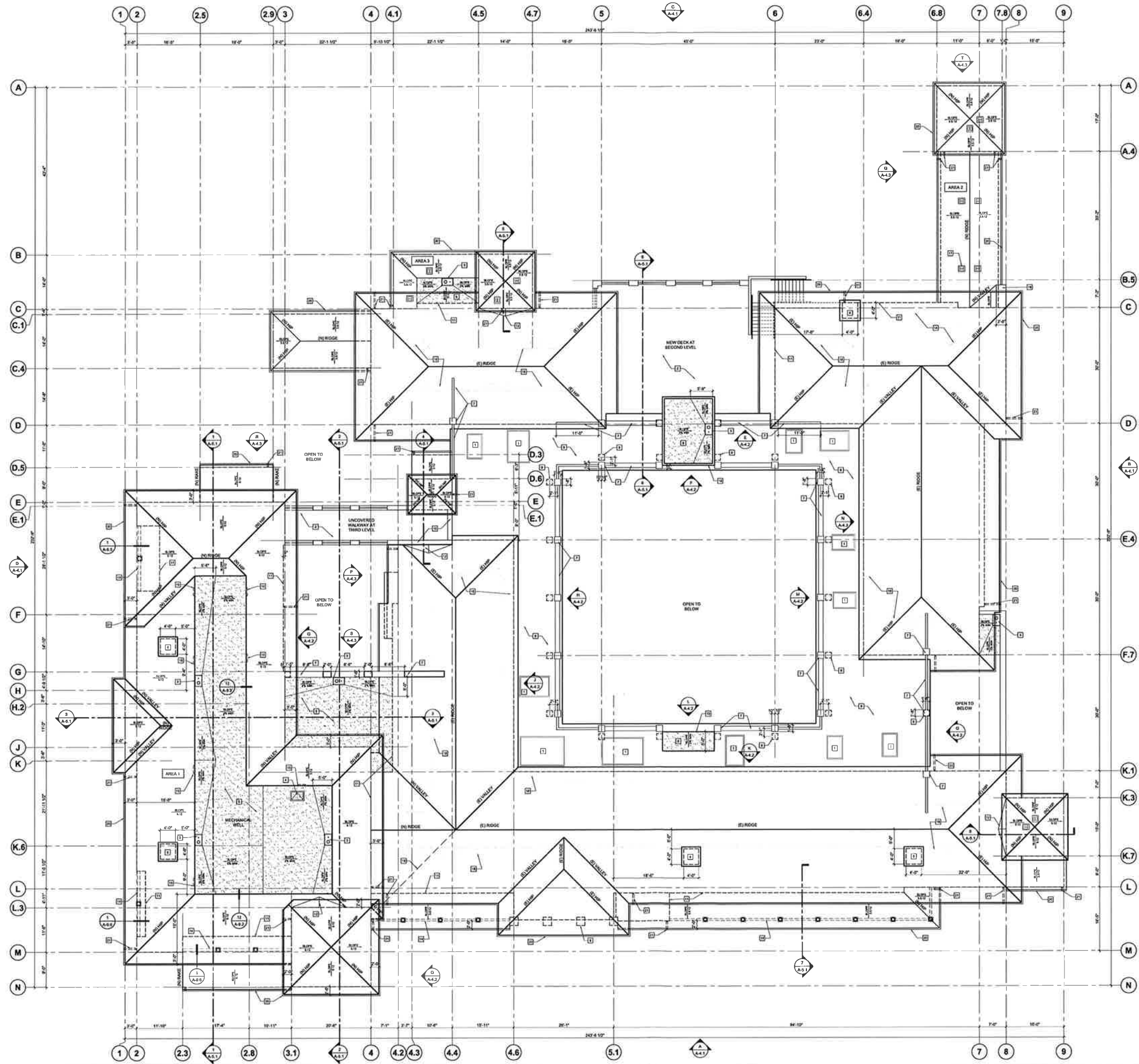


Revisions

No.	Description

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VANGUARD UNIVERSITY
 55 FAIR DRIVE, COSTA MESA, CA

PLAN CHECK SUBMITTAL 1
 Issue Date: 11/27/13
 Title: **THIRD FLOOR PLAN**
 Sheet No. **A-2.3**



- KEY NOTES:**
- NOTE:
THIS KEY NOTE LIST FOR SHEET A-3.1 ONLY
- 1 MECHANICAL UNIT ON PLATFORM
 - 2 DECK BELOW - SEE FLOOR PLAN
 - 3 ROOF DRAIN W/ OVERFLOW
 - 4 24" X 36" ROOF HATCH
 - 5 NEW BUILT UP ROOFING
 - 6 DECORATIVE CHIMNEY CAP - SEE ELEV.
 - 7 NEW PARAPET / PILASTER - SEE ELEV.
 - 8 EXISTING BUILT UP ROOFING
 - 9 COLUMN BELOW
 - 10 DECORATIVE ROOF TOWER - SEE ELEVATIONS
 - 11 LINE OF WALL BELOW
 - 12 CRICKET
 - 13 LOW WALL - SEE FLOOR PLAN
 - 14 BEAM BELOW - SEE FLOOR PLAN
 - 15 2" X 30" WALL LOUVER AT ROOF WELL
 - 16 DECORATIVE ROOF PARAPET TO BE REMOVED - PROVIDE NEW CLAY TILE ROOF TO MATCH
 - 17 CHIMNEY ROOF VENTS
 - 18 CHIMNEY ROOF VENTS
 - 19 LINE OF (E) RIDGE BELOW NEW FRAMING
 - 20 COPPER GUTTER
 - 21 COPPER DOWNSPOUT - SEE EXT. ELEVATIONS FOR TERMINATION POINT

ATTIC VENTILATION:

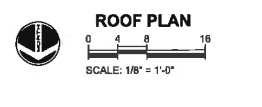
PROVIDE NET FREE VENTILATION PER CBC NOT LESS THAN 1/500 OF ATTIC AREA

32" X 23" CHIMNEY ROOF VENTILATION SYSTEM TAPERED LOW PROFILE ROOF VENT NET FREE AREA 72.0 SQ. IN.

30" WIDE X 30" TALL METAL WALL LOUVER NET FREE AREA 300 SQ. IN.

VENTILATED ROOF AREA 1	VENTILATED ROOF AREA 2	VENTILATED ROOF AREA 3
4024 S.F. 200 = 20.12 S.F. X 144 = 1,891 S.I.	880 S.F. 200 = 4.4 S.F. X 144 = 432 S.I.	288 S.F. 200 = 1.44 S.F. X 144 = 144 S.I.
TOTAL VENTILATION REQUIRED 1,891 S.I.	TOTAL VENTILATION REQUIRED 432 S.I.	TOTAL VENTILATION REQUIRED 144 S.I.
VENTILATION PROVIDED (7) 300 S.I. WALL LOUVERS AT MECH. WELL 2,100 S.I.	VENTILATION PROVIDED (8) CHIMNEY 72.0 S.I. LOUVERS 432 S.I.	VENTILATION PROVIDED (7) 7.8 S.I. LOUVERS 144 S.I.

- ROOF NOTES:**
1. SEE PLAN FOR ROOF SLOPES & OVERHANG DIMENSIONS. SEE SAWS DETAILS FOR OVERHANG DIMENSIONS NOT NOTED ON PLAN.
 2. GUTTERS AND DOWNPOUTS TO BE INSTALLED AND LOCATED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. SEE DET. UAB-1 FOR CONSTRUCTION TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS.
 3. INSTALLATION OF ROOFING SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 4. ROOFING MATERIAL ON SLOPED ROOFS TO BE (W) CLASS 'A' RATING MISSISSIPPI BARREL 2 PIECE CLAY TILE. COLOR TO MATCH EXISTING.
 5. PROVIDE NUMBER 7 ASTM CAP SHEET OVER COMBUSTIBLE ROOF DECKS WHERE SPACES OCCUR BETWEEN ROOF COVER AND ROOF DECK. UNLESS SPACES ARE CONSTRUCTED TO PREVENT INTRUSION OF FLAME AND EMBERS, OR SPACES ARE FIRE STOPPED WITH APPROVED MATERIALS PER CBC 704.1.2.
 6. ROOFING MATERIAL AT FLAT ROOFS TO BE (W) CLASS 'A' RATING 5/8" BUILT UP ROOFING (BUB 5/8"). INSTALLATION OF ROOFING TO BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 7. VALLEY FLASHINGS SHALL NOT BE LESS THAN 0.019-INCH (3/4) GALVANIZED SHEET GAGE) CORROSION RESISTANT METAL. INSTALLED OVER A MINIMUM 3/4" WOOD UNDERLAYMENT CONSISTING OF ONE LAYER OF NUMBER 7 ASTM CAP SHEET RUNNING THE FULL LENGTH OF THE VALLEY PER CBC 704.1.2.
 8. PROVIDE BUILT UP ROOFING UNDER ALL ROOF TILES AT SLOPES UNDER 3:12.
 9. PROVIDE DRAFT STOPPS PER CBC 711.
 10. ALL ROOF FASTENERS TO BE CAPABLE OF RESISTING WIND LOAD OF NOT LESS THAN 80 MPH. INSTALL PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
 11. ALL PLUMBING AND MECHANICAL VENTS TO BE PAINTED TO MATCH ROOFING.
 12. ALL RIDGE ELEVATIONS ARE TAKEN TO TOP OF FINISHED MATERIAL.
 13. ALL PLUMBING AND EQUIPMENT VENTS MUST BE CONSPICUOUS AND LOCATED IN AREAS THAT MAXIMIZE THEIR VISIBILITY. VENTS MUST BE AS LOW IN HEIGHT AS ALLOWED BY CODE.
 14. SEE FLOOR PLAN FOR DECK DRAIN INFORMATION.
 15. FOR TYPICAL ROOF DETAILS SEE SHEET A-3.1.
 16. THE COVERED METAL WIRE MESH DIMENSIONS OF ROOF VENT OPENINGS SHALL BE A MINIMUM OF 1/4" INCH AND SHALL NOT EXCEED 1/2" INCH.
 17. GENERAL CONTRACTOR TO COORDINATE ALL REPLACEMENT AND REPAIR OF EXISTING ROOF TILES AT EXISTING ROOFS.



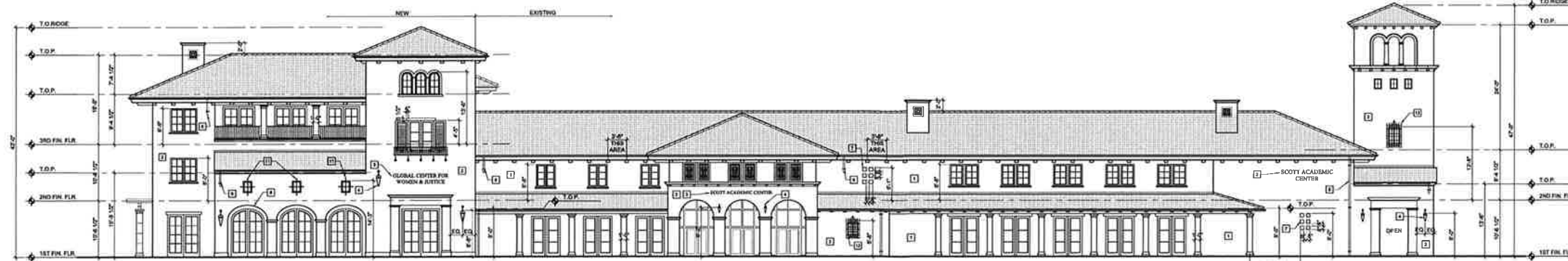
MARSHALL ARCHITECTS
 2000 FAIR DRIVE, COSTA MESA, CA 92626
 (714) 440-1111
 www.marshallarchitects.com

REGISTERED ARCHITECT
 STATE OF CALIFORNIA
 DATE OF EXPIRATION: _____

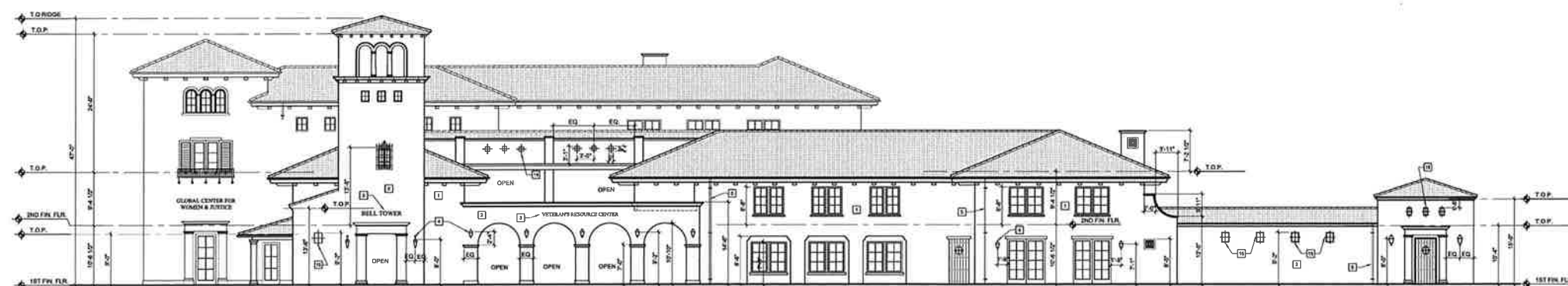
Revisions

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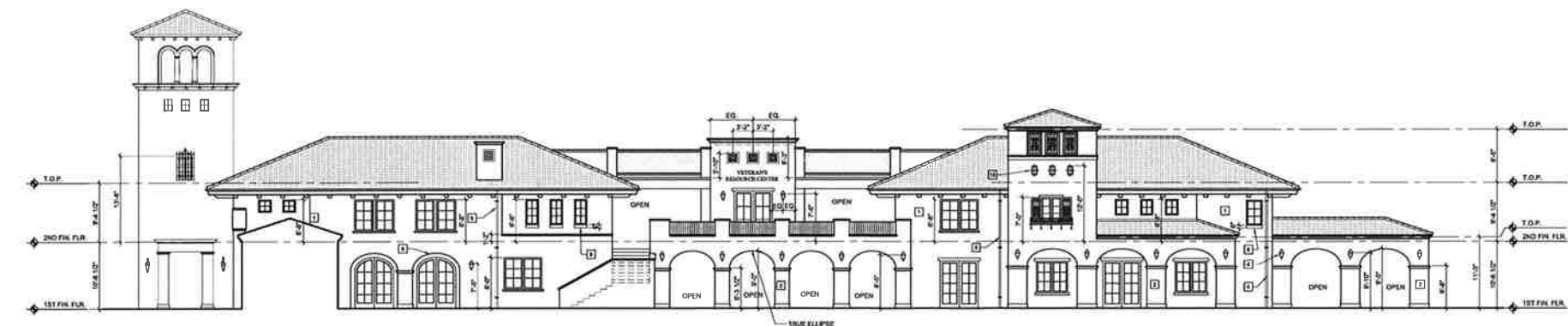
PLAN CHECK SUBMITTAL 1
 Issue Date 11/27/13
 Title
ROOF PLAN
 Sheet No.
A-3.1



ELEVATION A



ELEVATION B



ELEVATION C



ELEVATION D

- KEYNOTES:**
- NOTE:
THIS KEY NOTE LIST FOR SHEET A-4.1 - A-4.3 ONLY
- 1 EXISTING EXTERIOR PLASTER TO RECEIVE NEW FINISHED SMOOTH COAT W/ INTEGRAL COLOR
 - 2 NEW THREE COAT EXTERIOR PLASTER WITH SMOOTH COAT AND INTEGRAL COLOR
 - 3 BUILDING SIGNAGE BY OTHERS
 - 4 DECORATIVE EXTERIOR LIGHT FIXTURE
 - 5 COPPER DOWNSPOUT: TERMINATE AT GROUND PER ONS DRAWINGS
 - 6 COPPER DOWNSPOUT: PROVIDE THROUGH WALL CONNECTION TO DRAIN IN WALL
 - 7 DECORATIVE 3" EXTERIOR PLASTER RECESS
 - 8 EXTERIOR PLASTER ELLIPSE TO BE CONCORDING WITH DOOR ELLIPSE
 - 9 SLOPED EXTERIOR PLASTER BILL
 - 10 OPERABLE WOOD SHUTTER
 - 11 WROUGHT IRON GRILLE #1
 - 12 WROUGHT IRON GRILLE #2
 - 13 WROUGHT IRON GRILLE #3
 - 14 WROUGHT IRON GRILLE #4
 - 15 WROUGHT IRON GRILLE #5
 - 16 WROUGHT IRON GRILLE #6
 - 17 WROUGHT IRON GRILLE #7
 - 18 WROUGHT IRON GRILLE #8
 - 19 WROUGHT IRON GRILLE #9

- ELEVATION NOTES:**
- 1 ALL NEW SLOPED ROOFS TO HAVE TWO PIECE CLAY MISSION BARREL TILES TO MATCH EXISTING (REDLANDS CLAY TILE EBR-1499 OR APPROVED EQUALS)
 - 2 ALL NEW WALLS TO RECEIVE THREE COAT EXTERIOR PLASTER WITH SMOOTH HAND TROWLED FINISH WITH INTEGRAL COLOR. ALL EXISTING EXTERIOR PLASTER WALLS TO RECEIVE NEW FINISH COAT. S/C TO PREPARE EXISTING SURFACE AS REQUIRED BY MANF.
 - 3 ALL EXISTING BRICK VENEER TO RECEIVE EXTERIOR PLASTER FINISH COAT TO MATCH WALLS. S/C TO PROVIDE FIELD SAMPLE FOR APPROVAL BY ARCHITECT.
 - 4 ALL EXISTING WOOD TRIM TO BE SANDED, PATCHED AND REPAIRED AND TO RECEIVE NEW PAINT.



Revisions

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 55 FAIR DRIVE, COSTA MESA, CA

PLAN CHECK
 SUBMITTAL 1

Issue Date 11/27/13

Title
EXTERIOR ELEVATIONS

Sheet No.
A-4.1

EXTERIOR ELEVATIONS

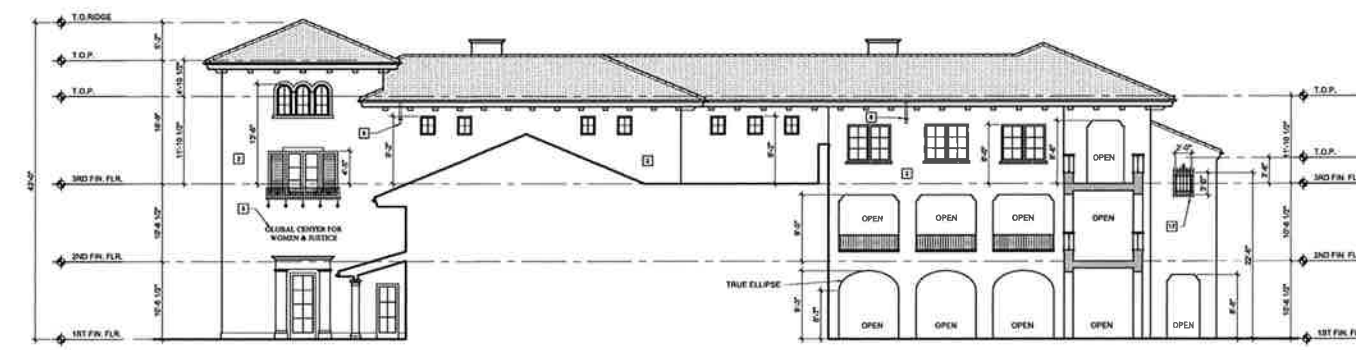
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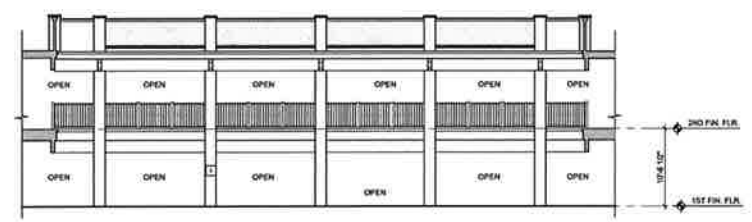
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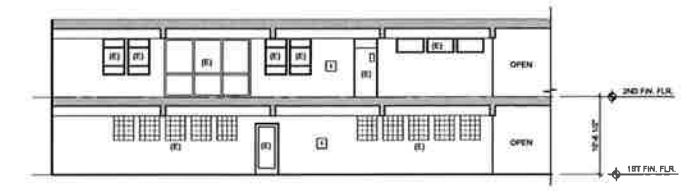
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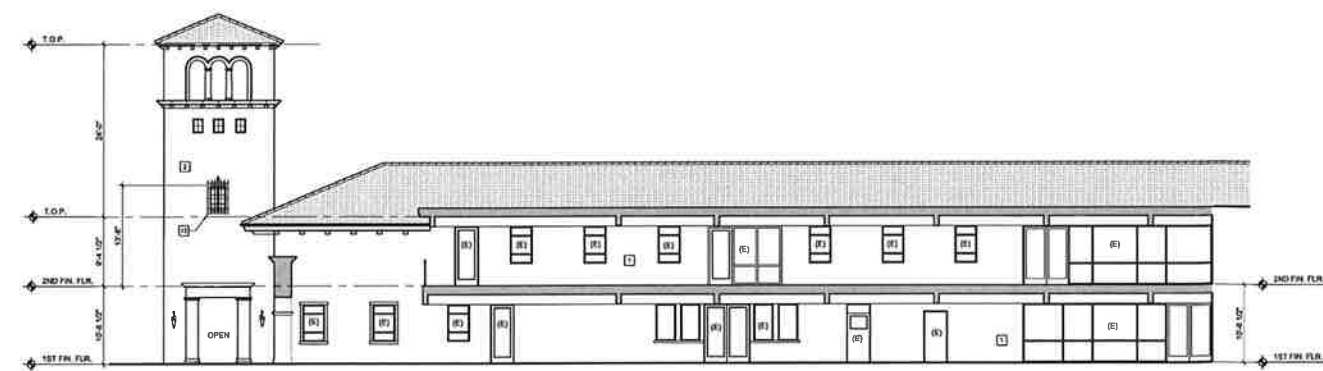
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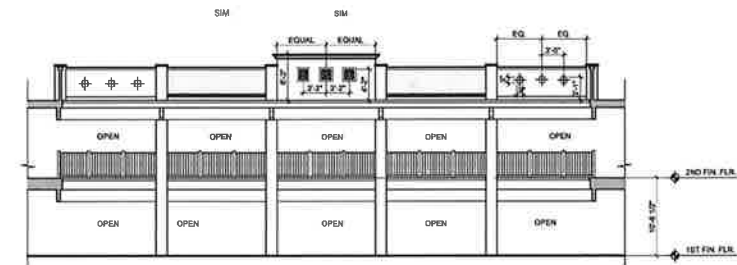
ELEVATION - H



ELEVATION - J



ELEVATION - K



ELEVATION - L

- KEYNOTES:**
- NOTE:
THIS KEY NOTE LIST FOR SHEET A-4.1 - A-4.3 ONLY
- 1 EXISTING EXTERIOR PLASTER TO RECEIVE NEW FINISHED SMOOTH COAT WITH INTEGRAL COLOR
 - 2 NEW THREE COAT EXTERIOR PLASTER WITH SMOOTH COAT AND INTEGRAL COLOR
 - 3 BUILDING SIGNAGE BY OTHERS
 - 4 DECORATIVE EXTERIOR LIGHT FIXTURE
 - 5 COPPER DOWNSPOUT: TERMINATE AT GROUND PER CIVL DRAWINGS
 - 6 COPPER DOWNSPOUT: PROVIDE THROUGH WALL CONNECTION TO DRAIN IN WALL
 - 7 DECORATIVE 3" EXTERIOR PLASTER RECESS
 - 8 EXTERIOR PLASTER ELLIPSE TO BE CONCENTRIC WITH DOOR ELLIPSE
 - 9 BLOPED EXTERIOR PLASTER GILL
 - 10 OPERABLE WOOD SHUTTER
 - 11 WROUGHT IRON GRILLE #1
 - 12 WROUGHT IRON GRILLE #2
 - 13 WROUGHT IRON GRILLE #3
 - 14 WROUGHT IRON GRILLE #4
 - 15 WROUGHT IRON GRILLE #5
 - 16 WROUGHT IRON GRILLE #6
 - 17 WROUGHT IRON GRILLE #7
 - 18 WROUGHT IRON GRILLE #8
 - 19 WROUGHT IRON GRILLE #9
 - 20 WROUGHT IRON GRILLE #10

- ELEVATION NOTES:**
- 1 ALL NEW BLOPED ROOFS TO HAVE TWO PLYS CLAY TILE ON SAND BED TO MATCH EXISTING (REDLANDS CLAY TILE ESR-1489 OR APPROVED EQUALS)
 - 2 ALL NEW WALL TO RECEIVE THREE COAT EXTERIOR PLASTER WITH SMOOTH FINISH TROWLED FINISH WITH INTEGRAL COLOR. ALL EXISTING EXTERIOR PLASTER WALLS TO RECEIVE NEW FINISH COAT. SDC TO PREPARE EXISTING SURFACE AS REQUIRED BY MANF.
 - 3 ALL EXISTING BRICK VENEER TO RECEIVE EXTERIOR PLASTER FINISH COAT TO MATCH WALLS. SDC TO PROVIDE FIELD SAMPLE FOR APPROVAL BY ARCHITECT.
 - 4 ALL EXISTING WOOD TRIM TO BE Banded, PATCHED AND REPAIRED AND TO RECEIVE NEW PAINT.



Revisions

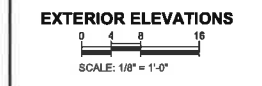
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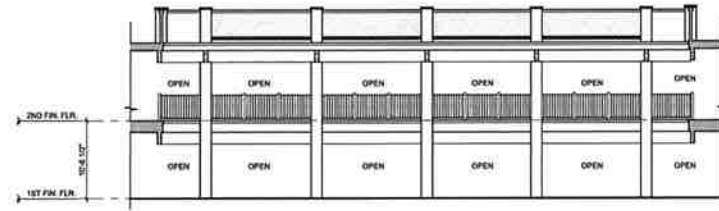
PLAN CHECK
 SUBMITTAL 1

Issue Date 11/27/13

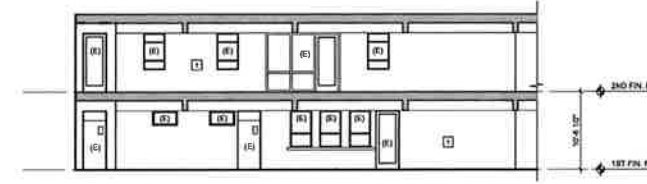
Title
 EXTERIOR
 ELEVATIONS

Sheet No.
A-4.2

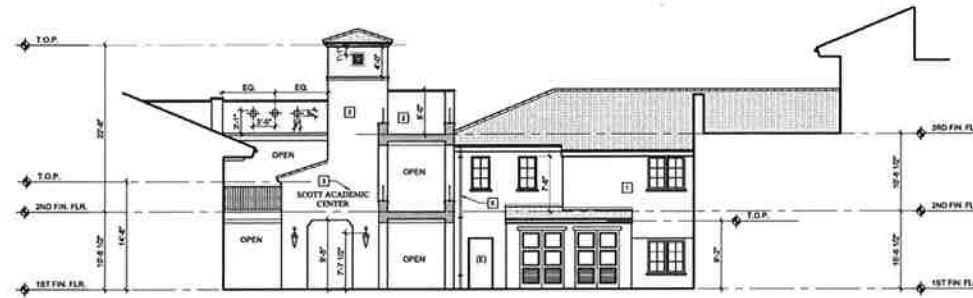




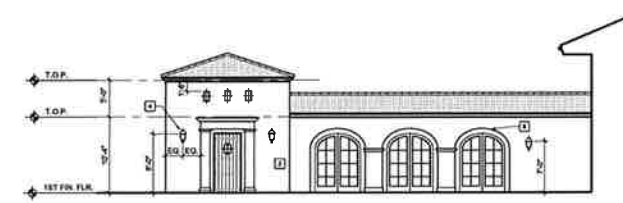
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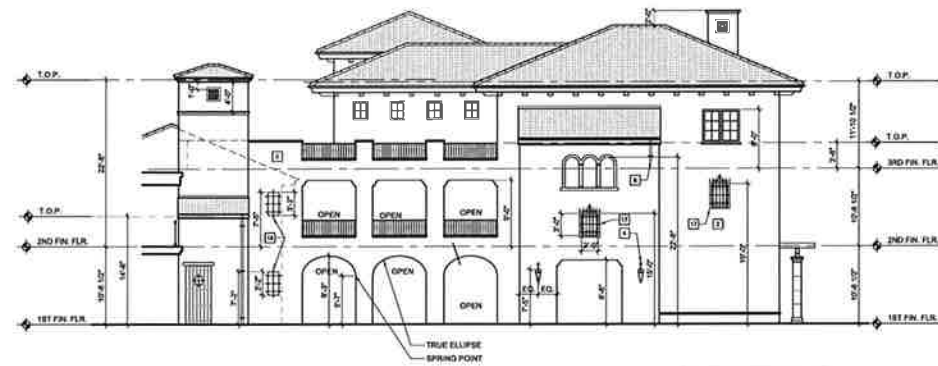
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ELEVATION - P



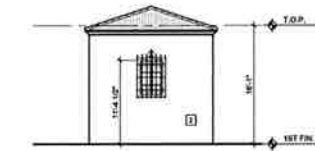
ELEVATION - Q



ELEVATION - R



ELEVATION - S



ELEVATION - T

KEYNOTES:

- NOTE:
THIS KEY NOTE LIST FOR SHEET A-4.1 - A-4.3 ONLY
- 1 EXISTING EXTERIOR PLASTER TO RECEIVE NEW FINISHED SMOOTH COAT W/ INTEGRAL COLOR
 - 2 NEW THREE COAT EXTERIOR PLASTER WITH SMOOTH COAT AND INTEGRAL COLOR
 - 3 BUILDING SIGNAGE BY OTHERS
 - 4 DECORATIVE EXTERIOR LIGHT FIXTURE
 - 5 COPPER DOWNPOUT, TERMINATE AT GROUND PER CIVIL DRAWINGS
 - 6 COPPER DOWNPOUT, FINISH THROUGH WALL CONNECTION TO DRAIN IN WALL
 - 7 DECORATIVE 2" EXTERIOR PLASTER RECESS
 - 8 EXTERIOR PLASTER ELLIPSE TO BE CONCENTRIC WITH DOOR ELLIPSE
 - 9 SLOPED EXTERIOR PLASTER BILL
 - 10 OPERABLE WOOD SHUTTER
 - 11 WROUGHT IRON GRILLE #1
 - 12 WROUGHT IRON GRILLE #2
 - 13 WROUGHT IRON GRILLE #3
 - 14 WROUGHT IRON GRILLE #4
 - 15 WROUGHT IRON GRILLE #5
 - 16 WROUGHT IRON GRILLE #6
 - 17 WROUGHT IRON GRILLE #7
 - 18 WROUGHT IRON GRILLE #8
 - 19 WROUGHT IRON GRILLE #9

ELEVATION NOTES:

1. ALL NEW SLOPED ROOFS TO HAVE TWO PIECE CLAY MISSION BARNEL TILES TO MATCH EXISTING (REGLAND) CLAY TILE ESR-1489 OR APPROVED EQUAL.
2. ALL NEW WALL TO RECEIVE THREE COAT EXTERIOR PLASTER WITH SMOOTH HAND TROWLED FINISH WITH INTEGRAL COLOR. ALL EXISTING EXTERIOR PLASTER WALLS TO RECEIVE NEW FINISH COAT. GC TO PREPARE EXISTING SURFACE AS REQUIRED BY MAMP.
3. ALL EXISTING BRICK VENEER TO RECEIVE EXTERIOR PLASTER THREE COAT TO MATCH WALLS - GC TO PROVIDE FIELD SAMPLE FOR APPROVAL BY ARCHITECT.
4. ALL EXISTING WOOD TRIM TO BE SANGEL PATCHED AND REPAIRED AND TO RECEIVE NEW PAINT.



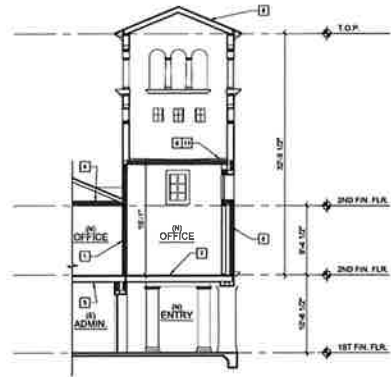
Revisions

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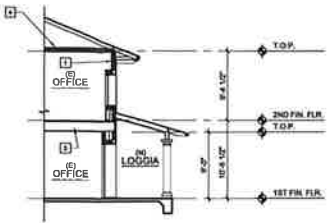
PLAN CHECK
 SUBMITTAL 1
 Issue Date 11/27/13
 Title EXTERIOR
 ELEVATIONS

Sheet No.
A-4.3

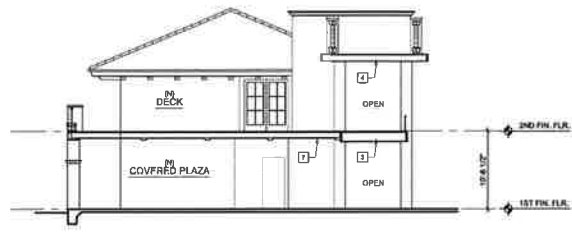
EXTERIOR ELEVATIONS
 SCALE: 1/8" = 1'-0"



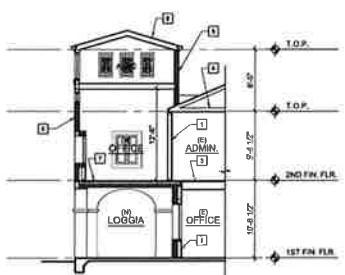
BUILDING SECTION - 8



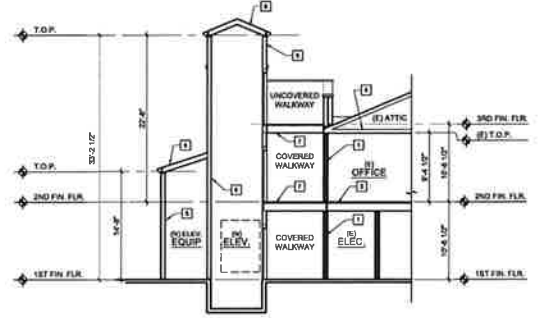
BUILDING SECTION - 7



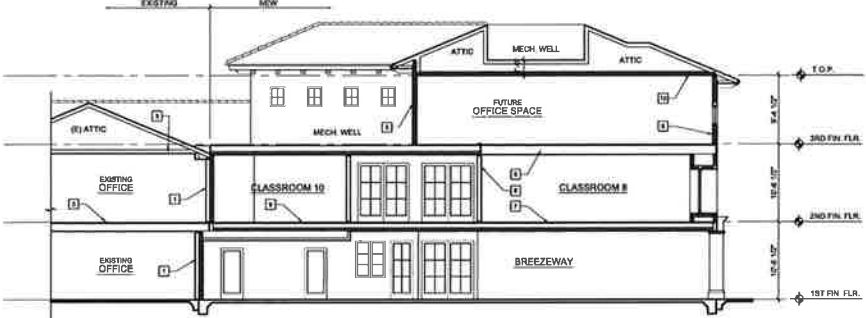
BUILDING SECTION - 6



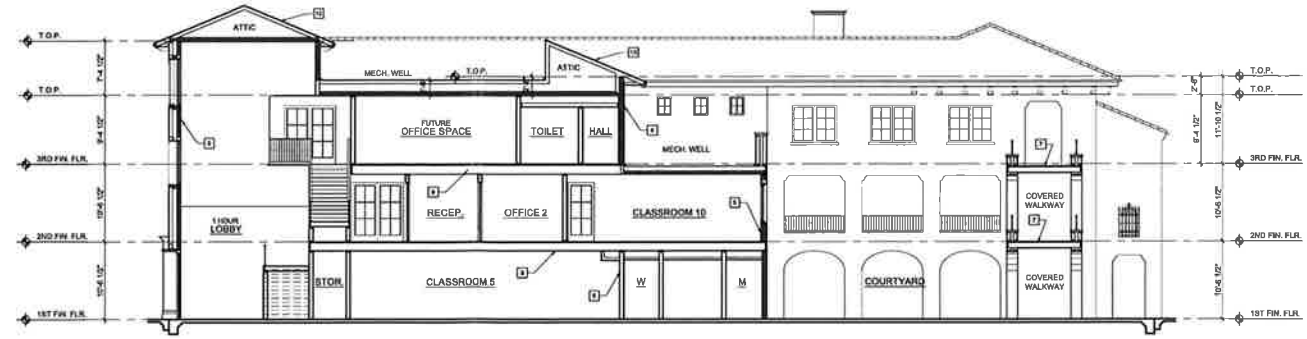
BUILDING SECTION - 5



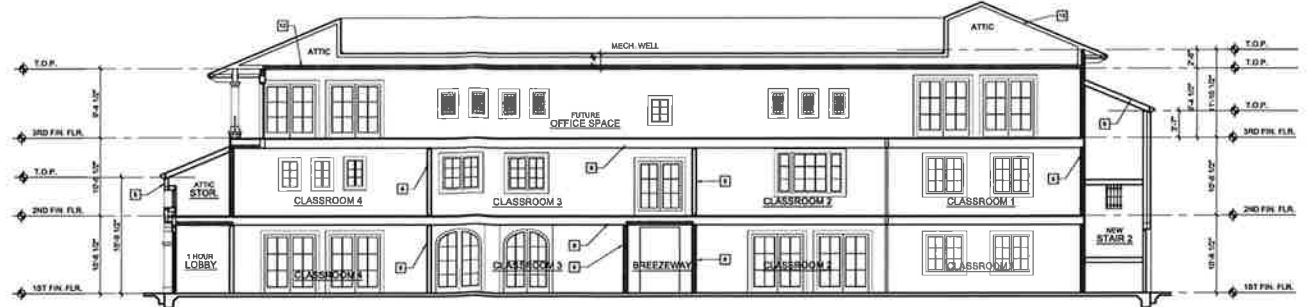
BUILDING SECTION - 4



BUILDING SECTION - 3



BUILDING SECTION - 2



BUILDING SECTION - 1

- KEYNOTES:**
- NOTE: THIS KEY NOTE LIST FOR SHEET A-5.1 ONLY
- 1 EXISTING ONE HOUR EXTERIOR BEARING WALL
 - 2 EXISTING ONE HOUR INTERIOR BEARING WALL
 - 3 EXISTING ONE HOUR FLOORCEILING ASSEMBLY
 - 4 EXISTING ONE HOUR ROOFCEILING ASSEMBLY
 - 5 NEW ONE HOUR EXTERIOR BEARING WALL
- CBC PRESCRIPTIVE WALL DESIGN PER TABLE 720.1(2)
ITEM NUMBER: 15-1.2
2" x 4" wood studs 16" on center with 5/8" cement plaster (applied vertically or horizontally) with 1/2" coarse or wallboard (max. 1/4" for scratch coat and 1/2" for brown coat), by volume, cement to sand, interior finish: 7" Type X gypsum wallboard applied vertically or horizontally with 1/2" coarse or wallboard nails at 7" on center with end joints on racking members. Stagger joints each side.
- 6 NEW ONE HOUR INTERIOR BEARING WALL
- CBC PRESCRIPTIVE WALL DESIGN PER TABLE 720.1(2)
ITEM NUMBER: 14-1.3
2" x 4" wood studs 24" on center with 7" Type X gypsum wallboard applied vertically or horizontally with 1/2" coarse or wallboard nails at 7" on center with end joints on racking members. Stagger joints each side.
- 7 NEW ONE HOUR FLOORCEILING ASSEMBLY (EXTERIOR)
- CBC PRESCRIPTIVE WALL DESIGN PER TABLE 720.1(3)
ITEM NUMBER: 130-1.2
Cement or gypsum plaster on metal lath. Lath fastened with 11/2" by 1/4" No. 11 galvanized steel deck ceiling nails spaced 6" on center. Plaster mixed 1.2 for scratch coat and 1.3 for brown coat, by weight, cement to sand aggregate.
- 8 NEW ONE HOUR ROOFCEILING ASSEMBLY (EXTERIOR)
- AMERICAN GYPSUM DESIGN: RC3002
Cement or gypsum plaster on metal lath. Lath fastened with 11/2" by 1/4" No. 11 galvanized steel deck ceiling nails spaced 6" on center. Plaster mixed 1.2 for scratch coat and 1.3 for brown coat, by weight, cement to sand aggregate over one layer 5/8" Fibrillok Type X wallboard applied at right angle to wood joists or trusses spaced 24" c. Minimum 1/2" plywood applied at right angle to trusses, and appropriate roof covering.
- 9 NEW ONE HOUR FLOORCEILING ASSEMBLY (INTERIOR)
- CBC PRESCRIPTIVE WALL DESIGN PER TABLE 720.1(3)
ITEM NUMBER: 25-1.1
Two layers of 1/2" Type X gypsum wallboard applied with the long dimension perpendicular to the joists with end joints staggered. The base layer is fastened with 1/2" Type G drywall screws spaced 12" o.c. in the field and 8" o.c. on the edges. Face layer end joints shall not occur on the same joist as base layer end joints and edge joints shall be offset 24" from base layer joints. Face layer to also be attached to base layer with 11/2" Type G drywall screws spaced 12" o.c. placed 6" from face layer and joints. Face layer wallboard joints to be taped and covered with joint compound.
- 10 NEW ONE HOUR ROOFCEILING ASSEMBLY (INTERIOR)
- AMERICAN GYPSUM DESIGN: RC3002
Two layers 5/8" Fibrillok Type X wallboard applied at right angle to wood joists or trusses spaced 24" c. Minimum 1/2" plywood applied at right angle to trusses, and appropriate roof covering.
- 11 CONG. DECK OVER WATERPROOF MEMBRANE

SECTION NOTES:

1. BUILDING SECTIONS ARE FOR THE DEPICTION OF THE BASIC BUILDING DESIGN, INCLUDING VERTICAL AND HORIZONTAL SPACE AND DIMENSIONAL RELATIONSHIPS. THESE BUILDING SECTIONS ARE NOT INTENDED TO BE USED FOR STRUCTURAL ELEMENTS SUCH AS BEAMS, FOOTINGS, GRADE BEAMS, ETC. DESIGN OR LOCATION REFER TO STRUCTURAL DRAWINGS AND ENLARGED DETAILS FOR SPECIFIC DESIGN AND CONSTRUCTION REQUIREMENTS.
2. ALL OPENINGS AROUND GAS VENTS, DUCTS, PIPES, CHIMNEYS, AND PROTRUSIONS AT THE CEILING SHALL BE PRIOR BLOCKED WITH NON-COMBUSTIBLE MATERIALS PER CBC 717.
3. PROVIDE FIRE BLOCKING AT 12 FOOT INTERVALS IN CONCEALED SPACES BOTH HORIZONTALLY AND VERTICALLY PER CBC 717.
4. ATTIC VENTILATION OPENINGS SHALL BE COVERED WITH CORROSION RESISTANT METAL MESH WITH MESH OPENINGS OF 1/4" IN DIMENSION PER CBC 720.
5. PROVIDE SOUND ATTENUATION BATT INSULATION AT ALL INTERIOR WALLS AND FLOORCEILING ASSEMBLIES.
6. PROVIDE R-13 BATT INSULATION AT ALL EXTERIOR WALLS & R-30 BATT INSULATION AT ALL CEILING.
7. SEE TITLE 24 ENERGY CALCULATIONS FOR ADDITIONAL INSULATION REQUIREMENTS.

BUILDING SECTIONS
0 4 8 16
SCALE: 1/8" = 1'-0"



Revisions

NO.	DESCRIPTION

SCOTT CENTER
VANGUARD UNIVERSITY
55 FAIR DRIVE, COSTA MESA, CA

PLAN CHECK SUBMITTAL 1

Issue Date 11/27/13

Title
BUILDING SECTIONS

Sheet No.

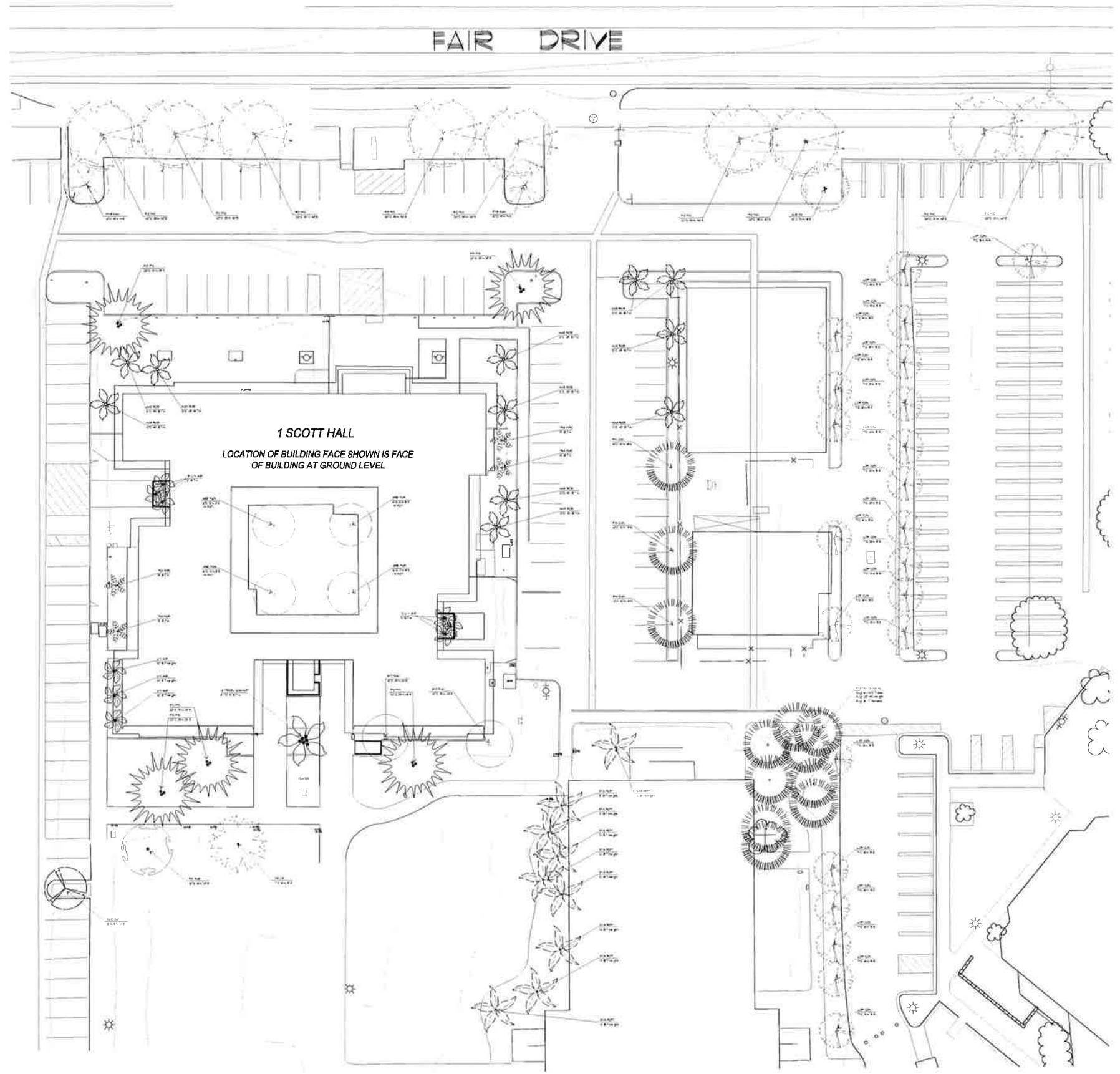
A-5.1

EXISTING TREE PALETTE LEGEND

SYMBOL	ABBREV	BOTANICAL / COMMON NAME	QUANTITY	SIZE	REMARKS
PALMS					
	CHA HUM	CHAMAEROPS HUMILIS / MEDITERRANEAN FAN PALM	1	EXISTING	PRIOR TO CONST.
	LIV AUS	LIVISTONA AUSTRALIS / FOUNTAIN PALM	6	EXISTING	PRIOR TO CONST.
	SYA ROM	SYAGRUS ROMANOFFIANA / QUEEN PALM	8	EXISTING	PRIOR TO CONST.
	TRA FOR	TRACHYCARPUS FORTUNEI / WINDMILL PALM	4	EXISTING	PRIOR TO CONST.
	WAB ROB	WASHINGTONIA ROBUSTA / MEXICAN FAN PALM	3	EXISTING	PRIOR TO CONST.
TREES					
	ALB JUL	ALBIZIA JULIBRISSIN / MIMOSA	1	EXISTING	PRIOR TO CONST.
	ARE MAR	ARECATUS MARINA / MARINA MADRONE (IN POTS)	4	EXISTING	PRIOR TO CONST.
	FIC PIC	FICUS MICROCARPA / INDIAN LAUREL FIG	8	EXISTING	PRIOR TO CONST.
	FIC RUB	FICUS RUBIGINOSA / RUSTY-LEAF FIG	1	EXISTING	PRIOR TO CONST.
	KOE BIF	KOELREUTERIA BIPINNATA / CHINESE FLAME TREE	1	EXISTING	PRIOR TO CONST.
	LOP CON	LOPHOSTEMON CONFERTUS / BRISBANE EUC	23	EXISTING	PRIOR TO CONST.
	FIN CAN	FINIS CANARIENSIS / CANARY ISLAND PINE	12	EXISTING	PRIOR TO CONST.
	FIN PIN	PINUS PINEA / ITALIAN STONE PINE	5	EXISTING	PRIOR TO CONST.
	PYR KAN	PYRUS KAWAKAMI / EVERGREEN PEAR	2	EXISTING	PRIOR TO CONST.
	SYZ FAN	SYZYGIUM FANICULATUM / BUSH CHERRY	2	EXISTING	PRIOR TO CONST.
	TIF TIF	TIPUANIA TIFU / TIFU TREE	1	EXISTING	PRIOR TO CONST.

LANDSCAPE NOTES

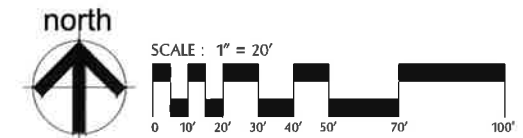
- **IRRIGATION SYSTEM:**
All planted areas shall be irrigated according to plant type groupings and environmental exposure and shall receive uniform water coverage as required by state mandated water ordinance. Irrigation shall be and by means of an automatically controlled irrigation control system with a rain sensor. The system shall be capable of repeat cycles in order to apply water at a rate that the soil can absorb the applied irrigation water. A master control valve will be installed to prevent over watering when valves malfunction. Domestic water will be protected by means of a reduced pressure type back flow preventer. Irrigation plan will show the location of all components, sprinkler radius, stated pressure, gallons per minute per head, and will conform to the standards set forth by the governing municipality.
The irrigation system shall comply with the criteria of the water efficient landscape regulations and applied them accordingly for the efficient use of water in the irrigation design.
Install all irrigation equipment and irrigation design in compliance with the city of Huntington Beach standard uniform building code.
- **LANDSCAPE CONCEPT:**
The plan will provide visual continuity of landscape design with existing commercial and industrial development. The landscape will compliment the architecture wherever possible (i.e. soften walls screening service areas with trees, shrubs and vines). Sight clearance for automobile traffic and visual access to signage are observed and accounted for in the design. Existing trees will be preserved whenever practical to do so. Existing trees will be noted on plans. Parking area landscape will include shade trees shall comply with the standards of the governing municipality and will be evenly distributed throughout the parking areas. All parking areas will be screened from the street by means of planters within parking areas will conform to the requirements of governing municipality.
Plant materials are selected for temperature hardiness and low water use requirements, and will be grouped according to water and climatic needs. Turf or lawn areas will not be used. A 'No-Mow' grass will be used within the Bio-Swale areas to provide runoff cleansing from the parking lot. A 3" layer of mulch will be installed to reduce water evaporation between irrigation periods.



LEGEND:

● FOUND MONUMENT AS	□ TRIP TRAFFIC SIGNAL FULL BAY	43. PAVEMENT SURFACE	W1. WEEDING
○ BLUE WALL	□ ILL. IRRIGATION CONTROL VALVE	44. FINISH SURFACE	E1. EAST/FACE
○ GREEN WELT	○ IRR. FIRE DEPART. DOWNROW	45. MARKING SPANND	8A. SHAD. OF AREA
○ UNPAVED ACCESS	○ CT. GROUND 20'	46. ASPHALT	10. TOP OF CURB
○ CASUWAY LOCATION	○ ACCESS ACCESS PL.	47. ASPHALT	11. PAVEMENT
○ LIGHT POLE	○ MANGIC ACCESSIBLE	48. SANDWICH	81. BOTTOM OF BRIDGE
○ SEWER MANHOLE	○ TRAFFIC LIGHT	49. EARTH BASIN	85. EDGE OF OUTLET
○ TELEPHONE MANHOLE	○ STREET LIGHT	50. EDGE OF PAVING	7A. TOP OF BRIDGE
○ SOMERSON MANHOLE	○ GAS VALVE	51. BRUSH ENCLOSURE	MS. NOW STOP
○ FIRE HYDRANT	○ WY. WATER METER	52. MOUNTING	7B. FACE OF BUSH WALL
○ POWER POLE	○ MTR. WATER METER	53. ANGLE POINT	62. GRADE BREAK
○ ANCHOR WIRE	○ MB. MAIL BOX	54. WARDEN LINE	85. BOTTOM OF STEP
○ CHAINLINK FENCE	○ TB. TELEPHONE BOX	55. OTTOMAN ARMOR	75. TOP OF STEP
○ WY. WATER VALVE	○ FB. FILL BOX	56. NORTH/SOUTH	
○ ETP. 21. PULL BOX	○ CO. SEWER CLEAN-OUT	57. SOUTH/NORTH	

BENCHMARK:
ORANGE COUNTY - OC PUBLIC WORKS - GEOMATICS & LAND INFORMATION SYSTEMS SECTION VERTICAL CONTROL DATA SHEET - O.C.S. 1985 ADJUSTMENT DESIGNATION: 16-114-91
DESCRIBED BY OCS 2001 - FOUND 3 3/4" OCS ALUMINUM BENCHMARK DISK STAMPED "16-114-91" SET IN BRIDGE ABUTMENT. MONUMENT IS LOCATED IN THE SOUTHEAST BRIDGE ABUTMENT FOR THE 55 FREEWAY AT FAIR DRIVE, 80 FT. SOUTHERLY OF FAIR DRIVE AND 120 FT. EASTERLY OF THE CENTERLINE OF THE 55 FREEWAY. MONUMENT IS SET LEVEL WITH SIDEWALK.
ELEVATION = 68.727 (NAVD 88) 2005 YEAR LEVELED



EXISTING TREE PLAN

EXISTING TREE PALETTE LEGEND

SYMBOL	ABBREVIATION	BOTANICAL / COMMON NAME	QUANTITY	SIZE	REMARKS
PALMS					
	CH4 HUM	CHAMAEROPS HUMILIS / MEDITERRANEAN FAN PALM	18	EXISTING	TO BE RELOCATED
	LIV AUS	LIVISTONA AUSTRALIS / FOUNTAIN PALM	18	EXISTING	TO BE RELOCATED
	SYA ROM	SYAGRUS ROMANOFFIANA / QUEEN PALM	3	EXISTING	PROTECT IN PLACE
	TRA FOR	TRACHYCARPUS FORTUNEI / WINDMILL PALM	2	EXISTING	PROTECT IN PLACE
	WAS ROB	WASHINGTONIA ROBUSTA / MEXICAN FAN PALM	10	EXISTING	TO BE REMOVED
TREES					
	ALB AL	ALBIZIA ALBENSIS / GYMPSONA	1	EXISTING	PROTECT IN PLACE
	ARE MAR	ARECATHA MARINA / MARINA MADRONE (IN POTS)	4	EXISTING	PROTECT IN PLACE
	FIG MIC	FIGUS MICROCARPA / INDIAN LAUREL FIG	6	EXISTING	PROTECT IN PLACE
	FIG RUB	FIGUS RUBIGINOSA / RUSTY-LEAF FIG	1	EXISTING	TO BE REMOVED
	KOE BIF	KOELREUTERIA BIFIDATA / CHINESE FLAME TREE	1	EXISTING	PROTECT IN PLACE
	LOP CON	LOPHOSTEMON CONFERTUS / BRISBANE BOY	1	EXISTING	TO BE REMOVED
	PIN CAN	PINUS CANARIENSIS / CANARY ISLAND PINE	3	EXISTING	PROTECT IN PLACE
	PIN PIN	PINUS PINA / ITALIAN STONE PINE	15	EXISTING	TO BE REMOVED
	PYR KAN	PYRUS KANAKAMI / EVERGREEN PEAR	12	EXISTING	TO BE REMOVED
	SYZ PAN	SYZYGIUM PANICULATUM / BUSH CHERRY	10	EXISTING	TO BE REMOVED
	TIP TIP	TIPUANIA TIPU / TIPU TREE	10	EXISTING	TO BE REMOVED

LANDSCAPE NOTES

IRRIGATION SYSTEM:

All planted areas shall be irrigated according to plant type groupings and environmental exposure and shall receive uniform water coverage as required by state mandated water ordinance. Irrigation shall be and by means of an automatically controlled irrigation control system with a rain sensor. The system shall be capable of repeat cycles in order to apply water at a rate that the soil can absorb the applied irrigation water. A master control valve will be installed to prevent over watering when valves malfunction. Domestic water will be protected by means of a reduced pressure type back flow preventer. Irrigation plan will show the location of all components, sprinkler radius, stated pressure, gallons per minute per head, and will conform to the standards set forth by the governing municipality.

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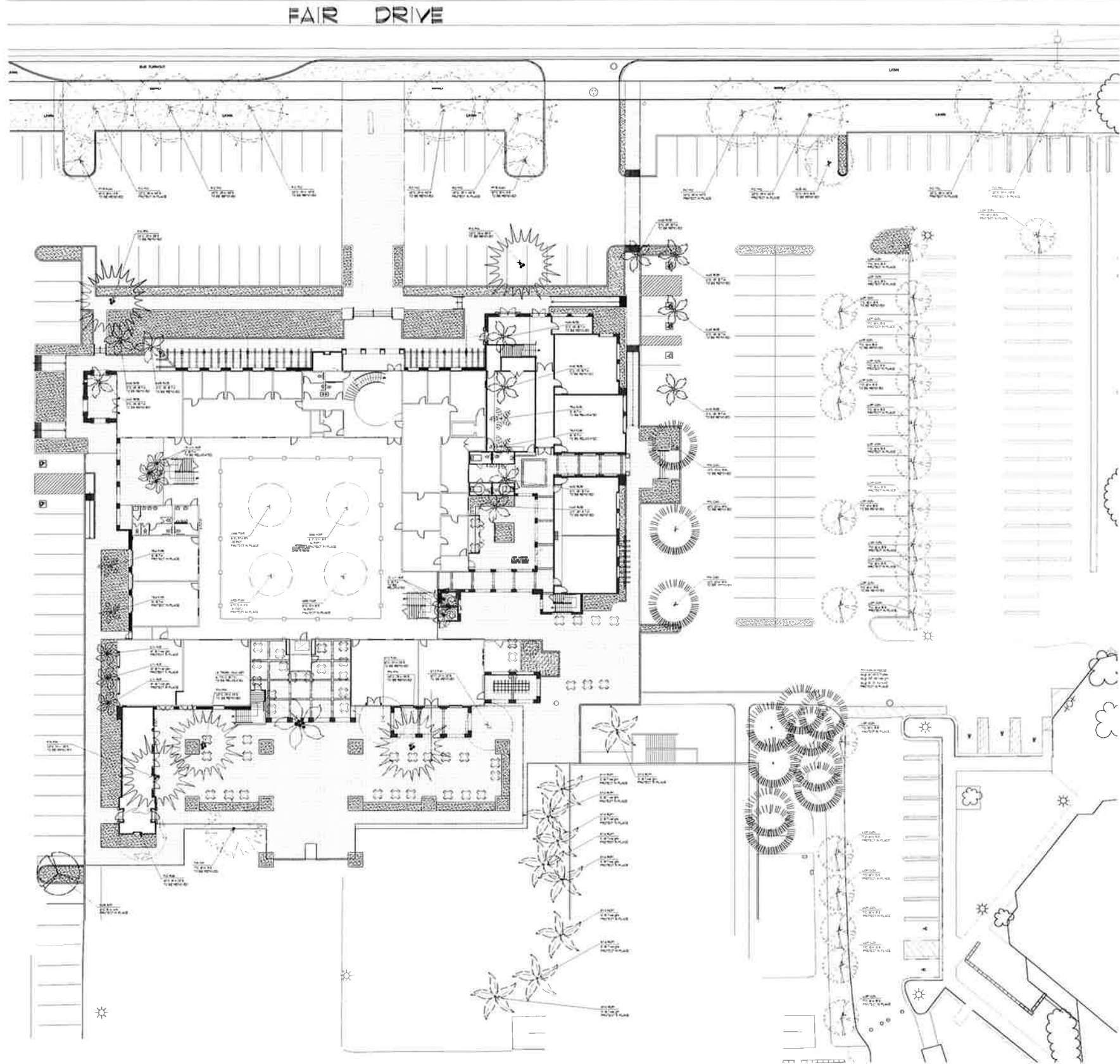
LANDSCAPE CONCEPT:

The plan will provide visual continuity of landscape design with existing commercial and industrial development. The landscape will compliment the architecture wherever possible (ie, soften walls screening service areas with trees, shrubs and vines). Sight clearance for automobile traffic and visual access to signage are observed and accounted for in the design. Existing trees will be preserved whenever practical to do so. Existing trees will be noted on plans. Parking area landscape will include shade trees shall comply with the standards of the governing municipality and will be evenly distributed throughout the parking areas. All parking areas will be screened from the street by means of planters within parking areas will conform to the requirements of governing municipality.

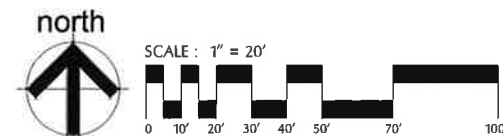
Plant materials are selected for temperature hardiness and low water use requirements, and will be grouped according to water and climatic needs. Turf or lawn areas will not be used. A 'No-Mow' grass will be used within the Bio-Swale areas to provide runoff cleansing from the parking lot. A 3" layer of mulch will be installed to reduce water evaporation between irrigation periods.

LEGEND:

	ADJAC. W/CONCRETE AS		PIPE MANHOLES, SLOPE, PULL BOX		FINISH SURFACE		METERNY
	BUILDING WALL		PIPE MANHOLES, SLOPE, PULL BOX		FINISH SURFACE		EXISTING
	DRIVE ASPH		PIPE MANHOLES, SLOPE, PULL BOX		FINISH SURFACE		BACK OF CURB
	RESTRICTED ACCESS		PIPE MANHOLES, SLOPE, PULL BOX		FINISH SURFACE		TOP OF CURB
	EASEMENT LOCATIONS		PIPE MANHOLES, SLOPE, PULL BOX		FINISH SURFACE		FL. FINISHLINE
	LIGHT POLE		PIPE MANHOLES, SLOPE, PULL BOX		FINISH SURFACE		BOTTOM OF TRUNK
	SLEEP MANHOLE		PIPE MANHOLES, SLOPE, PULL BOX		FINISH SURFACE		EDGE OF CURB
	TELEPHONE MANHOLE		PIPE MANHOLES, SLOPE, PULL BOX		FINISH SURFACE		TOP OF WALK
	STORMWATER MANHOLE		PIPE MANHOLES, SLOPE, PULL BOX		FINISH SURFACE		TOP OF WALK
	SEE INHERENT		PIPE MANHOLES, SLOPE, PULL BOX		FINISH SURFACE		FACE OF SIDEWALK
	POWER POLE		PIPE MANHOLES, SLOPE, PULL BOX		FINISH SURFACE		BOTTOM OF STEP
	ANCHOR WIRE		PIPE MANHOLES, SLOPE, PULL BOX		FINISH SURFACE		TOP OF STEP
	CHARLEM. FENCE		PIPE MANHOLES, SLOPE, PULL BOX		FINISH SURFACE		
	WATER VALVE		PIPE MANHOLES, SLOPE, PULL BOX		FINISH SURFACE		
	PIPE TO PULL BOX		PIPE MANHOLES, SLOPE, PULL BOX		FINISH SURFACE		



BENCHMARK:
 ORANGE COUNTY - OC PUBLIC WORKS - GEOMATICS & LAND INFORMATION SYSTEMS SECTION VERTICAL CONTROL DATA SHEET - O.C.S. 1985 ADJUSTMENT DESIGNATION: 1E-114-91
 DESCRIBED BY OCS 2011 - FOUND 3 1/4" OCS ALUMINUM BENCHMARK DISK STAMPED "1E-114-91", SET IN BRIDGE ABUTMENT. MONUMENT IS LOCATED IN THE SOUTHEAST BRIDGE ABUTMENT FOR THE 55 FREEWAY AT FAIR DRIVE, 50 FT. SOUTHERLY OF FAIR DRIVE AND 120 FT. EASTERLY OF THE CENTERLINE OF THE 55 FREEWAY. MONUMENT IS SET LEVEL WITH SIDEWALK.
 ELEVATION = 66.27' (NAVD 88) 2005 YEAR LEVELED



TREE REMOVAL PLAN

MARSHALL studio
 CONSULTANT:
Studio Five
 LANDSCAPE ARCHITECTURE / PLANNING
 470 FAIR DRIVE, COSTA MESA, CALIFORNIA 92626
 Phone: (949) 456-8056
 FILE #13-1569

REVISIONS
 130213 1st PLAN CHECK SUBMITTAL

SCOTT CENTER
VANGUARD UNIVERSITY
 55 FAIR DRIVE, COSTA MESA, CA

PLAN CHECK NO. BC13-00000
 PLAN CHECK SUBMITTAL 1
 Issue Date 12/02/13
 Title **TREE REMOVAL PLAN**
 Sheet No. **L-2.1**

EXISTING PLANT LEGEND

SYMBOL	ABBREV	BOTANICAL / COMMON NAME	QUANTITY	SIZE	REMARKS	WATER USE
PALMS	CHA HUM	CHAMAEDORUS HUMULIS / MEDITERRANEAN FAN PALM	(1)	EXISTING	TO BE RELOCATED	
	LIV AUS	LIVISTONA AUSTRALIS / FOUNTAIN PALM	(6)	EXISTING	TO BE RELOCATED	
	SYA ROM	SYAGRUS ROMANZOFFIANA / QUEEN PALM	9	EXISTING	PROTECT IN PLACE	
	TRA FOR	TRACHYCARPUS FORTUNEI / WINDMILL PALM	2	EXISTING	PROTECT IN PLACE TO BE RELOCATED	
	WAS ROB	WASHINGTONIA ROBUSTA / MEXICAN FAN PALM	(11)	EXISTING	TO BE REMOVED	
TREES	ALB AL	ALBIZIA JULIBRISSIN / MIMOSA	1	EXISTING	TO BE REMOVED	
	ARB MAR	ARBUTUS MARINA / MARRINA MADRONE (IN POTS)	4	EXISTING	PROTECT IN PLACE	
	FIC MIC	FICUS MICROCARPA / INDIAN LAUREL FIG	8	EXISTING	PROTECT IN PLACE TO BE REMOVED	
	FIC RUB	FICUS RUBIGINOSA / RUSTY-LEAF FIG	(1)	EXISTING	TO BE REMOVED	
	KOE BP	KOELREUTERIA BIPINNATA / CHINESE FLAME TREE	1	EXISTING	PROTECT IN PLACE	
	LOP CON	LOPHOSTEMON CONFERTUS / BRISBANE BOX	17	EXISTING	PROTECT IN PLACE TO BE REMOVED	
	PIN CAN	PINUS CANARIENSIS / CANARY ISLAND PINE	9	EXISTING	PROTECT IN PLACE TO BE REMOVED	

NEW TREE PLANT LEGEND

SYMBOL	ABBREV	BOTANICAL / COMMON NAME	QUANTITY	SIZE	REMARKS	WATER USE FACTOR
TREES (TREE PER WUCOLS REGION 3)						
ARB MAR	ARBUTUS MARINA / NO COMMON NAME		8	24" BOX	SEE DETAIL 'J', SHEET L-6	PLANT FACTOR 0.3
LOP CON	LOPHOSTEMON CONFERTUS / BRISBANE BOX		10	24" BOX		
POD GRA	PODOCARPUS GRACILIOR / FERN PINE		10	24" BOX		
GROUND COVER (PER WUCOLS REGION 3)						
LAWN	MARATHON FESCUE TURF LAWN ORNAMENTAL GRASS AVAILABLE THROUGH SOUTHLAND SOD (800) 532-3489		-	SOD		PLANT FACTOR 0.7
SED SPU	SEDUM SPURRUM / DRAGON'S BLOOD SEDUM FROM ROOTED CUTTINGS IN FLATS SPACE @ 10" O.C.		-	FLATS		PLANT FACTOR 0.3
TRA JAS	TRACHELOSPERMUM JASMINOIDES / STAR JASMINE FROM ROOTED CUTTINGS IN FLATS SPACE @ 12" O.C.		-	FLATS		PLANT FACTOR 0.5
MULCH	3" LAYER OF 2" MINUS 'FOREST FLOOR' SHREDDED BARK MULCH AVAILABLE THROUGH AGUINAGA FERTILIZERS (949) 785-5556 (TYP. THROUGHOUT SHRUB PLANTING AREAS).		-			

NOTE: PLANT COUNT IS FOR CONTRACTOR CONVENIENCE ONLY AND MUST BE VERIFIED WHILE PREPARING INSTALLATION PROPOSAL. ANY DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE LANDSCAPE ARCHITECT.

PLANTING NOTES

THE LANDSCAPE CONTRACTOR SHALL INSTALL ALL PLANT MATERIAL IN ACCORDANCE WITH THE PLANS AND DETAILS.

PRIOR TO SOIL PREPARATION, CONTRACTOR SHALL HIRE A LICENSED SOIL LABORATORY TO ANALYZE THE SITE SOIL IN PLANTING AREAS TO DETERMINE THE AGRICULTURAL SUITABILITY AND FERTILITY. THE LAB SHALL SUBMIT A WRITTEN REPORT OF THEIR FINDINGS WITH ANY RECOMMENDATIONS FOR THE AMENDING OF THE SOIL TO THE OWNER AND THE LANDSCAPE ARCHITECT TO BE IMPLEMENTED BY THE CONTRACTOR IN ADDITION TO THE ORIGINAL SOIL PREP MIX.

SOIL PREPARATION AMENDMENTS (PER 1000 SQUARE FEET):
 4 CUBIC YARDS OF NITROGEN STABILIZED & MINERALIZED ORGANIC AMENDMENTS (REDWOOD, FIR OR CEDAR SHAVINGS)
 50 POUNDS AGRICULTURAL GYPSUM
 150 POUNDS GRO-POWER PLUS

THE REQUIRED SITE SPECIFIC SOILS REPORT AND ITS RECOMMENDATIONS WILL DICTATE THE FINAL SOIL PREPARATION REQUIREMENTS.

CULTIVATE (ROTOTIL) PLANTING AREAS TO A DEPTH OF SIX (6) INCHES WITH THE REQUIRED SOIL PREPARATION AMENDMENTS, WET THOROUGHLY AND ALLOW TO SETTLE. REPEAT THIS PROCEDURE UNTIL SOIL IS STABLE ENOUGH TO HOLD A UNIFORM AND SMOOTH CONSISTENCY TO ALLOW FOR DRAINAGE AND AIR PENETRATION. DO NOT ROTOTIL SLOPED AREAS THAT ARE OVER A 3:1 GRADIENT.

FOR WEED CONTROL, CONTINUE TO IRRIGATE THOROUGHLY FOR A PERIOD OF TWO TO THREE WEEKS OR UNTIL THE WEED SEEDS HAVE GERMINATED. WHEN THERE IS SUFFICIENT WEED SEED GERMINATION, THE CONTRACTOR SHALL APPLY A POST EMERGENT WEED KILLER, ACCORDING TO THE DIRECTIONS OF A LICENSED PEST CONTROL APPLICATOR. THE CONTRACTOR SHALL THEN WAIT AN ADDITIONAL ONE WEEK TO ALLOW THE WEED KILLER TO DISSIPATE PRIOR TO PLANTING.

BACKFILL MIX FOR TREE AND SHRUB PLANTING (PER CUBIC YARD):
 2/3 CUBIC YARD ON SITE SOIL
 1/3 CUBIC YARD ORGANIC AMENDMENT (NITROLIZED SHAVINGS)
 1 POUND IRON SULFATE (20% IRON, 10% SULFUR)
 2 POUNDS 8-20-20 COMMERCIAL FERTILIZER
 10 POUNDS GRO-POWER PLUS

PROVIDE GRO-POWER PLANTING TABLETS (7 & 21 GRAMS) IN EACH PLANTING PIT AS FOLLOWS:
 (1) ONE TABLET (7 GRAMS) FOR EACH 4" POT & GROUND COVER
 (1) ONE TABLET (21 GRAMS) FOR EACH 1 GALLON CONTAINER
 (3) THREE TABLETS (63 GRAMS) FOR EACH 5 GALLON CONTAINER
 (5) FIVE TABLETS (105 GRAMS) FOR EACH 15 GALLON CONTAINER
 (4) FOUR TABLETS (84 GRAMS) FOR EACH 12" OF CALIPER MEASURED 14" ABOVE SOIL LEVEL FOR LARGER SIZES

REMOVE STAKES AND TRELLIS FROM VINES AND ESPALIERES AND SECURE TO WALLS, FENCES AND POSTS AS PER DETAIL.

GROUND COVERS SHALL EXTEND BENEATH ALL TREES AND SHRUBS IN PLANTER AREAS WITH GROUND COVERS INDICATED.

NOTE: WHENEVER NEW TREES ARE LOCATED WITHIN FIVE (5) FT. OF ANY CONCRETE WALK, CURB, WALL OR BUILDING, THEY MUST BE PLACED WITHIN A LINEAR ROOT BARRIER. THE PREFERRED BARRIER IS MIN. 3/8" THICK BLACK POLYETHYLENE MATERIAL PLACED ALONG THE SIDE OF THE WALL, CURB, BUILDING ETC., TWENTY-FOUR (24) INCHES DEEP AND A LENGTH OF TEN FEET CENTERED ON THE TREE.

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 ALL PLANT MATERIALS DELIVERED TO THE SITE SHALL CONFORM WITH THE CURRENT NURSERY INDUSTRY STANDARDS, THAT INCLUDES AND IS NOT LIMITED TO HEAVY PRUNING, TOPPING AND SPIKE MARKS EVIDENT ON ANY SPECIMEN TREES AND / OR PALMS.

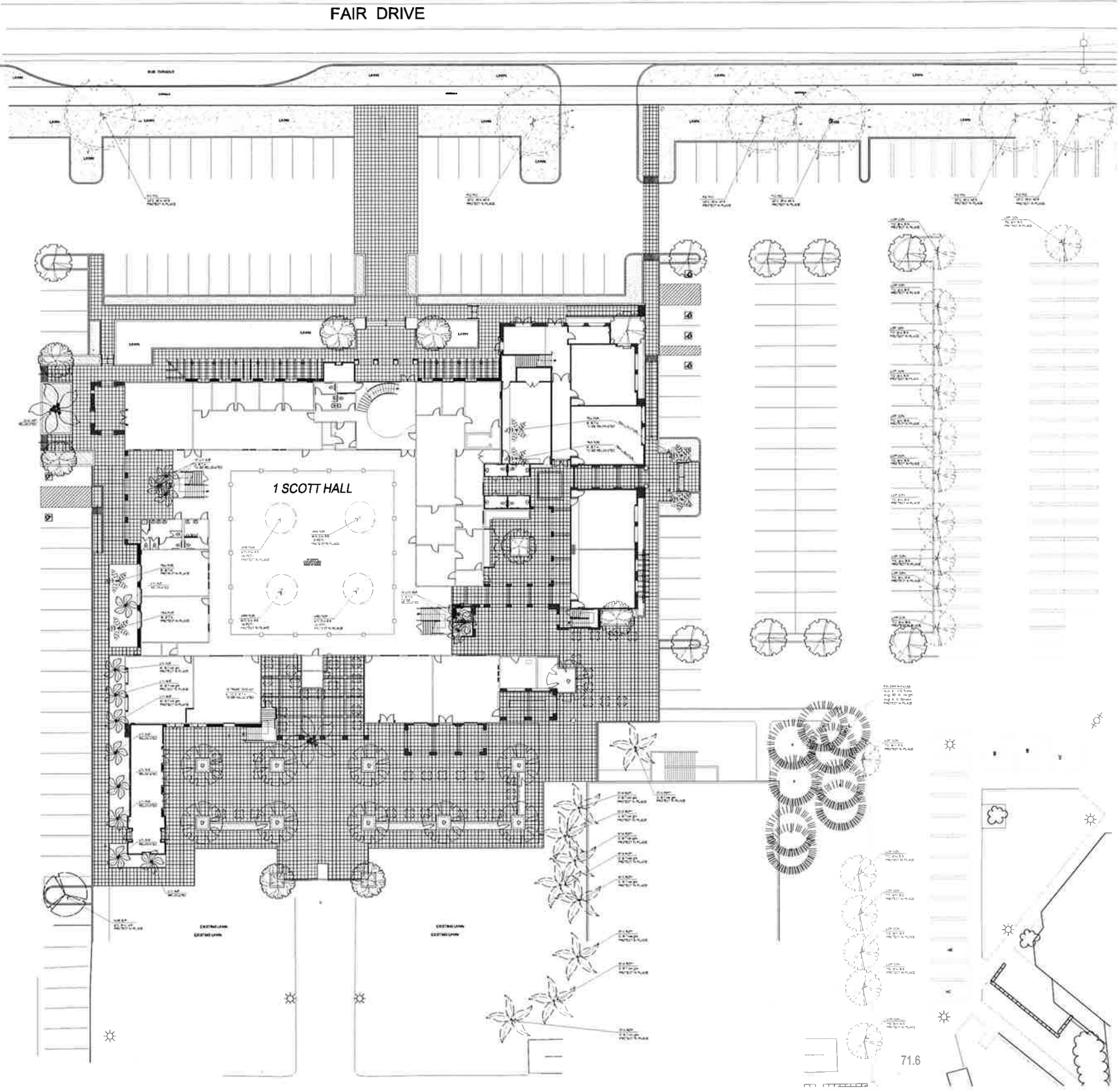
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PLANT MATERIAL THAT IS OVERGROWN AND ROOT-BOUND IS NOT ACCEPTABLE WILL BE RETURNED.

LEGEND

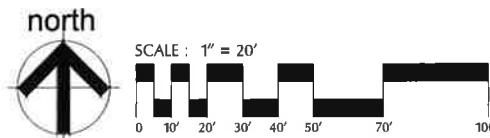
● FOUND MONUMENT AS SHOWN	□ 20% TRAFFIC SIGNAL FULL BOX	CS FRESH SURFACE	ALA METEOR
— ALLOY WALL	□ 10% IRRIGATION CONTROL VALVE	AS FRESH SPACE	ELV. (ELEVATION)
— CEMENT CURB	□ 20% FIRE DEPARTMENT CONNECTION	AS SURFACE GRASS	84 84" DIA. OF WALK
— RESURFACED ACCESS	□ 20% CREEPER TR	AS ASPHALT	10 TOP OF CURB
○ EXISTENT LOCATION	— ACCESS ACCESS FL	AS CONCRETE	FL FINISHING
○ LIGHT POLE	— HAZARD ACCESSIBLE	CR CONCRETE	84 BOTTOM OF WALK
○ SEMI MANHOLE	— HAZARD LIGHT	CR SAND/GRIN	14 TOP OF WALK
○ TELEPHONE MANHOLE	— STREET LIGHT	EP SIDE OF WALK	15 EDGE OF ROOF
○ STEVENSON MANHOLE	○ 10" DIRT VALVE	EP SHAFT ENDGRADE	82 WEA. CURB
○ FIRE HYDRANT	□ 8" WATER VALVE	82	74 FACE OF BUSHY WALL
○ POWER POLE	□ 10" WATER VALVE	82	82 GRADE DECK
○ ANCHOR WIRE	□ 8" WATER WALK	81 PROPERTY LINE	80 BOTTOM OF STEP
○ CHANGING FENCE	□ 12" TELEPHONE WALK	84 SPECIAL POLE	82 TOP OF STEP
○ 8" WATER VALVE	□ 12" TELEPHONE WALK	84	84
○ 10" WATER VALVE	□ 12" TELEPHONE WALK	84	84
○ 12" TELEPHONE WALK	□ 12" TELEPHONE WALK	84	84
○ 12" TELEPHONE WALK	□ 12" TELEPHONE WALK	84	84
○ 12" TELEPHONE WALK	□ 12" TELEPHONE WALK	84	84



BENCHMARK:
 ORANGE COUNTY - OC PUBLIC WORKS - GEOMATICS & LAND INFORMATION SYSTEMS SECTION VERTICAL CONTROL DATA SHEET - O.C.S. 1984 ADJUSTMENT DESIGNATION: 1E-114-91

DESCRIBED BY OCS 2001 - FOUND 3 3/4" OCS ALUMINUM BENCHMARK DISK STAMPED '1E-114-91', SET IN BRIDGE ABUTMENT. MONUMENT IS LOCATED IN THE SOUTHEAST BRIDGE ABUTMENT FOR THE 56 FREEWAY AT FAIR DRIVE, 90 FT. SOUTHERLY OF FAIR DRIVE AND 120 FT. EASTERLY OF THE CENTERLINE OF THE 56 FREEWAY. MONUMENT IS SET LEVEL WITH SIDEWALK.

ELEVATION = 86.727 (NAVD 88) 2005 YEAR LEVELLED



TREE PLANTING PLAN

MARSHILL studio

CONSULTANT:
Studio Five
 LANDSCAPE ARCHITECTURE
 478 W. WALKER, SUITE 200, COSTA MESA, CA 92626
 Phone (949) 450-8056
 FILE #13-1983

LANDSCAPE ARCHITECT
 LICENSE # 14584
 STATE OF CALIFORNIA
 12/02/13

Revisions

NO.	DESCRIPTION
1	12/02/13 1st PLAN CHECK SUBMITTAL

SCOTT CENTER
VANGUARD UNIVERSITY
 55 FAIR DRIVE, COSTA MESA, CA

PLAN CHECK NO. BC13-00000
 PLAN CHECK SUBMITTAL 1

Issue Date 12/02/13

Title
NEW TREE PLAN

Sheet No.
L-3.1

PLANT LEGEND

SYMBOL	ABBREV	BOTANICAL / COMMON NAME	QUANTITY	SIZE	REMARKS	WATER USE FACTOR
SHRUBS (SHRUB PER WUCOLS REGION 3)						
⊙	AGA ATT	AGAVE ATTENUATA / GHOST AGAVE	25	5 GALLON	SEE DETAIL 'K', SHEET L-6.1	PLANT FACTOR 0.3
⊙	AGA BLU	AGAVE BLUE FLAME / NO COMMON NAME	39	5 GALLON		
⊙	ASP ELA	ASPIDISTRA ELATOR / CAST IRON PLANT	18	5 GALLON		
⊙	CUP SEM	CUPRESSUS S. 'TINY TOWERS' / ITALIAN CYPRESS	21	15 GALLON		
⊙	ECH IMB	ECHEVERIA X IMBRICATA / HEN AND CHICKS	25	1 GALLON		
⊙	HEM HYB	HEMEROCALLIS HYBRIDS / YELLOW EVERGREEN DAYLILY	118	1 GALLON		
⊙	KAL LUC	KALANCHOE LUCIAE / PADDLE PLANT	47	1 GALLON		
⊙	LEO LEO	LEONOTIS LEONURUS / LION'S TAIL	29	5 GALLON		
⊙	LOR CHI	LOROPETALUM C. R. 'PLUM PASSION' / PLUM FRINGE FLWR.	48	5 GALLON		
⊙	NAN DOM	NANDINA D. 'MOYERS RED' / HEAVENLY BAMBOO	34	5 GALLON		
⊙	PHO AR	PHORMIUM HYBRID 'AMAZING RED' / NEW ZEALAND FLAX	23	5 GALLON		
⊙	RHA IND	RHAPHIOLEPIS L. 'PINK LADY' / PINK INDIAN HAWTHORN	39	5 GALLON		
⊙	STR REG	STRELITZIA REGINAE / BIRD OF PARADISE	40	5 GALLON		
⊙	XYL CON	XYLOSMA CONGESTUM / SHINY XYLOSMA	11	5 GALLON		

GROUND COVER (PER WUCOLS REGION 3)						
□	LAWN	FESTUCA ELATOR / MARATHON II SOD	-	SOD	-	PLANT FACTOR 0.5
▨	SED SPU	SEDUM SPURRUM / DRAGON'S BLOOD SEDUM FROM ROOTED CUTTINGS IN FLATS SPACE @ 10' O.C.	-	FLATS	-	PLANT FACTOR 0.3
▩	TRA JAS	TRACHELOSPERMUM JASMINOIDES / STAR JASMINE FROM ROOTED CUTTINGS IN FLATS SPACE @ 12' O.C.	-	FLATS	-	PLANT FACTOR 0.6
■	MULCH	3" LAYER OF 2" MINUS 'FOREST FLOOR' SHREDDED BARK MULCH AVAILABLE THROUGH AGUINAGA FERTILIZERS (949) 786-9559 (TYP. THROUGHOUT SHRUB PLANTING AREAS). CONTRACTOR SHALL SUBMIT SAMPLE TO THE LANDSCAPE ARCHITECT.	-	-	-	-

NOTE: PLANT COUNT IS FOR CONTRACTOR CONVENIENCE ONLY AND MUST BE VERIFIED WHILE PREPARING INSTALLATION PROPOSAL. ANY DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE LANDSCAPE ARCHITECT.

PLANTING NOTES

THE LANDSCAPE CONTRACTOR SHALL INSTALL ALL PLANT MATERIAL IN ACCORDANCE WITH THE PLANS AND DETAILS.

PRIOR TO SOIL PREPARATION, CONTRACTOR SHALL HIRE A LICENSED SOIL LABORATORY TO ANALYZE THE SITE SOIL IN PLANTING AREAS TO DETERMINE THE AGRICULTURAL SUITABILITY AND FERTILITY. THE LAB SHALL SUBMIT A WRITTEN REPORT OF THEIR FINDINGS WITH ANY RECOMMENDATIONS FOR THE AMENDING OF THE SOIL TO THE OWNER AND THE LANDSCAPE ARCHITECT TO BE IMPLEMENTED BY THE CONTRACTOR IN ADDITION TO THE ORIGINAL SOIL PREP MIX.

SOIL PREPARATION AMENDMENTS (PER 1000 SQUARE FEET):
4 CUBIC YARDS OF NITROGEN STABILIZED & MINERALIZED ORGANIC AMENDMENTS (REDWOOD, FIR OR CEDAR SHAVINGS)
50 POUNDS AGRICULTURAL GYPSUM
150 POUNDS GRO-POWER PLUS

THE REQUIRED SITE SPECIFIC SOILS REPORT AND ITS RECOMMENDATIONS WILL DICTATE THE FINAL SOIL PREPARATION REQUIREMENTS.

CULTIVATE (ROTOTILL) PLANTING AREAS TO A DEPTH OF SIX (6) INCHES WITH THE REQUIRED SOIL PREPARATION AMENDMENTS, WET THOROUGHLY AND ALLOW TO SETTLE. REPEAT THIS PROCEDURE UNTIL SOIL IS STABLE ENOUGH TO HOLD A UNIFORM AND SMOOTH CONSISTENCY TO ALLOW FOR DRAINAGE AND AIR PENETRATION. DO NOT ROTOTILL SLOPED AREAS THAT ARE OVER A 3:1 GRADIENT.

FOR WEED CONTROL, CONTINUE TO IRRIGATE THOROUGHLY FOR A PERIOD OF TWO TO THREE WEEKS OR UNTIL THE WEED SEEDS HAVE GERMINATED. WHEN THERE IS SUFFICIENT WEED SEED GERMINATION, THE CONTRACTOR SHALL APPLY A POST EMERGENT WEED KILLER, ACCORDING TO THE DIRECTIONS OF A LICENSED PEST CONTROL APPLICATOR. THE CONTRACTOR SHALL THEN WAIT AN ADDITIONAL ONE WEEK TO ALLOW THE WEED KILLER TO DISSIPATE PRIOR TO PLANTING.

BACKFILL MIX FOR TREE AND SHRUB PLANTING (PER CUBIC YARD):
2/3 CUBIC YARD ON SITE SOIL
1/3 CUBIC YARD ORGANIC AMENDMENT (NITROGEN SHAVINGS)
1 POUND IRON SULFATE (20% IRON, 10% SULFUR)
2 POUNDS 8-20-20 COMMERCIAL FERTILIZER
10 POUNDS GRO-POWER PLUS

PROVIDE GRO-POWER PLANTING TABLETS (7 & 21 GRAMS) IN EACH PLANTING PIT AS FOLLOWS:

- (1) ONE TABLET (7 GRAMS) FOR EACH 4" POT & GROUND COVER
- (1) ONE TABLET (21 GRAMS) FOR EACH 1 GALLON CONTAINER
- (3) THREE TABLETS (63 GRAMS) FOR EACH 5 GALLON CONTAINER
- (5) FIVE TABLETS (105 GRAMS) FOR EACH 15 GALLON CONTAINER
- (4) FOUR TABLETS (84 GRAMS) FOR EACH 1/2" OF CALIPER MEASURED 14" ABOVE SOIL LEVEL FOR LARGER SIZES

REMOVE STAKES AND TRELLIS FROM VINES AND ESPALIER AND SECURE TO WALLS, FENCES AND POSTS AS PER DETAIL.

GROUND COVERS SHALL EXTEND BENEATH ALL TREES AND SHRUBS IN PLANTER AREAS WITH GROUND COVERS INDICATED.

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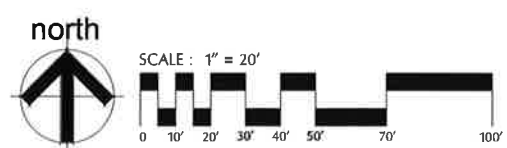
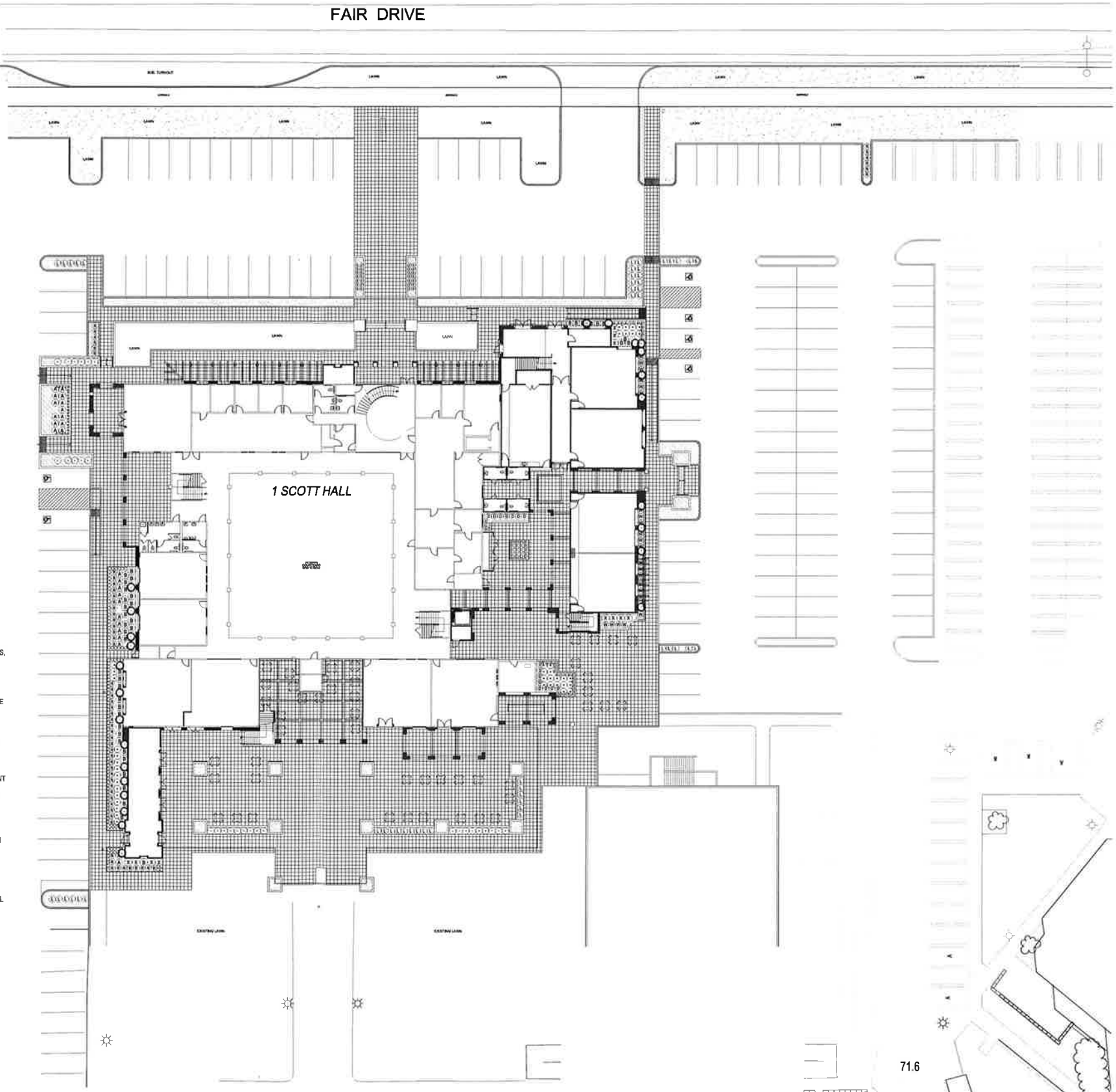
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LEGEND

● FIELD MONUMENT #1	□ TOPG TRAFFIC SIGNAL FULL BOX	FS FISH-100-KEE	W1W WESTWAY
○ BENCH MARK	○ CY BENCH MARK CONCRETE W/SET	FC FISH-100-CON	E1E EASTWAY
○ GRAVE INLET	○ FDC FIRE DEPART. CONNECTION	NS NORTHERN BOUNDARY	SA SOUTH OF MAIN
○ REINFORCED ACCESS	○ GF GREASE TRAP	TS TRAFFIC SIGNAL	TC TOP OF CURB
○ EXISTING LOCATION	○ ACCESS ACROSS FL.	JK JUNCTION	FL FLOORLINE
○ SIGN POST	○ HANDICAP ACCESSIBLE	DK DRIVEWAY	EC EDGE OF CURB
○ SCRAP MANHOLE	○ TRAFFIC LIGHT	CP CURB POINT	TA TOP OF WALK
○ TELEPHONE MANHOLE	○ STREET LIGHT	TP TOP OF PARKING	TX TOP OF TRANS.
○ STORMWATER MANHOLE	○ CAS VALVE	WS WALK STOP	WS WALK STOP
○ SIGN	○ BARF WATER	ND NOD	FB FACE OF BLOCK WALL
○ FIC INTERLOCK	○ GW GAS WELP	WB W/BOUNDARY	GR GRADE BREAK
○ POWER POLE	○ MTR WATER WELP	AP APPOINTMENT	AS ABOVE STEP
○ ANCHOR BOLT	○ MB MAIL BOX	AL ALUMINUM LINE	TS TOP OF STEP
○ OVERHUNG SIGN	○ TP TELEPHONE BOX	BE BENCH MARK	
○ AIR PRESS VALVE	○ FB FILL BOX	NS NORTHERLY	
○ EXP. E. FULL BOX	○ SE SEWER CLEANOUT	SD SOUTHERLY	

BENCHMARK:
ORANGE COUNTY - OC PUBLIC WORKS - GEOMATICS & LAND INFORMATION SYSTEMS SECTION VERTICAL CONTROL DATA SHEET - O.C.S. 1895 ADJUSTMENT DESIGNATION: 1E-114-91
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ELEVATION = 86.727 (NAVD 88) 2005 YEAR LEVELLED



SHRUB PLANTING PLAN

MARSHALL studio
CONSULTANT:
Studio Five
170 WALK DRIVE, COSTA MESA, CALIFORNIA 92626
Phone: (949) 450-0050
FAX: (949) 450-0050

Revisions

12/02/13	FOR PLAN CHECK SUBMITTAL
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SCOTT CENTER
VANGUARD UNIVERSITY
55 FAIR DRIVE, COSTA MESA, CA

PLAN CHECK NO. BC13-00000
PLAN CHECK SUBMITTAL 1

Issue Date 12/02/13

Title
SHRUB PLANTING PLAN

L-4.1



CITY OF COSTA MESA

P.O. BOX 1200 • 77 FAIR DRIVE • CALIFORNIA 92628-1200

DEVELOPMENT SERVICES DEPARTMENT

July 10, 2014

Jonathan Zane
19321 Jerrilyn Lane
Huntington Beach, CA 92646

**RE: ZONING APPLICATION ZA-14-08
MINOR CONDITIONAL USE PERMIT FOR A DANCE STUDIO WITH A
DEVIATION FROM SHARED PARKING REQUIREMENTS
151 KALMUS DRIVE, SUITE J7, COSTA MESA**

Dear Mr. Zane:

City staff's review of your zoning application for the above-referenced project has been completed. The application, as described in the attached project description, has been approved, based on the findings and subject to the conditions of approval and code requirements (attached). The decision will become final at 5:00 p.m. on July 17, 2014, unless appealed by an affected party, including filing of the necessary application and payment of the appropriate fee, or called up for review by a member of the Planning Commission or City Council.

If you have any questions regarding this letter, please feel free to contact the project planner, Chelsea Crager, at (714) 754-5609, or at chelsea.crager@costamesaca.gov.

Sincerely,

WILLA BOUWENS-KILLEEN, AICP
Zoning Administrator

Attachments: Project Description and Analysis
 Findings
 Conditions of Approval, Code Requirements, and Special District
 Requirements
 Business Description
 Approved Conceptual Plans

cc: Engineering
 Fire Protection Analyst
 Building Safety Division

PROJECT DESCRIPTION

The property is located on Kalmus Drive east of the 73 Freeway in the Coppertree Business Park. The site is in the PDI (Planned Development Industrial) zoning district, and has a General Plan land use designation of Industrial Park. Physical on-site improvements include 12 multi-tenant buildings with 767 parking spaces, three points of ingress/egress on Kalmus Drive, and one point of ingress/egress to the neighboring property at 2915 Redhill Avenue. The site was originally developed under Conditional Use Permit ZE-79-142.

The use will occupy a 4,216 square foot tenant space, located in one of the existing multi-tenant buildings. The proposed floor plan consists of two large dance studios, two bathrooms, an office, a sewing room, a boutique, and a storage room.

The applicant requests approval of a minor conditional use permit (MCUP) to allow establishment of a dance studio including showcases held four times per year and a deviation from the shared parking requirements due to offset operating hours (3:00 pm to 10:00 pm). The applicant also proposes incidental retail dance costume sales within the tenant space.

ANALYSIS

Noise

Noise impacts are not anticipated to surrounding uses due to offset hours of operation. However, the use is conditioned that music may not be audible outside the dance studio tenant space.

Parking

The parking ratio for dance studio is 10 spaces per 1,000 square feet of floor area or 42 parking spaces for this studio. The applicant is requesting approval of a minor conditional use permit to deviate from shared parking requirements due to offset hours of operation.

Limiting the maximum occupancy during prime business hours of 8:00 am to 5:00 pm weekdays will ensure that the parking demand for the studio does not exceed available parking at the center. Consequently, prior to 5:30 pm weekdays, the maximum occupancy in the suite will be limited to 12 people, including both students and instructors. Since 13 parking spaces are allocated for this suite (using the industrial parking ratio of 3 spaces per 1,000 square feet of building area) adequate parking will be available with this mitigation.

Showcases are limited to Saturday nights, when the majority of the other businesses are

closed, a maximum of four times per year with a maximum of 60 people in attendance.

If parking shortages or other parking-related problems develop, the business operator will be required to institute appropriate operational measures necessary to minimize or eliminate the problem including, but not limited to, reducing the class sizes and/or operating hours of the business.

General Plan Consistency

The Industrial Park General Plan land use designation is intended to apply to large districts that contain a variety of industrial and compatible office and support commercial uses. The limited class size during regular business hours and noise condition will ensure the use is compatible with surrounding uses.

The proposed use, as conditioned, is consistent with the Zoning Code and the City's General Plan because, with the recommended conditions of approval, the dance studio should not adversely impact the surrounding uses.

FINDINGS

- A. The information presented complies with Costa Mesa Municipal Code Section 13-29(g)(2) in that:
1. The proposed use is compatible and harmonious with developments in the same general area and would not be materially detrimental to other properties within the area. The proposed use will have limited class sizes weekdays to minimize any noise and parking impacts on surrounding uses.
 2. Granting the minor conditional use permit will not be detrimental to the health, safety and general welfare of the public or otherwise injurious to property or improvements within the immediate neighborhood. The proposed use will be conditioned that the music not be audible outside the tenant space.
 3. Granting the minor conditional use permit will not allow a use, density or intensity that is not in accordance with the General Plan designation and any applicable specific plan for the property. The proposed use does not substantially increase the density or intensity of the use. There is no specific plan for this property.
- B. The information presented complies with Costa Mesa Municipal Code Section 13-29(e) in that:
1. There will be a compatible and harmonious relationship between the proposed building and the site development, and use(s), and the building and site developments, and uses that exist or have been approved for the general neighborhood. Noise impacts will be avoided by conditioning the dance studio to

keep music at a low enough volume so that it is not heard from outside the tenant space. Parking impacts will be avoided by conditioning the studio to operate with small class sizes before 5:30 pm weekdays.

2. Safety and compatibility of the design of buildings, parking area, landscaping, luminaries, and other site features which may include functional aspects of the site development such as automobile and pedestrian circulation have been considered and will not be affected by the proposed use.

3. The project complies with performance standards described elsewhere in this Zoning Code, and is conditioned to operate as described in this staff report.

4. The use is consistent with the General Plan in that a dance studio is considered a compatible use in an Industrial Park land use designation with approval of a minor conditional use permit.

5. This zoning application is for a project-specific case and is not to be construed to be setting a precedent for future development.

- C. The project has been reviewed for compliance with the California Environmental Quality Act (CEQA), the CEQA Guidelines, and the City environmental procedures, and has been found to be exempt under Section 15301, Existing Facilities, of the CEQA Guidelines.
- D. The project, as conditioned, is consistent with Chapter XII, Article 3, Transportation System Management, of Title 13 of the Costa Mesa Municipal Code in that the development project's traffic impacts will be mitigated by the payment of traffic impact fees.

CONDITIONS OF APPROVAL

- Plng. 1. The use shall be limited to the type of operation described in this staff report: dance studio with incidental retail costume sales. Any change in the operational characteristics including, but not limited to, type of service provided, size of classes, or time of classes will require approval of an amendment to the minor conditional use permit, subject to Zoning Administrator approval.
2. There shall be a minimum of 15 minutes between classes to allow departing students to leave before arriving students.
3. All uses shall be conducted within the tenant space (underroof).
4. Occupancy of the tenant space shall be limited to 12 people (students and instructors) prior to 5:30 pm weekdays.
5. Showcases shall be limited to Saturday evenings a maximum of four times per year with a maximum of 60 people in attendance.
6. If parking shortages or other parking-related problems arise, the business operator shall institute appropriate operational measures necessary to

minimize or eliminate the problem, including, but not limited to, reducing class sizes or the days and/or hours of the business.

7. Music shall not be audible outside the tenant space.
8. The applicant shall contact the Planning Division to arrange a Planning inspection of the site. This inspection is to confirm that the conditions of approval and code requirements have been satisfied.

CODE REQUIREMENTS

The following list of federal, state, and local laws applicable to the project has been compiled by staff for the applicant's reference. Any reference to "City" pertains to the City of Costa Mesa.

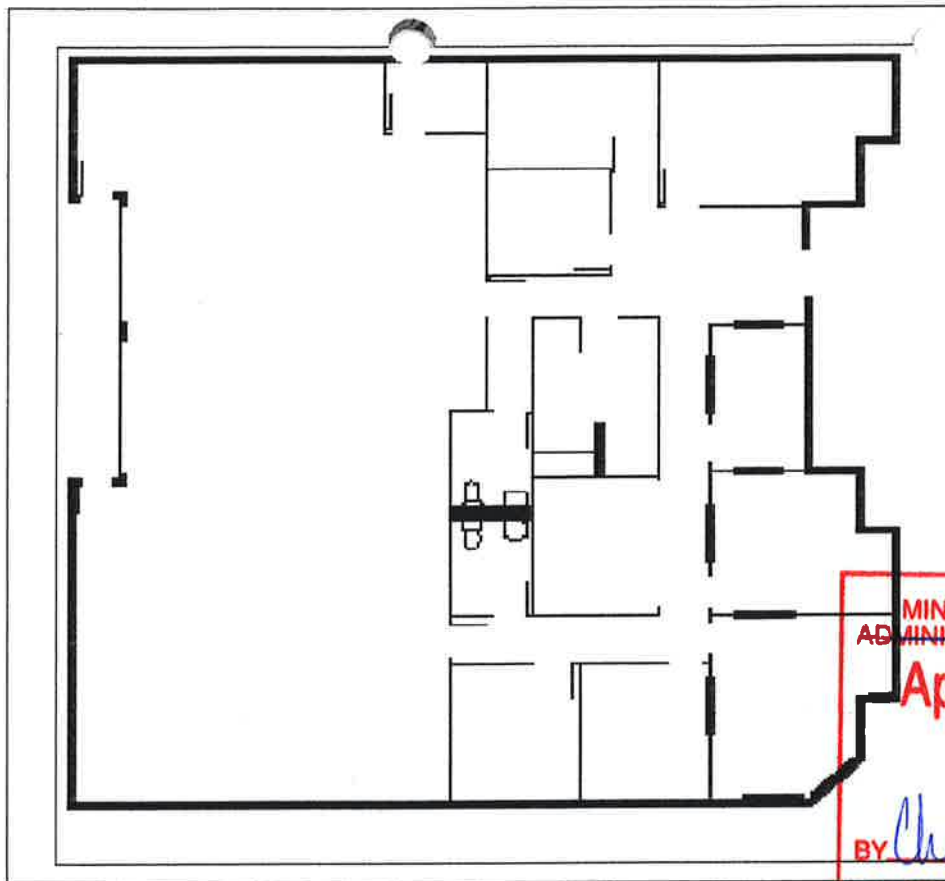
- | | |
|--------------|--|
| Plng. | 1. Approval of the zoning application is valid for one year from the effective date of this approval and will expire at the end of that period unless applicant establishes the use by one of the following actions: 1) obtains building permits for the authorized construction and initiates construction; and/or 2) obtains a business license and/or legally establishes the business. If the applicant is unable to establish the use/obtain building permits within the one-year time period, the applicant may request an extension of time. The Planning Division must receive a written request for the time extension prior to the expiration of the zoning application. |
| | 2. Permits shall be obtained for all signs according to the provisions of the Costa Mesa Sign Ordinance. |
| Bldg. | 3. Comply with the requirements of the 2010 California Building Code, 2010 California Electrical code, 2010 California Mechanical code, 2010 California Plumbing code, 2010 California Green Building Standards Code (if applicable) and 2010 California Energy Code (or the applicable adopted, California Building code, California Electrical code, California Mechanical code California Plumbing Code, California Green Building Standards and California Energy Code at the time of plan submittal or permit issuance) and California Code of Regulations also known as the California Building Standards Code, as amended by the City of Costa Mesa. Areas of alteration and additions shall comply with 2013 California Green Building Standards Code section 5.303.2. |
| Bus.
Lic. | 4. All contractors and subcontractors must have valid business licenses to do business in the City of Costa Mesa. Final inspections, final occupancy and utility releases will not be granted until all such licenses have been obtained. |
| | 5. Business license shall be obtained prior to the initiation the business. |
| Trans. | 6. The applicant shall submit a \$7,240 Traffic Impact Fee to the Transportation Division prior to the effective date of the Minor Conditional Use Permit. The traffic impact fee is based upon the average daily trip generation rate of 69.4 net trip ends for the proposed use. The fee is required to fulfill mitigation of off-site traffic impacts pursuant to the prevailing schedule of charges adopted by the City Council. The traffic |

impact fee is calculated and includes credits for existing uses. NOTE: The Traffic Impact Fee will be recalculated at the time of issuance of the Minor Conditional Use Permit based upon any changes in the prevailing schedule of charges adopted by the City Council and in effect at that time.

SPECIAL DISTRICT REQUIREMENTS

The requirements of the following special districts are hereby forwarded to the applicant:

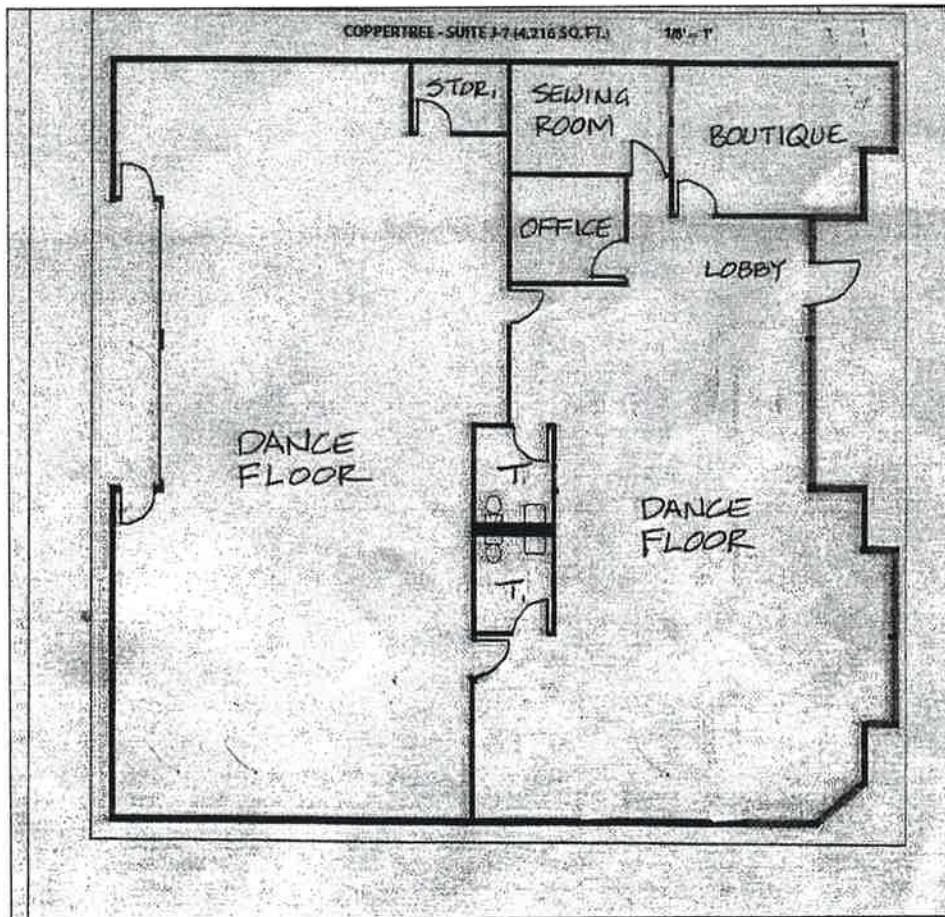
- Sani. 1. It is recommended that the applicant contact the Costa Mesa Sanitary District at (949) 645-8400 for current district requirements.
- 2. Comply with the requirements of the California Food and Agriculture (CDFA) to determine if red imported fire ants exist on the property prior to any soil movement or excavation. Call CDFA at (714) 708-1910 for information.
- AQMD 3. Applicant shall contact the Air Quality Management District (800) 288-7664 for potential additional conditions of development or for additional permits required by AQMD.



MINOR CONDITIONAL USE PERMIT/
 ADMINISTRATIVE ADJUSTMENT NO. *EA-14-08*
Approval in Concept
 SUBJECT TO CONDITIONS
 CITY OF COSTA MESA
 PLANNING DEPT.
 BY: *Chelsea Cropper* DATE *7/10/14*

EXISTING FLOOR PLAN

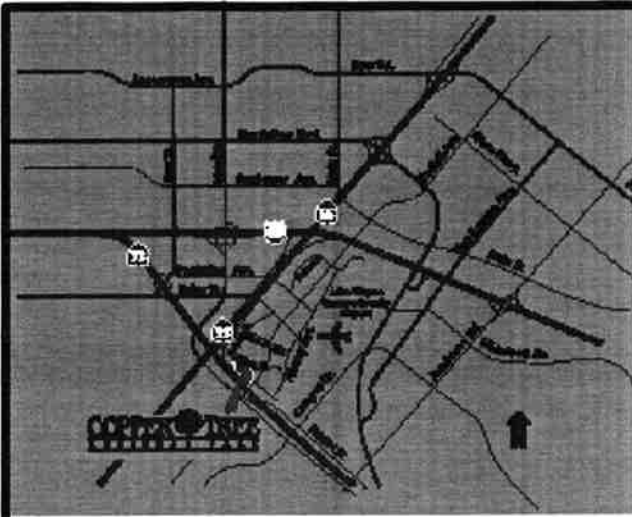
SCALE :1/8" = 1'-0"



PROPOSED FLOOR PLAN

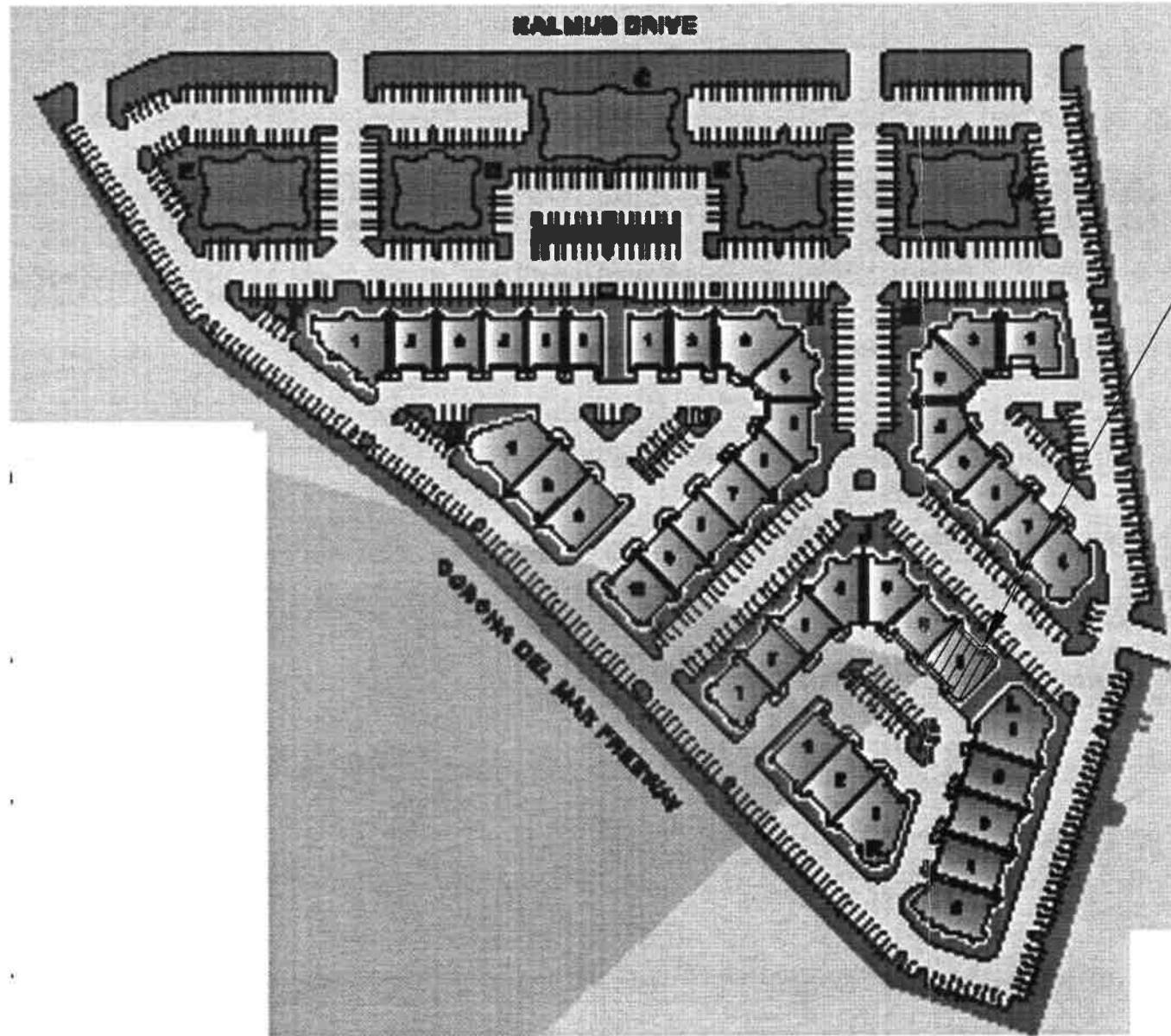
4216 SF

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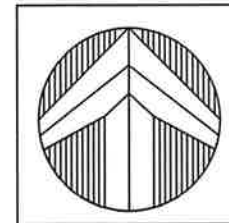
VICINITY MAP

SCALE : N.T.S.



SITE PLAN

SCALE : N.T.S.



NORTH

CONDITIONAL USE PERMIT FOR:
 DANCE ASYLUM
 OWNERS: JONATHAN & GINA ZANE
 MAILING ADDRESS: 19321 JERRILYN LANE
 HUNTINGTON BEACH, CA. 92646
 PHONE: (909) 376-7138
 SITE ADDRESS: 151 KALMUS DRIVE SUITE J7
 COPPERTREE BUSINESS PARK
 COSTA MESA, CA.
 AREA OF SUITE: 4,216 SQ. FT.

SITE DATA

C-1 SITE PLAN, VICINITY MAP, SITE DATA
 A-1 EXISTING FLOOR PLAN, PROPOSED FLOOR PLAN,
 EXISTING ELEVATION

SHEET INDEX

REVISIONS	
DATE:	BY:
JONATHAN L. ZANE ARCHITECTURE JONATHAN L. ZANE, ARCHITECT - CA. LIC. #C-11,046 958 NORTH LA CADENA DRIVE COLTON, CA 92324 (909) 825-7500	
A CONDITIONAL USE PERMIT FOR: DANCE ASYLUM LOCATED AT: 151 KALMUS DRIVE COSTA MESA, CA (909) 376-7138 SUITE J7	
APPLICABLE CODES: Model Code: 2012 U.M.C. State Code: 2013 C.M.C. 2011 N.E.C. 2012 U.S.P.C. 2013 C.P.C. 2013 L.P.C. 2010 California Energy Code	
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DATE:	
SCALE:	
DRAWN:	
JOB:	
SHEET:	C-1