



City of Costa Mesa

Inter Office Memorandum

TO: CITY COUNCIL AND PLANNING COMMISSION
CC: TOM HATCH, GARY ARMSTRONG, AND CLAIRE FLYNN
FROM: WILLA BOUWENS-KILLEEN, ZONING ADMINISTRATOR
DATE: SEPTEMBER 24, 2015
SUBJECT: ZONING ADMINISTRATOR DECISION(S)

This is to advise you of the following decision(s) made by the Zoning Administrator within the last week. Project descriptions have been kept brief for this notice. Please feel free to contact me by e-mail at willa.bouwens-killeen@costamesaca.gov if you have any questions or would like further details.

ZA-01-66A2 3190 PULLMAN STREET

Second amendment to Minor Conditional Use Permit ZA-01-66 to construct three additional self-storage buildings totaling 79,305 square feet, construct a carport structure to provide covered storage for up to 33 recreational vehicles, and restripe parking stalls for uncovered storage of 67 recreational vehicles (88 uncovered spaces currently exist). The existing floor area ratio (FAR) is 0.53; with the proposed building additions, the proposed FAR is 0.74 (maximum allowable FAR is 0.75). The project site is an existing mini-warehouse facility (Magellan Storage) entitled under ZA-01-66.

Approved, subject to conditions of approval.

Comments received: None.

ZA-15-31 2112 HARBOR BOULEVARD

Minor conditional use permit to deviate from shared parking requirements based on unique operational characteristics for a physical therapy office to operate in a 1,581 square foot building (9 parking spaces required; 7 parking spaces provided).

Approved, subject to conditions of approval.

Comments received: Two in opposition.

ZA-15-33

3050 CAPRI LANE

Minor conditional use permit to construct a 1,400 sq. ft. basement garage (700 sq. ft. maximum allowed for garages) in conjunction with the construction of a new, 4,691 sq. ft. two story single family residence (existing single story residence will be demolished). The basement will extend 2.5 feet above the finished grade of the property (4 foot maximum permitted); the two story residence will comply with the City's Residential Design Guidelines.

Approved, subject to conditions of approval.

Comments received: None.

To: Costa Mesa Zoning Administrator
City Hall
77 Fair Dr.
Costa Mesa, CA 92627

From: Dale Frankhouse
1835 Newport Blvd.
A109-196
Costa Mesa, CA 92627 Cel: 562-448-8999

Sept 16, 2015

Application No. ZA-15-31
Site Address: 2112 Harbor Blvd.

Dear Planning Department:

In regards to the location at 2112 Harbor Blvd.

Physical Therapy office constitutes a medical zoning. Parking for medical is 7 spaces for every 1000 sq.ft. of office.

Office is approx.. $1581 \text{ sqft} / 1000 = 1.58 \times 7 \text{ spaces} = 11 \text{ spaces}$ for medical zoning.

According to your figures, there are 9 spaces required and only 7 spaces are provided.

According my site plan (see enclosed drawing): There shall be 1 ADA van access parking space. That leaves only 4 parking spaces. With the required 25' turn around space.

When you operate a medical office, there is the front and back office employee, the doctor, plus the patients.

There is not enough parking to run a business like this.

There are signs at Hub Automotive, that tells everyone from the "Salvation Army" and "Labor Ready" not to park there.

I would not allow this business to get a medical zoning, because there is only 4 spots left and the overflow will definitely go to Hub Auto parking area.

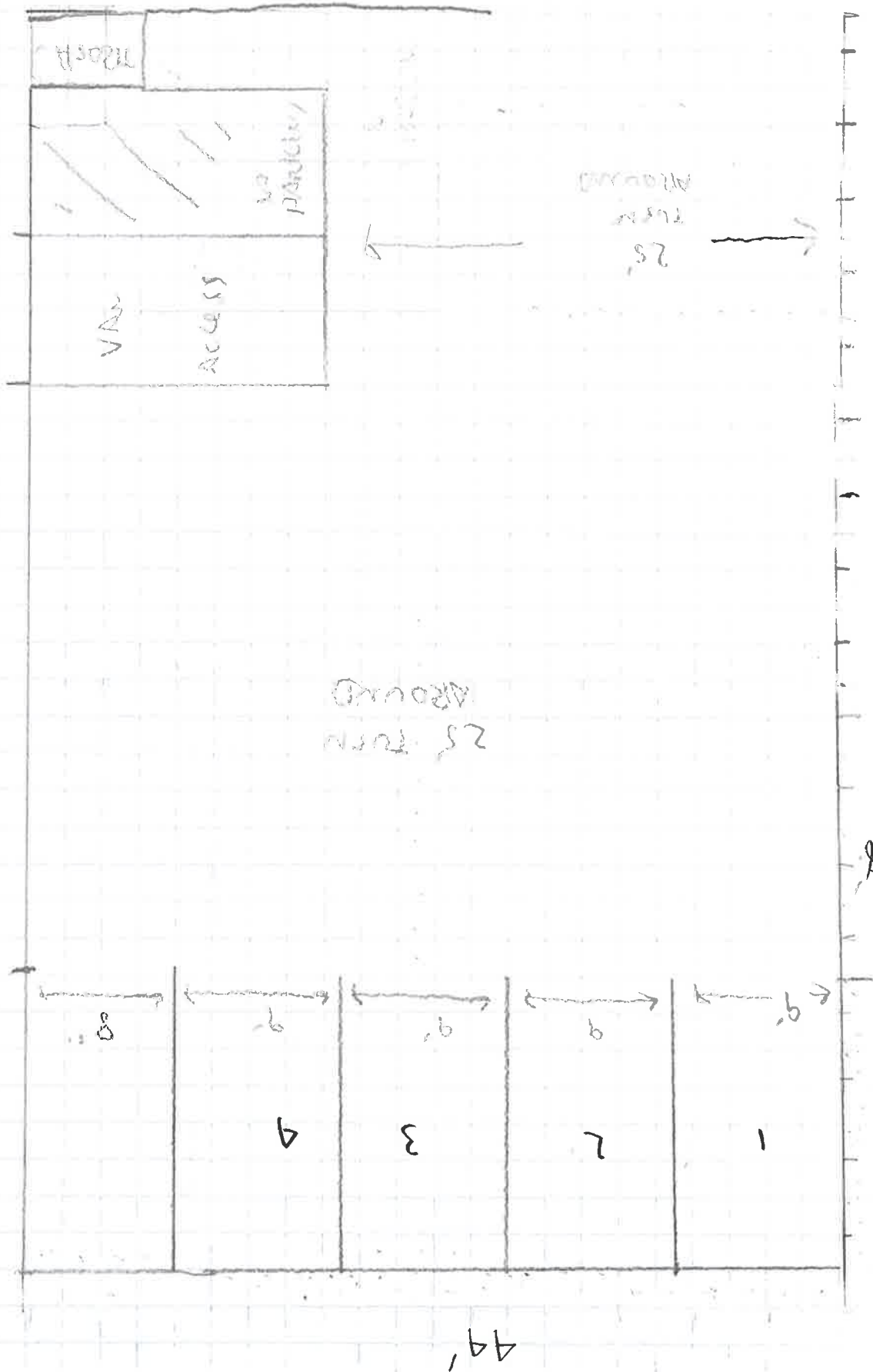
Sincerely,



Dale Frankhouse

1 sq = 2"

Building



FIVE STAR

FIVE STAR

FIVE STAR

FIVE STAR

FIVE STAR

FIVE STAR

Subject: ZA-15-31
From: ZOOTERINCM@aol.com (ZOOTERINCM@aol.com)
To: PlanningCommission@costamesaca.gov;
Cc: hubauto@pacbell.net;
Date: Thursday, September 17, 2015 3:19 PM

Re ZA-15-31

Please take a very close look at this application. The building contains 2 businesses and did have a common parking lot in the rear with 2 drive ways. The current use has the parking divided with a fence that makes the access limited to one drive with a narrow approach from Harbor for each business. The current labor ready use has caused a large number of customers to park at Hub auto parts. While it is posted, there is just no way, short of an armed guard, to limit the off site parking issue without cooperation of these businesses. The current and past use of the address in question has had a very low traffic flow and most operations were done after normal hours. To allow a higher use without restoring the shared parking with Labor Ready is just not fair to Hub auto Parts. Hub also suffers from a lack of parking at the Salvation Army store to the North.

If you really want to do the right thing you will hold the line on the required spaces, or consider a shared use with Labor Ready along with an agreement by those operators not allow their business traffic to offend Hub Auto Parts.

If you as the Zoning Administrator think the issue is too small to deal with I formally request it be moved to a public meeting before the Costa Mesa Planning Commission.

Tim Lewis
2075 Harbor
9496467401



CITY OF COSTA MESA

P.O. BOX 1200 • 77 FAIR DRIVE • CALIFORNIA 92628-1200

DEVELOPMENT SERVICES DEPARTMENT

September 24, 2015

David Meinecke
Jordan Architects
131 Calle Iglesia, Suite 100
San Clemente, CA 92672

**RE: SECOND AMENDMENT TO ZONING APPLICATION ZA-01-66 (ZA-01-66 A2)
MINOR CONDITIONAL USE PERMIT TO EXPAND AN EXISTING MINI-
WAREHOUSE FACILITY
3190 PULLMAN STREET, COSTA MESA**

Dear Mr. Meinecke:

City staff's review of your zoning application for the above-referenced project has been completed. The application, as described in the attached project description, has been approved, based on the findings and subject to the conditions of approval and code requirements (attached). The decision will become final at 5:00 p.m. on October 1, 2015, unless appealed by an affected party, including filing of the necessary application and payment of the appropriate fee, or called up for review by a member of the Planning Commission or City Council.

If you have any questions regarding this letter, please contact the project planner, Stephanie Roxas, at (714) 754-5667, or via email at stephanie.roxas@costamesaca.gov.

Sincerely,


WILLA BOUWENS-KILLEEN, AICP
Zoning Administrator

Attachments: Project Description and Analysis
Findings
Conditions of Approval, Code Requirements, and Special District Requirements
Applicant Letter
Approved Conceptual Plans

cc: Engineering
Fire Protection Analyst
Building Safety Division

Magellan Group, Inc.
1800 Avenue of the Stars, Suite 105
Los Angeles, CA 90067

PLANNING APPLICATION SUMMARY

Location: 3190 Pullman Street

Application Number: ZA-01-66 A2

Request: Expansion of an existing mini-warehouse facility containing self-storage and RV storage uses

SUBJECT PROPERTY:

Zone: MP
 General Plan: Industrial Park
 Lot Dimensions: Irregular, triangle-shaped lot
 Lot Area: 8.594 acres
 Existing Development: Two self-storage buildings totaling 199,038 sq. ft. (0.53 FAR) with 88 outdoor RV storage spaces within a gated parking area

SURROUNDING PROPERTIES:

North: I-405 freeway
 South: MP – Industrial uses
 East: 55 Freeway
 West: MP – Industrial uses

DEVELOPMENT STANDARD COMPARISON

Development Standard	Required/Allowed	Proposed/Provided
Lot Area	30,000 SF	8.954 acres (374,355 SF) ¹
Floor Area Ratio (Very-Low Traffic)	0.75 (280,766 SF)	0.74 (278,343 SF)
Building Height:	3 stories / 45 feet	2 stories / 40 feet
Street Setback Landscaping:	20 feet	30 feet minimum
<i>Building Setbacks:</i>		
Front (Pullman and Red Hill)	20 feet	35 feet minimum
Side (left/right)	n/a	n/a
Rear (north and west property lines)	0 feet	0 feet from detached accessory structure, 91 feet minimum from building
Parking	19 parking spaces (Parking Ratio: Offices: 4/1000 sq. ft., Storage Units: 1/200 units)	35 parking spaces
Final Action	Zoning Administrator	
CEQA Review	Exempt, Class 32 for In-Fill Development	
Notes: (1) Includes flood control channel easement.		

BACKGROUND

The project site is located on the northwest corner of Pullman Street and Red Hill Avenue. The property is surrounded by light industrial and business park uses to the east, west and south, and it abuts the 55/405 freeway interchange to the north. The site is zoned MP (Industrial Park) and has a General Plan designation of Industrial Park. On February 7, 2003, the Zoning Administrator approved Minor Conditional Use Permit ZA-01-66 for redevelopment of the site to allow the establishment of a mini-warehouse facility that included the following:

Existing Site	
Building #1 (along Pullman Street)	140,750 square-foot, two-story building containing 2,100 sq. ft. reception/office area and 1,003 storage units
Building #2 (along Red Hill Avenue)	58,288 square-foot, one-story self-storage building
Gated Parking Lot at Rear of Property	88 uncovered recreational vehicle ("RV") storage spaces
Front Parking Lots	35 employee and customer parking spaces

On November 6, 2008, the Zoning Administrator approved a Minor Conditional Use Permit (ZA-08-37) allowing the expansion of the existing mini-warehouse facility, including expanding into an Orange County Flood Control District ("OCFCD") storm drain and sewer easement area along the rear of the property. Approval of ZA-08-37 was valid for one year, and the City granted time extensions in 2010 and 2011. However, because building permits for the improvements were never obtained, the entitlement expired.

PROJECT DESCRIPTION

The applicant proposes to expand the existing mini-warehouse facility, including expanding the use into the OCFCD storm drain and sewer easement area along the rear of the property. This project is the same request that was approved previously under the expired entitlement (ZA-08-37). The applicant is requesting to add 79,305 square feet of building area to the site and expand the gated rear parking lot for additional outdoor RV storage. Specifically, the proposed improvements are as follows:

Site with Proposed Improvements	
Building #1 (along Pullman Street)	No changes are proposed to this building.
Building #2 (along Red Hill Avenue)	Add a second floor (50,672 sq. ft.) bringing the total area of Building #2 to 108,960 sq. ft. containing 970 storage units. The proposed second floor would be constructed within the existing building envelope and the height of the building would not be modified.
Front Parking Lots	No changes are proposed to front parking lots.

<p>Gated Parking Lot at Rear of Property</p>	<p>Increase the number of outdoor RV storage spaces from 88 to 100 spaces total through the following improvements:</p> <ul style="list-style-type: none"> • Construct a covered carport within the OCFCD storm drain and sewer easement. The proposed carport will contain 33 covered RV storage spaces. Construction of the proposed carport is contingent upon obtaining written authorization from the Orange County Flood Control District. The applicant states that if an agreement cannot be reached, the carport structure will not be constructed; instead the easement area would contain 33 uncovered RV storage spaces. • Expand the parking lot into the OCFCD easement area. The rear parking lot would contain 67 uncovered RV storage spaces.
<p>New Building #3</p>	<p>Construct a one-story, detached self-storage building (8,062 sq. ft.) containing sixteen large storage units.</p>
<p>New Building #4</p>	<p>Construct a one-story, detached self-storage building (17,871 sq. ft.) containing thirty-six large storage units.</p>
<p>New Building #5</p>	<p>Construct a one-story self-storage building (2,700 sq. ft.) attached to Building #1 containing five large storage units.</p>

The applicant requests an amendment to the approved minor conditional use permit (ZA-01-66) establishing the mini-warehouse facility use to include the aforementioned proposed improvements.

ANALYSIS

Compatibility

The project proposes to expand an existing mini-warehouse facility containing self-storage and RV storage uses; no changes are proposed to the use. The proposed building additions are designed to match the architecture, materials, colors, and finish of the existing buildings. The proposed elevations will consist of split-face concrete block walls, metal coiling doors, and standing seam metal roofing, all painted to match existing structures. No changes are proposed to the front parking lots or street facing building elevations. Staff observed the site is in need of general property upkeep and maintenance. Consequently, a condition of approval is included requiring the applicant to schedule an inspection with Code Enforcement and/or Planning and incorporate any staff recommendations related to property maintenance into the construction plans for the project, including, but not limited to, maintaining the parkway landscaping and repainting the existing buildings.

The outdoor RV storage areas are currently screened from Pullman Street and Red Hill Avenue by the existing buildings (Buildings #1 and #2). The property abuts the 55/405 freeway interchange to the north, which is raised above grade. The property boundary abutting the freeway is currently screened by mature landscaping, tall eucalyptus trees, and a chain link fence. The applicant proposes to replace the existing chain link fence with a 6-foot high block wall and install additional landscaping to screen and soften the appearance of the outdoor RV storage area from freeway views. A condition is included requiring the submission of a detailed landscape plan prior to the issuance of building permits.

To continue to maintain a clean and orderly appearance within the RV storage lot, the applicant will be required to comply with the requirements of ZA-01-66, which includes a condition prohibiting outdoor storage of any sort other than RV's in their designated spaces.

Zoning Code Compliance

The proposed project complies with all applicable development standards of the MP zoning district and the City's Mini-Warehouses ordinance (Title 13, Chapter IX, Article 7). The Transportation Division reviewed the project and does not have any concerns related to vehicle circulation. Parking requirements for a mini-warehouse are 1 parking space for every 200 self-storage units or fraction thereof, and 4 space for every 1,000 square feet of office uses. The proposed use, as it relates to parking, is detailed below.

	Offices (Parking: 4/1,000 sq. ft.)	Storage Units (Parking: 1/200 units)
Building #1	2,100 sq. ft.	1,003 units
Building #2	0	970 units
Building #3	0	16 units
Building #4	0	36 units
Building #5	0	5 units
TOTAL	2,100 sq. ft.	2,030 units
Parking Reqs.	8.4 spaces	10.15 spaces
	Total Parking Required: 19 spaces Total Parking Provided: 35 Spaces	

With the proposed expansion, the mini-warehouse facility is required to provide 16 parking spaces, and 35 spaces are provided within the existing front parking lots.

General Plan Consistency

The maximum allowable FAR for very low traffic generating uses (3 average daily trips per 1,000 square feet of gross floor area) is 0.75 in the Industrial Park designation. This site area is 8.6 acres and currently has an FAR of 0.53. With the proposed construction of

79,305 square feet of additional building area, the site would have an FAR of 0.74. Therefore, the project is consistent with the General Plan. A traffic impact fee is being assessed to mitigate the project's traffic impacts, consistent with Chapter XII, Article 3, Transportation System Management, of Title 13 of the Costa Mesa Municipal Code.

The project is consistent with the following General Plan land use goals and objectives:

- LU-1B: Ensure the long term productivity and viability of the community's economic base. No changes are proposed to the use of the property. The project is a request to expand the existing mini-warehouse facility within the limitations of the Zoning Code and General Plan standards. The proposed expansion allows the existing use to maximize its development potential, thereby increasing the economic viability of the use and potential contributions to the City's economic base.
- LU-2A: Encourage new development and redevelopment to improve and maintain the quality of the environment. The existing mini-warehouse facility is surrounded by office and light industrial uses. The proposed building additions are designed to match the colors, materials, and finish of the existing structures in order to seamlessly integrate into the existing development. Because the property abuts the 55/405 freeway interchange to the north, the project will install a solid block wall and additional landscaping along the property boundary to soften views of the site from the freeway.

FINDINGS

- A. The information presented complies with Costa Mesa Municipal Code Section 13-29(g)(2) in that:
1. The proposed use is compatible and harmonious with developments in the same general area and would not be materially detrimental to other properties within the area. The project proposes to expand an existing mini-warehouse facility containing self-storage and RV storage uses; no changes are proposed to the use. The proposed building additions are designed to match the architecture, materials, colors, and finish of the existing buildings. A 6-foot high block wall and additional landscaping will be installed along the rear property line to screen and soften the outdoor RV storage lot from the 55/405 freeway interchange.
 2. Granting the minor conditional use permit will not be detrimental to the health, safety and general welfare of the public or otherwise injurious to property or improvements within the immediate neighborhood. The project complies with all applicable development standards of the MP zoning district and the City's Mini-Warehouses ordinance. The Transportation Division reviewed the project and does not have any concerns related to vehicle circulation.
 3. Granting the minor conditional use permit will not allow a use, density or intensity that is not in accordance with the General Plan designation and any applicable

specific plan for the property. The project complies with the City's General Plan FAR requirements and land use goals and objectives LU-1B and LU-2A.

- B. The information presented complies with Costa Mesa Municipal Code Section 13-29(e) in that:
1. The proposed development and use is compatible and harmonious with uses both on-site as well as those on surrounding properties.
 2. Safety and compatibility of the design of the containers, parking areas, landscaping, and other site features including functional aspects of the site development such as automobile and pedestrian circulation have been considered.
 3. The project is consistent with the General Plan.
 4. The application is for a project-specific case and does not establish a precedent for future development.
- C. The project has been reviewed for compliance with the California Environmental Quality Act (CEQA), the CEQA Guidelines, and the City environmental procedures, and has been found to be exempt under Section 15332, In-Fill Development Projects, of the CEQA Guidelines.
- D. The project, as conditioned, is consistent with Chapter XII, Article 3, Transportation System Management, of Title 13 of the Costa Mesa Municipal Code in that the project's traffic impacts will be mitigated by the payment of traffic impact fees.

CONDITIONS OF APPROVAL

- Plng.
1. The applicant is reminded that conditions of approval and Code requirements of Minor Conditional Use Permit ZA-01-66 still apply and are incorporated into this approval for the expansion of the facility.
 2. Prior to the submittal of building permits, the applicant shall submit an elevation detail for the new perimeter decorative block wall abutting the freeway and a separate landscape plan (including, but not limited to, the plant type, quantity, and size of plant materials). The new wall and landscaping shall screen and soften the appearance of the outdoor recreational vehicle storage areas from the freeway, and the plans shall be subject to review and approval by the Planning Division.
 3. Prior to the submittal of building permits, the applicant shall submit written authorization from the Orange County Flood Control District permitting construction of the carport structure within the storm drain and sewer easement. If an agreement cannot be reached, the carport structure shall be removed from the plans.
 4. Prior to the issuance of building permits, the applicant shall schedule an inspection with Code Enforcement and/or Planning and incorporate any staff recommendations related to property maintenance into the construction plans for the project, including, but not limited to, maintaining the parkway landscaping and repainting the existing buildings.
 5. Turn-around areas shall be striped and marked for no parking.
 6. All new and existing construction shall be architecturally compatible with regard to building materials, style, colors, etc. Plans submitted for plan check shall indicate how this will be accomplished.
 7. A copy of the conditions of approval for the minor conditional use permit must be kept on premises and presented to any authorized City official upon request. New business/property owners shall be notified of conditions of approval upon transfer of business or ownership of land.
 8. The conditions of approval shall be included in the construction drawings of the plan check submittal package.
 9. The applicant shall contact the Planning Division to arrange for a Planning inspection of the site prior to the release of occupancy/utilities. This inspection is to confirm that the conditions of approval and Code requirements have been satisfied.
 10. The applicant shall terminate the existing Land Use Restriction by recording with the Office of the Orange County Recorder a Release of Land Use Restriction. A revised Land Use Restriction executed by and between the applicant and the City of Costa Mesa (stating square footage of addition and limiting the property to very-low traffic generating businesses) shall be recorded prior to the issuance of building permits.

Applicant shall submit to the Planning Division a copy of the legal description for the property, and either a Lot Book Report or current Title Report identifying the current legal property owner so that the document may be prepared.

11. Show method of screening for all ground-mounted equipment (backflow prevention devices, Fire Department connections, electrical transformers, etc.). Ground-mounted equipment shall not be located in any landscaped setback visible from the street, except when required by applicable uniform codes, and shall be screened from view, under the direction of Planning staff.
12. No chain link fence or gate shall be installed where it would be visible from the public right-of-ways, including the freeway.
13. There shall be no outdoor storage of any sort other than recreational vehicles in their designated spaces. All recreational vehicles stored on the property shall be kept in good working condition. No wrecked, dismantled, or inoperable vehicles or parts thereof shall be permitted.
- Eng. 14. Maintain the public right-of-way in a "wet-down" condition to prevent excessive dust and promptly remove any spillage from the public right-of-way by sweeping or sprinkling.

CODE REQUIREMENTS

The following list of federal, state, and local laws applicable to the project has been compiled by staff for the applicant's reference. Any reference to "City" pertains to the City of Costa Mesa.

- P1ng.
1. Approval of the zoning application is valid for one year from the effective date of this approval and will expire at the end of that period unless applicant establishes the use by obtaining building permits for the authorized construction and initiates construction. If the applicant is unable to obtain building permits within the one-year time period, the applicant may request an extension of time. The Planning Division must receive a written request for the time extension prior to the expiration of the zoning application.
 2. Once the expansion of the mini-warehouse facility is legally established, the zoning application herein approved shall be valid until revoked. The Development Services Director or his designee may refer the zoning application to the Planning Commission for modification or revocation at any time if, in his opinion, any of the following circumstances exist: 1) the use is being operated in violation of the conditions of approval; 2) the use is being operated in violation of applicable laws or ordinances or 3) one or more of the findings upon which the approval was based are no longer applicable.
 3. Permits shall be obtained for all signs according to the provisions of the Costa Mesa Sign Ordinance.
 4. The facility shall not be used for any business activity (other than rental of storage units) including miscellaneous or garage sales, and transfer/storage businesses which utilize vehicles as part of the business.
 5. The facility shall not be used for servicing or repair of motor vehicles, boats, trailers, lawn mowers, or any similar equipment.
 6. All rental contracts shall include clauses prohibiting the storage of flammable liquids, highly combustible or explosive materials, or hazardous chemicals; and the use of the property for uses other than storage.
 7. Parking stalls shall be double-striped in accordance with City standards.
 8. Installation of all utility meters shall be performed in a manner so as to obscure the installation from view from any place on or off the property. The installation shall be in a manner acceptable to the public utility and shall be in the form of a vault, wall cabinet, or wall box under the direction of the Planning Division.
 9. Any mechanical equipment such as air-conditioning equipment and duct work shall be screened from view in a manner approved by the Planning Division.
 10. Existing mature trees shall be retained wherever possible. Should it be necessary to remove existing trees, the applicant shall submit a written

request and justification to the Planning Division. A report from a California licensed arborist may be required as part of the justification. Replacement trees shall be of a size consistent with trees to be removed and may be required on a 1 to 1 basis. This condition shall be completed under the direction of the Planning Division.

11. Two sets of detailed landscape and irrigation plans, which meet the requirements set forth in Costa Mesa Municipal Code Sections 13-101 through 13-108, shall be required as part of the project plan check review and approval process. Plans shall be forwarded to the Planning Division for final approval prior to issuance of building permits.
12. Two sets of landscape and irrigation plans, approved by both the water agency and the Planning Division, shall be attached to two of the final building plan sets.
13. Landscaping and irrigation shall be installed in accordance with the approved plans prior to final inspection or occupancy clearance
14. All landscaped areas shall be separated from paved vehicular areas by 6" high continuous Portland Cement Concrete curbing.
- Bldg. 15. Comply with the requirements of the following adopted codes: 2013 California Building Code, 2013 California Electrical code, 2013 California Mechanical code, 2013 California Plumbing code, 2013 California Green Building Standards Code and 2013 California Energy Code (or the applicable adopted, California Building code, California Electrical code, California Mechanical code, California Plumbing Code, California Green Building Standards, and California Energy Code at the time of plan submittal or permit issuance) and California Code of Regulations also known as the California Building Standards Code, as amended by the City of Costa Mesa.
16. Requirements for accessibility to sites, facilities, buildings, and elements by individuals with disability shall comply with Chapter 11B of the 2013 California Building Code:
 - Accessibility shall be to and through the front door and to the commercial space from the public sidewalk.
 - Accessible restrooms/bathrooms in the commercial space.
 - Accessible parking.
 - Accessible entry door, ramps, landings, sidewalks, hallways, strike edge clearances and elevation changes.
 - Other accessible features as required per Chapter 11B.
17. Submit a precise grading plan, an erosion control plan, and a hydrology study.
18. Submit a soils report for this project. Soils report recommendations shall be blueprinted on both the architectural and precise grading plans.
19. The ground adjacent immediately to the foundation shall be sloped away from the building at a slope of not less than 5% for a minimum distance of 10 feet

measured perpendicular to the face of the wall, per CBC Section 1804.3. On graded sites, the top of the exterior foundation shall extend above the elevation of the street gutter at point of discharge or the inlet of an approved discharge device a minimum of 12 inches plus 2 percent, per CBC Section 1808.7.4.

- Bus. Lic. 20. All contractors and subcontractors must have valid business licenses to do business in the City of Costa Mesa. Final inspections, final occupancy and utility releases will not be granted until all such licenses have been obtained.
- Trans. 21. Fulfill San Joaquin Hills Transportation Corridor Fee Ordinance requirement at the time of issuance of building permits by submitting the required fee to the Planning Division. For the proposed use, the corridor fee is estimated at \$405,248.55. NOTE: This fee is subject to revision and possible increase effective July 1st of each year.
22. The applicant shall contact the Transportation Division to determine the Traffic Impact Fee for the project. The fee shall be submitted prior to the issuance of building permits and is required to fulfill mitigation of off-site traffic impacts pursuant to the prevailing schedule of charges adopted by the City Council. The traffic impact fee is calculated and includes credits for existing uses. NOTE: The Traffic Impact Fee will be recalculated at the time of issuance of the Minor Conditional Use Permit based upon any changes in the prevailing schedule of charges adopted by the City Council and in effect at that time.
- Eng. 23. Comply with any applicable water quality requirements, including, but not limited to, submitting a Water Quality Management Plan (WQMP) subject to approval by the Engineering Division.
24. At the time of development submit for approval an offsite plan to the Engineering Division and grading plan to the Building Division that shows sewer, water, existing parkway improvements and the limits of work on the site, and hydrology calculations, both prepared by a registered Civil Engineer or Architect. Cross lot drainage shall not occur. Construction Access approval must be obtained prior to Building or Engineering Permits being issued by the City of Costa Mesa. Pay Offsite Plan Check fee per Section 13-29(2)(b) of the C.C.M.M.C. and an approved Offsite Plan shall be required prior to Engineering Permits being issued by the City of Costa Mesa.
25. A Construction Access Permit and deposit of \$1,730.00 will be required by City of Costa Mesa, Engineering Division prior to start of any on-site work, necessary during construction for street sweeping and to guarantee replacement costs in case of damage to existing public improvements.
26. Fulfill Drainage Ordinance Fee requirements prior to approval of plans.
27. Fulfill City of Costa Mesa Drainage Ordinance no. 06-19 requirements prior to approval of plans.
- Fire 28. All hydrants shall be installed and operable prior to the initiation of combustible construction.

29. Provide fire extinguishers with a minimum rating of 2A to be located within 75 feet of travel distance from all areas. Extinguishers may be of a type rated 2A, 1 OBC as these extinguishers are suitable for all types of fires and are less expensive.
30. Provide an automatic fire sprinkler system according to NFPA 13 for new buildings and additions.
31. Provide "blue dot" reflective markers for all on-site fire hydrants.
32. Fire Department access must be provided within 150 feet of all exterior walls of the first floor of the buildings. The 150 feet is measured by means of an unobstructed route around the exterior of the building.
33. Apparatus access roads shall have a minimum unobstructed width of 20 feet. A minimum vertical clearance of 14 feet shall be provided for the apparatus roads.
34. The Fire Department access roadway shall be provided with adequate turning radius for Fire Department apparatus. A 46-foot outside and 27-foot inside radius shall be provided.
35. The fire lane must be indicated on the plans.
36. A "knox" key storage box shall be provided for all new construction.
37. All security gates shall have a knox-box override.
38. The Fire Department connection shall not be affixed to the building and located within 40 feet of a fire hydrant.

SPECIAL DISTRICT REQUIREMENTS

The requirements of the following special districts are hereby forwarded to the applicant:

- | | |
|------|---|
| AQMD | 1. The applicant shall contact the Air Quality Management District (800) 288-7664 for potential additional conditions of development or for additional permits required by AQMD. |
| CDFA | 2. Comply with the requirements of the California Department of Food and Agriculture (CDFA) to determine if red imported fire ants exist on the property prior to any soil movement or excavation. Call CDFa at (714) 708-1910 for information. |



jordan architects, inc.

PROJECT DESCRIPTION - 2A

INTRODUCTION

We would like to take this opportunity to present our proposal for an expansion to the existing Magellan, state-of-the-art, self-storage facility at 3190 Pullman Street. The 8.59-acre site is bounded by Pullman Street and Commercial Buildings to the southwest, 405 Fwy, on-ramp and drainage channel to the north, Redhill Avenue and commercial buildings to the east.

ARCHITECT

Bruce Jordan of Jordan Architects, Inc., has worked in the self-storage industry since 1981, having won many industry awards including the 2004 Facility of the Year Award for the Magellan Storage Facility in Torrance.

PROJECT DESIGN

Every effort has been made to carefully design the expansion as a “state-of-the-art” facility that is architecturally compatible with the existing storage facility as well as the adjacent commercial development. Architectural elements such as attractive colors, and materials, existing and new landscaping and highly upgraded construction materials will be used to create an aesthetically pleasing architectural statement. Self-storage projects have proven to be excellent neighbors to adjacent properties, both residential and commercial, due to their quiet nature, minimal city requirements, low traffic, and compatible hours of operation.

The expansion project will incorporate new storage buildings and new covered RV storage parking that will be screened behind the large existing perimeter buildings along Pullman Street and Redhill Avenue. To the north the project will be screened by landscaping with vines growing along the length of the northern chain-link fence.

The project will also include the conversion of the existing Building 2 from a single story RV storage building into a 2 story self storage building by constructing a 2nd level within the existing building envelope. The height of the building will not be modified.

New internal lighting is shielded and directed downward. Twenty-four hour security plays an important role and consists of individual door alarms, a computerized access control system and on site personnel during office hours.

MANAGEMENT AND HOURS OF OPERATION

There will be trained management personnel on site during project operating hours. The limited hours of access and operation for the facility would be from 7:00 a.m. to 7:00 p.m., Monday through Sunday.

ASSETS TO THE COMMUNITY

There continues to be a strong demand for self-storage space in the local market area. The demand for self-storage and benefit to the local community is significant. The type of state-of-the-art facility being proposed will use sophisticated electronic security and access control systems and will be designed to compliment the adjacent commercial development.

TRAFFIC

Self storage as a land use generates the lowest level of traffic compared to commercial, retail, office or industrial projects. Parking occurs mainly within the site, out of view.

The Institute of Transportation Engineers (4th Edition) denotes the following statistical data for comparison of self storage to other land uses.

Self Storage:	2.60	Trips per 1000 Square Feet
General Office:	16.50	Trips per 1000 Square Feet
Medical Office:	34.17	Trips per 1000 Square Feet
Supermarket:	27.00	Trips per 1000 Square Feet
Discount Store:	70.10	Trips per 1000 Square Feet
Specialty Retail:	40.60	Trips per 1000 Square Feet

These statistics illustrate that self storage projects generate approximately 6 times less traffic than a professional office, 13 times less traffic than a medical office, 10 times less traffic than a supermarket, 27 times less traffic than a discount store, and 15 times less traffic than a specialty retail store. Traffic to a self storage facility is offset from the peak morning and afternoon commute periods, further reducing impact to the city storage parking and circulation.

INFRASTRUCTURE IMPACT

Self-storage has minimal impact on infrastructure such as sewer, water and electrical service. This facility utilizes 2 restrooms in the office area and 2 restrooms in building 2. Water utilization is minimal with the largest amount being devoted to landscape irrigation that will be designed to be drought tolerant. Overall electrical demand is less than one half of the requirement for a similarly sized office building or retail center.

SECURITY

The expansion of the self storage facility will incorporate the existing high-tech security system including keypad entry security gates, individually alarmed storage units, video surveillance, fire sprinkler and alarm system, and an intercom system. An on-site manager quickly monitors these security systems on a control panel during hours of operation, resulting in minimized off-site police and fire services.

LANDSCAPING

Existing prominent design elements and vistas are maintained. Landscaped areas are a blend of trees, ground cover, and shrubs around the perimeter of the site. Vines which increase security are placed along rear (or north side) of the property.

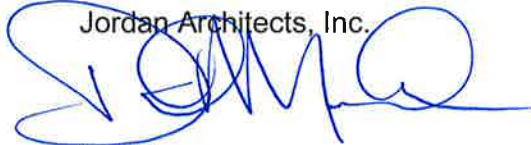
SUMMARY

Magellan Expansion at Costa Mesa - Pullman Street will be a clean, modern, aesthetically pleasing project ideal for this unique location. It will continue to provide minimum traffic impacts, compatible hours of operation while contributing to the needs of the community. There will be a minimum of city, utility, police and fire services required.

We feel that the proposed expansion project will be an excellent use of the property, provide a needed service to the area, and compliment the existing development.

Thank you

Jordan Architects, Inc.



David Meinecke
Vice President

F:\01-181\City\Attachment 2A.doc



jordan architects, inc.

JUSTIFICATION - 3A

The granting of the minor conditional use permit will not adversely affect any element of the development standards.

No elements of the development Standards will be adversely affected. The proposed Expansion to the Self Storage facility is a very low traffic generator in comparison to industrial use. The proposed development is consistent with the goals of the city of Costa Mesa in that it will be compatible and harmonious with existing commercial and industrial development in the immediate vicinity. The proposed use is compatible with uses permitted in the city of Costa Mesa.

The proposed "state-of -the-art" Self Storage Expansion has been carefully designed to be compatible with the adjacent existing storage facility and adjacent commercial development. It incorporates the use of architectural elements such as low rooflines, attractive colors and upgraded construction materials as well as varying heights, strong wall articulation and existing landscaping all of which will create an aesthetically pleasing architectural statement.

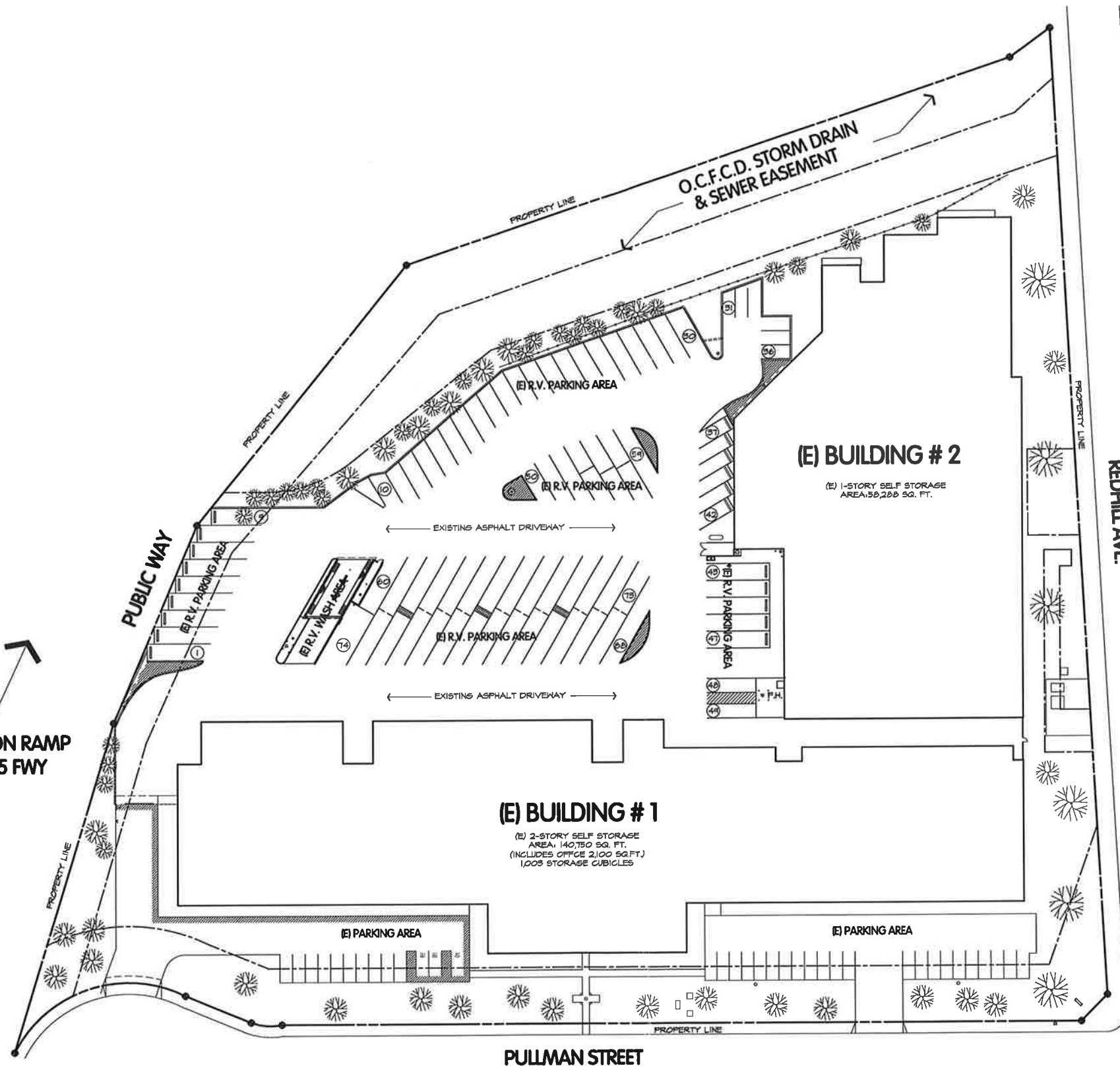
The project utilizes existing perimeter buildings to screen and buffer internal storage of open recreational vehicles, loading zones, and drive aisles and to mask the interior parking. The facility will feature a high-tech security system that includes keypad entry security gates, individually monitored security units, video surveillance, burglar alarms, a fire sprinkler and alarm system. An on-site manager will monitor these security systems during hours of operation, which will minimize off-site security police and fire services. All project lighting is shielded and cast downwards to ensure no spillover lighting to adjacent properties. The facility will be beneficial to the neighborhood at large.

C:\JA01-181\Project Info\Attachment 2B Doc.doc

Received
City of Costa Mesa
Development Services Department

AUG 28 2015

55 FWY ON RAMP
TO 405 FWY



EXISTING BUILDING DATA:

BLDG. #1:	
EXISTING BUILDING:	140,750 SQ. FT.
BLDG. #2:	
EXISTING FIRST LEVEL:	58,288 SQ. FT.
TOTAL EXISTING GROSS STORAGE AREA: 199,038 SQ. FT.	

R.V. STORAGE SPACES:

TOTAL UNCOVERED R.V. STORAGE SPACES: 88 SPACES



MAGELLAN STORAGE
COSTA MESA, CA

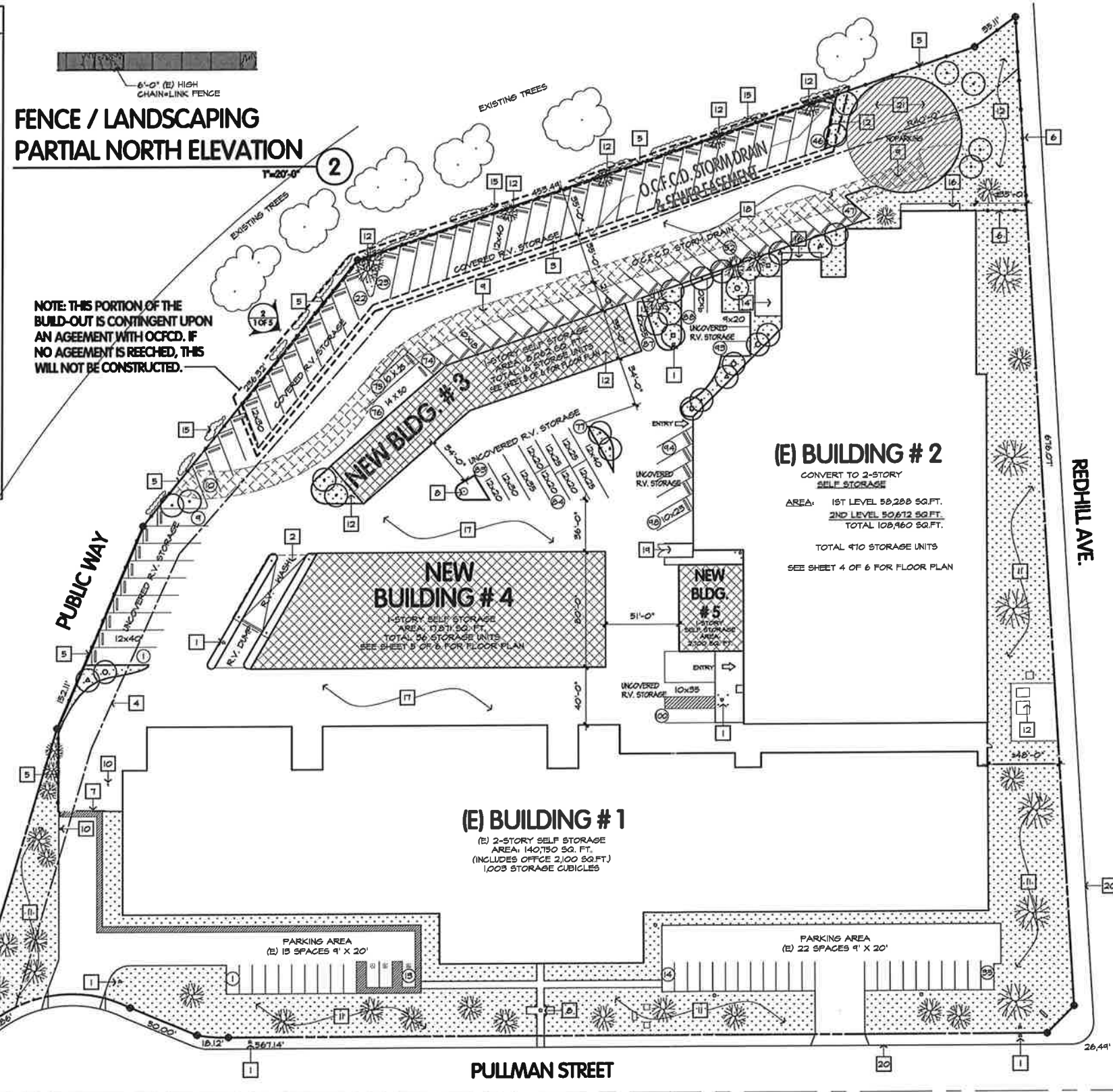
EXISTING SITE PLAN

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JOB NUMBER 01-181
SCALE: 1"=40'-0"
DATE 08/25/15



KEY NOTES	
1	(E) FIRE HYDRANT
2	(E) RV WASH / DUMP STATION
3	NEW COVERED RV STORAGE SPACES. SEE DETAIL 3 ON SHEET 5
4	(E) STORM SEWER LINE
5	(N) 6'-0" BLOCK WALL
6	NEW 6'-0" BLOCK WALL
7	(E) ENTRY / EXIT SECURITY GATE
8	(E) FLAG POLE
9	COVER (E) OPEN STORM DRAIN CHANNEL
10	ENTRY / EXIT KEY PAD
11	EXISTING LANDSCAPING
12	NEW LANDSCAPING (TREES & GROUND COVER)
13	(E) ELECTRICAL TRANSFORMERS
14	(E) CONCRETE ENTRY
15	NEW LANDSCAPING: BOUGAINVILLEA OR BLOOD RED TRUMPET CLIMBING VINES ALONG CHAIN-LINK FENCE
16	(E) CONCRETE PATIO
17	(E) ASPHALT DRIVEWAY
18	NEW ASPHALT DRIVEWAY
19	(E) TRASH ENCLOSURE
20	FACE OF CURB
21	STRIPING AT TURN AROUND WITH "NO PARKING" LEGEND PER CITY STANDARDS



PROJECT DATA:	SITE DATA:
CLIENT / APPLICANT:	SITE DATA:
CLIENT: MAGELLAN GROUP, INC. ADDRESS: 1800 AVENUE OF THE STARS, #105 LOS ANGELES, CA 90067	ADDRESS: 3190 PULLMAN STREET COSTA MESA, CA 92626
CONTACT: KEVIN STALEY PHONE: (310) 277-8337 FAX: (310) 277-8330	LOT: 133,134 IN BLOCK 7 SITE AREA: 8.594 ACRES (374,355 Sq.Ft.) ZONING: INDUSTRIAL PARK (M.P.)
APPLICANT'S AGENT:	REQUIREMENTS:
COMPANY: JORDAN ARCHITECTS ADDRESS: 131 CALLE IGLESIA, SUITE 100 SAN CLEMENTE, CA 92673	FRONT SETBACK: 20 FT. SIDE SETBACK: 20 FT. SIDE & REAR SETBACK: 0 FT.
CONTACT: BRUCE JORDAN	MAX. ALLOWABLE F.A.R.: 75% 75% X 374,355 = 280,765 SQ.FT.
TELEPHONE: (949) 388-8090 FAX: (949) 388-8290	PROPOSED F.A.R.: 74.4% 278,343/374,355
SCOPE OF WORK:	MAX. ALLOWABLE BLDG. HEIGHT: 3 STORIES 45' FT. ACTUAL BLDG. HEIGHT: (EXISTING 28'-0" FT. APPROX.)
CONSTRUCTION OF 3 NEW SELF STORAGE BUILDINGS AND COVERED (CARPOT) AND UNCOVERED R.V. STORAGE SPACES.	LANDSCAPING: EXISTING LANDSCAPING OF SITE GROSS AREA: 64,169 SQ. FT. (64,169 / 374,355) = 17%
BUILDING DATA:	PARKING REQUIREMENTS: (ARTICLE 7)
BLDG. #1: EXISTING BUILDING: 140,750 SQ. FT.	REQUIRED FOR:
BLDG. #2: EXISTING FIRST LEVEL: 50,288 SQ. FT. NEW SECOND LEVEL: 50,672 SQ. FT.	STORAGE: 1 SPACE / 200 STORAGE CUBICLES OFFICE: 3 SPACES / 1,000 SQ. FT.
TOTAL STORAGE BLDG. #2: 100,960 SQ. FT.	BUILDING 1 - STORAGE (1,003 CUBICLES): 5 SPACES BUILDING 1 - OFFICE (2,100 SQ. FT.): 6 SPACES BUILDING 2, 3, 4 & 5 - STORAGE (4,980 CUBICLES): 5 SPACES TOTAL PARKING REQUIRED: 16 SPACES
BLDG. #3: NEW BLDG. #3: 8,062 SQ. FT.	PROVIDED: 35 SPACES
BLDG. #4: NEW BLDG. #4: 17,871 SQ. FT.	
BLDG. #5: NEW BLDG. #5: 2,700 SQ. FT.	
TOTAL GROSS STORAGE AREA: 278,343 SQ. FT.	
R.V. STORAGE SPACES:	
COVERED RV STORAGE: 33 SPACES UNCOVERED RV STORAGE: 67 SPACES TOTAL R.V. STORAGE SPACES: 100 SPACES	

MAGELLAN STORAGE

COSTA MESA, CA

PRELIMINARY SITE PLAN

SITE PLAN
 T=40'-0" 1

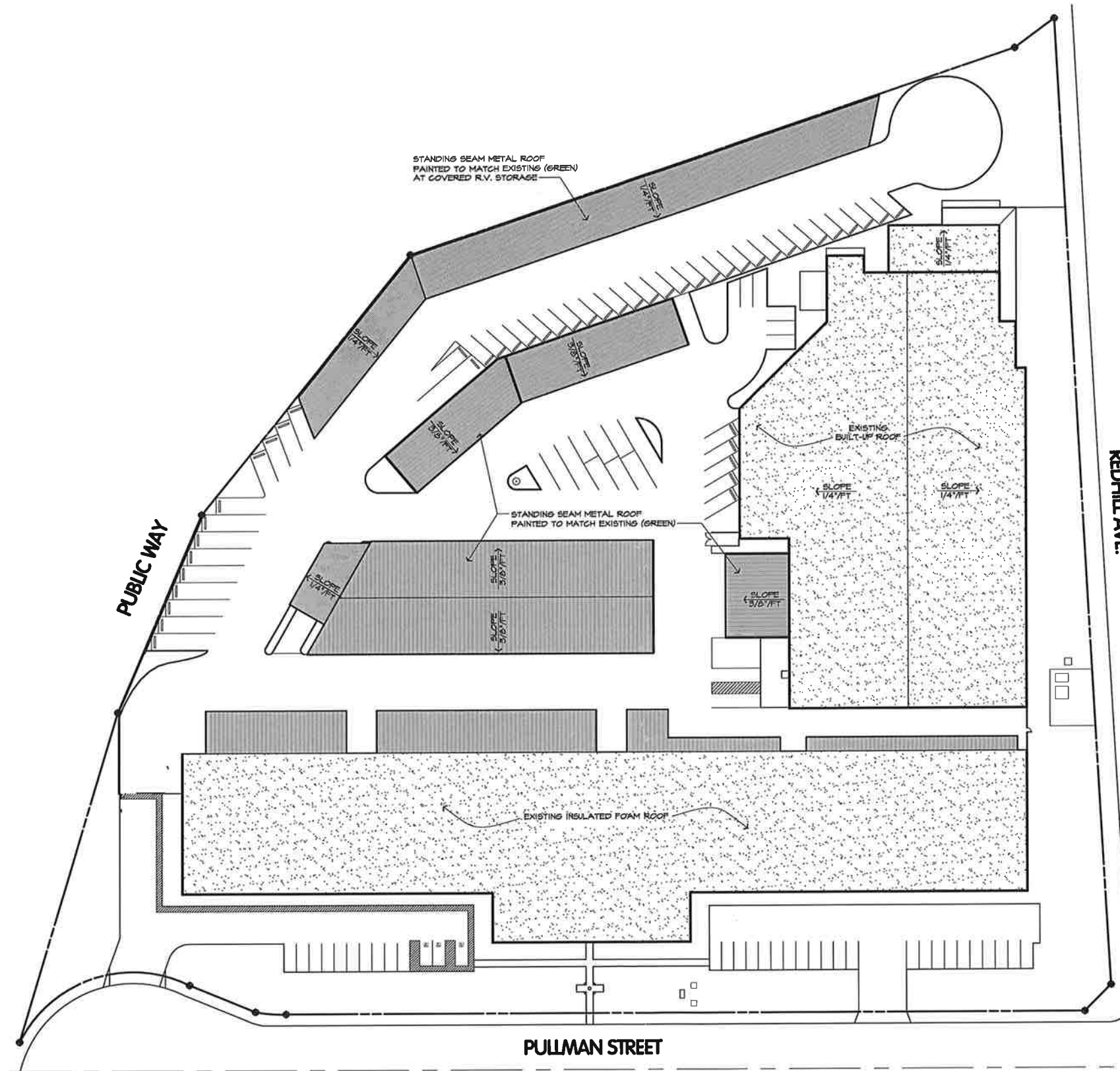


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JOB NUMBER: 01-181
 SCALE: 1"=40'-0"
 DATE: 08/25/15



FILENAME: J:\~2001 Projects\01-181 MAGELLAN COSTA MESA\A-Sheets\PHASE 4\03- PD_ROOF.dwg, PLOTTED BY: COURRY, ON: Aug/28/2015 10:14am



MAGELLAN STORAGE

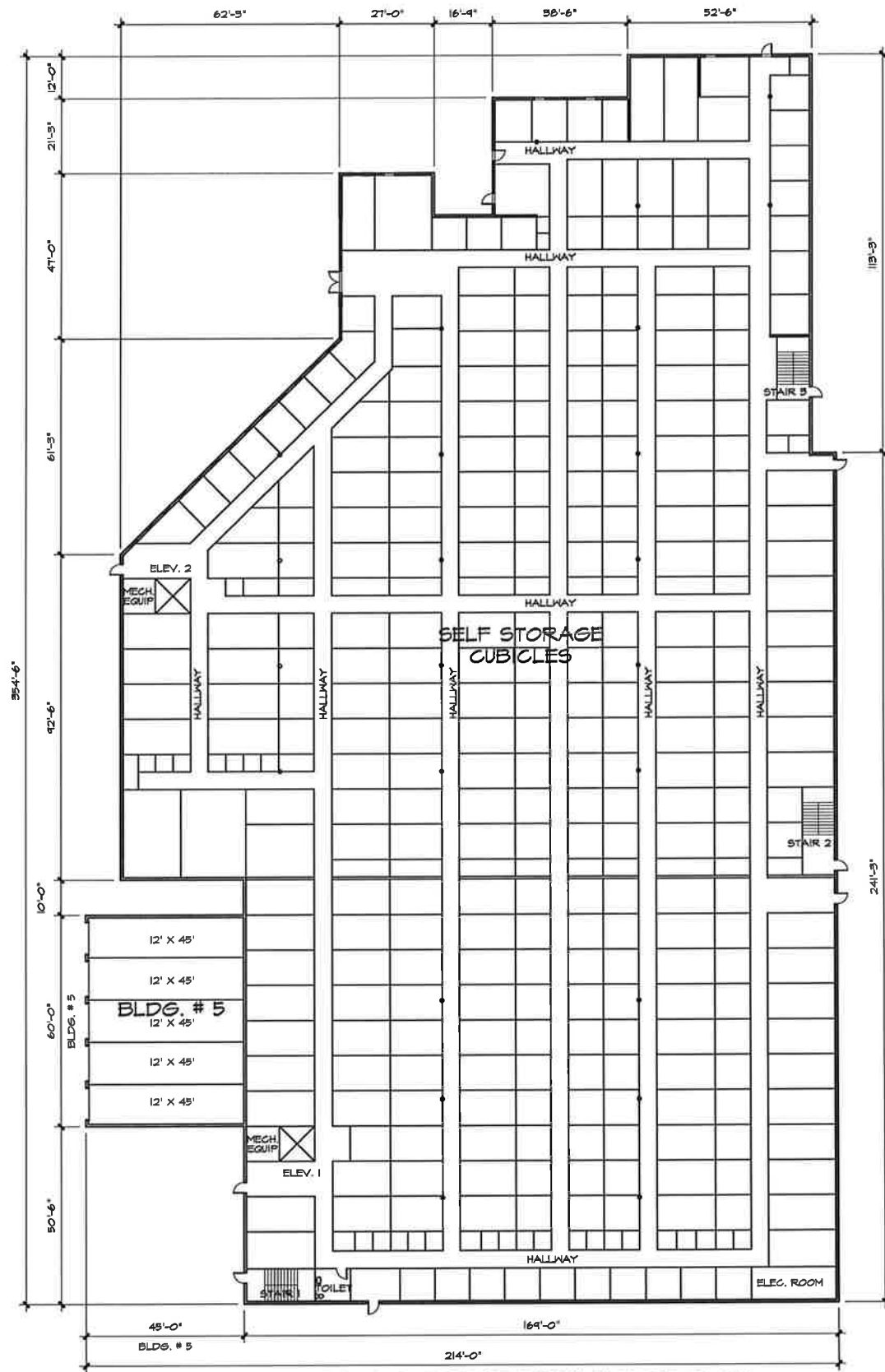
COSTA MESA, CA

PRELIMINARY ROOF PLAN

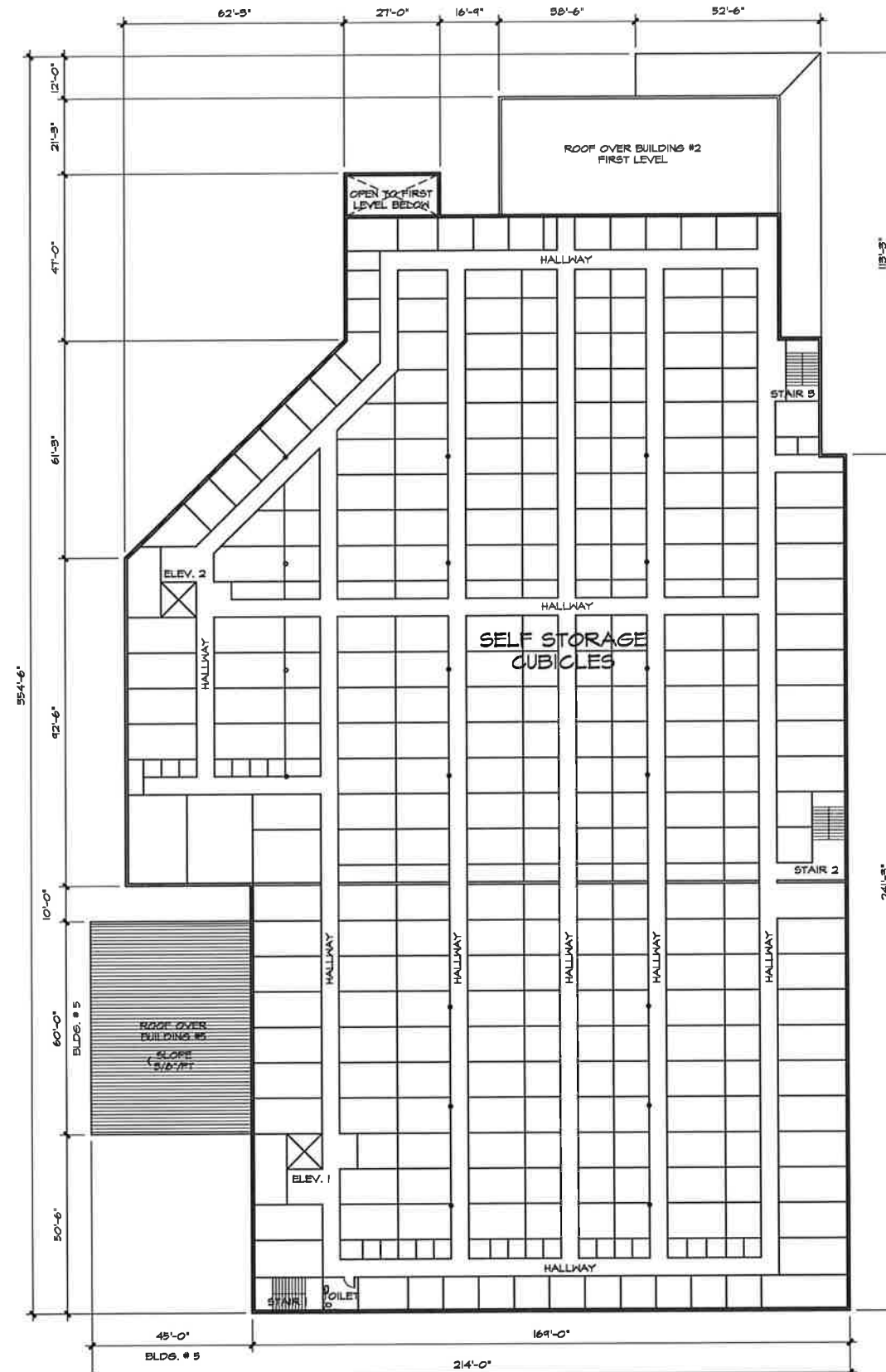
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BLDG. 2 & 5 FIRST LEVEL FLOOR PLAN ②
1"=20'-0"



BLDG. 2 SECOND LEVEL FLOOR PLAN ①
1"=20'-0"

MAGELLAN STORAGE

COSTA MESA, CA

PRELIMINARY FLOOR PLAN

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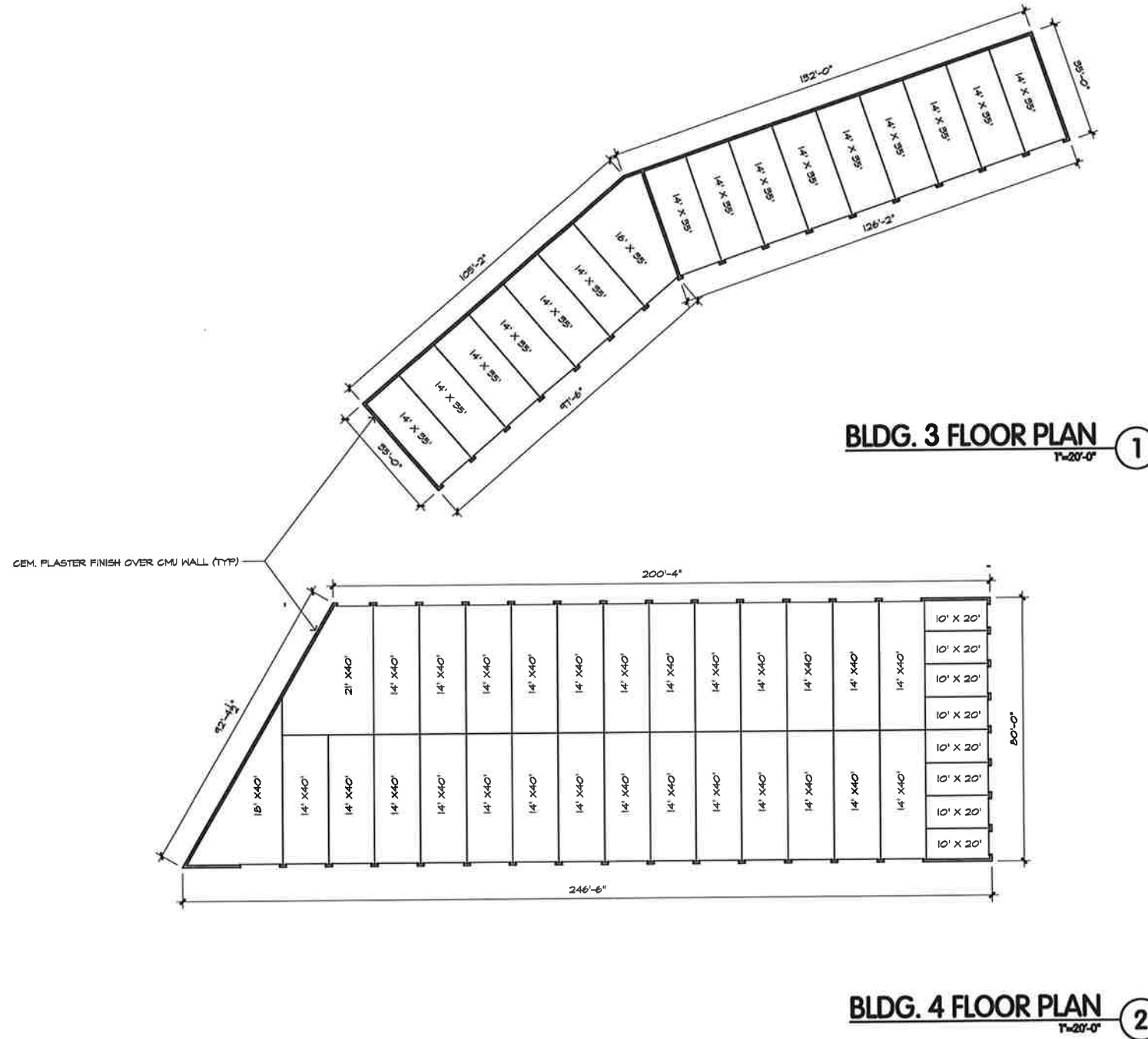
JOB NUMBER 01-181
SCALE 1"=20'-0"
DATE 08/25/15



jordan
ARCHITECTS, INC.

187 AVENIDA LA PATA
SAN CLEMENTE,
CA 92673
Telephone: 949.388.8999
Facsimile: 949.388.8296

FILENAME: J:\2001 Projects\01-181 MAGELLAN COSTA MESA\A-Sheets\PHASE 4\05-PD_UNTMIX-3 & 4.dwg, PLOTTED BY: COUNTRY, ON: Aug/28/2015 10:14am



MAGELLAN STORAGE COSTA MESA, CA

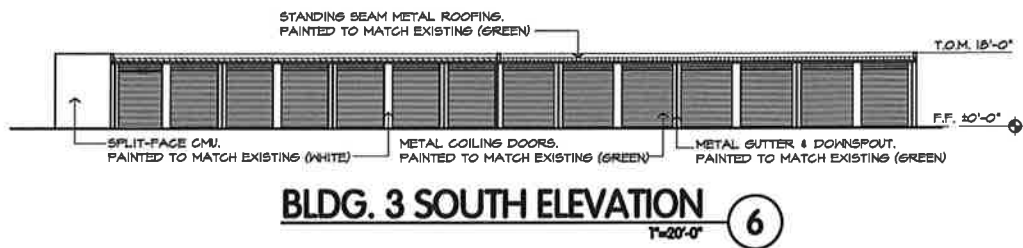
PRELIMINARY FLOOR PLAN

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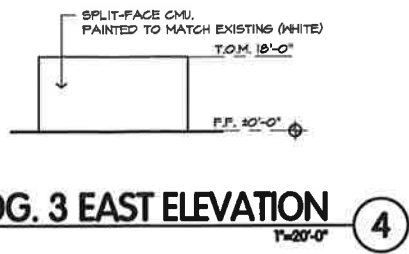
JOB NUMBER: 01-181
SCALE: 1"=20'-0"
DATE: 08/25/15

jordan
ARCHITECTS, INC.
107 AVENIDA LA PATA
SAN CLEMENTE,
CA 92677
Telephone 949 308-0998
Facsimile 949 308-0290

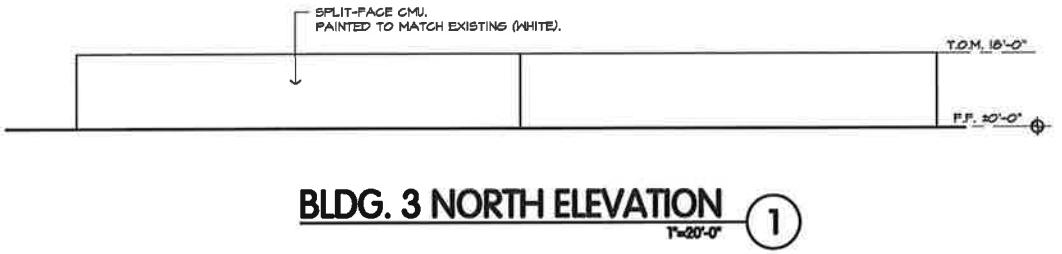
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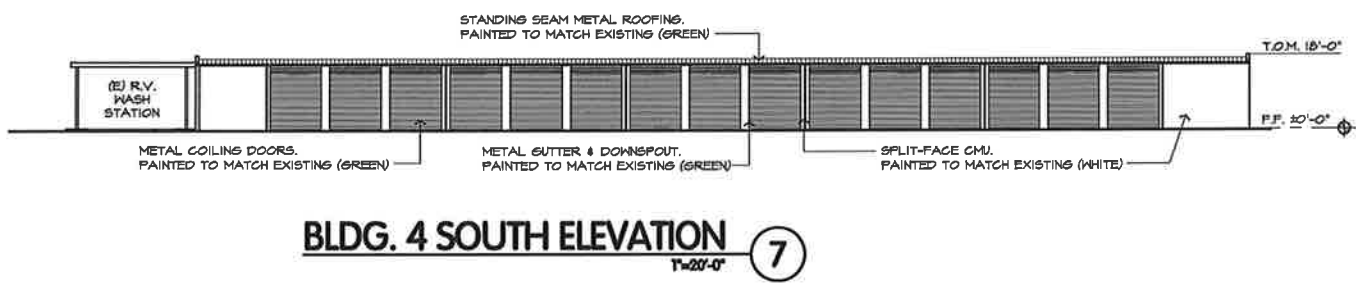
BLDG. 3 SOUTH ELEVATION ⑥
T=20'-0"



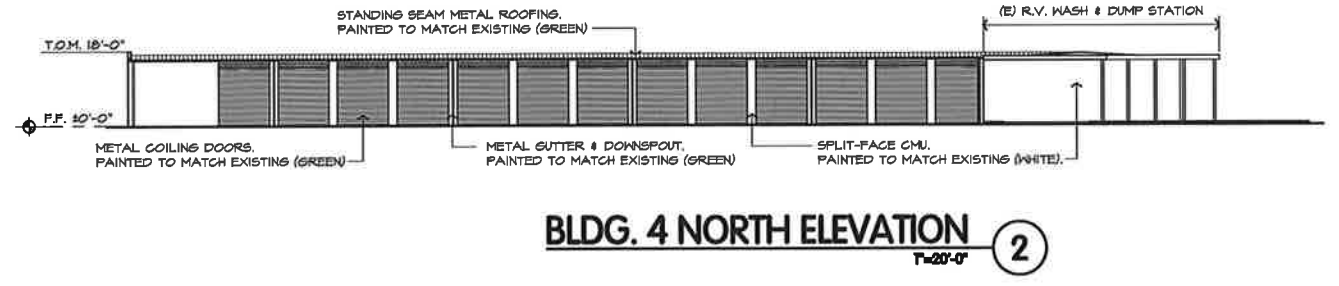
BLDG. 3 EAST ELEVATION ④
T=20'-0"



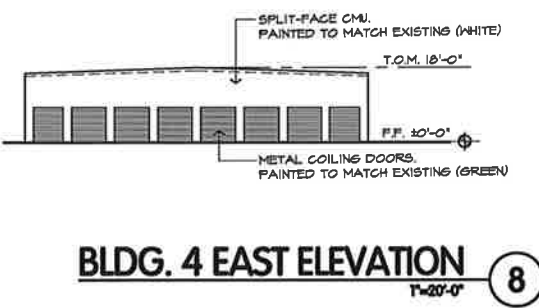
BLDG. 3 NORTH ELEVATION ①
T=20'-0"



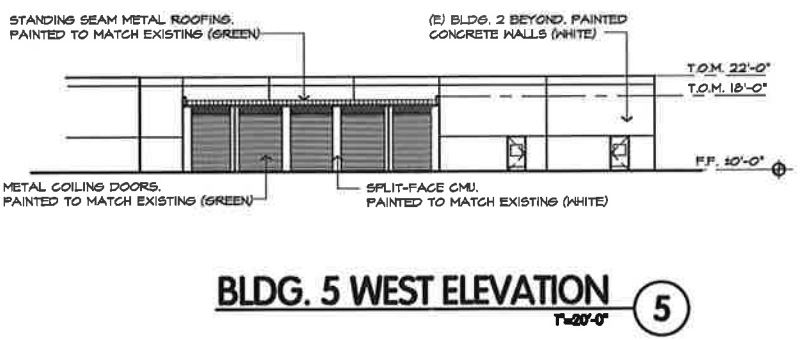
BLDG. 4 SOUTH ELEVATION ⑦
T=20'-0"



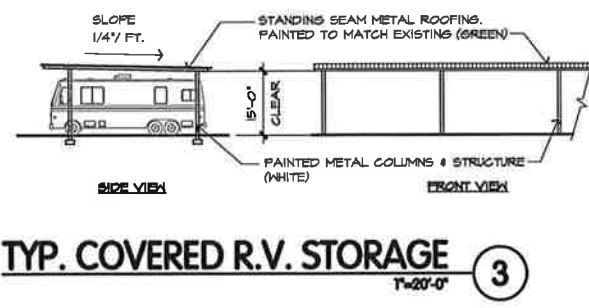
BLDG. 4 NORTH ELEVATION ②
T=20'-0"



BLDG. 4 EAST ELEVATION ⑧
T=20'-0"



BLDG. 5 WEST ELEVATION ⑤
T=20'-0"



TYP. COVERED R.V. STORAGE ③
T=20'-0"

MAGELLAN STORAGE COSTA MESA, CA

PRELIMINARY ELEVATIONS

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JOB NUMBER 01-181
SCALE T=20'-0"
DATE 08/25/15

jordan
ARCHITECTS, INC.

187 AVENIDA LA PATA
SAN CLEMENTE,
CA 92673

Telephone: 949.355.2890
Facsimile: 949.355.2296



CITY OF COSTA MESA

P.O. BOX 1200 • 77 FAIR DRIVE • CALIFORNIA 92628-1200

DEVELOPMENT SERVICES DEPARTMENT

September 24, 2015

Bill L. Mason
William Mason Architect, Inc.
3276 Dakota Avenue
Costa Mesa, CA 92626

**RE: ZONING APPLICATION ZA-15-31 MINOR CONDITIONAL USE PERMIT FOR
A PHYSICAL THERAPY USE TO DEVIATE FROM THE SHARED PARKING
REQUIREMENTS
2112 HARBOR BOULEVARD, COSTA MESA**

Dear Mr. Mason:

City staff's review of your zoning application for the above-referenced project has been completed. The application, as described in the attached project description, has been approved, based on the findings attached and subject to the conditions listed. The decision will become final at 5:00 p.m. on October 1, 2015, unless appealed by an affected party, including filing of the necessary application and payment of the appropriate fee, or called up for review by a member of the Planning Commission or City Council.

If you have any questions regarding this letter, please feel free to contact the project planner, Minoo Ashabi at 714.754.5610 or minoo.ashabi@costamesaca.gov.

Sincerely,

WILLA BOUWENS-KILLEEN, AICP
Zoning Administrator

Attachments: Project Description
Findings
Conditions of Approval, Code Requirements, and Special District
Requirements
Applicant's Project Description and Plans

cc: Engineering
Fire Protection Analyst
Building Safety Division
Transportation Services Division

Roland Clark
22052 Islander Lane
Huntington Beach, CA 92646

BACKGROUND

Project Site/Environs

The project site is located on the east side of Harbor Boulevard north of Hamilton Street. The property is zoned C1 (Local Business District) and has a General Plan Land Use Designation of General Commercial. The site is bounded by commercial uses to the north (Hub Auto Supply) east and south (Labor Ready and Jeepster Auto Sales).

The site consists of a rectangular-shaped, 5,351-square foot lot developed with a 1,581-square foot building. The site plan indicates that seven parking spaces can be provided on site. The building is currently vacant and was previously occupied by an archery sales and services business.

PROJECT DESCRIPTION

The floor plan for proposed physical therapy use consists of four treatment tables, six equipment stations, an administrative office, and a unisex restroom.

The applicant requests approval of a minor conditional use permit (MCUP) to allow a deviation from the shared parking requirements to facilitate the establishment of a physical therapy use.

ANALYSIS

Parking

The proposed physical therapy office is classified as a medical office use, which is permitted by right in the C1 zone. However, the parking ratio for medical uses is higher than the retail/office parking ratio. The City's Zoning Code parking requirement for medical uses is six parking spaces per 1,000 square feet of building area. Consequently, a minimum of nine parking spaces are required for a medical use in a building of this size. Since seven on-site parking spaces can be provided, there will be a deficit of two spaces.

According to the applicant's description of the use, the facility will use a combination of advance training and use of technology to deliver a modern and highly specific assessment and corrective treatment plan. The corrective treatment plans require a higher demand for one-on-one treatment. The treatment sessions will last between 45 and 60 minutes. Approximately 10 to 12 patients will be seen per day, but no more than four patients will be in the clinic at the same time. A maximum of two employees will be on site: a physical therapist and either a physical therapist aide or an administrative assistant. Based on these parameters, the proposed physical therapy use will not yield the same parking demand as a typical medical office and the proposed parking should be sufficient.

Consistent with other approvals that have been granted, a condition is included that if parking shortages or other parking-related problems arise, the business operator shall institute appropriate operational measures necessary to eliminate the problem, including, but not limited to, reducing the patient appointments or restricting the operating hours of the business.

Additional Discussion

A condition of approval is included from the Public Services Department requiring that existing chain link gate be removed and a new gate placed a minimum of 20 feet of space is provided from the curb face to the gate. Relocating the gate addresses the concern that traffic could be potentially obstructed along Harbor Boulevard if a vehicle is parked in front of the closed gate to open it. According to Costa Mesa Municipal Code Section 13-75 (j), chain link fencing is prohibited in any required setback abutting a public right-of-way. If the applicant is desirous to maintain a gate, it would be located within the required 20-foot deep front setback (as measured from the property line not the curb); consequently, the gate would need to be replaced with wrought iron or other comparable decorative material under the direction of the Planning Division staff.

GENERAL PLAN CONFORMITY

Future development of all land within the City of Costa Mesa is guided by the General Plan adopted in 2002. The General Plan sets forth land use goals, policies, and objectives that guide new development and uses.

Based on the issues discussed in the previous sections, the request, as conditioned, is consistent with the following goals and objectives of the General Plan.

- **Objective LU-1A:** *Establish and maintain a balance of land uses throughout the community to preserve the residential character of the City at a level no greater than can be supported by the infrastructure.*

LU-1A.1 *Provide for the development of a mix and balance of housing opportunities, commercial goods and services, and employment opportunities in consideration of the needs of the business and residential segments of the community.*

The General Commercial designation intended to permit a wide range of commercial uses, which serve both local and regional needs. Appropriate uses include retail shops, financial institutions, service establishments, as well as more intense uses like restaurants, automobile sales and service establishments that benefit from exposure to major transportation routes.

The proposed physical therapy office would provide a specialized service to the community. As a permitted use, the proposed physical therapy use would not generate vehicle trips in excess of that which can be supported by the existing traffic infrastructure.

ENVIRONMENTAL DETERMINATION

The project has been reviewed for compliance with the California Environmental Quality Act (CEQA), the CEQA Guidelines, and the City environmental procedures, and has been found to be exempt under Section 15301, Existing Facilities, of the CEQA Guidelines.

FINDINGS

- A. The information presented complies with Costa Mesa Municipal Code Section 13-29(g)(2) in that:
1. The proposed use is compatible with developments in the same general area and would not be materially detrimental to other properties within the area. Based on the applicant's description of the use and the floor plan for the proposed physical therapy use, an adequate number of on-site parking spaces are provided. A total of nine parking spaces are required for the proposed use based on a medical parking ratio but seven on-site parking spaces will be provided, resulting in a shortfall of two spaces. However, the applicant indicates that the business would require a maximum of two employees with no more than four patients accommodated at the site at one time. Therefore, the seven parking spaces are adequate to serve the proposed physical therapy use.
 2. Granting the minor conditional use permit will not be materially detrimental to the health, safety, and general welfare of the public or otherwise injurious to property or improvements within the immediate neighborhood. The proposed physical therapy use will be compatible with the surrounding businesses. The physical therapy office is small in scale with a limited number of staff and patients; treatments will be scheduled by appointment only basis. Consequently, the proposed use will not yield the same parking demand as a typical medical office.
 3. Granting the minor conditional use permit will not allow a use, density, or intensity which is not in accordance with the General plan designation. The General Commercial designation intended to permit a wide range of commercial uses, which serve both local and regional needs. The proposed physical therapy use would provide a specialized medical service to the community and, as a permitted use, would not generate vehicle trips in excess of that which can be supported by the existing traffic infrastructure.
- B. The project has been reviewed for compliance with the California Environmental Quality Act (CEQA), the CEQA Guidelines, and the City environmental procedures, and has been found to be exempt under Section 15301, Existing Facilities, of the CEQA Guidelines

- C. The project is exempt from Chapter XII, Article 3, Transportation System Management, of Title 13 of the Costa Mesa Municipal Code.

CONDITIONS OF APPROVAL

- Plng. 1. The conditions of approval, code requirements, and special district requirements of ZA-15-31 shall be blueprinted on the face of the site plan as part of the plan check submittal package (if plan check is required).
2. The use shall be limited to the type of operation as described in the staff report as described herein:
- A maximum of two employees (physical therapist and physical therapist aide/administrative assistant) shall be on-site at any one time.
 - A maximum of four patients shall be allowed to be treated at the same time.

Any change in the operational characteristics including, but not limited to, the hours of operation and additional services provided, shall require review by the Planning Division and may require an amendment to the conditional use permit, subject to either Zoning Administrator or Planning Commission approval, depending on the nature of the proposed change. The applicant is reminded that Code allows the Planning Commission to modify or revoke any planning application based on findings related to public nuisance and/or noncompliance with conditions of approval [Title 13, Section 13-29(o)].

3. The zoning application herein approved shall be valid until revoked. The Director of Economic & Development/Deputy CEO or his designee may refer the zoning application to the Planning Commission for modification or revocation at any time if, in his opinion, any of the following circumstances exist: 1) the use is being operated in violation of the conditions of approval; 2) the use is being operated in violation of applicable laws or ordinances or 3) one or more of the findings upon which the approval was based are no longer applicable.
4. A copy of the conditions of approval for the conditional use permit must be kept on premises and presented to any authorized City official upon request. New business/property owners shall be notified of conditions of approval upon transfer of business or ownership of land.
5. The applicant shall direct clients who drive to the site to park in the rear parking lot and note the prohibition of parking in the neighboring parking lot (Hub Auto Supply).
6. If parking shortages or other parking-related problems arise, the business operator shall institute appropriate operational measures necessary to minimize or eliminate the problem, including but not limited to reducing the number of patient appointments or restricting the operating hours of the business.

7. The use shall be conducted, at all times, in a manner that will allow the quiet enjoyment of the surrounding neighborhood. The applicant and/or operator shall institute whatever security and operational measures are necessary to comply with this requirement.
8. The exterior illumination of the façade shall be removed and a new sign shall be installed in accordance with the City of Costa Mesa Zoning Code sign standards.
9. A screened trash bin storage area shall be provided within 60 days of the Zoning Administrator approval.
10. The parking lot shall be repaired, slurry sealed, and restriped within 60 days of the Zoning Administrator approval.
11. If any section, division, sentence, clause, phrase or portion of this approval is for any reason held to be invalid or unconstitutional by a decision of any court of competent jurisdiction, such decision shall not affect the validity of the remaining provisions.
12. Applicant shall defend, indemnify, and hold harmless the City, its elected and appointed officials, agents, officers and employees from any claim, action, or proceeding (collectively referred to as "proceeding") brought against the City, its elected and appointed officials, agents, officers or employees arising out of City's approval of the project, including but not limited to any proceeding under the California Environmental Quality Act. The indemnification shall include, but not be limited to, damages, fees and/or costs awarded against the City, if any, and cost of suit, attorney's fees, and other costs, liabilities and expenses incurred in connection with such proceeding whether incurred by the applicant, the City and/or the parties initiating or bringing such proceeding. This indemnity provision shall include the applicant's obligation to indemnify the City for all the City's costs, fees, and damages that the City incurs in enforcing the indemnification provisions set forth in this section. City shall have the right to select the attorney defending it, if it elects to do so.

Trans. 13. The gate at the front of the property shall be a minimum of 20 feet from the curb face.

CODE REQUIREMENTS

The following list of federal, state and local laws applicable to the project has been compiled by staff for the applicant's reference. Any reference to "City" pertains to the City of Costa Mesa.

- PIng. 1. This use, as well as all contractors and subcontractors doing construction-related activity on the site, shall have valid business licenses to do

business in the City of Costa Mesa. Final inspections, final occupancy and utility releases will not be granted until all such licenses have been obtained.

2. Approval of the zoning application is valid for one year from the effective date of this approval and will expire at the end of that period unless applicant establishes the use by one of the following actions: 1) obtains building permit(s) for the authorized construction and initiates construction; and/or 2) obtains a business license and/or legally establishes the business. If the applicant is unable to establish the use/obtain building permits within the one-year time period, the applicant may request an extension of time. The Planning Division must receive a written request for the time extension prior to the expiration of the zoning application.
3. The project is subject to compliance with all applicable Federal, State, and local laws. A copy of the applicable Costa Mesa Municipal Code requirements has been forwarded to the Applicant and, where applicable, the Authorized Agent, for reference.
4. Street address shall be visible from the fascia adjacent to the main entrance or on another prominent location. Numerals shall be a minimum 12 inches in height with not less than three-fourth-inch stroke and shall contrast sharply with the background. Identification of individual units shall be provided adjacent to the unit entrances. Letters or numerals shall be 4 inches in height with not less than one-fourth-inch stroke and shall contrast sharply with the background.
5. If the gate is required to be relocated, it will either be setback a minimum of 20 feet from the front property line or replaced with a wrought iron gate or other decorative material, under the direction of the Planning staff.
6. Any mechanical equipment such as air-conditioning equipment and duct work shall be screened from view in a manner approved by the Planning Division.
7. Parking stalls shall be double-striped in accordance with City standards.
- Bldg. 8. Comply with the requirements of the following adopted codes: 2013 California Building Code, 2013 California Electrical Code, 2013 California Mechanical Code, 2013 California Plumbing Code, 2013 California Green Building Standards Code, and 2013 California Energy Code (or the applicable adopted California Building Code, California Electrical Code, California Mechanical Code, California Plumbing Code, and California Green Building Standards and California Energy Code at the time of plan submittal or permit issuance) and California Code of Regulations, also

known as the California Building Standards Code, as amended by the City of Costa Mesa.

9. Requirements for accessibility to sites, facilities, buildings and elements by individuals with disabilities shall comply with chapter 11B of the 2013 California Building Code.
 - Accessibility shall be to and through the front door and to the commercial space from the public sidewalk.
 - Accessible restrooms/bathrooms in the commercial space.
 - Accessible parking.
 - Accessible entry door, ramps, landings, sidewalks, hallways, strike edge clearances, and elevation changes.
 - Additional access requirements may be necessary as per 2013 California Building Code.

- Bus. Lic. 10. If construction occurs, all contractors and subcontractors must have valid business licenses to do business in the City of Costa Mesa. Final inspections, final occupancy and utility releases will not be granted until all such licenses have been obtained.

SPECIAL DISTRICT REQUIREMENTS

The requirements of the following special districts are hereby forwarded to the applicant:

- AQMD 1. Applicant shall contact the Air Quality Management District (800) 288-7664 for potential additional conditions of development or for additional permits required by AQMD.

EXECUTIVE SUMMARY

Problem:

The cost of healthcare as most view it, is expensive. Furthermore, it is clear that the cost to the patient is likely to rise considerably. As a result there is a growing need for physical therapy services which are affordable. Currently in the city of Costa Mesa, there are no physical therapy clinics who's business model accepts insurance plans offered through the affordable care act of California and Medi Cal. Those insured by these plans are often the middle-lower income patient populations. The typical model targets higher wagger earners who will pay cash or have insurance plans that require less financial responsibility from the patient and may often pay the Therapist higher rate.

Objective:

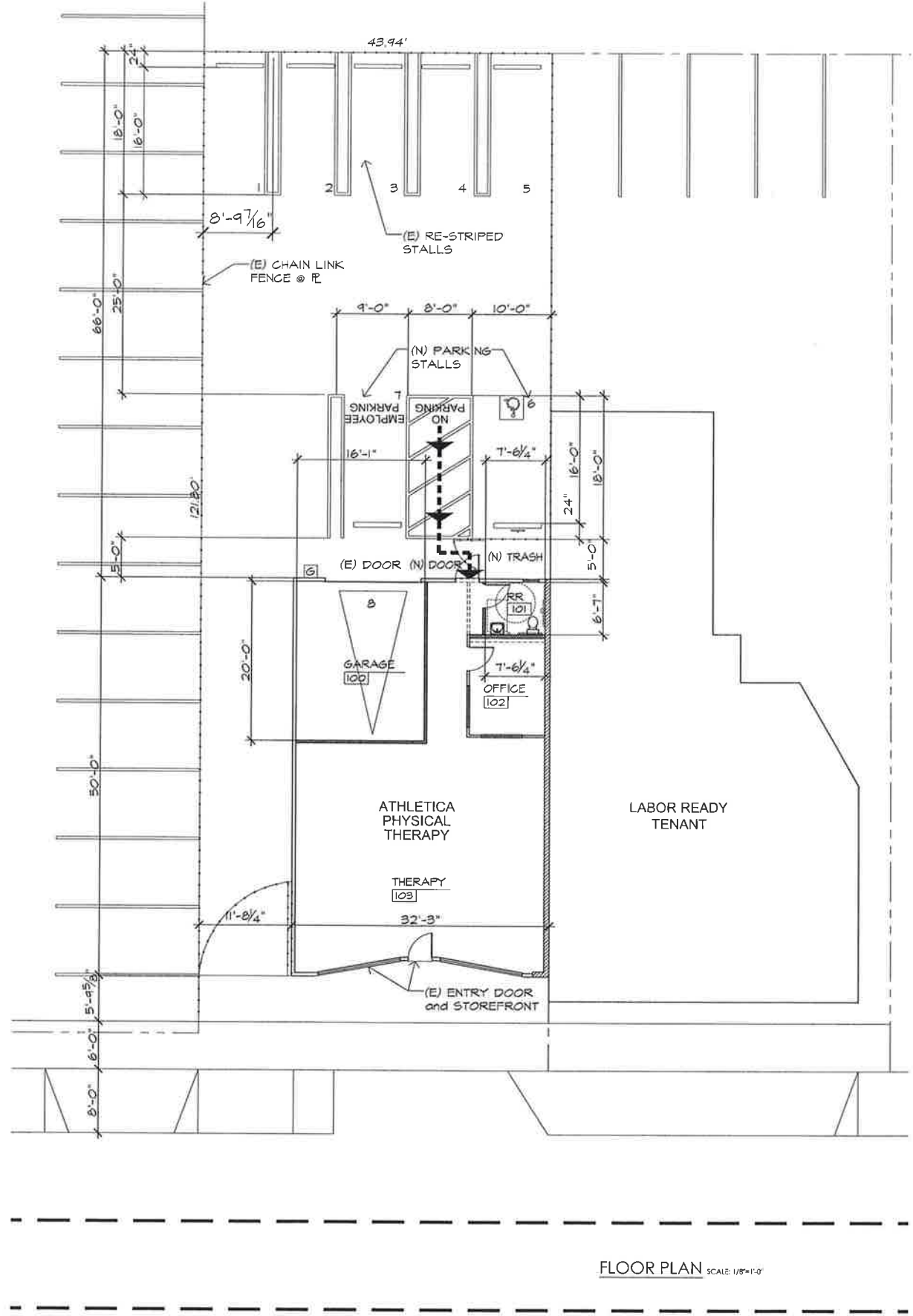
Find an office location in the city of Costa Mesa which our business model can afford, *and* is within walking or biking distance of our target population(s). This will allow us to establish a rehabilitation facility with the focus on services targeted to the underserved middle-lower income patient who desperately need affordable health care services. It is our desire to match our significant business experience, professional and community relationships, and advanced professional training with the increasing demand for affordable and advanced level rehabilitative care. With the advances in technology and knowledge in the past decade, these services are becoming more affordable to deliver. Our long term objective is to attain a not for profit status so that we may solicit donations from professional organizations and our local clients/patients who have encouraged us to pursue this objective.

Goals:

Establish a 1200 square foot facility located within 1/2 mile radius of Harbor Blvd and Victoria ave in the city of Costa Mesa. This facility will incorporate our advanced level of training and the use of technology (video and feedback systems) to deliver a modern and highly specific assessment and corrective treatment plan for all patient populations. This professional service model requires a higher demand for one-to-one (Therapist;Patient) treatment. Managing our fixed expenditures is the critical factor to the success of this business model. This location at 2112 Harbor Blvd fits our target perfectly.

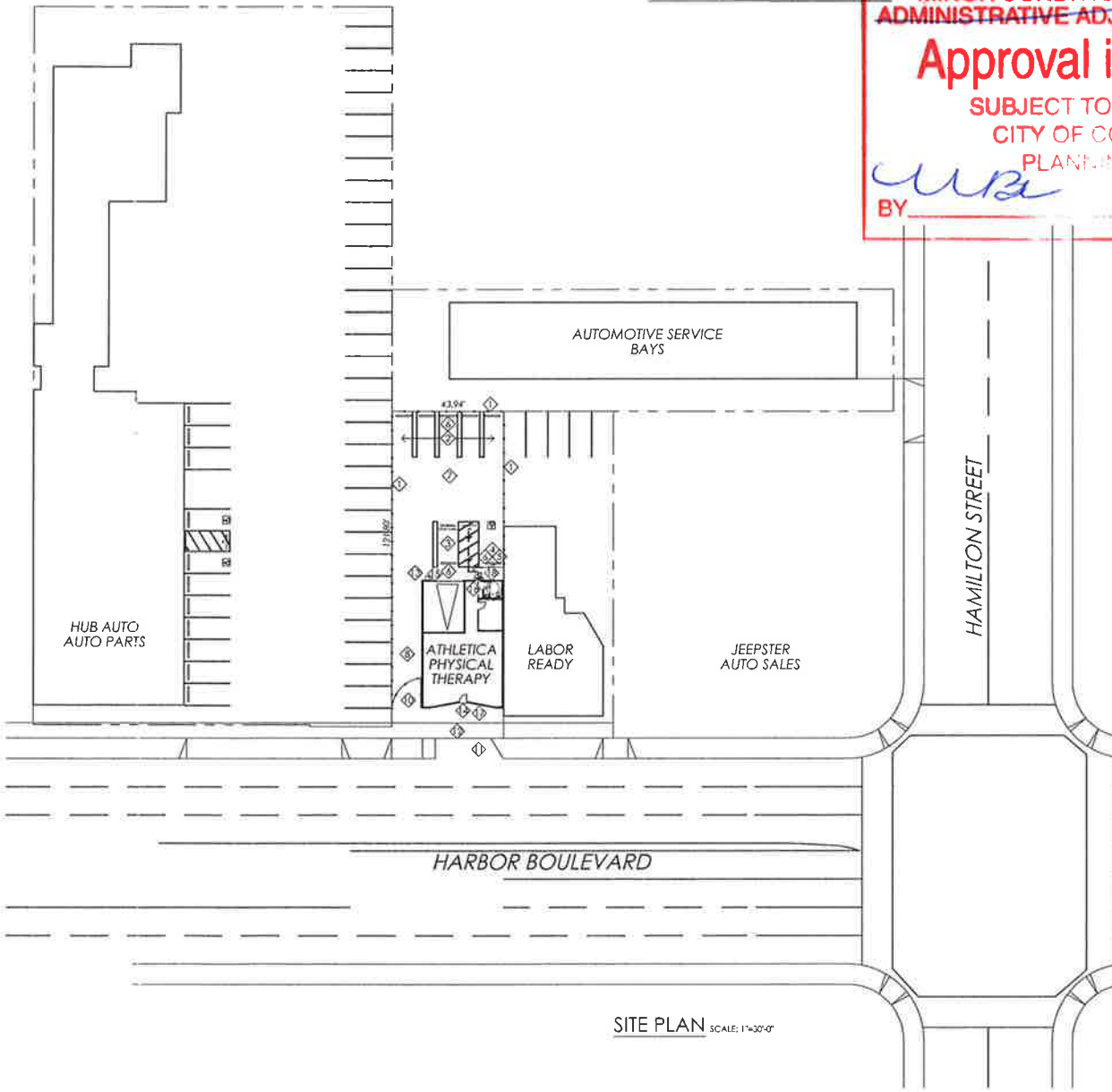
Services Offered:

- Traditional physical Therapy services
 - Industrial care services/Risk management evaluation
 - Biomechanical based evaluation
 - Free community education workshops
 - Athletic recovery treatment
 - Baseline concussion testing and post concussion injury management
 - Vestibular rehab (Balance therapy)
-



FRONT / WEST ELEVATION SCALE: 1/8"=1'-0"

MINOR CONDITIONAL USE PERMIT
 ADMINISTRATIVE ADJUSTMENT NO. 7A-15-31
Approval in Concept
 SUBJECT TO CONDITIONS
 CITY OF COSTA MESA
 PLANNING DEPT.
 BY: *WPA* DATE: 9-24-15



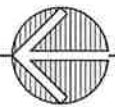
- FLOOR PLAN NOTES**
- CHAIN LINK FENCE
 - RE-STRIPED STALLS
 - (N) EMPLOYEE PARKING
 - (N) ACCESSIBLE VAN STALL and LOADING ZONE
 - (N) ACCESSIBLE VAN STALL SIGNAGE
 - (N) CONCRETE WHEEL STOP
 - ASPHALT PARKING LOT DRIVE ISLE
 - ASPHALT DRIVE ISLE
 - DRIVEWAY
 - CHAIN LINK GATE
 - TURN OUT
 - CONCRETE SIDEWALK
 - GAS METER
 - ENTRY DOOR
 - GARAGE DOOR
 - (N) DOOR
 - STOREFRONT
 - (N) CHAIN LINK TRASH ENCLOSURE W/ VINYL SLATS.
- NOTES:**
- REPAIR and RESURFACE THE ASPHALT PARKING LOT and DRIVEWAY. RE-STRIPE THE PARKING LOT PER THE CITY OF COSTA MESA STANDARDS.
- PROJECT SUMMARY**
- | | |
|----------------------|-------------|
| EXISTING USE: | RETAIL |
| PROPOSED USE: | MEDICAL |
| SITE SQUARE FOOTAGE: | 5,351.89 SF |
| | .123 ACRES |
| LEASE SPACE: | 1,234 SF |
| GARAGE: | 347 SF |
| TOTAL BUILDING S.F.: | 1,581 SF |
| REQ'D. PRKG.: | 6/1000 |
| REQ'D. PRKG.: | 7 STALLS |
| PROVD. PRKG.: | 8 STALLS |

ATHLETICA PHYSICAL THERAPY

2112 SOUTH HARBOR BLVD.
 COSTA MESA, CA 92627
 Phone: (714) 504-2238

ATHLETICA PHYSICAL THERAPY T.I.

2112 SOUTH HARBOR BOULEVARD
 COSTA MESA, CA 92627



ARCHITECTURE PLANNING INTERIORS
WILLIAM MASON ARCHITECT, INC.
 3276 DAKOTA AVENUE
 COSTA MESA, CALIFORNIA 92626
 714.427.0688 WWW.WILLIAMMASONARCHITECT.COM
 15.021.00 B/A/15



CITY OF COSTA MESA

P.O. BOX 1200 • 77 FAIR DRIVE • CALIFORNIA 92628-1200

DEVELOPMENT SERVICES DEPARTMENT

September 24, 2015

Jeff Bergsma
221 Main St.
Huntington Beach CA, 92660

**RE: ZONING APPLICATION ZA-15-33
MINOR CONDITIONAL USE PERMIT TO CONSTRUCT AN OVERSIZE
GARAGE
3050 CAPRI LANE**

Dear Mr. Bergsma:

City staff's review of your zoning application for the above-referenced project has been completed. The application, as described in the attached project description, has been approved, based on the findings and subject to the conditions of approval and code requirements (attached). The decision will become final at 5:00 p.m. on October 1, 2015, unless appealed by an affected party, including filing of the necessary application and payment of the appropriate fee, or called up for review by a member of the Planning Commission or City Council.

If you have any questions regarding this letter, please feel free to contact the project planner, Daniel Inloes, at (714) 754-5088, or at daniel.inloes@costamesaca.gov.

Sincerely,

WILLA BOUWENS-KILLEEN, AICP
Zoning Administrator

Attachments: Project Description
Findings
Conditions of Approval, Code Requirements, and Special District
Approved Conceptual Plans

cc: Engineering
Fire Protection Analyst
Building Safety Division

PROJECT DESCRIPTION

Location

The subject property (3050 Capri Lane) is located in the middle of Capri Lane which is in an R1 (Single Family Residential) zone. The lot is 12,500 square feet and has an existing one-story single family residence and attached garage. The subject property is surrounded by single-family two-story properties also zoned R1 and abut a private golf course.

Proposed Project

The applicant proposes to demolish the existing one-story single family residence and construct a new two-story single family residence with basement. Within the proposed basement is a 1,423 square foot garage (700 square foot maximum allowed). The garage will contain our parking spaces.

A minor conditional use permit is required for the excess garage area; all other development standards are to be satisfied.

ANALYSIS

The oversized garage will provide four covered parking spaces for the residence. The garage, though oversized, meets all required setback and separation requirements. The bulk of the garage will not be readily visible from the street since it is subterranean. The basement is only 2.5 feet above finished grade (maximum 4 feet above grade permitted) and the entrance to the garage is from the side of the residence not the front further limiting visibility. Furthermore the size of the garage is in scale to the rest of the proposed house which will have 4,691 square feet of living area.

The proposed garage, as conditioned, is consistent with the Zoning Code and the City's General Plan because the proposed oversized garage should not adversely impact surrounding uses. The garage façade is below the natural grade and faces the side of an abutting residence. Additionally that side of the abutting residence has few full windows; therefore, the garage layout and design minimizes the garage's visual impact and meets Objective CD-7A.1 and CD-7A.2 of the General Plan Community Design Element:

CD-7A.1 - Ensure that new and remodeled structures are designed in architectural styles which reflect the City's diversity, yet are compatible in scale and character with existing buildings and the natural surroundings within residential neighborhoods. Develop and adopt design guidelines for residential development.

CD-7A.2 - Preserve the character and scale of Costa Mesa's established residential neighborhoods: where residential development or

redevelopment is proposed, required as a condition of approval that it is consistent with the prevailing character of existing development in the immediate vicinity, and that it does not have a substantial adverse impact on adjacent areas.

- The development proposes diverse architecture from neighbors since the garage is not visible from the front but this only enhances the aesthetic of the residence and the neighborhood.
- The garage's size is in proportion to the rest of the living area. The garage is less than a quarter of the size of the entire residence. The development of a basement allows for the entire residence to grow and maintain the same scale and character of the rest of the development.
- The neighborhood has an eclectic collection of architectural design and building layouts where there are single and two story residences and other residences where the garage faces away from the street.

FINDINGS

- A. The information presented complies with Costa Mesa Municipal Code Section 13-29(g)(2) in that:
1. The proposed use is compatible with developments in the same general area, specifically setback requirements are met and the proposed garage will have an architectural design in keeping with the proposed residence, with the bulk of the garage not readily visible from the street.
 2. Granting the Minor Conditional Use Permit will not be detrimental to the health, safety and general welfare of the public or other properties or improvements within the immediate vicinity because the new structure will have to comply with all requirements of the California Building Code.
 3. Granting the Minor Conditional Use Permit will not allow a use, density or intensity that is not in accordance with the General Plan designation for the property since the garage is a permitted subordinate structure to the proposed residence.
- B. The information presented complies with Costa Mesa Municipal Code Section 13-29(e) in that:
1. There will be a compatible and harmonious relationship between the proposed building and the site development, and use(s), and the building and site developments, and uses that exist or have been approved for the general neighborhood. The subject property is a large lot with new construction of a 4,691 S.F. home proposed, allowing the oversized garage to be in scale with the rest of

the subject site.

2. Safety and compatibility of the design of buildings, parking area, landscaping, luminaries, and other site features which may include functional aspects of the site development such as automobile and pedestrian circulation have been considered and will not be affected by the new structure.
 3. The structure complies with performance standards described elsewhere in the Zoning Code. All development standards are met and the garage is proportionally sized to the proposed residence.
 4. The structure is consistent with the General Plan, specifically Community Design Element Objective CD-7A.1 & CD-7A.2.
 5. This zoning application is for a project-specific case and is not to be construed to be setting a precedent for future development.
- C. The project has been reviewed for compliance with the California Environmental Quality Act (CEQA), the CEQA Guidelines, and the City environmental procedures, and has been found to be exempt under Section 15303, Class 3(e), New Construction, of the CEQA Guidelines.
- D. The project is exempt from Chapter XII, Article 3, Transportation System Management, of Title 13 of the Costa Mesa Municipal Code.

CONDITIONS OF APPROVAL

- Plng.
1. The project shall be limited to the type of building as described in this staff report and in the attached plans. Any change in the use, size, or design shall require review by the Planning Division and may require an amendment to the Minor Conditional Use Permit.
 2. The architectural style, colors, and materials of the proposed garage shall match the proposed residence.
 3. A minimum 10 foot by 20 foot clear inside dimension shall be provided for each of the garage spaces. The proposed garage shall be used only for non-habitable purposes.
 4. The conditions of approval, code requirements, and special district requirements of ZA-15-33 shall be blueprinted on the face of the site plan as part of the plan check submittal package.
 5. The applicant shall contact the Planning Division to arrange a Planning inspection of the site prior to occupancy permit. This inspection is to confirm that the conditions of approval and code requirements have been satisfied.
 6. All on-site utility services shall be installed underground or with the ability to be underground in the future.

- Bldg
7. Any new mechanical equipment such as air-conditioning equipment and duct work shall be screened from view in a manner approved by the Planning Division. All roof-mounted equipment is prohibited.
 8. Submit a precise grading plans, an erosion control plan and a hydrology study. If it is determined that a grading plan is not required a drainage plan shall be provided. A precise grading plan shall not be required if any of the following are met:
 - 1- An excavation which does not exceed 50 CY on any one site and which is less than 2 feet in vertical depth, or which does not create a cut slope greater than 1 ½:1 (excluding foundation area).
 - 2- A fill less than 1 foot in depth placed on natural grade with a slope flatter than 5:1, which does not exceed 50 CY on any one lot and does not obstruct a drainage course.
 - 3- A fill less than 3 feet in depth, not intended to support structures, which does not exceed 50 CY on any one lot and does not obstruct a drainage course.
 9. Submit a soils report for this project. Soil's Report recommendations shall be blueprinted on both the architectural and the precise grading plans.
 10. On graded sites the top of exterior foundation shall extend above the elevation of the street gutter at point of discharge or the inlet of an approved discharge devise a minimum of 12 inches plus 2 percent. 2013 California Residential Code CRC 403.1.7.3
 11. Lot shall be graded to drain surface water away from foundation walls. The grade shall fall a minimum of 6 inches within the first 10 feet. CRC R401.3
- Pub. Ser.
12. Applicant must plant 1-24" box tree in the public right-of-way as part of the re-development of the property. Species may be proposed by Applicant, with Maintenance Services approval.
 13. Maintain the public Right-of-Way in a "wet down" condition to prevent excessive dust and remove any spillage from the public Right-of-Way by sweeping or sprinkling.
 14. Applicant is informed Capri Lane is under a "NO OPEN CUT" moratorium. Open cutting the street pavement during the moratorium period shall require special resurfacing requirements.

CODE REQUIREMENTS

The following list of federal, state, and local laws applicable to the project has been compiled by staff for the applicant's reference. Any reference to "City" pertains to the City of Costa Mesa.

- Plng.
1. Approval of the planning application is valid for one (1) year from the effective date of this approval and will expire at the end of that period unless applicant establishes the use by obtaining building permits for the authorized construction and initiates construction. If the applicant is unable

to obtain building permits within the one-year time period, the applicant may request an extension of time. The Planning Division must receive a written request for the time extension prior to the expiration of the planning application.

2. All construction-related activity shall be limited to between the hours of 7 a.m. and 7 p.m., Monday through Friday, and 9 a.m. to 6 p.m. Saturday. Construction is prohibited on Sundays and federal holidays. Exceptions may be made for activities that will not generate noise audible from off-site, such as painting and other quiet interior work.
3. Installation of all utility meters shall be performed in a manner so as to obscure the installation from view from any place on or off the property. The installation vault, wall cabinet, or wall box shall be installed under the direction of the Planning Division.
- Bldg. 4. Comply with the requirements of the adopted 2013 California Residential Code, 2013 California Building Code, 2013 California Electrical code, 2013 California Mechanical code, 2013 California Plumbing code, 2013 California Green Building Standards Code and 2013 California Energy Code (or the applicable adopted, California Residential Code, California Building code, California Electrical code, California Mechanical code, California Plumbing Code, California Green Building Standards and California Energy Code at the time of plan submittal or permit issuance) and California Code of Regulations also known as the California Building Standards Code, as amended by the City of Costa Mesa.
- Bus. 5. All contractors and subcontractors must have valid business licenses to do Lic. business in the City of Costa Mesa. Final inspections will not be granted until all such licenses have been obtained.
- Eng. 6. For demolition, grading, or building permits involving projects with a valuation of \$10,000 or more, the contractor shall use a City-permitted hauler(s) to haul any debris or solid waste from the job site (refer to Section 8-83(h), Regulations, of Title 8 of the Costa Mesa Municipal Code). Use of a City-permitted hauler for such projects is the responsibility of the designated contractor. Non-compliance is subject to an administrative penalty as follows: \$1,000 or 3% of the total project value, whichever is greater.
7. At the time of development submit for approval an Offsite Plan to the Engineering Division and Grading Plan to the Building Division that show Sewer, Water, Existing Parkway Improvements and the limits of work on the site prepared by a registered Civil Engineer or Architect. Constructive Access approval must be obtained prior to Building or Engineering Permits being issued by the City of Costa Mesa.
8. Pay Offsite Plan Check fee per Section 13-231 of the C.C.M.M.C. and an approved Offsite Plan shall be required prior to Engineering Permits being issued by the City of Costa Mesa.
9. Obtain an encroachment permit from the Engineering Division for any work in the City public right-of-way. Pay required permit fee & cash

- deposit or surety bond to guarantee construction of off-site street improvements at time of permit per section 15-31 & 15-32, C.C.M.M.C. as approved by City Engineer. Cash deposit or surety bond amount to be determined by City Engineer.
10. Obtain a permit from the City of Costa Mesa, Engineering Division, at the time of development and then construct P.C.C. driveway approach per City of Costa Mesa Standards as shown on the Offsite Plan. Location and dimensions are subject to the approval of the Transportation Services Manager. ADA compliance required for new driveway approaches.
 11. Obtain a permit from the City of Costa Mesa, Engineering Division, at the time of development and then remove any existing driveways and/or curb depressions that will not be used and replace with full height curb and sidewalk at applicant's expense.
 12. Fulfill Drainage Fee requirements per City of Costa Mesa Ordinance No. 0119 prior to approval of Final Map/Approval of Plans.

SPECIAL DISTRICT REQUIREMENTS

The requirements of the following special districts are hereby forwarded to the applicant:

- | | | |
|-------|----|--|
| Sani. | 1. | It is recommended that the applicant contact the Costa Mesa Sanitary District at 949.645.8400 for current district requirements. |
| AQMD | 2. | Applicant shall contact the Air Quality Management District (800) 288-7664 for potential additional conditions of development or for additional permits required by AQMD. |
| CDFA | 3. | Comply with the requirements of the California Department of Food and Agriculture (CDFA) to determine if red imported fire ants exist on the property prior to any soil movement or excavation. Call CDFA at (714) 708-1910 for information. |

PLANNING APPLICATION SUMMARY

Location: 3050 Capri Lane Permit No.: ZA-15-033

Request: Allow for 1,423 square foot basement garage in new single family residence.

SUBJECT PROPERTY:

Zone: R1
 General Plan: Low Density Residential
 Lot Dimensions: 100 W x 125 D
 Lot Area: 12,500 S.F.
 Original Development: One-story, single-family residence with attached garage

SURROUNDING PROPERTY:

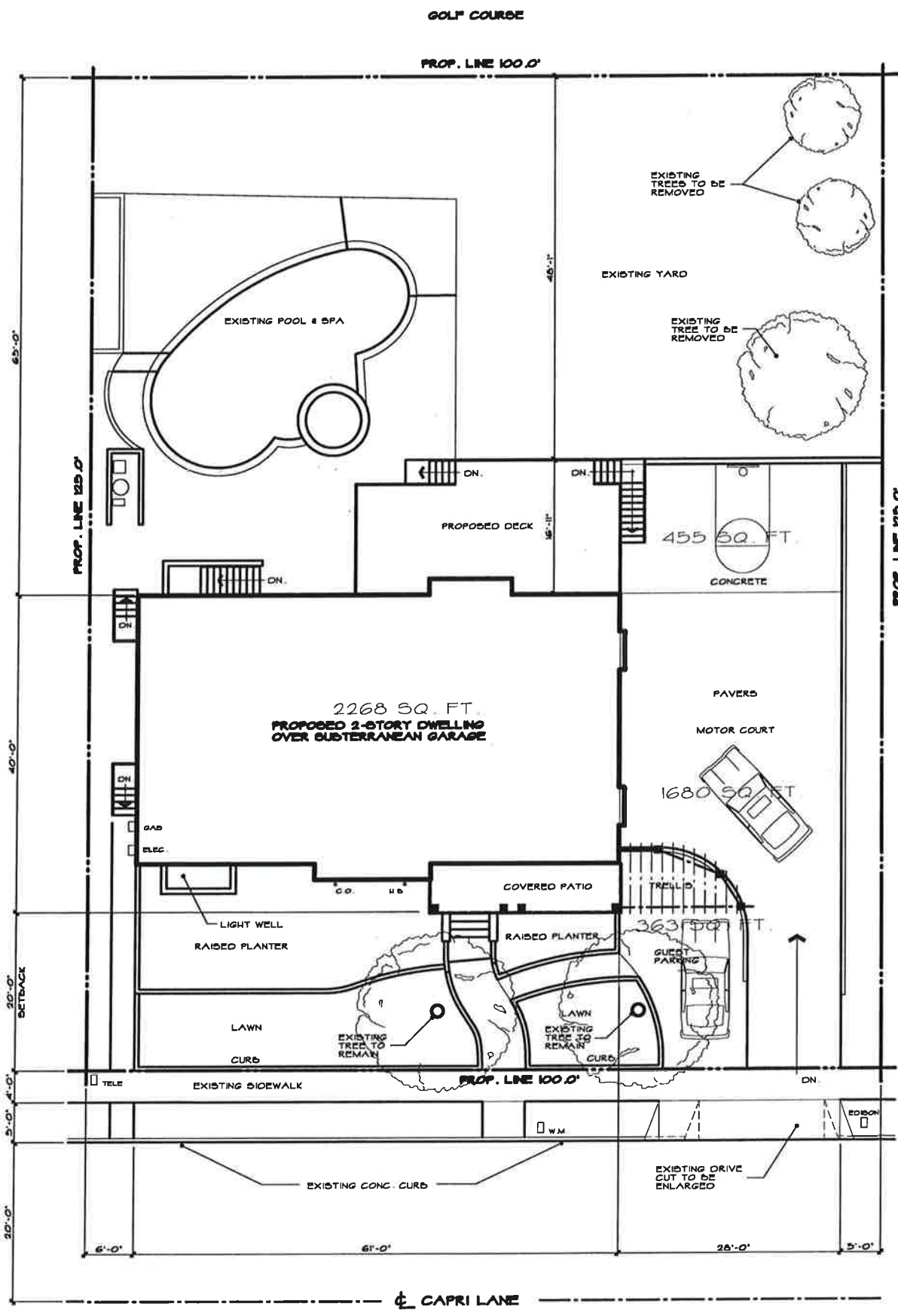
North: Single-Family Residential
 South: Single-Family Residential
 East: Golf Course
 West: Single-Family Residential

DEVELOPMENT STANDARD COMPARISON

<u>Development Standard</u>	<u>Code Requirement</u>	<u>Proposed/Provided</u>
Density:		
Zone	1 du: 6,000 S.F.	1 du: 12,500 S.F.
General Plan		
Building Coverage:		
Building – residence totals		4,691 S.F.
Building – garage	700 S.F. max.	1,423 S.F. ¹
Driveway		2,043 S.F.
TOTAL – coverage	5,397 S.F. max. (60%)	4,311 S.F. (34.5%)
Open Space	3,598 S.F. (40%)	8,189 S.F. (65.5%)
Building Height:	2 stories/27 FT max.	2 story/27 FT
Building Separation:	6 FT	N/A
Residence Setbacks:		
Front	20 FT	20 FT
Side (left/right)	5 FT /5 FT	6 FT / 33 FT
Rear	20 FT	48 ft 1 in
Residential Design Guidelines		
Second Story Setback	10 FT	NA
Second vs First Story Ratio	100%	93%
Parking Totals:		
Covered	3	3
Open	2	2
TOTAL	5	5

Final Action: Approved with conditions
 Environmental Determination: Exempt

1. Minor Conditional Use Permit requested



SITE PLAN



NOTE: REFER TO CIVIL ENGINEER'S DRAWINGS FOR GRADES, DRAINAGE AND OTHER SITE STRUCTURES SUCH AS RETAINING WALLS.

SHEET INDEX

SITE PLAN / GENERAL DATA	A1
CAL GREEN REQUIREMENTS	CG1
TITLE 24 ENERGY CALCS.	T-24.1
TITLE 24 ENERGY CALCS.	T-24.2
GARAGE / BASEMENT PLAN	A2
FIRST FLOOR PLAN	A3
SECOND FLOOR PLAN	A4
ROOF PLAN	A5
EXTERIOR ELEVATIONS	A6
EXTERIOR ELEVATIONS	A7
BUILDING SECTIONS	A8
BUILDING SECTIONS	A9
GARAGE / BASEMENT UTILITY	A10
FIRST FLOOR UTILITY	A11
SECOND FLOOR UTILITY	A12
STRUCTURAL NOTES	SN1
FOUNDATION PLAN	S1
FIRST FLOOR FRAMING	S2
SECOND FLOOR FRAMING	S3
ROOF FRAMING	S4
DETAILS	D1
DETAILS	D2
DETAILS	D3
DETAILS	D4
DETAILS	D5
PRECISE GRADING PLAN	1

GENERAL DATA

PROJECT DESCRIPTION
A PROPOSED 2-STORY SINGLE-FAMILY DWELLING OVER A SUBTERRANEAN GARAGE.

OCCUPANCY R-3 / U
CONSTRUCTION TYPE III-B SPRINKLERED
ALL RELATED WORK SHALL CONFORM TO THE:
2013 EDITION OF THE C.R.C.
2013 EDITION OF THE C.M.C.
2013 EDITION OF THE C.P.C.
2013 EDITION OF THE C.E.C.
2013 BUILDING ENERGY EFFICIENCY STANDARDS (TITLE 24 ENERGY CODE)
2013 CALIFORNIA GREEN BUILDING STANDARDS CODE

PROPERTY ADDRESS
3050 CAPRI LANE
COSTA MESA, CA 92626

LEGAL DESCRIPTION
LOT 21
TRACT 2998
A.P. # 139-461-21

LEGAL OWNER
JAMES RIGHEIMER
3050 CAPRI LANE
COSTA MESA, CA 92626

PLANS PREPARED BY:
ARCHITECT
JEFF BERGSMAN
221 MAIN STREET SUITE H
HUNTINGTON BEACH, CA 92648
(714) 536-5050
STRUCTURAL ENGINEER
CRAIG STANGER
204 E. WESTFORD DR. 'A'
ANAHEIM, CA 92806
(714) 716-6691

PLANNING DATA

ZONE	R1
LOT SIZE	12,500 SQ. FT.
NEW BUILDING AREAS	
BASEMENT - GARAGE	1,423 SQ. FT.
BASEMENT - BONUS ROOM	688 SQ. FT.
TOTAL BASEMENT	2,111 SQ. FT.
FIRST LEVEL LIVING	2,071 SQ. FT.
COVERED PORCH	147 SQ. FT.
OPEN REAR DECK	503 SQ. FT.
SECOND LEVEL LIVING	1,932 SQ. FT.
OPEN FRONT DECK	84 SQ. FT.
OPEN REAR BALCONY	157 SQ. FT.
TOTAL LIVING	4,691 SQ. FT.
TOTAL BUILDING	6,114 SQ. FT.
SITE COVERAGE AREAS	
BUILDING (INCLUDES COVERED PORCH)	2,268 SQ. FT.
DRIVEWAY TO BASEMENT	1,600 SQ. FT.
GUEST PARKING ON GRADE	363 SQ. FT.
BASKETBALL COURT	2,111 SQ. FT.
OPEN SPACE	
SITE COVERAGE AT 4.311 SQ. FT.	34.5 %
OPEN SPACE AT 8,109 SQ. FT.	65.5 %



MINOR CONDITIONAL USE PERMIT/
ADMINISTRATIVE ADJUSTMENT NO. ZA-15-33
Approval in Concept
SUBJECT TO CONDITIONS
CITY OF COSTA MESA
PLANNING DEPT.
BY DI DATE 9/24/2015

DATE: 7/21/15	SCALE: 1/4"=1'-0"
CAD FILE: ...	
CAPRI	
JEFF BERGSMAN ARCHITECT	3050 CAPRI LANE COSTA MESA CALIFORNIA
TEAM D • G • B • I • S • H	
714 536 5050 221 MAIN STREET SUITE H HUNTINGTON BEACH, CA 92648 THE 714 536 5050	A1

PLAN KEY NOTES

- 1 22" DEEP FULLMAN (STAIN GRADE) WITH 36" HIGH STONE COUNTERTOP AND 6" SPLASH.
- 2 MIRROR FACED RECESSED MEDICINE CABINET.
- 3 1/4" P.P.G. MIRROR.
- 4 CERAMIC OR STONE TILES OVER HOT-MOPPED SHOWER PAN AND 3" CURB - SLOPE FLOOR TO DRAIN. SET TILED IN MORTAR OVER LATH AND SCRATCH COAT OVER WATERPROOF MEMBRANE. EXTEND WALLS TO A MINIMUM 12" ABOVE SHOWER FLOOR. PROVIDE APPROVED SHATTER-PROOF GLASS ENCLOSURE WITH MINIMUM 24" WIDE DOOR.
- 5 PROVIDE MECHANICAL VENTILATION THIS ROOM CAPABLE OF PROVIDING 3 AIR CHANGES PER HOUR - REFER TO ELECTRICAL DRAWINGS.
- 6 FORCED AIR UNIT (FAU) PLACED ON 18" HIGH PLATFORM.
- 7 GAS FIRED IN-LINE TANKLESS WATER HEATER WITH PVC VENT TO O.S.A.
- 8 3-STOP RESIDENTIAL ELEVATOR BY WAUPAGA ELEVATOR COMPANY SERIES Q22 - MANUFACTURER'S PHONE # (920) 491-8052. LOCAL REP. "MC KINLEY ELEVATOR" ATTN: MIKE BURKE - PHONE # (494) 261-9222. CAB MATERIALS AND FINISH AS SELECTED BY OWNER.
CONTRACTOR SHALL CONFER WITH MANUFACTURER'S REP. TO DETERMINE ALL FRAMING AND ELECTRICAL REQUIREMENTS.
- 9 ELEVATOR EQUIPMENT PER MANUFACTURER'S SPECS. - REFER TO KEY NOTE #8 THIS SHEET.
- 10 WOOD FRAMED STAIR WITH PLYWOOD TREADS AND KICKS TO RECEIVE CARPET. PROVIDE STAIR MOUNTED WOOD HANDRAIL 36" ABOVE STAIR NOSING. REFER TO DETAILS "1/05" THROUGH "11/05" FOR FURTHER INFO.
- 11 CONCRETE LANDING AND STAIRS.
- 12 WALL MOUNTED HANDRAIL 36" ABOVE STAIR NOSING.
- 13 12" CONCRETE BLOCK.
- 14 2X6 STUD WALL.
- 15 PROVIDE (1) LAYER OF 5/8" TYPE "X" GYPBOARD AT CEILING AND WALLS OF GARAGE BETWEEN DWELLING.
- 16 PROVIDE (1) LAYER OF 5/8" TYPE "X" GYPBOARD AT ALL SURFACES UNDER STAIR.
- 17 DUCT CHASE ABOVE.
- 18 TRACE OF BUILDING ABOVE.
- 19 TRACE OF PORCH ABOVE.
- 20 TRACE OF DECK ABOVE.
- 21 TRACE OF STAIR ABOVE.
- 22 STAIR MOUNTED HANDRAIL 36" ABOVE STAIR NOSING.

WALL LEGEND

-  NEW WALL (2X4 STUDS AT 16" O.C. TYPICAL) (2X6 STUDS AT 16" O.C. WHERE NOTED) COVER INTERIOR SIDE WITH 5/8" GYP BOARD PER INTERIOR FINISH SCHEDULE AND REFER TO EXTERIOR ELEVATIONS FOR EXTERIOR FINISH AND NOTES.
-  8" CONCRETE BLOCK WALL (12" BLOCK WHERE NOTED) - REFER TO STRUCTURAL DRAWINGS.

INSULATION NOTES

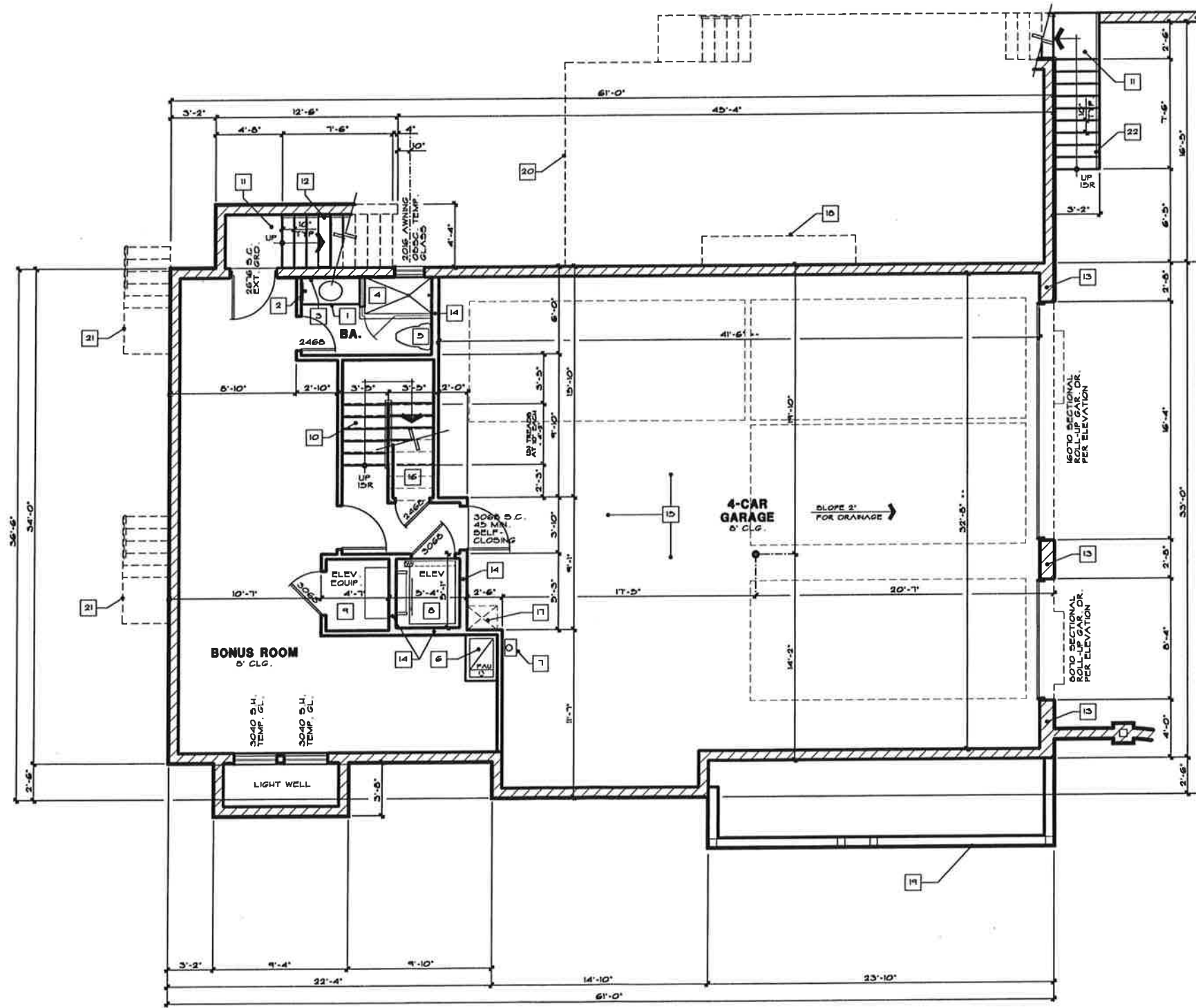
1. ALL EXTERIOR WALLS OF THE CONDITIONED SPACE SHALL RECEIVE R-13 INSULATION.
2. ALL CEILINGS SHALL RECEIVE R-30 INSULATION.
3. FLOOR OVER GARAGE SHALL RECEIVE R-19 INSULATION.
4. REFER TO TITLE 24 FORMS AND CALCS. SHEET "T-24".
5. INSULATE ALL PLUMBING WALLS WHERE OCCURS.

GLAZING NOTES

1. ALL NEW GLAZING SHALL BE DUAL PANE.
2. REFER TO TITLE 24 FORMS AND CALCS. SHEET "T-24".
3. ALL SAFETY GLAZING SO CALLED FOR ON PLANS SHALL BE ETCH MARKED AS SO APPROVED.

GENERAL PLAN NOTES

1. DIMENSIONS NOTED SHALL TAKE PRECEDENCE OVER SCALE.
2. ALL DIMENSIONS MEASURE TO THE FACE OF STUD UNLESS NOTED OTHERWISE.
3. WATER CLOSETS SHALL BE ULTRA LOW FLUSH TYPE WITH 1.28 GAL. MAXIMUM PER FLUSH. (CPC DECT. 402.2. (CBC 17921.3(B))
4. CONTROL VALVE FOR SHOWER OR TUB-SHOWER SHALL BE OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE PER CPC 410.7.
5. ALL SHOWERS AND TUBS SHALL HAVE ANTI-SCALDING VALVES.
6. ALL THE AIR DUCT EXHAUST OUTLETS SHALL BE 3' AWAY FROM THE OPENINGS INTO THE BUILDING PER SECTION 609.10.
7. EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE EXTERIOR DOOR OR WINDOW APPROVED FOR EMERGENCY ESCAPE/RESCUE IT SHALL HAVE THE FOLLOWING:
 - A) A MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT.
 - B) A MINIMUM CLEAR OPENING HEIGHT OF 24 INCHES.
 - C) A MINIMUM CLEAR OPENING WIDTH OF 20 INCHES.
 - D) A MAXIMUM FINISHED SILL HEIGHT OF 44 INCHES.
 - E) BARD, GRILLS OR GRATES SHALL HAVE APPROVED RELEASE MECHANISMS. (CBC DECT. 1204)
8. PROVIDE HOUSE STREET ADDRESS NUMBERS VISIBLE AND LEGIBLE FROM THE STREET.
9. CONTRACTOR SHALL VERIFY ALL DIMENSIONS FOR APPLIANCES, PLUMBING FIXTURES, CABINETS, THEIR REQUIREMENTS FOR BACKING/SUPPORT, THEIR REQUIREMENTS FOR MECHANICAL/ELECTRICAL/PLUMBING CONNECTIONS AND ANY OTHER SPECIAL REQUIREMENTS BEFORE LAYING OUT WALLS.



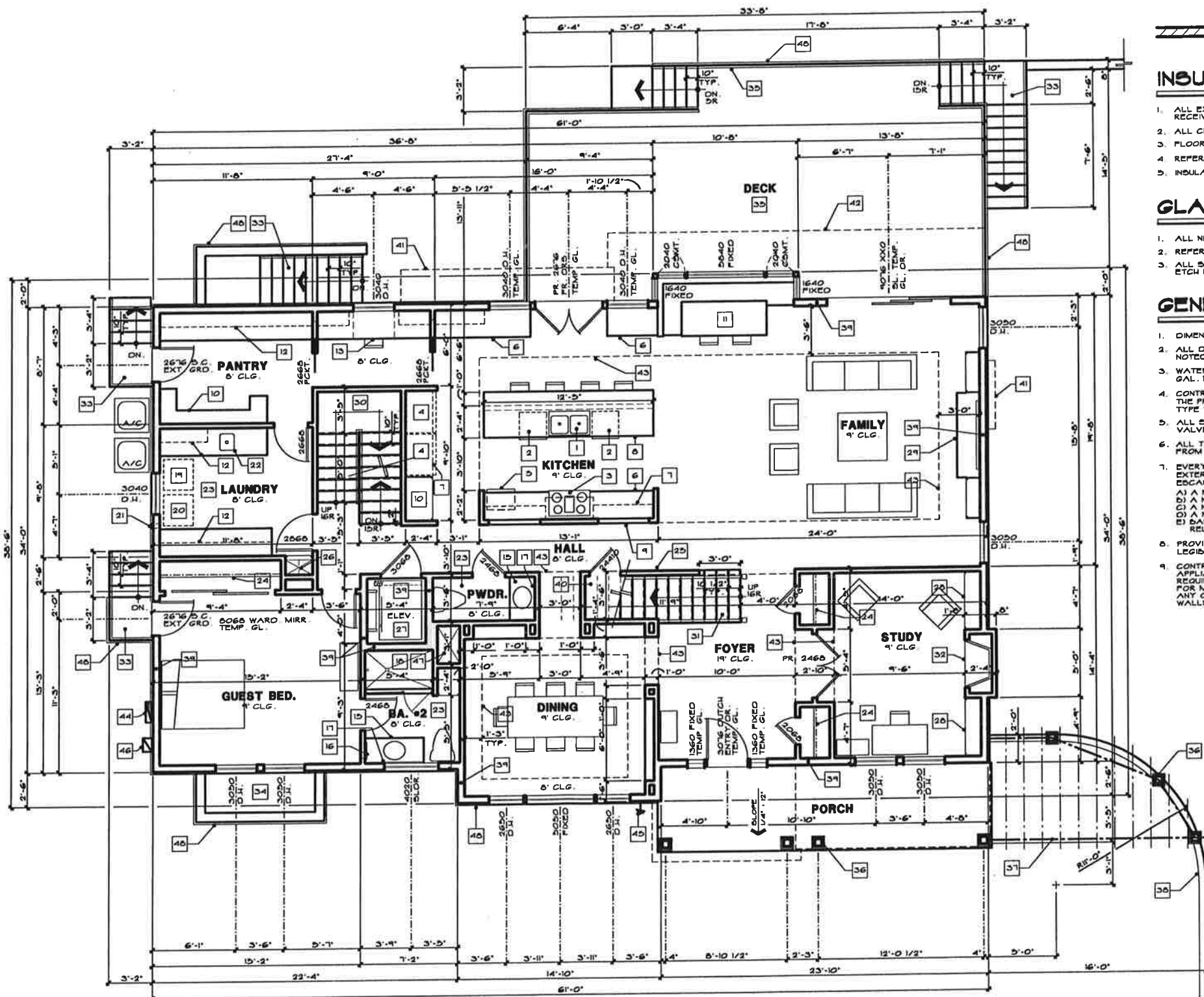
GARAGE / BASEMENT



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PLAN KEY NOTES

- 1 KITCHEN SINK WITH GARBAGE DISPOSAL - VERIFY DIMENSIONS WITH MANUFACTURER'S SPECIFICATIONS.
- 2 DISHWASHER - VERIFY DIMENSIONS WITH MANUFACTURER'S SPECIFICATIONS.
- 3 COMBINATION RANGE/OVEN WITH HOOD ABOVE (HOOD TO HAVE LIGHT AND FAN DUCTED TO O.S.) VERIFY DIMENSIONS WITH MANUFACTURER'S SPECIFICATIONS.
- 4 BUILT-IN REFRIGERATOR/FREEZER - PROVIDE PLUMBING FOR ICE MAKER (RECESSED IN WALL) - VERIFY DIMENSIONS WITH MANUFACTURER'S SPECIFICATIONS.
- 5 MICROWAVE DRAWER - VERIFY DIMENSIONS WITH MANUFACTURER'S SPECIFICATIONS.
- 6 24" DEEP BASE CABINET (STAIN GRADE) WITH 36" HIGH STONE COUNTERTOP AND SPLASH (WHERE OCCURS).
- 7 12" DEEP OVERHEAD CABINETS (STAIN GRADE) 24" DEEP ABOVE REFRIGERATOR.
- 8 ISLAND CABINET (STAIN GRADE) WITH 36" HIGH STONE TOP.
- 9 42" HIGH STONE PASS-THRU SHELF.
- 10 FULL HEIGHT ADJUSTABLE PANTRY SHELVES.
- 11 BUILT-IN NOOK SEATING AND TABLE.
- 12 24" DEEP BASE LINEN CABINET (STAIN GRADE) WITH 36" HIGH STONE TOP AND 12" DEEP UPPER CABINET (STAIN GRADE) 24" ABOVE STONE TOP.
- 13 24" DEEP BASE DESK CABINET (STAIN GRADE) WITH 12" DEEP UPPER PER OWNER.
- 14 24" DEEP FULL HEIGHT (STAIN GRADE) LINEN.
- 15 22" DEEP PULLMAN (STAIN GRADE) WITH 36" HIGH STONE COUNTERTOP AND 6" SPLASH.
- 16 MIRROR FACED RECESSED MEDICINE CABINET.
- 17 1/4" P.P.G. MIRROR.
- 18 CERAMIC OR STONE TILES OVER HOT-MAPPED SHOWER PAN AND 3" CURB - SLOPE FLOOR TO DRAIN. SET TILED IN MORTAR OVER LATH AND SCRATCH COAT OVER WATERPROOF MEMBRANE. EXTERIOR WALLS TO A MINIMUM 12" ABOVE SHOWER FLOOR. PROVIDE APPROVED SHATTER-PROOF GLASS ENCLOSURE WITH MINIMUM 24" WIDE DOOR.
- 19 WASHER SPACE - PROVIDE PLUMBING CONNECTIONS (WASTE AND WATER) RECESSED IN WALL.
- 20 DRYER SPACE - PROVIDE VENT TO OUTSIDE AIR - PROVIDE VENT BOX RECESSED IN WALL.
- 21 DRYER VENT: 5" DIA. VENT X 1' LONG WITH (2) ELBOWS. PROVIDE BACKDRAFT DAMPER AT POINT OF EXIT.
- 22 LAUNDRY SINK - VERIFY DIMENSIONS WITH MANUFACTURER'S SPECIFICATIONS.
- 23 PROVIDE MECHANICAL VENTILATION THIS ROOM CAPABLE OF PROVIDING 5 AIR CHANGES PER HOUR - REFER TO ELECTRICAL DRAWINGS.
- 24 SHELF AND POLE.
- 25 RETURN AIR GRILLE (R.A.G.).
- 26 22 GA. LINED LAUNDRY CHUTE.
- 27 ELEVATOR PER NOTED ON SHEET 'A2'.
- 28 BUILT-IN FULL HEIGHT (STAIN GRADE) BOOK CABINETS.
- 29 BUILT-IN ENTERTAINMENT CABINET PER OWNER.
- 30 WOOD FRAMED STAIR WITH PLYWOOD TREADS AND KICKS TO RECEIVE CARPET. PROVIDE STAIR MOUNTED WOOD HANDRAIL 36" ABOVE STAIR NOSING. REFER TO DETAILS 'A/D5' THROUGH 'A/D5' FOR FURTHER INFO.
- 31 STAIR WITH HARDWOOD TREADS AND KICKS. PROVIDE STAIR MOUNTED WOOD HANDRAIL 36" ABOVE STAIR NOSING. REFER TO DETAILS 'A/D5' THRU 'A/D5' FOR FURTHER INFO.
- 32 36" PRE-FAB FIREPLACE BY MAJESTIC PATRIOT SERIES CSA CERTIFIED OR APPROVED EQUAL. PROVIDE WITH NON-COMBUSTIBLE SURROUND. FUEL GAS. LOOSE KEY LOG LIGHTER. COMBUSTION AIR DUCT AND GLASS FRONT. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
- 33 CONCRETE LANDING AND STEPS WITH 42" HIGH W.I. GUARDRAIL AND W.I. HANDRAIL 36" ABOVE STAIR NOSING.
- 34 BLOCK WALL AROUND LIGHT WELL WITH W.I. GRATE OVER. GRATE SHALL BE DESIGNED SO AS NOT TO ALLOW A 4" SPHERE TO PASS THROUGH.
- 35 RAISED DECK WITH 'TREX' BOARD. ALUMINUM AND GLASS 42" HIGH RAILING AND HANDRAILS AT STAIRS.
- 36 WOOD POST WITH TRIM PER ELEVATION.
- 37 WOOD TRELLIS PER ELEVATION.
- 38 42" HIGH BLOCK WALL TO A POINT WHERE THE HEIGHT FROM FINISH SURFACE TO DRIVE IS 30" OR LESS.
- 39 2X6 STUD WALL.
- 40 PROVIDE (2) LAYER OF 5/8" TYPE 'X' GYP BOARD AT ALL SURFACES UNDER STAIR.
- 41 TRACE OF BUILDING ABOVE.
- 42 TRACE OF BALCONY / DECK ABOVE.
- 43 CHANGE IN CEILING HEIGHT.
- 44 ELECTRIC METER.
- 45 HOSE BIBB AND SHUTOFF.
- 46 GAS METER.
- 47 DUCT CHASE.
- 48 LINE OF STONE VENEER - REFER TO ELEVATIONS.



FIRST FLOOR



WALL LEGEND

- NEW WALL (2X6 STUDS AT 16" O.C. TYPICAL) COVER INTERIOR SIDE WITH 5/8" GYP. BOARD PER INTERIOR FINISH SCHEDULE AND REFER TO EXTERIOR ELEVATIONS FOR EXTERIOR FINISH AND NOTES.
- 6" CONCRETE BLOCK WALL (12" BLOCK WHERE NOTED) - REFER TO STRUCTURAL DRAWINGS.

INSULATION NOTES

1. ALL EXTERIOR WALLS OF THE CONDITIONED SPACE SHALL RECEIVE R-13 INSULATION.
2. ALL CEILINGS SHALL RECEIVE R-30 INSULATION.
3. FLOOR OVER GARAGE SHALL RECEIVE R-19 INSULATION.
4. REFER TO TITLE 24 FORMS AND CALCS. SHEET 'T-24'.
5. INSULATE ALL PLUMBING WALLS WHERE OCCURS.

GLAZING NOTES

1. ALL NEW GLAZING SHALL BE DUAL PANE.
2. REFER TO TITLE 24 FORMS AND CALCS. SHEET 'T-24'.
3. ALL SAFETY GLAZING SO CALLED FOR ON PLANS SHALL BE ETCH MARKED AS SO APPROVED.

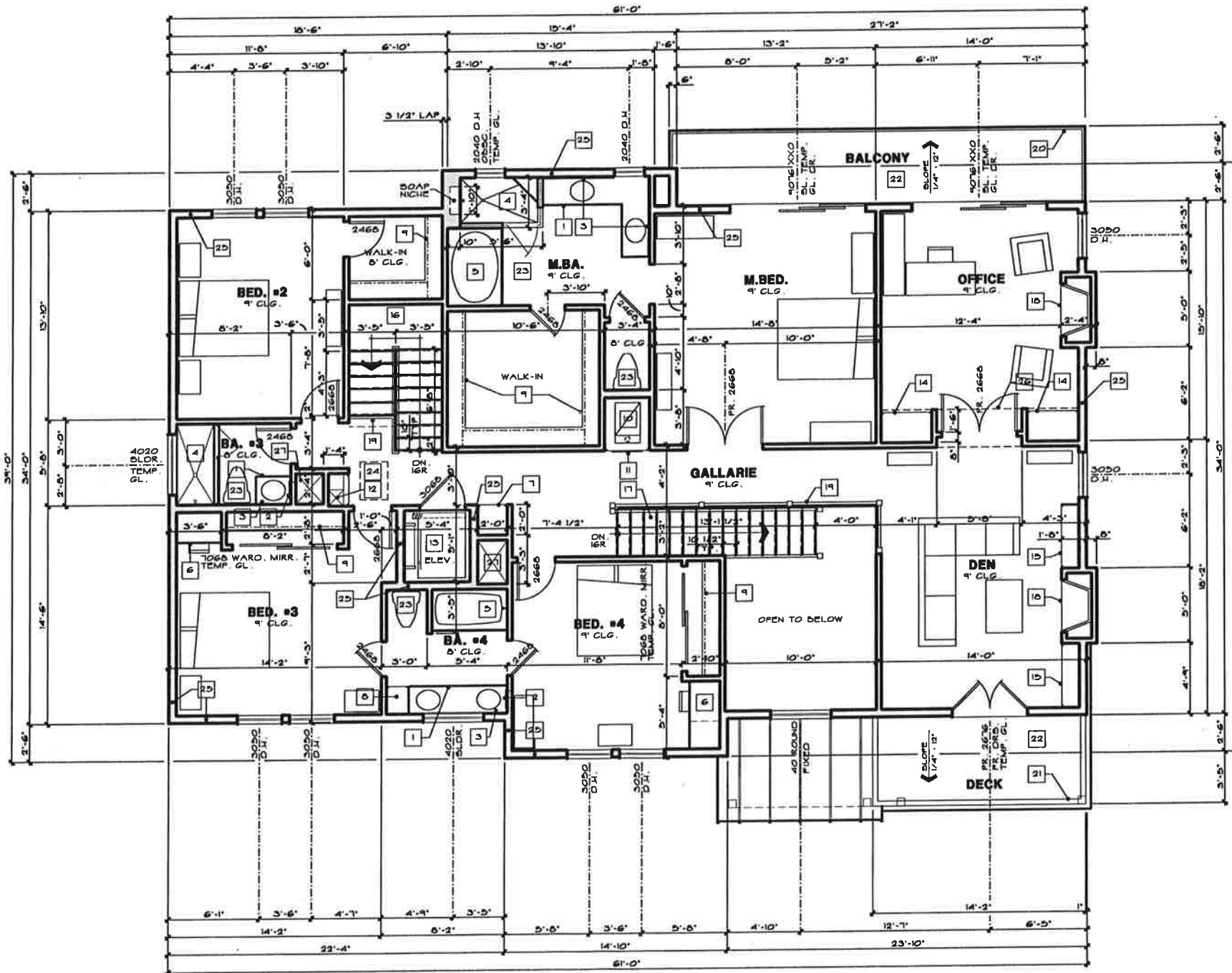
GENERAL PLAN NOTES

1. DIMENSIONS NOTED SHALL TAKE PRECEDENCE OVER SCALE.
2. ALL DIMENSIONS MEASURE TO THE FACE OF STUD UNLESS NOTED OTHERWISE.
3. WATER CLOSETS SHALL BE ULTRA LOW FLUSH* TYPE WITH 1.28 GAL. MAXIMUM PER FLUSH. CPC DECT. 402.2. (MSC 1742.3(B))
4. CONTROL VALVE FOR SHOWER OR TUB-SHOWER SHALL BE OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE PER CPC 410.7.
5. ALL SHOWERS AND TUBS SHALL HAVE ANTI-SCALDING VALVES.
6. ALL THE AIR DUCT EXHAUST OUTLETS SHALL BE 3' AWAY FROM THE OPENINGS INTO THE BUILDING PER SECTION 609.10.
7. EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE EXTERIOR DOOR OR WINDOW APPROVED FOR EMERGENCY ESCAPE/RESCUE IT SHALL HAVE THE FOLLOWING:
 - A) A MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT.
 - B) A MINIMUM CLEAR OPENING HEIGHT OF 24 INCHES.
 - C) A MINIMUM CLEAR OPENING WIDTH OF 20 INCHES.
 - D) A MAXIMUM FINISHED FILL HEIGHT OF 44 INCHES.
 - E) BARS, GRILLS OR GRATES SHALL HAVE APPROVED RELEASE MECHANISMS. (CSC DECT. 1204)
8. PROVIDE HOUSE STREET ADDRESS NUMBERS VISIBLE AND LEGIBLE FROM THE STREET.
9. CONTRACTOR SHALL VERIFY ALL DIMENSIONS FOR APPLIANCES, PLUMBING FIXTURES, CABINETS, THEIR REQUIREMENTS FOR BACKING/SUPPORT, THEIR REQUIREMENTS FOR MECHANICAL/ELECTRICAL/PLUMBING CONNECTIONS AND ANY OTHER SPECIAL REQUIREMENTS BEFORE LAYING OUT WALLS.

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PLAN KEY NOTES

- 1 22" DEEP FULLMAN (STAIN GRADE) WITH 36" HIGH STONE COUNTERTOP AND 6" SPLASH.
- 2 MIRROR FACED RECESSED MEDICINE CABINET.
- 3 1/4" P.P.G. MIRROR.
- 4 CERAMIC OR STONE TILES OVER HOT-MOPPED SHOWER PAN AND 3" CURB. - SLOPE FLOOR TO DRAIN. SET TILES IN MORTAR OVER LATH AND SCRATCH COAT OVER WATERPROOF MEMBRANE. EXTEND WALLS TO A MINIMUM 12" ABOVE SHOWER FLOOR. PROVIDE APPROVED SHATTER-PROOF GLASS ENCLOSURE WITH MINIMUM 24" WIDE DOOR.
- 5 22" HIGH WOOD FRAMED PLATFORM WITH STONE OVER AND SOAKING TUB PER OWNERS REQUIREMENTS.
- 6 24" DEEP BASE DESK CABINET (STAIN GRADE) WITH 12" DEEP UPERS PER OWNER.
- 7 24" DEEP FULL HEIGHT (STAIN GRADE) LINEN.
- 8 22" DEEP FULL HEIGHT (STAIN GRADE) LINEN.
- 9 SHELF AND POLE.
- 10 FORCED AIR UNIT (FAU).
- 11 RETURN AIR GRILLE (R.A.G.).
- 12 22 GA. LINED LAUNDRY CHUTE.
- 13 ELEVATOR PER NOTES ON SHEET 'A2'.
- 14 BUILT-IN FULL HEIGHT (STAIN GRADE) BOOK CABINETS.
- 15 BUILT-IN ENTERTAINMENT CABINET PER OWNER.
- 16 WOOD FRAMED STAIR WITH PLYWOOD TREADS AND KICKS TO RECEIVE CARPET. PROVIDE STAIR MOUNTED WOOD HANDRAIL 36" ABOVE STAIR NOSING. REFER TO DETAILS '1/05' THROUGH '11/05' FOR FURTHER INFO.
- 17 STAIR WITH HARDWOOD TREADS AND KICKS. PROVIDE STAIR MOUNTED WOOD HANDRAIL 36" ABOVE STAIR NOSING. REFER TO DETAILS '12/05' THRU '13/05' FOR FURTHER INFO.
- 18 36" PRE-FAB FIREPLACE BY MAJESTIC PATRIOT SERIES CSA CERTIFIED OR APPROVED EQUAL. PROVIDE WITH NON-COMBUSTIBLE SURROUND. FUEL GAS. LODGE KEY LOG LIGHTER. COMBUSTION AIR DUCT AND GLASS FRONT. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
- 19 42" HIGH GUARDRAIL PER DETAIL '1/05'.
- 20 42" HIGH ALUMINUM AND GLASS GUARDRAIL PER DETAIL '2-1'.
- 21 42" HIGH GUARDRAIL PER ELEVATION AND DETAIL '13/05'.
- 22 EXTERIOR DECK/BALCONY WITH 1/4" - 12" SLOPE AWAY FROM BUILDING TO RECEIVE ELASTOMERIC DECK COATING - 'MERCOR' WEATHER DECK ICC-25 REPORT NO. 3384.
- 23 PROVIDE MECHANICAL VENTILATION THIS ROOM CAPABLE OF PROVIDING 5 AIR CHANGES PER HOUR - REFER TO ELECTRICAL DRAWINGS.
- 24 22" X 30" MINIMUM ATTIC ACCESS.
- 25 2X6 STUD WALL.
- 26 CHANGE IN CEILING HEIGHT.
- 27 DUCT CHASE.



SECOND FLOOR



WALL LEGEND

- NEW WALL (2X4 STUDS AT 16" O.C. TYPICAL) (2X6 STUDS AT 16" O.C. WHERE NOTED) COVER INTERIOR SIDE WITH 5/8" GYP BOARD PER INTERIOR FINISH SCHEDULE AND REFER TO EXTERIOR ELEVATIONS FOR EXTERIOR FINISH AND NOTES.
- 8" CONCRETE BLOCK WALL (12" BLOCK WHERE NOTED) - REFER TO STRUCTURAL DRAWINGS.

INSULATION NOTES

1. ALL EXTERIOR WALLS OF THE CONDITIONED SPACE SHALL RECEIVE R-13 INSULATION.
2. ALL CEILINGS SHALL RECEIVE R-30 INSULATION.
3. FLOOR OVER GARAGE SHALL RECEIVE R-19 INSULATION.
4. REFER TO TITLE 24 FORMS AND CALCS. SHEET 'T-24'.
5. INSULATE ALL PLUMBING WALLS WHERE OCCUR.

GLAZING NOTES

1. ALL NEW GLAZING SHALL BE DUAL PANE.
2. REFER TO TITLE 24 FORMS AND CALCS. SHEET 'T-24'.
3. ALL SAFETY GLAZING SO CALLED FOR ON PLANS SHALL BE ETCH MARKED AS SO APPROVED.

GENERAL PLAN NOTES

1. DIMENSIONS NOTED SHALL TAKE PRECEDENCE OVER SCALE.
2. ALL DIMENSIONS MEASURED TO THE FACE OF STUD UNLESS NOTED OTHERWISE.
3. WATER CLOSETS SHALL BE 'ULTRA LOW FLUSH' TYPE WITH 1.20 GAL. MAXIMUM PER FLUSH. CPC DECT. 402.2. (HSC 17921.3(b))
4. CONTROL VALVE FOR SHOWER OR TUB-SHOWER SHALL BE OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE PER CPC 410.7.
5. ALL SHOWERS AND TUBS SHALL HAVE ANTI-SCALDING VALVES.
6. ALL THE AIR DUCT EXHAUST OUTLETS SHALL BE 3' AWAY FROM THE OPENINGS INTO THE BUILDING PER SECTION 609.10.
7. EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE EXTERIOR DOOR OR WINDOW APPROVED FOR EMERGENCY ESCAPE/RESCUE IT SHALL HAVE THE FOLLOWING:
 - A) A MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT.
 - B) A MINIMUM CLEAR OPENING HEIGHT OF 24 INCHES.
 - C) A MINIMUM CLEAR OPENING WIDTH OF 20 INCHES.
 - D) A MAXIMUM FINISHED SILL HEIGHT OF 44 INCHES.
 - E) BARD, GRILLS OR GRATES SHALL HAVE APPROVED RELEASE MECHANISMS. (CSC SEC. 1204)
8. PROVIDE HOUSE STREET ADDRESS NUMBERS VISIBLE AND LEGIBLE FROM THE STREET.
9. CONTRACTOR SHALL VERIFY ALL DIMENSIONS FOR APPLIANCES, PLUMBING FIXTURES, CABINETRY, THEIR REQUIREMENTS FOR BACKING/SUPPORT, THEIR REQUIREMENTS FOR MECHANICAL/ELECTRICAL/PLUMBING CONNECTIONS AND ANY OTHER SPECIAL REQUIREMENTS BEFORE LAYING OUT WALLS.

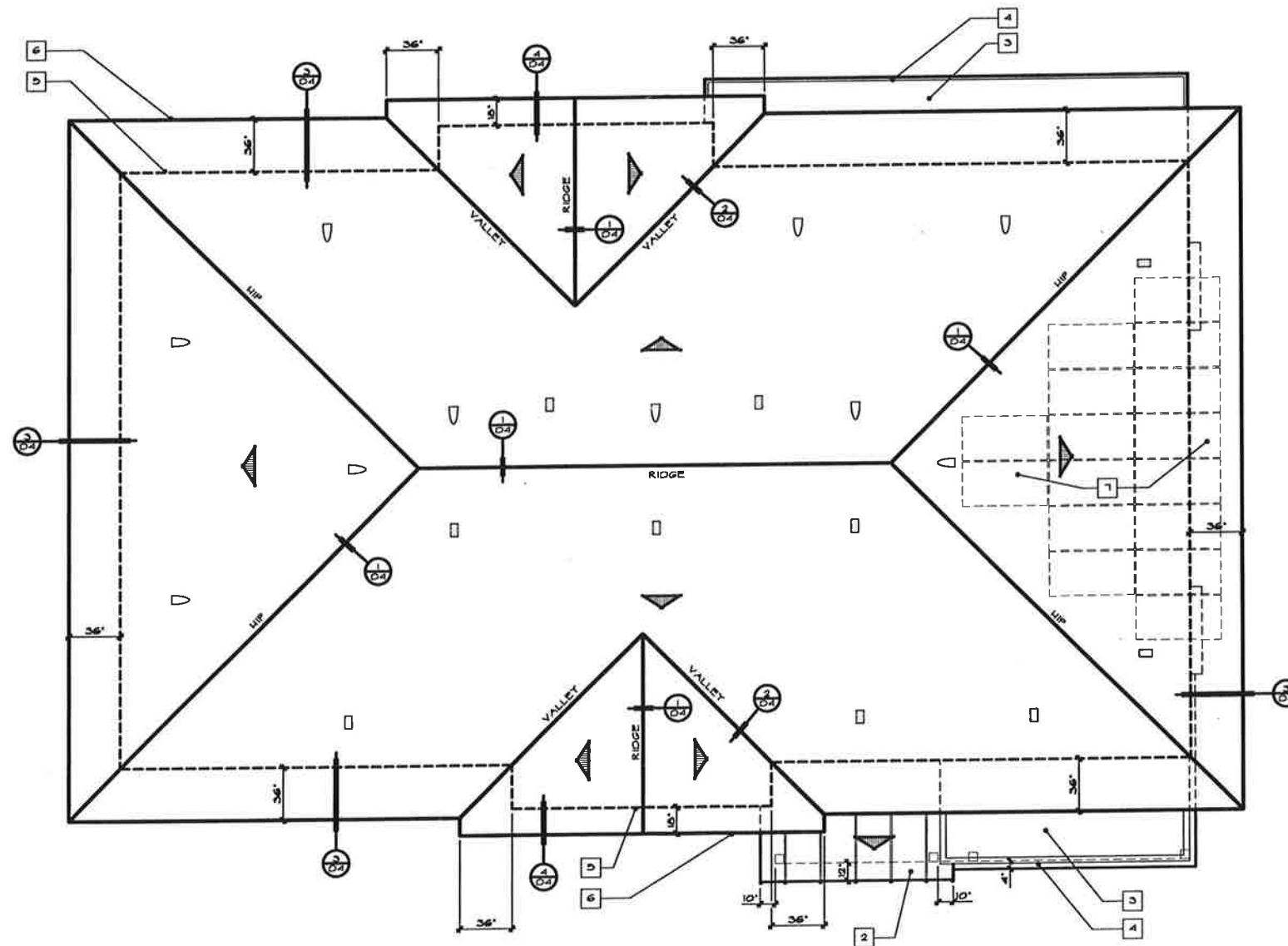
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ROOF PLAN NOTES

- ROOF MATERIAL - COMPOSITION ASPHALT SHINGLES (CLASS A MINIMUM), APPLIED OVER A MINIMUM OF (2) LAYER TYPE 30 ROOFING FELT, WEIGHT APPROX. 3.0 LBS. PER SQ. FT. .
INSTALL PER MANUFACTURER'S SPECIFICATIONS AND THE 2013 C.R.C. CHAPTER 9.
ROOFING BY GAF 'TIMBERLINE' ICC-ES #E9R-1475 - COLOR SELECTED BY OWNER.
- PROVIDE MINIMUM 22 GA. GALV. METAL FLASHING AT ALL ROOF TO WALL CONDITIONS.
- FLASH ALL ROOF PENETRATIONS.
- ALL ROOFING SHALL COMPLY WITH C.B.C. CHAPTER 15.
- ▲ INDICATES 3/12 ROOF PITCH (TYPICAL UNLESS NOTED OTHERWISE).
- NEW ROOF EDGE SHALL RECEIVE CONTINUOUS GUTTERS WITH DOWNSPOUTS AND SPLASH BLOCKS WHERE REQUIRED.
- PROVIDE ATTIC VENTILATION AT ALL ENCLOSED ATTICS. THE AREA OF THE VENTS SHALL NOT BE LESS THAN 1/50 OF THE AREA TO BE VENTILATED PROVIDED 50% OF THE REQUIRED VENTS ARE WITHIN 3 FT. OF THE EAVES AND THE REMAINING VENTS ARE LOCATED WITHIN 3 FT. OF THE RIDGE.
2,147 SQ. FT. / 150 X 144 = 2,061 SQ. IN. REQUIRED
50% LOCATED WITHIN 3 FT. OF RIDGE = 1,030.5 SQ. IN.
(5) OWAGINS TAPERED VENTS AT 72 SQ. IN. EACH = 360 SQ. IN.
(5) HALF ROUND DORMER VENTS AT 135 S.I. EACH = 675 S.I.
TOTAL UPPER VENTILATION = 1,035 SQ. IN.
50% LOCATED WITHIN 3 FT. OF EAVES = 1,030.5 SQ. IN.
(5) OWAGINS TAPERED VENTS AT 72 SQ. IN. EACH = 360 SQ. IN.
(5) HALF ROUND DORMER VENTS AT 135 S.I. EACH = 675 S.I.
TOTAL LOWER VENTILATION = 1,035 SQ. IN.
TOTAL VENTILATION = 2,070 S.I.
ATTIC VENTILATION OPENINGS SHALL BE COVERED WITH CORROSION RESISTANT METAL MESH WITH MESH OPENINGS OF NO GREATER THAN 1/4 INCH.
- INDICATES OWAGINS TAPERED LOW-PROFILE VENT WITH NET VENT AREA OF 72 SQ. IN. EACH - ICC-ES REPORT # 9650 A.
- ◻ INDICATES HALF-ROUND DORMER VENT HARLEN DL24AL OR APPROVED EQUAL.
- ROOFING CONTRACTOR SHALL BE RESPONSIBLE FOR WATER TIGHTNESS OF ROOF AND JOINTS, PROPER DRAINAGE AND FLASHING.

ROOF PLAN KEY NOTES

- ASPHALT ROOF SHINGLES PER ROOF PLAN NOTES.
- PR-FINISHED 24 GA STANDING BEAM METAL ROOFING.
- EXTERIOR DECK/BALCONY WITH 1/4" - 12" SLOPE AWAY FROM BUILDING TO RECEIVE ELASTOMERIC DECK COATING - 'MERC0' WEATHER DECK ICC-ES REPORT NO. 3369.
- MINIMUM 42" HIGH GUARORAIL - REFER TO ELEVATIONS.
- TRACE OF WALLS BELOW.
- EDGE OF ROOF.
- LAYOUT OF (16) FUTURE 30' X 55' PHOTOVOLTAIC PANELS - (200 SQ. FT.).



ROOF PLAN



NORTH
SCALE 1/4"=1'-0"

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ELEV. GENERAL NOTES

1. APPLY NEW PLYWOOD SHEAR PANELS PER STRUCTURAL AND PLYWOOD ELSEWHERE FOR FINISH ALIGNMENT. NEW WINDOWS AND DOORS PER PLAN AND HOUSEWRAP.
2. GUTTERS AND DOWNSPOUTS ARE NOT SHOWN BUT SHALL BE PLACED AT ALL EAVES WITH DOWNSPOUTS TO GRADE WITH SPLASH BLOCKS AS REQUIRED. MATERIAL SHALL BE MN. 24 GA. G.I. AND PAINTED.
3. ENTIRE HOUSE WHERE REQUIRED SHALL RECEIVE PRIMER AND (2) COATS OF EXTERIOR PAINT. ANY EXPOSED WOOD FINISH SHALL RECEIVE STAIN AND CLEAR COAT AS REQUIRED. CONFIRM COLORS AND FINISH WITH OWNER.

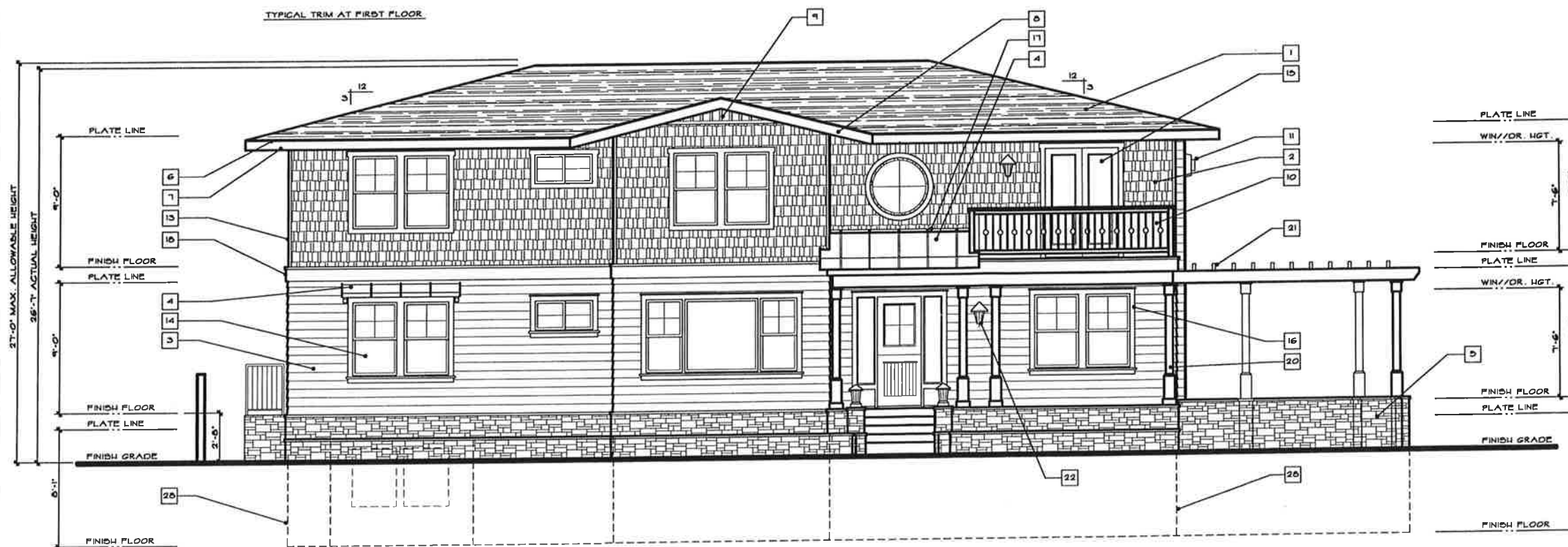
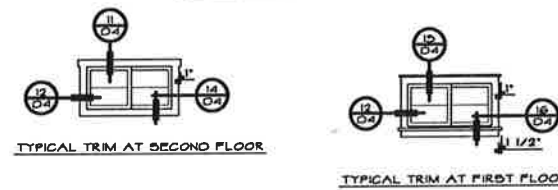
ELEVATION KEY NOTES

1. ROOF MATERIAL - COMPOSITION ASPHALT SHINGLED (GLASS) AS APPLIED OVER A MINIMUM OF (3) LAYER TYPE 30 ROOFING FELT, WEIGHT APPROX. 4.5 LBS. PER SQ. FT. ROOFING BY GAF 'TIMBERLINE' ICC-ED #EOR-1475.
2. 'SHAKERTOWN' CEDAR SIDING PANELS - CRAFTSMAN STYLE 'T' EXPOSURE APPLIED PER MANUFACTURER'S SPECIFICATIONS OVER MIN. (3) LAYER BUILDING PAPER (HOUSEWRAP), ICC-ED REPORT NO. EDR-2306.
3. 'JAMESHARDIE' ARTISAN LAP SIDING WITH 'T' EXPOSURE WITH MITERED CORNERS. INSTALLED PER MANUFACTURER'S SPECIFICATIONS OVER MIN. (3) LAYER BUILDING PAPER (HOUSEWRAP), ICC-ED REPORT NO. EDR-2306.
4. PRE-FINISHED 24 GA. STANDING SEAM METAL ROOFING.
5. 'FLORADO' CLIFFSTONE PRE-FAB STONE VENEER APPLIED PER MANUFACTURER'S SPECIFICATIONS. ICC-ED REPORT NO. EDR-1215. PROVIDE WAINCOT DILL AS SHOWN AT BUILDING AND WALL CAPS AT PLANTER WALLS, ETC..
6. G.I. DRIP EDGE - GUTTERS OMITTED FOR CLARITY.
7. 2X6 FASCIA.
8. 2X6 BARGE.
9. T1-11 PLYWOOD WITH 1X2 BATTENS AT 8" O.C..
10. 42" HIGH FANCY CUT WOOD GUARDRAIL.
11. PRE-FAB DIRECT VENT FIREPLACE VENT.
12. 42" HIGH ALUMINUM RAILING WITH TEMPERED GLASS PANELS.
13. 3" NOMINAL REVEAL X 1" DEEP CORNER BOARDS.
14. WINDOW PER PLAN - TEMPERED AS NOTED ON PLAN.
15. DOOR/DOORS PER PLAN - TEMPERED AS NOTED ON PLAN.
16. WINDOW AND DOOR TRIM PER DETAILS.
17. TRACE OF G.I. ROOF TO WALL FLASHING.
18. 2X10 WITH 2X3 WATERTABLE WITH FLASHING.
19. 4X6 BEVEL CUT CORBELS.
20. STRUCTURAL POST WITH APPLIED TRIM PER DETAIL.
21. WOOD BEAMS AND TRELIS MEMBERS.
22. DECORATIVE LIGHT FIXTURES.
23. 6X10 BEVEL CUT OUTLOOKS WITH 3X4 TRELIS MEMBERS.
24. 16" X 12" G.I. SCREENED AND LOUVERED DECK FOUNDATION VENTS. PROVIDE (1) SIZED FOR ACCESS.
25. 42" HIGH W.I. GUARDRAIL WITH HANDRAIL 36" ABOVE STAIR NOSING.
26. SECTIONAL ROLL-UP GARAGE DOOR PER PLAN.
27. TRACE OF 42" HIGH ALUMINUM AND TEMP. GLASS GUARDRAIL AND HANDRAIL OMITTED FOR CLARITY.
28. TRACE OF BASEMENT/GARAGE WALLS.



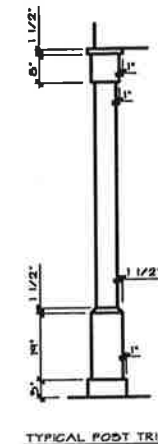
SOUTH ELEVATION

SCALE 1/4" = 1'-0"



WEST ELEVATION

SCALE 1/4" = 1'-0"



TYPICAL POST TRIM

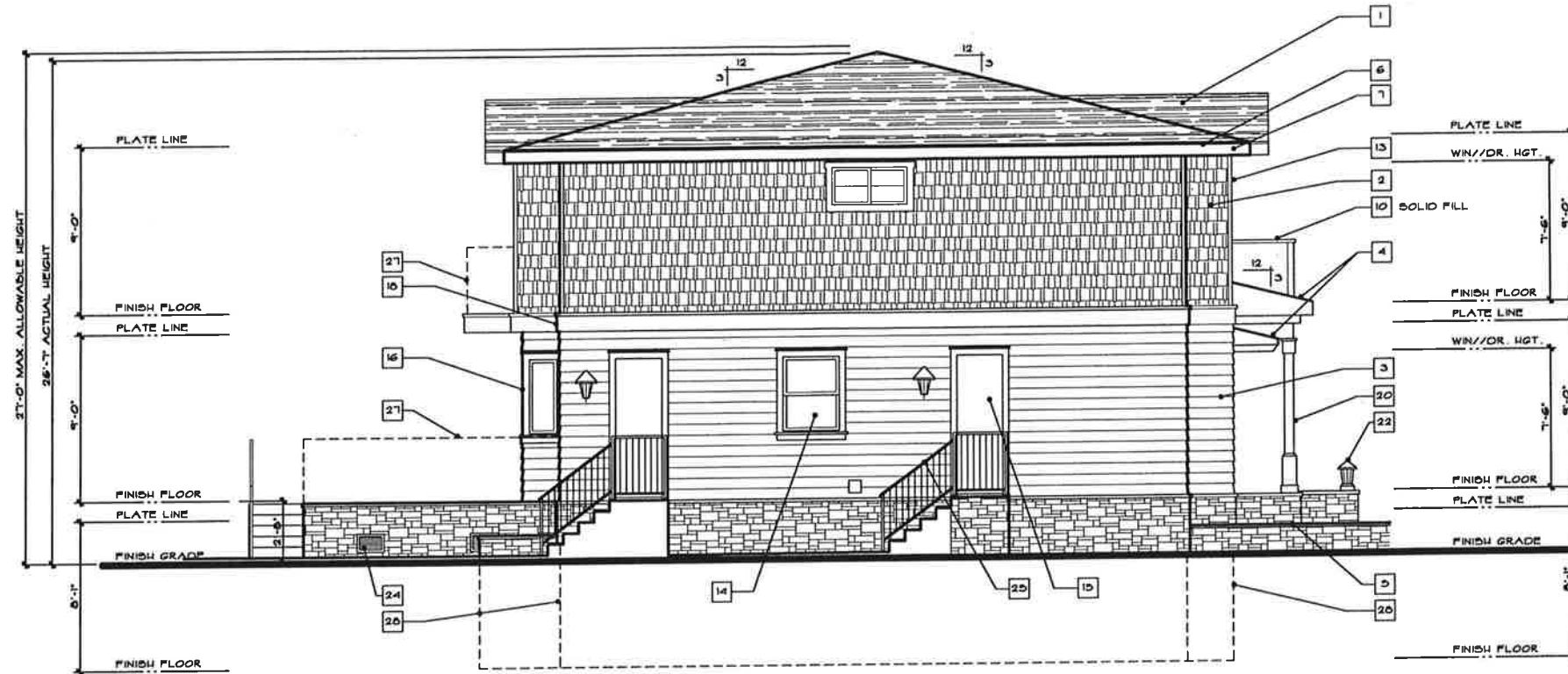
DATE: 1/21/15	SCALE: 1/4" = 1'-0"
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3050 CAPRI LANE COSTA MESA CALIFORNIA	
TEAM D · E · S · I · G · N	A6
714 321 8888 201 WINDY HILL HAWTHORNE BLVD. SU. 200 IRVINE, CA 92614	

ELEV. GENERAL NOTES

1. APPLY NEW FLYWOOD SHEAR PANELS PER STRUCTURAL AND PLTWOOD ELSEWHERE FOR FINISH ALIGNMENT. NEW WINDOWS AND DOORS PER PLAN AND HOUSEWRAP.
2. GUTTERS AND DOWNSPOUTS ARE NOT SHOWN BUT SHALL BE PLACED AT ALL EAVES WITH DOWNSPOUTS TO GRADE WITH SPLASH BLOCKS AS REQUIRED. MATERIAL SHALL BE MIN. 24 GA G.I. AND PAINTED.
3. ENTIRE HOUSE WHERE REQUIRED SHALL RECEIVE PRIMER AND (2) COATS OF EXTERIOR PAINT. ANY EXPOSED WOOD FINISH SHALL RECEIVE STAIN AND CLEAR COAT AS REQUIRED. CONFIRM COLORS AND FINISH WITH OWNER.

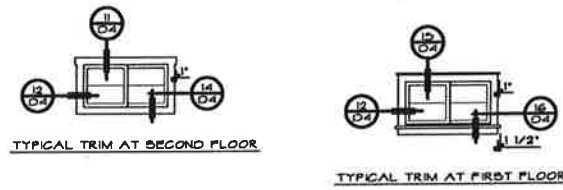
ELEVATION KEY NOTES

- 1 ROOF MATERIAL - COMPOSITION ASPHALT SHINGLED (CLASS A) APPLIED OVER A MINIMUM OF (1) LAYER TYPE 30 ROOFING FELT, WEIGHT APPROX. 4.5 LBS. PER SQ. FT., ROOFING BY GAF "TIMBERLINE" ICC-ED #EDR-1415.
- 2 "SHAKERTOWN" CEDAR SIDING PANELS - CRAFTSMAN STYLE "T" EXPOSURE APPLIED PER MANUFACTURER'S SPECIFICATIONS OVER MIN. (3) LAYER BUILDING PAPER (HOUSEWRAP). ICC-ED REPORT NO. EDR-2306.
- 3 "JAMESHARDIE" ARTISAN LAP SIDING WITH "T" EXPOSURE WITH MITERED CORNER. INSTALLED PER MANUFACTURER'S SPECIFICATIONS OVER MIN. (3) LAYER BUILDING PAPER (HOUSEWRAP). ICC-ED REPORT NO. EDR-2210.
- 4 PRE-FINISHED 24 GA. STANDING SEAM METAL ROOFING.
- 5 "ELORADO" CLIFFSTONE PRE-FAB STONE VENER APPLIED PER MANUFACTURER'S SPECIFICATIONS. ICC-ED REPORT NO. EDR-1215. PROVIDE WANDSCOT SILL AS SHOWN AT BUILDING AND WALL CAPS AT PLANTER WALLS, ETC..
- 6 G.I. DRIP EDGE - GUTTERS OMITTED FOR CLARITY.
- 7 2X6 FASCIA.
- 8 2X8 BARGE.
- 9 T1-11 PLYWOOD WITH 1X2 BATTENS AT 6" O.C..
- 10 42" HIGH FANCY CUT WOOD GUARDRAIL.
- 11 PRE-FAB DIRECT VENT FIREPLACE VENT.
- 12 42" HIGH ALUMINUM RAILING WITH TEMPERED GLASS PANELS.
- 13 3" NOMINAL REVEAL X 1" DEEP CORNER BOARDS.
- 14 WINDOW PER PLAN - TEMPERED AS NOTED ON PLAN.
- 15 DOOR/DOORS PER PLAN - TEMPERED AS NOTED ON PLAN.
- 16 WINDOW AND DOOR TRIM PER DETAILS.
- 17 TRACE OF G.I. ROOF TO WALL FLASHING.
- 18 2X10 WITH 2X3 WATERTABLE WITH FLASHING.
- 19 4X6 BEVEL CUT CORBELS.
- 20 STRUCTURAL POST WITH APPLIED TRIM PER DETAIL.
- 21 WOOD BEAMS AND TRELIS MEMBERS.
- 22 DECORATIVE LIGHT FIXTURES.
- 23 6X10 BEVEL CUT OUTLOOKS WITH 3X4 TRELIS MEMBERS.
- 24 18" X 12" G.I. SCREENED AND LOUVERED DECK FOUNDATION VENTS. PROVIDE (1) SIZED FOR ACCESS.
- 25 42" HIGH W.1. GUARDRAIL WITH HANDRAIL 36" ABOVE STAIR NOBING.
- 26 SECTIONAL ROLL-UP GARAGE DOOR PER PLAN.
- 27 TRACE OF 42" HIGH ALUMINUM AND TEMP. GLASS GUARDRAIL AND HANDRAIL OMITTED FOR CLARITY.
- 28 TRACE OF BASEMENT/GARAGE WALLS.



NORTH ELEVATION

SCALE 1/4" = 1'-0"



TYPICAL TRIM AT SECOND FLOOR

TYPICAL TRIM AT FIRST FLOOR




EAST ELEVATION

SCALE 1/4" = 1'-0"

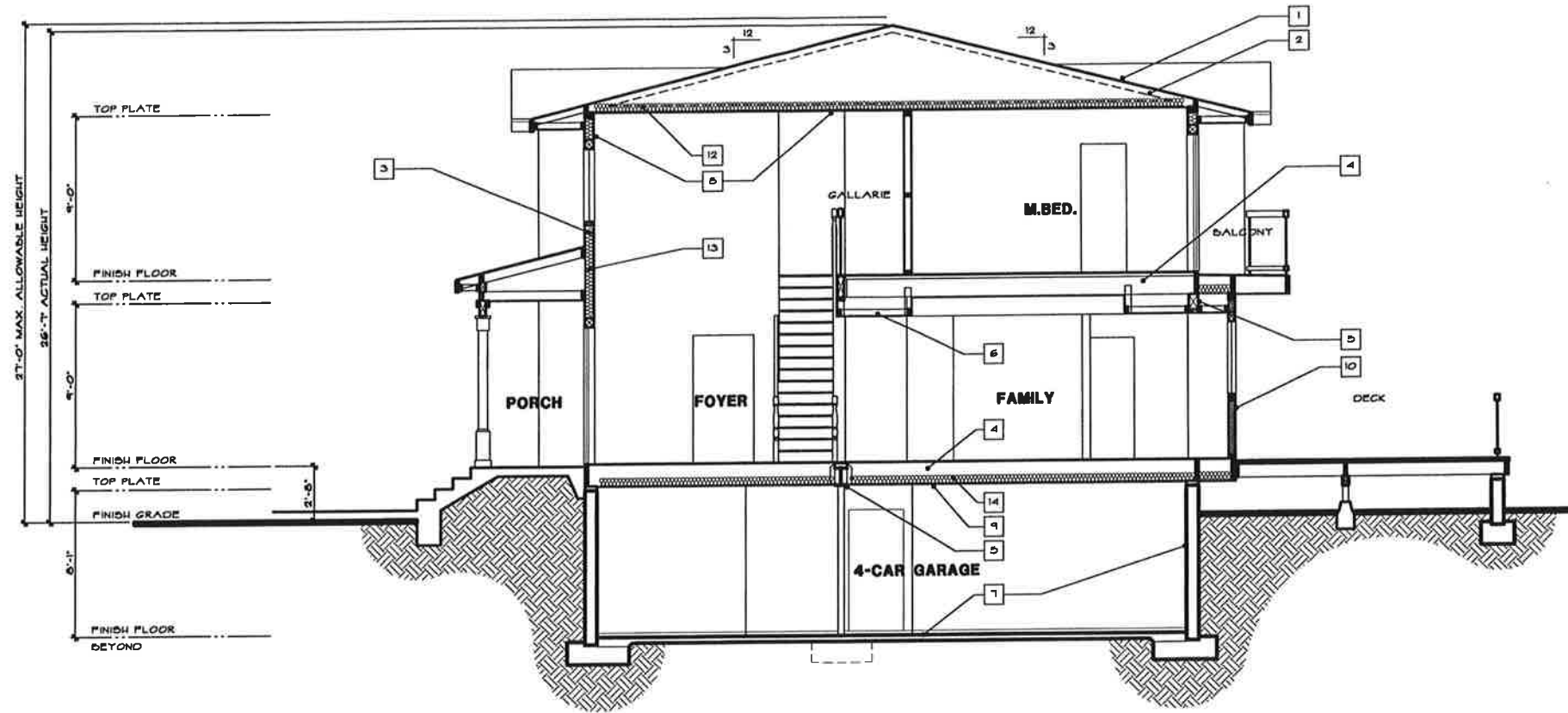
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SECTION NOTES

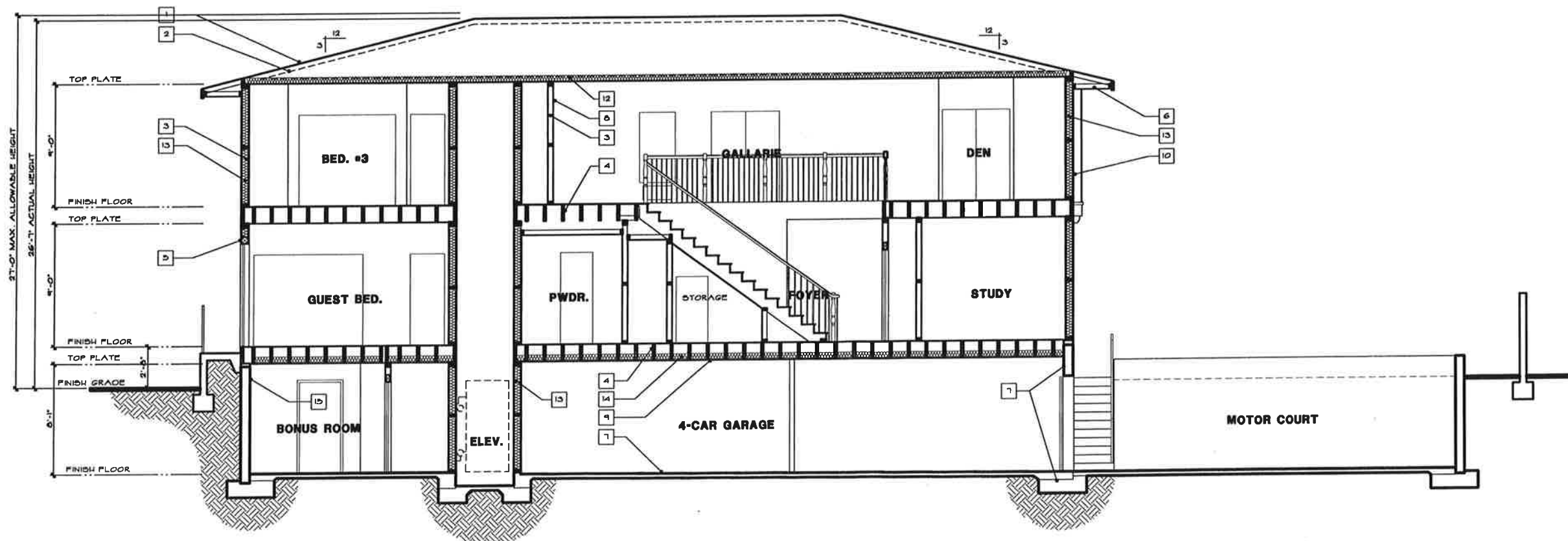
1. BUILDING SECTIONS SHOW THE GENERAL PROFILE OF THE BUILDING. REFER TO THE PLANS, DETAILS AND STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
2. PROVIDE FIRE BLOCKING IN ALL CONCEALED SPACES AS REQUIRED TO CUT OFF DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) PER CRC SECTION 706.
3.  INSULATION PER TITLE 24 ENERGY CALCULATIONS.

SECTION KEY NOTES

- 1 ROOF SHEATHING - REFER TO STRUCTURAL DRAWINGS.
- 2 ROOF FRAMING - REFER TO STRUCTURAL DRAWINGS.
- 3 WALL FRAMING - REFER TO STRUCTURAL DRAWINGS.
- 4 FLOOR FRAMING - REFER TO STRUCTURAL DRAWINGS.
- 5 BEAM OR HEADER - REFER TO STRUCTURAL DRAWINGS.
- 6 2X WOOD SOFFIT FRAMING
- 7 CONCRETE SLAB, FOOTINGS AND RETAINING WALLS - REFER TO STRUCTURAL DRAWINGS.
- 8 5/8" GYPSBOARD - TYPICAL UNLESS OTHERWISE NOTED.
- 9 (1) LAYER OF 5/8" TYPE "X" GYPSBOARD AT GARAGE CEILING AT FLOOR ABOVE AND WALL BETWEEN GARAGE AND DWELLING.
- 10 EXTERIOR FINISH MATERIAL - REFER TO EXTERIOR ELEVATIONS.
- 11 TRACE OF BUILDING/ROOF LINE IN FOREGROUND.
- 12 R-30 INSULATION IN ATTIC PER ENERGY CALCULATIONS.
- 13 R-19 INSULATION IN WALLS PER ENERGY CALCULATIONS.
- 14 R-19 INSULATION IN BASEMENT CEILING PER ENERGY CALCULATIONS.
- 15 R-15 INSULATION IN BASEMENT WALLS PER ENERGY CALCULATIONS.

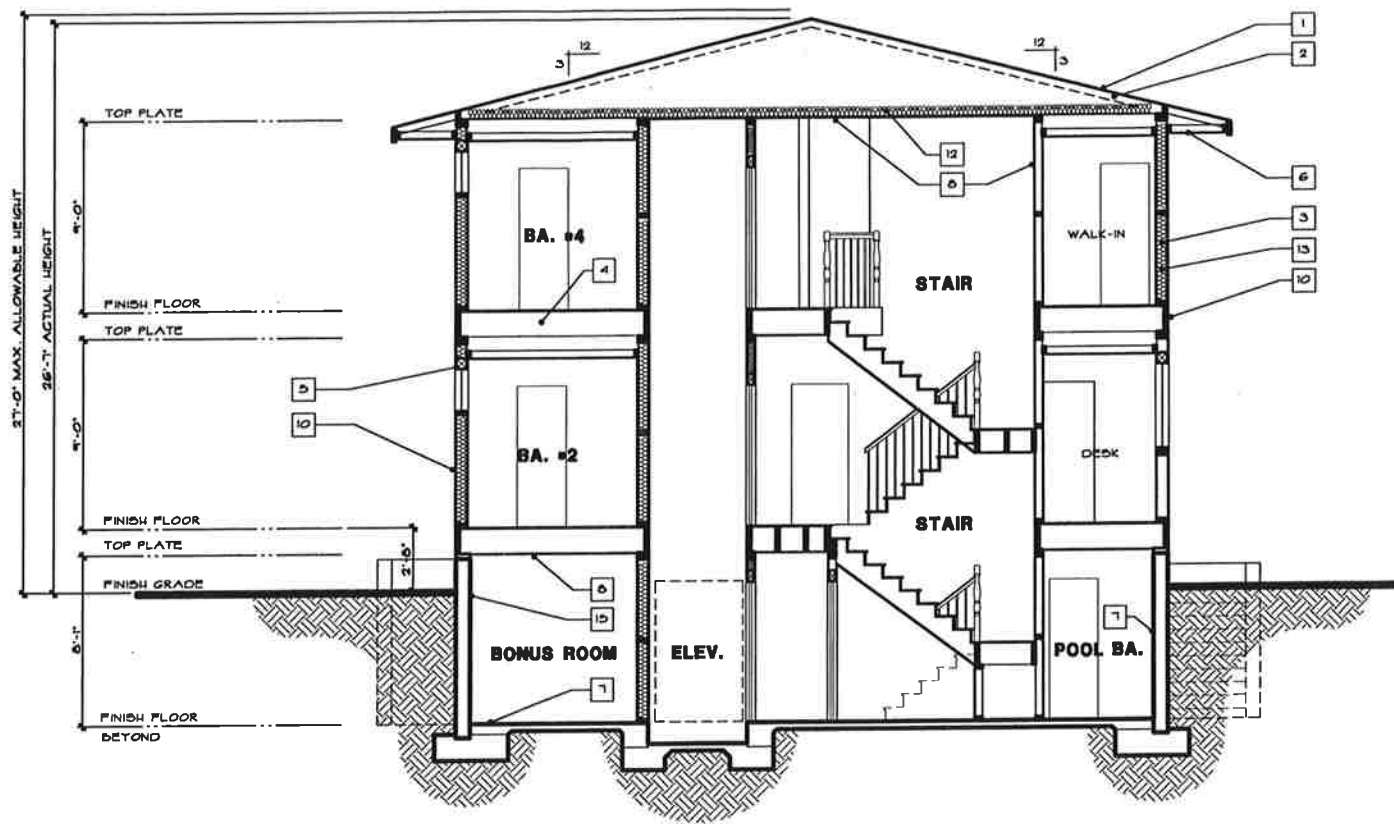


SECTION "C"

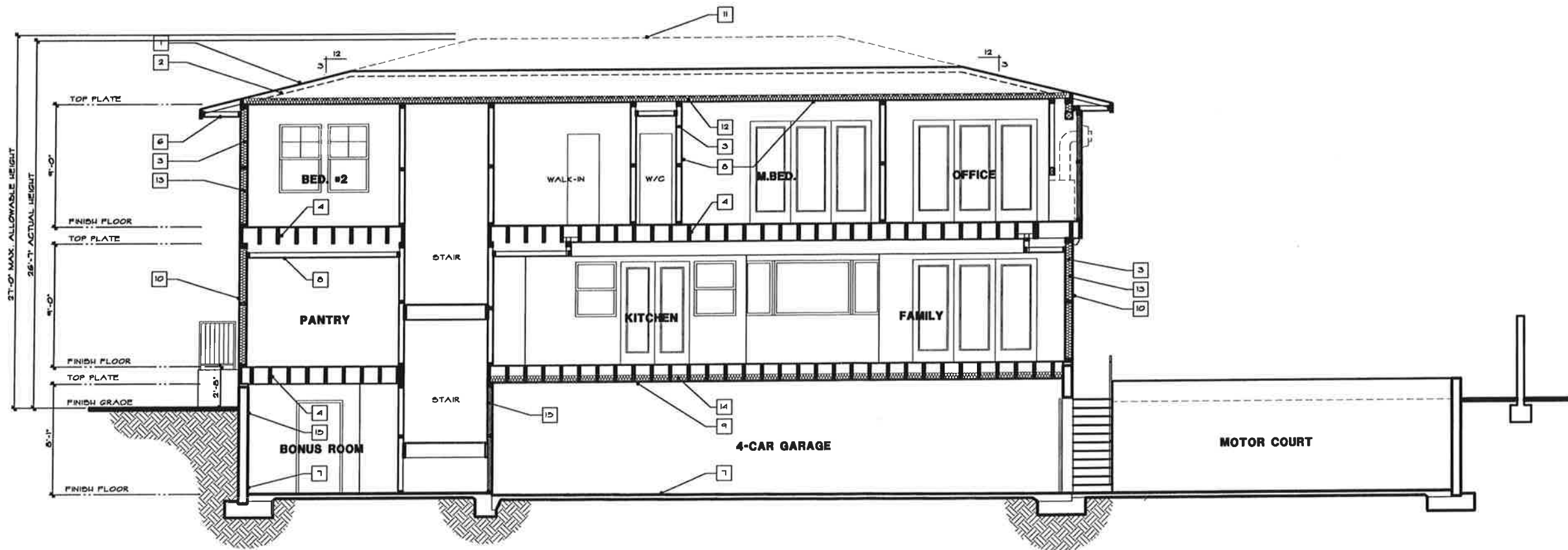


SECTION "A"

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714 524 3888 271 50th STREET SUITE 1 HUNTINGTON BEACH, CA 92646 PH: 714 524 3888	



SECTION "D"



SECTION "B"

SECTION NOTES:

1. BUILDING SECTIONS SHOW THE GENERAL PROFILE OF THE BUILDING. REFER TO THE PLANS, DETAILS, AND STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
2. PROVIDE FIRE BLOCKING IN ALL CONCEALED SPACES AS REQUIRED TO CUT OFF DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) PER CRC SECTION 106.
3. INSULATION PER TITLE 24 ENERGY CALCULATIONS.

SECTION KEY NOTES

1. ROOF SHEATHING - REFER TO STRUCTURAL DRAWINGS.
2. ROOF FRAMING - REFER TO STRUCTURAL DRAWINGS.
3. WALL FRAMING - REFER TO STRUCTURAL DRAWINGS.
4. FLOOR FRAMING - REFER TO STRUCTURAL DRAWINGS.
5. BEAM OR HEADER - REFER TO STRUCTURAL DRAWINGS.
6. 2X WOOD BOFFIT FRAMING.
7. CONCRETE SLAB, FOOTINGS AND RETAINING WALLS - REFER TO STRUCTURAL DRAWINGS.
8. 5/8" GYPBOARD - TYPICAL UNLESS OTHERWISE NOTED.
9. (1) LAYER OF 5/8" TYPE "X" GYPBOARD AT GARAGE CEILING AT FLOOR ABOVE AND WALL BETWEEN GARAGE AND DWELLING.
10. EXTERIOR FINISH MATERIAL - REFER TO EXTERIOR ELEVATIONS.
11. TRACE OF BUILDING/ROOF LINE IN FOREGROUND.
12. R-30 INSULATION IN ATTIC PER ENERGY CALCULATIONS.
13. R-19 INSULATION IN WALLS PER ENERGY CALCULATIONS.
14. R-19 INSULATION IN BASEMENT CEILING PER ENERGY CALCULATIONS.
15. R-15 INSULATION IN BASEMENT WALLS PER ENERGY CALCULATIONS.

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