



City of Costa Mesa

Inter Office Memorandum

TO: CITY COUNCIL AND PLANNING COMMISSION
CC: TOM HATCH, GARY ARMSTRONG, AND CLAIRE FLYNN
FROM: WILLA BOUWENS-KILLEEN, ZONING ADMINISTRATOR
DATE: APRIL 21, 2016
SUBJECT: ZONING ADMINISTRATOR DECISION(S)

W Bouwens-Killeen

This is to advise you of the following decision(s) made by the Zoning Administrator within the last week. Project descriptions have been kept brief for this notice. Please feel free to contact me by e-mail at willa.bouwens-killeen@costamesaca.gov if you have any questions or would like further details.

ZA-16-06 **1527 NEWPORT BOULEVARD**

Planned Sign Program for the Level 1 live/work development. Program provides small building (wall) signage for the individual tenants of the live/work units.

Approved, subject to conditions of approval.

Comments received: None.

ZA-16-07 **1677 SUPERIOR AVENUE**

Planned Sign Program for the Superior Pointe live/work development. Program provides small building (wall) signage for the individual tenants of the live/work units.

Approved, subject to conditions of approval.

Comments received: None.

ZA-16-11 **3151 AIRWAY AVENUE, SUITE P2**

Minor Conditional Use Permit for a deviation from shared parking requirements due to unusual operating characteristics for Gooing Chiropractic Clinic. Proposed hours of operation are Monday and Saturday 8:30 AM–2:30 PM, Tuesday and Friday 8 AM–6:30 PM, and Wednesday and Thursday 8:30 AM–4:30 PM; with no more than 8 occupants in the suite at any given time.

Approved, subject to conditions of approval.

Comments received: None.



CITY OF COSTA MESA

P.O. BOX 1200 • 77 FAIR DRIVE • CALIFORNIA 92628-1200

DEVELOPMENT SERVICES DEPARTMENT

April 21, 2016

Mr. Marlon Chinchilla
Outdoor Dimensions
5325 E. Hunter Avenue
Anaheim, CA 92807

**RE: ZONING APPLICATION ZA-16-06
PLANNED SIGN PROGRAM FOR LEVEL 1 (LIVE/WORK DEVELOPMENT),
1527 NEWPORT BLVD., COSTA MESA**

Dear Mr. Chinchilla:

City staff's review of your zoning application for the above-referenced project has been completed. The application, as described in the attached project description, has been approved, based on the findings and subject to the conditions of approval and code requirements (attached). The decision will become final at 5:00 p.m. on April 28, 2016, unless appealed by an affected party, including filing of the necessary application and payment of the appropriate fee, or called up for review by a member of the Planning Commission or City Council.

If you have any questions regarding this letter, please feel free to contact the project planner, Adrienne J. Gladson, AICP, at (714) 754-5609, or at adrienne.gladson@costamesaca.gov.

Sincerely,

WILLA BOUWENS-KILLEEN, AICP
Zoning Administrator

Attachments: Project Description and Analysis
 Findings
 Conditions of Approval, Code Requirements, and Special District
 Requirements
 Approved Planned Sign Program

cc: Engineering
 Fire Protection Analyst
 Building Safety Division

PROJECT DESCRIPTION

The project site is located west of Newport Boulevard and north of Industrial Way. The site is approximately 1.33 acres in size and the implementation of the project is complete with all of the units sold. The property is zoned C2 (General Business District), and has a General Plan land use designation of General Commercial. Level 1 is a mixed use project that was approved recently by the Planning Commission entitling 60 live/work units at the property. An entitlement condition of approval required the developer to submit a Planned Sign Program for signage with the specific purpose to bring forward appropriate and sensitive identification signs for the work units of the project. The physical layout of the development's site plan (see the site plan on pages 4 and 5 of the program) shows a series of three-story buildings aligned adjacent to private roadways with 60 individual small work units (approximately 120 square feet in size) on the first (ground) level. All of the work units are orientated outward to the street inviting pedestrians to visit the businesses operating inside. This Planned Sign Program will assist in communicating to the general public the name/type of businesses and where they are located in the development. The surrounding neighborhood includes commercial properties to the north, east, and south; as well as industrial properties to the west and further south.

ANALYSIS

Proposed Planned Sign Program

The program allows each work unit tenant to have one painted, non-illuminated aluminum wall sign with the maximum sign area of two square feet. These signs will be installed flush mounted to the exterior wall adjacent to the business entrance with sign text to include the business name, optional logos, unit number and street name so to clearly identify the business to visitors. The program also grants an approved color pallet, sign fabrication details, type face styles for sign copy, additional door/window graphics, and other regulatory signage related to ADA, Prop 65, and smoking. The maximum sign area, height, and design details for the existing and previously permitted free-standing monument sign located at the corner of Tribeca Way and Old Newport Boulevard is also memorialized in the program. This important information will assist with its replacement if needed in the future. For the specifics of the full program see detail sheets of the program attached.

For live/work units in mixed use projects, the goal of a planned sign program is to provide a comprehensive, consistent, and compatible program for all signage permitted at the development. For this program the need is to focus on a solid design theme for "work" element signage separate from the residential use above. An important goal the program achieves is to provide a sign design theme that complements the existing modern architecture theme and urban feel of the community as well as meet the required findings below. The program is simple and straightforward and achieves all the required goals expected by the development and delivers a thoughtful approach to signage needs for the Level 1 community.

General Plan Consistency

The proposed project is consistent with the Zoning Code and the City's General Plan. The planned sign program should not adversely impact the surrounding uses.

FINDINGS

- A. The information presented complies with Costa Mesa Municipal Code Section 13-29(e) in that:
1. Compatible and harmonious relationship between the proposed building and site development, and use(s), and the building and site developments, and uses that exist or have been approved for the general neighborhood.
 2. Safety and compatibility of the design of buildings, parking area, landscaping, luminaries and other site features which may include functional aspects of the site development such as automobile and pedestrian circulation.
 3. Compliance with any performance standards as prescribed elsewhere in this Zoning Code.
 4. Consistency with the General Plan and any applicable specific plan.
 5. The planning application is for a project-specific case and is not to be construed to be setting a precedent for future development. The planned signing program was designed specifically for the project site taking into consideration the site's building configuration, architecture, and vehicular access.
- B. The information presented complies with Costa Mesa Municipal Code Section 13-29(g)(8) in that:
1. The proposed signing is consistent with the intent of Chapter VIII – Signs of the Zoning Code and the General Plan.
 2. The proposed signs are consistent with each other in design and construction – taking into account sign style and shape, materials, letter styles, colors and illumination.
 3. The proposed signs are compatible with the buildings and developments they identify – taking into account materials, colors and design motif.
 4. Approval does not constitute a grant of special privilege or allow substantially greater visibility than what the standard sign provisions would allow.
- C. The project has been reviewed for compliance with the California Environmental

Quality Act (CEQA), the CEQA Guidelines, and the City environmental procedures, and has been found to be exempt under Section 15301, Class 1, Existing Facilities, of the CEQA Guidelines.

- D. The project is exempt from Chapter XII, Article 3, Transportation System Management, of Title 13 of the Costa Mesa Municipal Code.

CODE REQUIREMENTS

The following list of federal, state, and local laws applicable to the project has been compiled by staff for the applicant's reference. Any reference to "City" pertains to the City of Costa Mesa.

- | | |
|--------------|---|
| Plng. | <ol style="list-style-type: none">1. Approval of the zoning application is valid for one year from the effective date of this approval and will expire at the end of that period unless applicant establishes the use by one of the following actions: 1) obtains building permits for the authorized construction and initiates construction; and/or 2) obtains a business license and/or legally establishes the business. If the applicant is unable to establish the use/obtain building permits within the one-year time period, the applicant may request an extension of time. The Planning Division must receive a written request for the time extension prior to the expiration of the zoning application.2. All construction-related activity shall be limited to between the hours of 7 AM and 7 PM, Monday through Friday, and 9 AM to 6 PM Saturday. Construction is prohibited on Sundays and federal holidays. Exceptions may be made for activities that will not generate noise audible from off-site, such as painting and other quiet interior work. |
| Bldg. | <ol style="list-style-type: none">3. Comply with the requirements of the following adopted codes: 2013 California Building Code, 2013 California Electrical code, 2013 California Mechanical code, 2013 California Plumbing code and 2013 California Energy Code (or the applicable adopted, California Building code California Electrical code, California Mechanical code California Plumbing Code and California Energy Code at the time of plan submittal or permit issuance) and California Code of Regulations also known as the California Building Standards Code, as amended by the City of Costa Mesa. |
| Bus.
Lic. | <ol style="list-style-type: none">5. All contractors and subcontractors must have valid business licenses to do business in the City of Costa Mesa. Final inspections, final occupancy and utility releases will not be granted until all such licenses have been obtained. |

PLANNED SIGNAGE PROGRAM

Received
City of Costa Mesa
Development Services Department

APR 04 2016

Development: LEVEL 1
Address: Industrial Way & Newport Blvd., Costa Mesa, CA 92727
Zoning: Mixed Use Development

Property Owner: TAYLOR MORRISON
100 Spectrum Drive, Ste 1450, Irvine CA 92618
949-341-1210
Contact: Yvonne Benschop
949-341-1210 E-mail: ybenschop@taylormorrison.com

Program Designer: OUTDOOR DIMENSIONS
5325 E. Hunter Avenue, Anaheim, CA 92807
714.578.9555
Contact: Pam Rogers
714-578-9555 E-mail: progers@outdoordimensions.com

MINOR CONDITIONAL USE PERMIT/
ADMINISTRATIVE ADJUSTMENT NO. 2416-06
Approval in Concept
SUBJECT TO CONDITIONS
CITY OF COSTA MESA
PLANNING DEPT.
BY *Adriana M. Hester* DATE 4-21-16



LEVEL 1
Industrial Way & Newport Blvd.
Costa Mesa, CA 92727



5325 E. HUNTER AVENUE
ANAHEIM, CA 92807
714-578-9555 FAX 714-693-9578

LEVEL 1

LEVEL 1 Sign Criteria - 1/21/9/15 S67/1/1/1/16 RC/1/25/16 S67/1/26/16 S67/3/22/16 S6

Sign Type	Description	Sign Location				Quantity	Sign Area (Sq. Ft.)	Height clearance of sign from the ground (inches).	Height or length limitations (feet)	Illumination (y or N)
		Freestanding	Building	Canopy	Projecting					
R.1	Live / Work Wall Sign		X			60	3 Sq.Ft.	60"	None	N
R.2	Door Vinyl		X			60	2 Sq.Ft.	72"	None	N
R.3	Prop 65 Sign		X			60	1 Sq.Ft.	18"	None	N
R.4	No Smoking Symbol		X			60	.5 Sq.Ft.	24"	None	N
R.5	Handicap Access Symbol		X			60	.25 Sq.Ft.	32"	None	N
R.6	Existing Monuments	X				2	20 Sq.Ft.	59.5"	None	N
TOTAL							26.75 Sq.Ft			

TOTAL AREA OF ALL SIGNS 302 1825 Sq.Ft.

1) Minimum/maximum size of owner signs: 24"h x 18"w.

2) Minimum/maximum sign area for monument signs: 24"h x 95.5"w.

3) Specifications: All owner signs are 1/8"thk x 24"h x 18"w Aluminum. Painted Sherwin Williams Silvermist SW 7621, with black vinyl.

4) Exclusions / Prohibited Signs: Any non-conforming sign to this sign program is not acceptable.

LEVEL 1

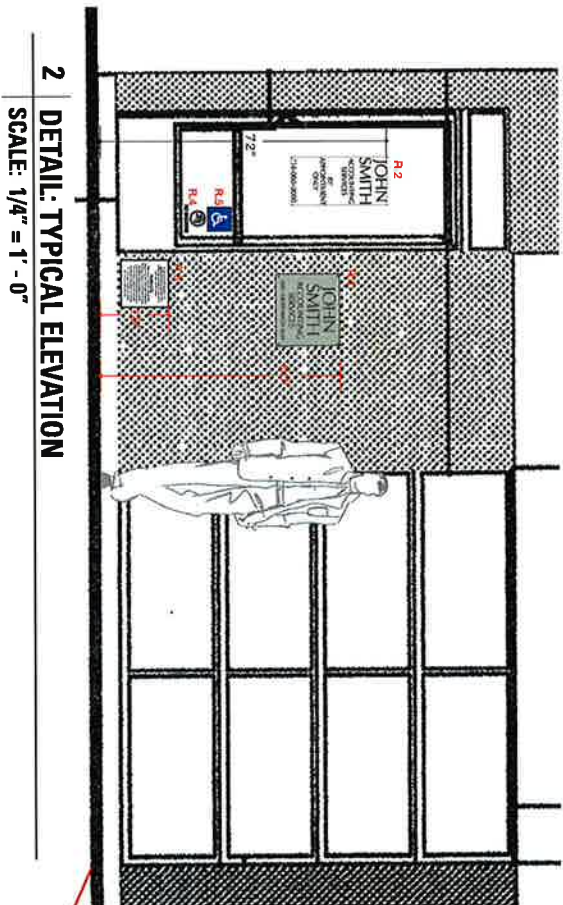
Industrial Way & Newport Blvd.
Costa Mesa, CA 92727



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LEVEL 1

1/2/18/15SG/1111716RC/1125/16SG/1126/16SG/13/22/16SG

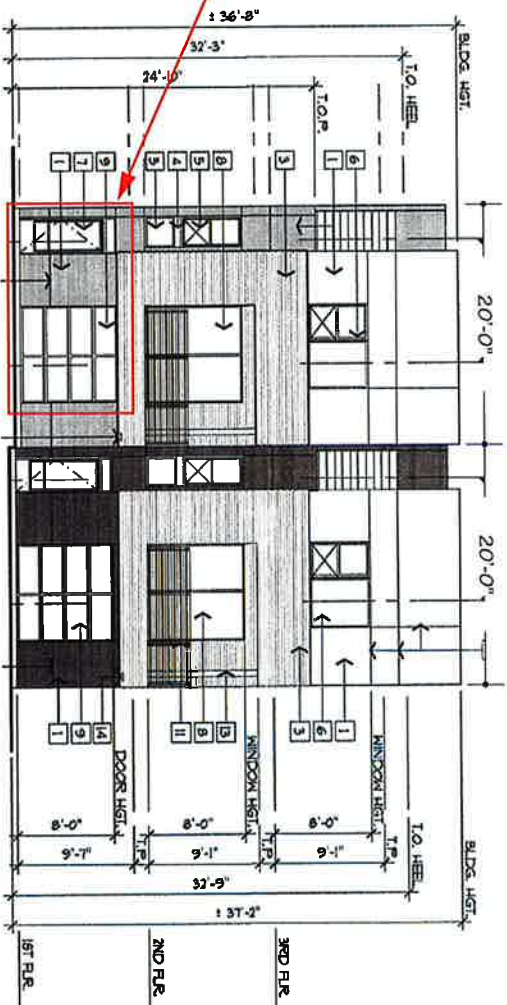


2 | DETAIL: TYPICAL ELEVATION

SCALE: 1/4" = 1'-0"

Building Elevation:

- R.1 Live / Work Wall Sign
- R.2 Door Vinyl
- R.3 Prop 65 Sign
- R.4 No Smoking Symbol
- R.5 Handicap Access Symbol



1 | TYPICAL ELEVATION

SCALE: 1/16" = 1'-0"

LEVEL 1

Industrial Way & Newport Blvd.
Costa Mesa, CA 92727

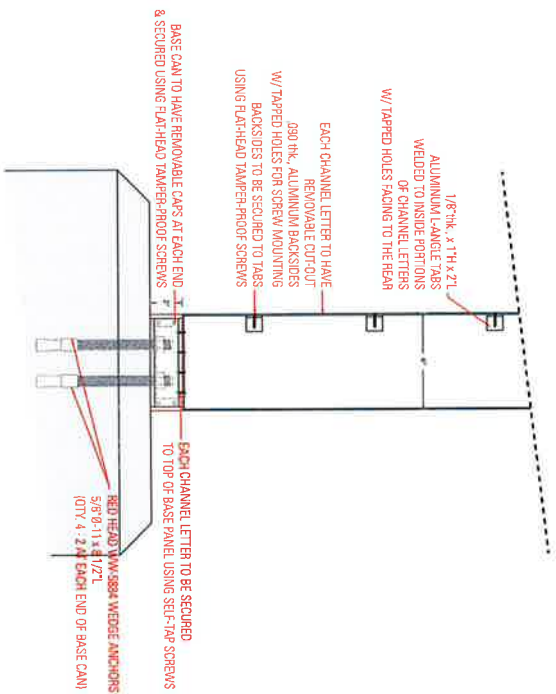


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ANAHEIM, CA 92807

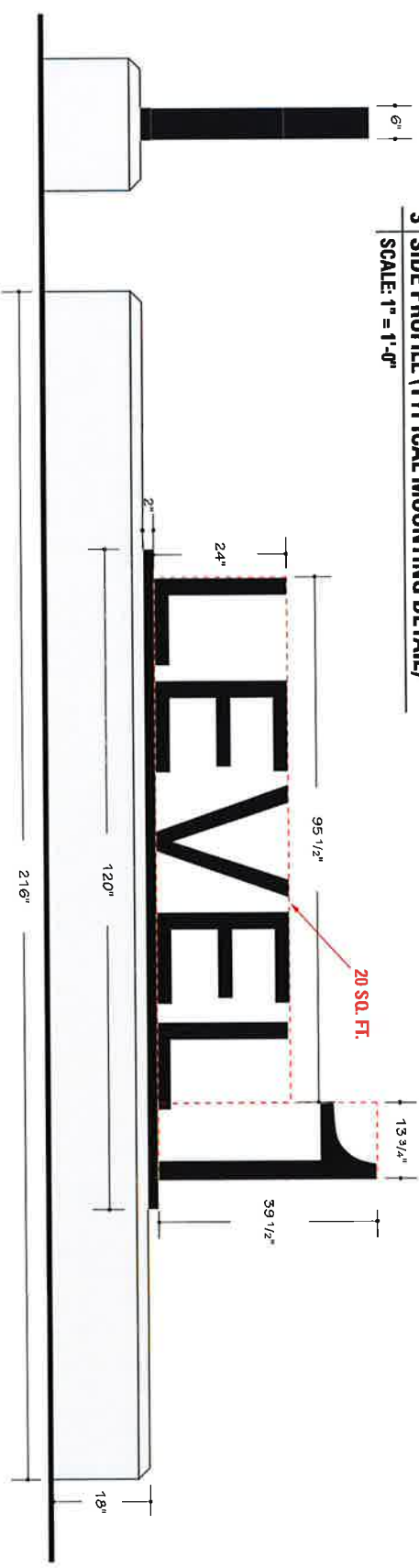
714-578-9555 FAX 714-693-9578

LEVEL 1

12/19/15 SG / 1/11/16 RC / 1/25/16 SG / 1/26/16 SG / 3/22/16 SG



3 | SIDE PROFILE (TYPICAL MOUNTING DETAIL)
SCALE: 1" = 1'-0"



1 | SIDE VIEW
SCALE: 3/8" = 1'-0"

FRONT VIEW

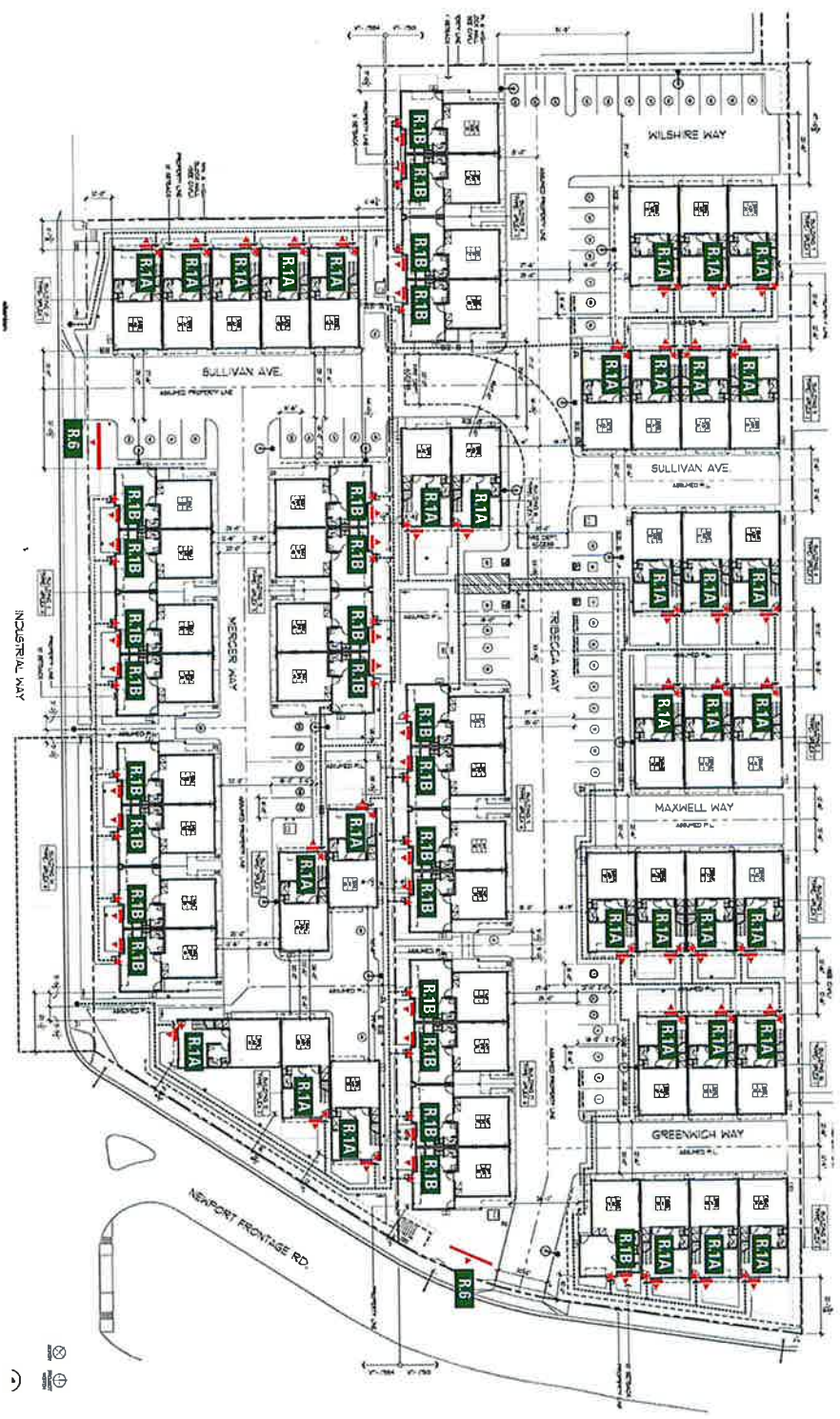
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LEVEL 1

12/18/15 56 / 1/11/16 RC / 1/25/16 56 / 1/26/16 56 / 3/22/16 56



LEVEL 1

LIVEWORK	TYPE	DTY	DESCRIPTION
R 1A	35	NON-ILLUMINATED WALL SIGN / 20'-0" FRONTAGE	
R 1B	25	NON-ILLUMINATED WALL SIGN / 24'-0" FRONTAGE	
R 2	60	LIVEWORK WINDOW DEMONSTRATION VINYL SIGNAGE	
R 3	60	PROP 65 SIGN	
R 4	60	RETAIL ADDRESS SIGNAGE	
R 5	60	HANDICAP ACCESS SIGNAGE	
R 6	2	EXISTING MONUMENTS	

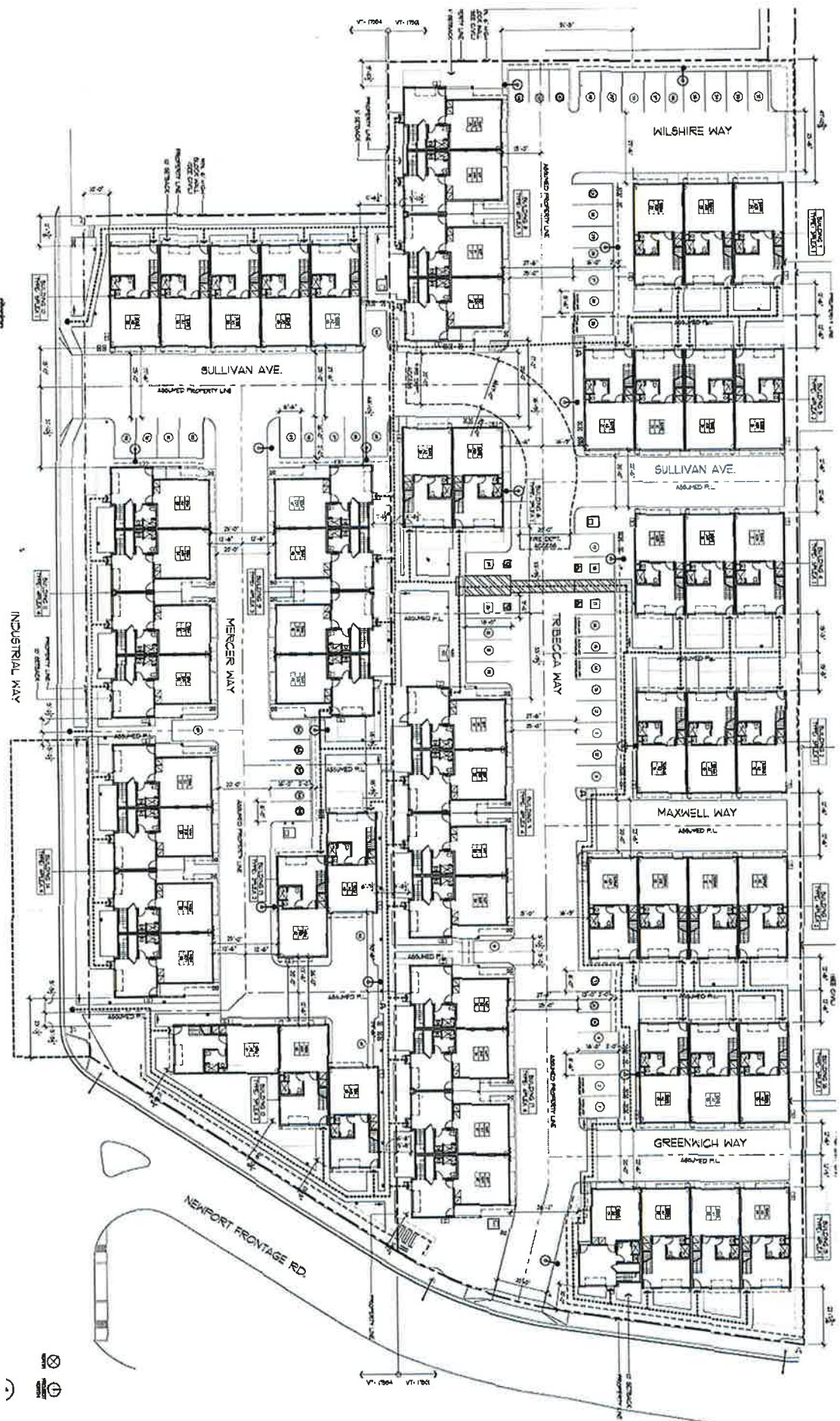
LEVEL 1
 Industrial Way & Newport Blvd.
 Costa Mesa, CA 92727

LEVEL 1



3325 S. HUNTER AVENUE
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12/16/15 561/01/11/21/16/CL/1125/16/90/1126/16/90/3/25/16/96



LEVEL 1

LEVEL 1
 Industrial Way & Newport Blvd.
 Costa Mesa, CA 92727



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 12/18/15SG/111116RC/12916SG/1126/16SG/3122/16SG

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General Live/Work Signage Guidelines	8-12

RETAIL SIGNAGE

Live/Work Owner Wall Sign - R.1	13-16
Live/Work Owner Door Vinyl - R.2	17
Prop. 65 Sign - R.3	18
No Smoking Symbol - R.4	19
Handicap Access Symbol - R.5	20



1. Purpose and Intent. A sign program is intended to integrate the design and placement of signs proposed within a multi-tenant or multi-building development project. A Sign Program provides a means for defining common sign regulations for multi-tenant projects to encourage maximum incentive and latitude in the design and display of multiple signs and to achieve, not circumvent, the intent of this sign criteria.

The purpose of regulating signs is to increase the overall effectiveness of visual communications, to provide a harmonious relationship of urban graphics and their settings and to avoid the visual clutter that is potentially harmful to traffic and pedestrian safety, property values, business opportunities and the community's appearance.

LEVEL 1

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TYPE OF SIGN PERMITTED

Each Live/Work Owner is allowed one (1) (R.1) wall sign for each retail frontage. Live/Work Owner is allowed one (1) window identification (R.2 - R.5) set of vinyl that includes name, logo, address and hours of operation and required regulatory vinyl.

All signage must comply with the regulations of the sign code.

All signage must compliment existing architecture with a three-dimensional character.

TYPE OF SIGN COPY PERMITTED

Wording of the signage shall be limited to the Live/Work Owner's trade name, and shall generally not include specification of merchandise sold or services rendered, regardless of Live/Work Owner's "legal name". Logos will be permitted as long as the logo is intergrated into the sign copy.

An exception shall be made to this requirement to allow the owner to include the product sold, i.e., shoes, dresses, etc., when identifications of owner is impossible without same and it is part of Live/Work Owner's trade name or insignia. (Sally's Shoes, Tony's Pizza, etc.)

APPROVED EXTERIOR COLORS FOR THIS PROJECT



APPROVED TYPESTYLES FOR THIS PROJECT

Futura Bold :	Futura Medium :	Optima Bold :	Optima Regular :
ABCDEFGHIJKLMN OPQRSTUVWXYZ 1234567890	ABCDEFGHIJKLMN OPQRSTUVWXYZ 1234567890	ABCDEFGHIJKLMN OPQRSTUVWXYZ 1234567890	ABCDEFGHIJKLMN OPQRSTUVWXYZ 1234567890



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LEVEL 1

LIVE / WORK SIGNAGE**INCIDENTAL SIGNS/ WINDOW VINYL**

Incidental signs are small signs intended primarily for the convenience of the public, this includes one (1) Prop 65 sign, one (1) handicap access vinyl and one (1) No Smoking vinyl.

BUILDING ADDRESS NUMBERS

Each Live/Work Unit at Level 1 requires a building address to satisfy fire, post office or building code requirements and these are existing.

All address numbers will be a minimum of four (4) inches high, in a font, material and finish specified by Level 1. Unit address is existing on Live/Work buildings.

COLORS AND MATERIALS DISCUSSION

It is the intent of these guidelines to support creative expression, eye-catching design and high quality sign materials on the part of all Live/Work Owners at Level 1. Within this context, the following material and color guidelines shall be followed:

- A. Neon and “day glow” colors are prohibited.
- B. Reflective and rainbow vinyls are prohibited.
- C. Colors shall be used in combination to ensure legibility, contrast and distinction.
- D. Using the same color as on the building for all returns on channel letters.
- F. Using the same type of sign supports or method of mounting for all signs of the same type, or by using the same type of construction material for components, such as sign copy, cabinets and supports.

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LIVE/WORK SIGNAGE

GENERAL SIGN INSTALLATION / FABRICATION REQUIREMENTS

Each Live/Work Owner, or its sign contractor, shall be responsible for the repair of any damage to the building caused by the installation of said Live/Work Owner's sign.

Each Live / Work Owner shall be responsible for the performance and operations of its sign contractor.

All bolts, fasteners, and hardware shall be corrosion resistant (i.e. stainless steel, aluminum, brass or bronze). No black iron materials of any type will be permitted.

Sign contractor shall install signage in accordance with the approved drawings.

All sign installation will be in accordance with the approved Planned Signage Program.

All materials used in fabrication and installation of materials shall be of high quality.

PERMIT PROCESS

Prior to any construction of the wall sign, the Live/Work Owner shall submit a sign permit application and three (3) sets of the Live / Work Owner's Plans to the **City of Costa Mesa Planning & Building Division**.

Once approved by the City of Costa Mesa those applications found to comply with the Planned Sign Program will be granted a permit.

Applications found to conflict with the Planned Sign Program and/or requests to deviate from Planned Sign Program may require the amendment of this sign program.



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LEVEL 1

12/18/15 56 / 11/11/16 RC / 1/25/16 56 / 1/26/16 56 / 3/22/16 56

LIVE/WORK SIGNAGE**DESCRIPTION**

Note that throughout these standards, the following measurement criteria will be used: Total sign area will be determined by a series of contiguous boxes that enclose all parts of affixed sign.

Building Signage at Level 1 will be restricted to the first floor level and signage is to be installed on building facades. [See example R.1](#)

Each Live/Work Owner will have one wall mounted sign for each retail frontage that shall not be taller than sixty (60) inches above grade. [See example R.1](#)

Each wall sign shall not exceed a maximum of two (2) square feet.

Each wall sign will be one eighth (1/8") inch thick.

Each Live/Work Owner will have one set of identification door vinyl signage. [See example R.2](#)

Each Live/Work Owner will have one Prop. 65 sign. [See example R.3](#)

Each Live/Work Owner will have one No Smoking vinyl signage. [See example R.4](#)

Each Live/Work Owner will have one handicap access vinyl signage. [See example R.5](#)

LEVEL 1

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LIVE/WORK SIGNAGE**PROHIBITED SIGNAGE AND MEDIA**

No sign of any type other than those types previously described in the Live / Work Signage Guidelines will be allowed to become attached to or temporarily placed on Level 1 property.

Temporary window signs shall be allowed subject to city code requirements and permit process.

Transparent panels, photo murals or similar applications shall not be included in storefronts unless written approval is obtained from the City's Zoning Administrator.

Additionally, the following Retail Sign Types are expressly forbidden:

1. Exposed neon expressed in a simple single or double stroke application.
2. Signs employing luminous-vacuum formed plastic letters.
3. Signs employing un-edged or uncapped plastic logos or letters with no returns and exposed fastenings.
4. Signs employing animated, moving, flashing or black lights or components thereof.
5. Neon and "day glow" paint, vinyl and paper colors are prohibited.
6. Reflective, rainbow or other patterned vinyl's are prohibited.
7. Signs utilizing paper, cardboard, Styrofoam signs, stickers or decals hung around, on or behind storefronts applied to or located behind storefront glazing (except as described in the incidental signs section).
8. Exposed raceways, ballast boxes, transformers, crossovers or conduit.
9. The stamps, decals or other displays of the sign manufacturer's identity cannot be displayed on any portion of the sign, other than when expressly required by jurisdictional requirements.
10. Non-ornamental hardware used to attach sign to storefront may not be exposed to view.
11. No simulated materials (i.e. wood grained plastic laminates, etc.) or wall coverings permitted.
12. Neon strands of strings light highlighting the roof lines, gables, cornices, eaves or other architectural features, is prohibited, except as allowed subject to an approved special event permit or temporary holiday decoration.
13. Temporary or permanent lighting of any type is permitted only with the Zoning Administrator written approval.
14. Multiple or repetitive signs or those using corporate shields, crests, logos or insignia.

LEVEL 1

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SIGN TYPE R.1A - S/F LIVE / WORK UNIT 1 / 20'-0" FRONTAGE

- QUANTITY:** ONE (1) PER UNIT, 35 UNITS
- LOCATION:** AS INDICATED ON LOCATION MAP PAGE 4
- COPY:** TENANT NAME, LOGO & ADDRESS
- MATERIALS:** ALUMINUM
- SIGN AREA:** MAXIMUM SIGN SIZE 1/8" THK x 16" h x 18" w, 2 SQUARE FEET
- LETTER HEIGHT:** TBD BY CLIENT LOGO
- LOGO HEIGHT:** TBD BY CLIENT LOGO
- COLORS:** SW 7621 "SILVERMIST" BKGD., BLACK LOGO COLORS AND COPY
- TYPE FACE:** TBD BY CLIENT LOGO
- LIGHTING:** NON-ILLUMINATED

S/F LIVE / WORK OWNER'S SIGN

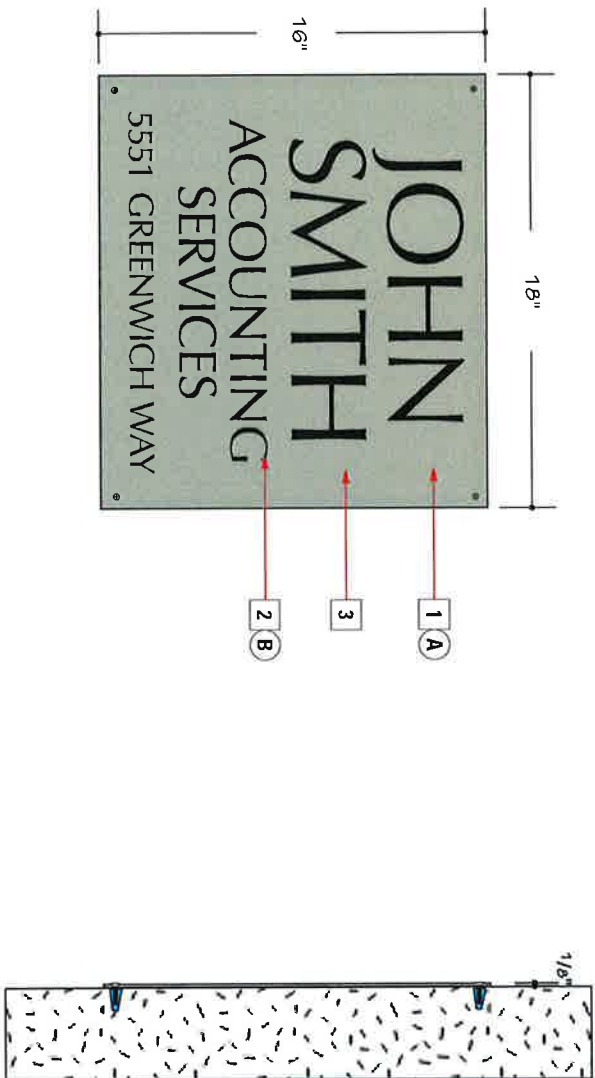
- 1/8" THK ALUMINUM SIGN FACE PAINTED
- DIE CUT VINYL COPY
- PROTECTIVE CLEARCOAT

SIGN ATTACHED TO WALL WITH FLUSH SCREWS AND NYLON ANCHORS.

ALL WALL PENETRATIONS MUST BE WATERPROOFED WITH INDUSTRIAL STRENGTH EPOXY

FONT: TBD

<input type="checkbox"/> A	SW 7621 "SILVERMIST"
<input type="checkbox"/> B	BLACK



1 | DETAIL - FRONT VIEW

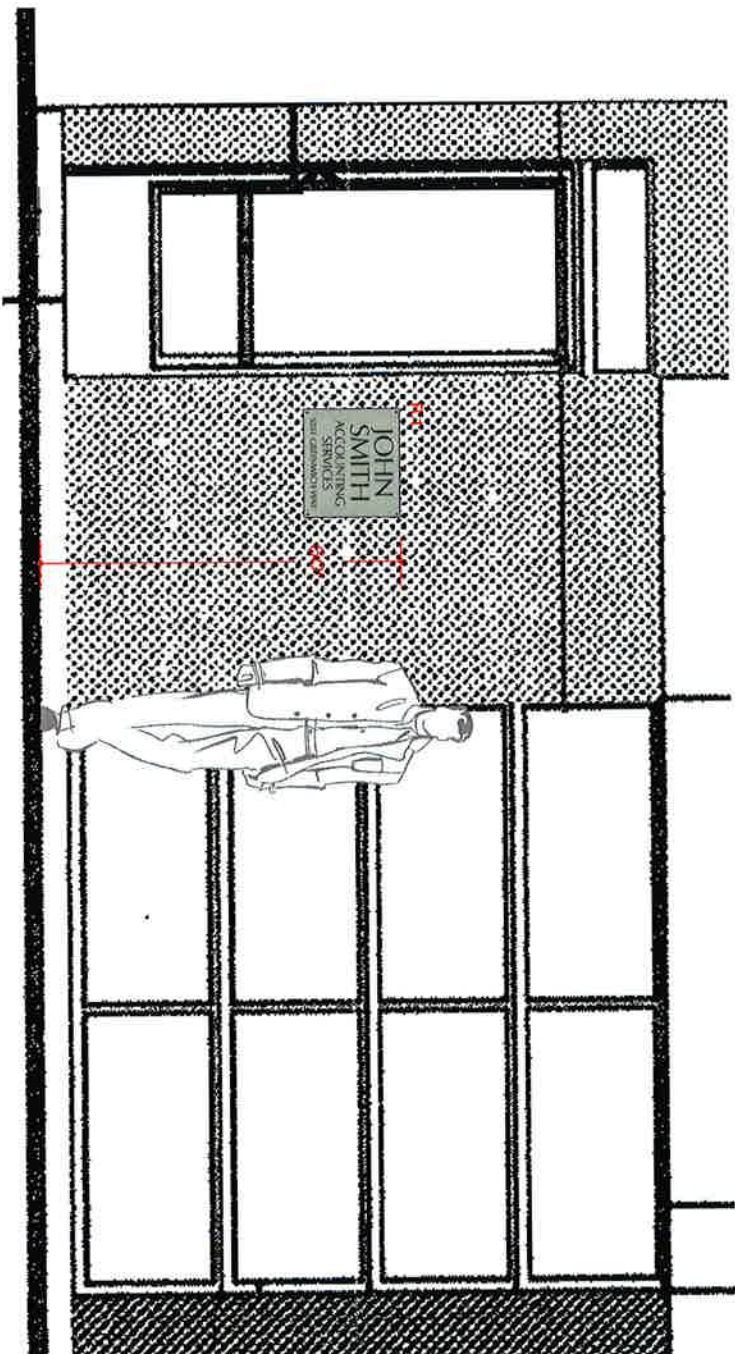
SCALE: 1 1/2" = 1'-0"

SIDE VIEW



LEVEL 1

SIGN TYPE R.1A - S/F LIVE / WORK UNIT 1 / 20'-0" FRONTAGE
QUANTITY: ONE (1) PER UNIT, 35 UNITS
LOCATION: AS INDICATED ON LOCATION MAP PAGE 4
COPY: TENANT NAME, LOGO & ADDRESS
MATERIALS: ALUMINUM
SIGN AREA: MAXIMUM SIGN SIZE 1/8"thk x 16"h x 18"w; 2 SQUARE FEET
LETTER HEIGHT: TBD BY CLIENT LOGO
LOGO HEIGHT: TBD BY CLIENT LOGO
COLORS: SW 7621 "SILVERMIST" BKGD, BLACK LOGO COLORS AND COPY
TYPE FACE: TBD BY CLIENT LOGO
LIGHTING: NON-ILLUMINATED



2 | DETAIL: TYPICAL ELEVATION

SCALE: 3/8" = 1' - 0"

S/F LIVE / WORK OWNER'S SIGN

- 1 1/8" THK ALUMINUM SIGN FACE PAINTED
- 2 DIE CUT VINYL COPY
- 3 PROTECTIVE CLEARCOAT

SIGN ATTACHED TO WALL WITH FLUSH SCREWS AND NYLON ANCHORS.

ALL WALL PENETRATIONS MUST BE WATERPROOFED WITH INDUSTRIAL STRENGTH EPOXY

FONT: TBD

(A)	SW 7621 "SILVERMIST"
(B)	BLACK



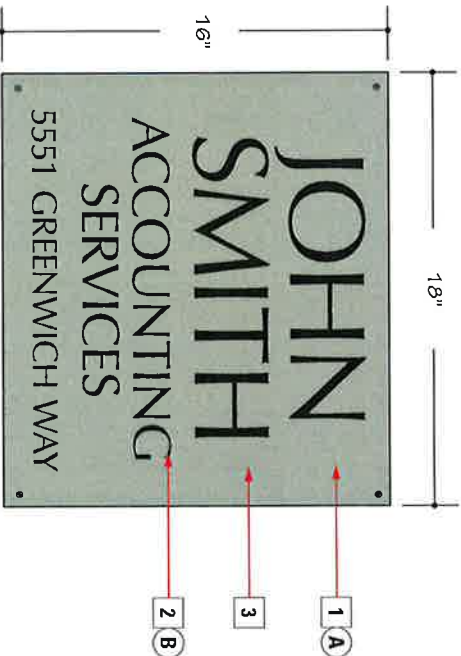
5325 E. HUNTER AVENUE
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LEVEL 1

12/18/15 SG / 1/11/16 RC / 1/25/16 SG / 1/26/16 SG / 3/22/16 SG

SIGN TYPE R.1B - S/F LIVE / WORK UNIT 2 / 24'-10" FRONTAGE

- QUANTITY:** ONE (1) PER UNIT, 25 UNITS
- LOCATION:** AS INDICATED ON LOCATION MAP PAGE 4
- COPY:** TENANT NAME, LOGO & ADDRESS
- MATERIALS:** ALUMINUM
- SIGN AREA:** MAXIMUM SIGN SIZE 1/8"thk x 16"h x 18"w, 2 SQUARE FEET
- LETTER HEIGHT:** TBD BY CLIENT LOGO
- LOGO HEIGHT:** TBD BY CLIENT LOGO
- COLORS:** SW 7621 "SILVERMIST" BKGD., BLACK LOGO COLORS AND COPY
- TYPE FACE:** TBD BY CLIENT LOGO
- LIGHTING:** NON-ILLUMINATED



1 | **DETAIL: FRONT VIEW**
SCALE: 1 1/2" = 1' - 0"

SIDE VIEW

S/F LIVE / WORK OWNER'S SIGN

- 1 1/8" THK ALUMINUM SIGN FACE PAINTED
- 2 DIE CUT VINYL COPY
- 3 PROTECTIVE CLEARCOAT

SIGN ATTACHED TO WALL WITH FLUSH SCREWS AND NYLON ANCHORS.

ALL WALL PENETRATIONS MUST BE WATERPROOFED WITH INDUSTRIAL STRENGTH EPOXY

FONT: TBD

(A)	SW 7621 "SILVERMIST"
(B)	BLACK

LEVEL 1



5325 E. HUNTER AVENUE
ANAHEIM, CA 92807
714-578-9555 FAX 714-693-9578

SIGN TYPE R.1B - S/F LIVE /WORK UNIT 2 / 24' - 10" FRONTAGE
QUANTITY: ONE (1) PER UNIT, 60 UNITS
LOCATION: AS INDICATED ON LOCATION MAP PAGE 4
COPY: TENANT NAME, LOGO & ADDRESS
MATERIALS: ALUMINUM
SIGN AREA: MAXIMUM SIGN SIZE 1/8" thk x 16" h x 18" w, 2 SQUARE FEET
LETTER HEIGHT: TBD BY CLIENT LOGO
LOGO HEIGHT: TBD BY CLIENT LOGO
COLORS: SW 7621 "SILVERMIST" BKGD., BLACK LOGO COLORS AND COPY
TYPE FACE: TBD BY CLIENT LOGO
LIGHTING: NON-ILLUMINATED

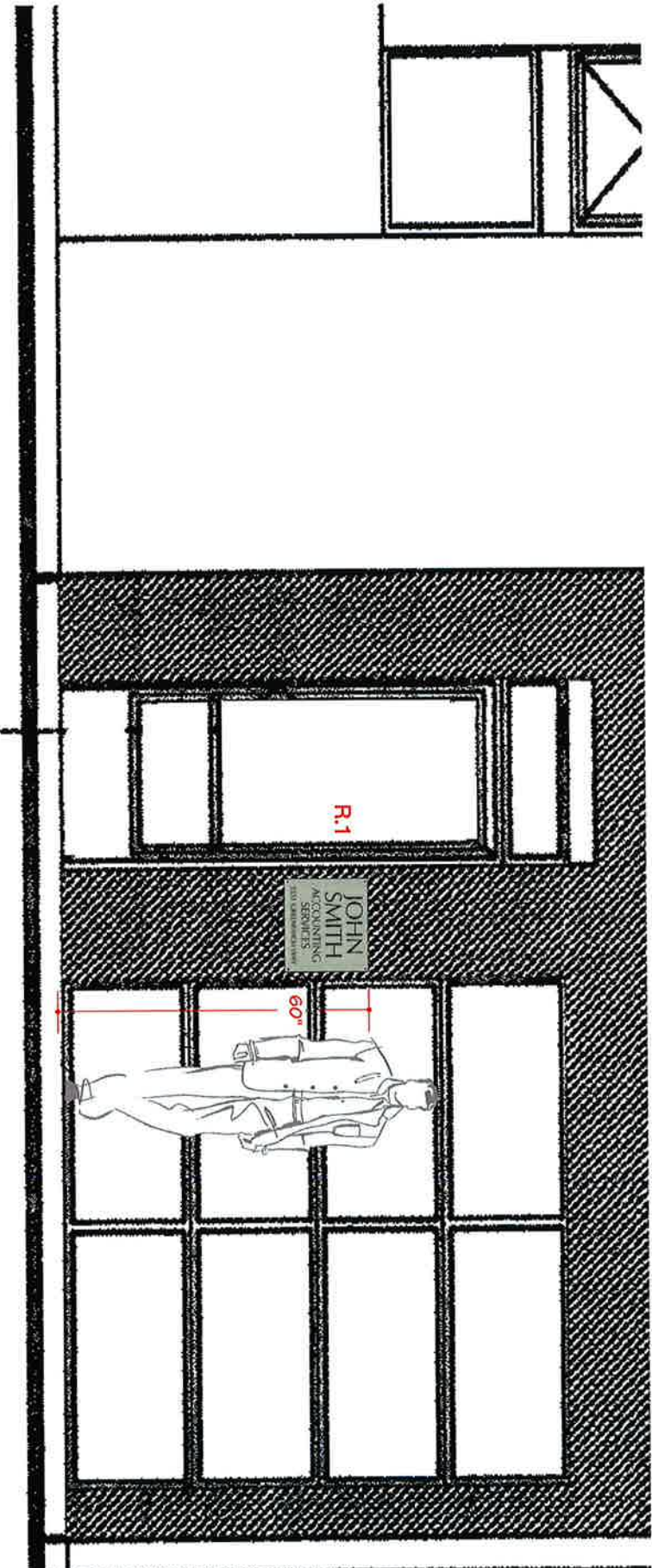
- S/F LIVE / WORK OWNER'S SIGN**
- 1 1/8" THK ALUMINUM SIGN FACE PAINTED
 - 2 DIE CUT VINYL COPY
 - 3 PROTECTIVE CLEARCOAT

SIGN ATTACHED TO WALL WITH FLUSH SCREWS AND NYLON ANCHORS.

ALL WALL PENETRATIONS MUST BE WATERPROOFED WITH INDUSTRIAL STRENGTH EPOXY

FONT: TBD

A	SW 7621 "SILVERMIST"
B	BLACK



2 DETAIL: TYPICAL ELEVATION

SCALE: 3/8" = 1' - 0"

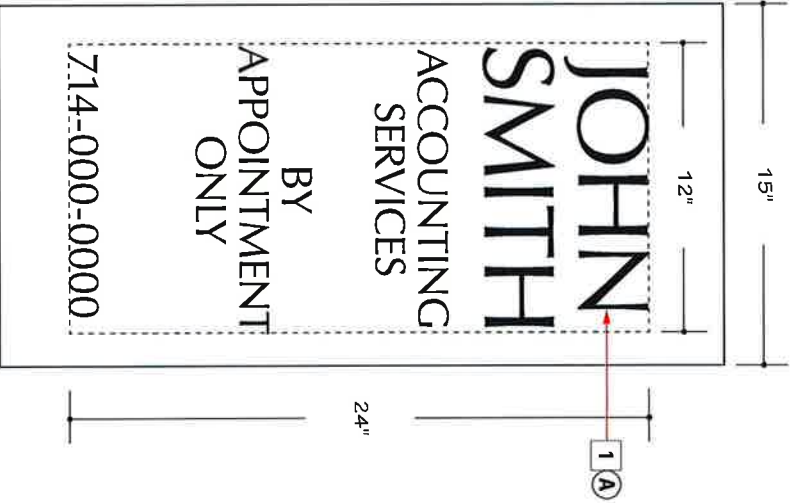
LEVEL 1



5325 E. HUNTER AVENUE
 ANAHEIM, CA 92807
 714-578-9555 FAX 714-693-9578
 12/16/15 SSG / 1/1/16 RC / 1/25/16 SSG / 1/26/16 SSG / 3/22/16 SSG

SIGN TYPE R.2 - S/F LIVE / WORK OWNER DOOR VINYL

- QUANTITY:** ONE (1) PER UNIT, 60 UNITS
- LOCATION:** ON ENTRANCE DOOR GLASS
- COPY:** TBD
- MATERIALS:** VINYL
- SIGN AREA:** 2 SQUARE FEET
- LETTER HEIGHT:** TBD
- LOGO HEIGHT:** TBD
- COLORS:** WHITE
- TYPE FACE:** OPTIMA REGULAR
- LIGHTING:** NON-ILLUMINATED



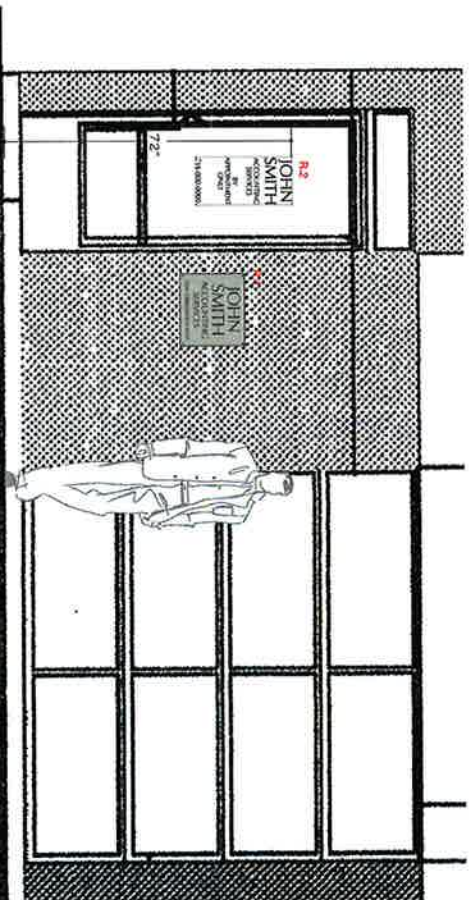
1 | DETAIL: DOOR VINYL

SCALE: 1 1/2" = 1'-0"

S/F LIVE / WORK OWNER'S DOOR VINYL

- WHITE TOP-MOUNT DIE-CUT VINYL
- WHITE

VINYL PLACED ON THE OUTSIDE OF THE GLASS (FIRST SURFACE VINYL)



2 | DETAIL: TYPICAL ELEVATION

SCALE: 1/4" = 1'-0"

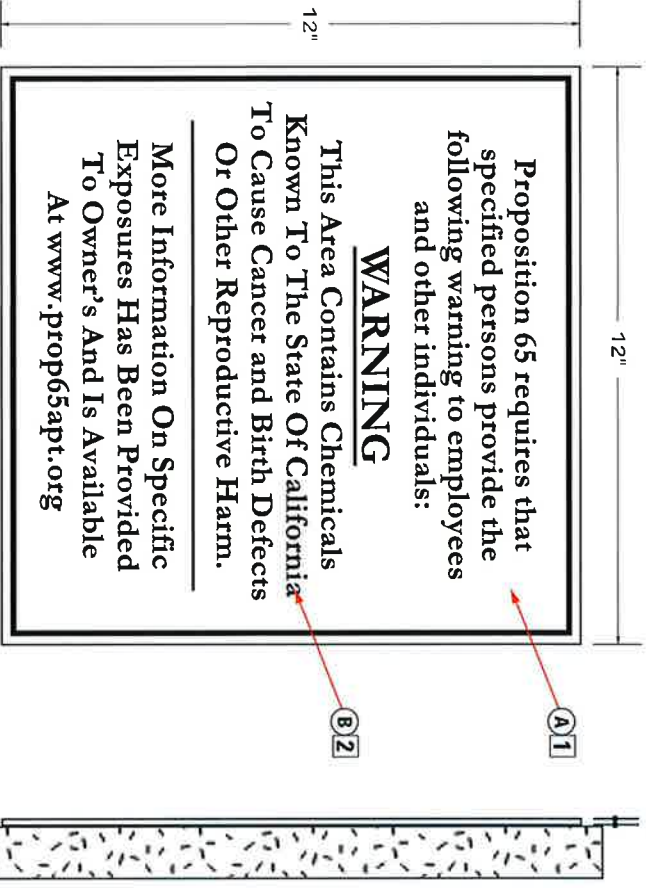
LEVEL 1



5325 E. HUNTER AVENUE
 ANAHEIM, CA 92807
 714-578-9555 FAX 714-693-9578
 12/18/15 SG / 1/11/16 RC / 1/25/16 SG / 1/26/16 SG / 3/22/16 SG

SIGN TYPE R.3 - S/F PROP. 65 SIGN

- QUANTITY: ONE (1) PER UNIT, 60 UNITS
- LOCATION: NEXT TO ENTRANCE DOOR
- COPY: PROP. 65 REGULATORY COPY
- MATERIALS: PLEX AND PAINT
- SIGN AREA: 1 SQUARE FEET
- LETTER HEIGHT: 1" & 1/2"
- LOGO HEIGHT: N/A
- COLORS: WHITE AND BLACK
- TYPE FACE: GARAMOND BOLD
- LIGHTING: NON-ILLUMINATED



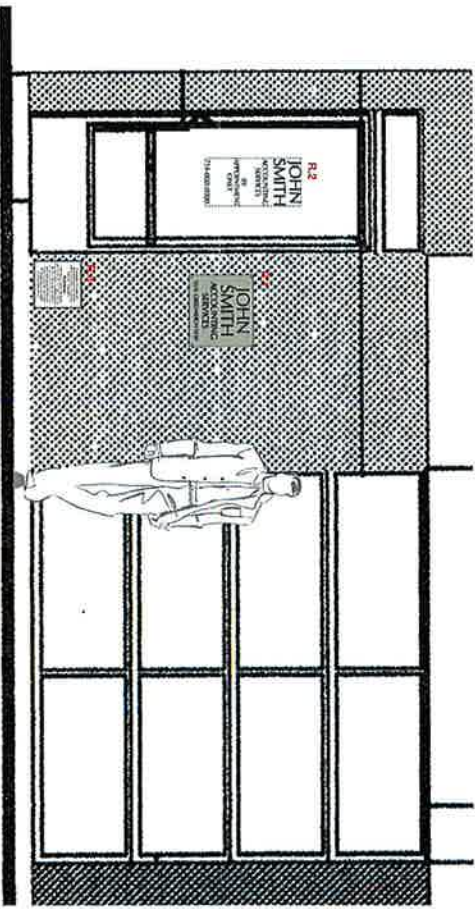
1 | **DETAIL: PROP. 65**
SCALE: 3" = 1' - 0"

S/F INCIDENTAL RETAIL SIGN

- 1 1/8" WHITE PLEX
- 2 SILKSCREENED COPY
- 3 PROTECTIVE CLEARCOAT

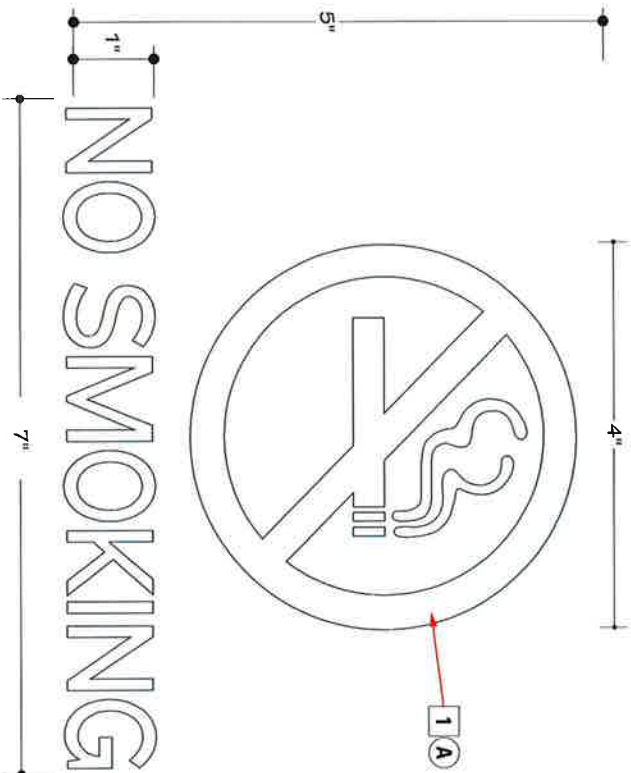


SIGN ATTACHED TO WALL WITH VHB TAPE AND GE SILICONE

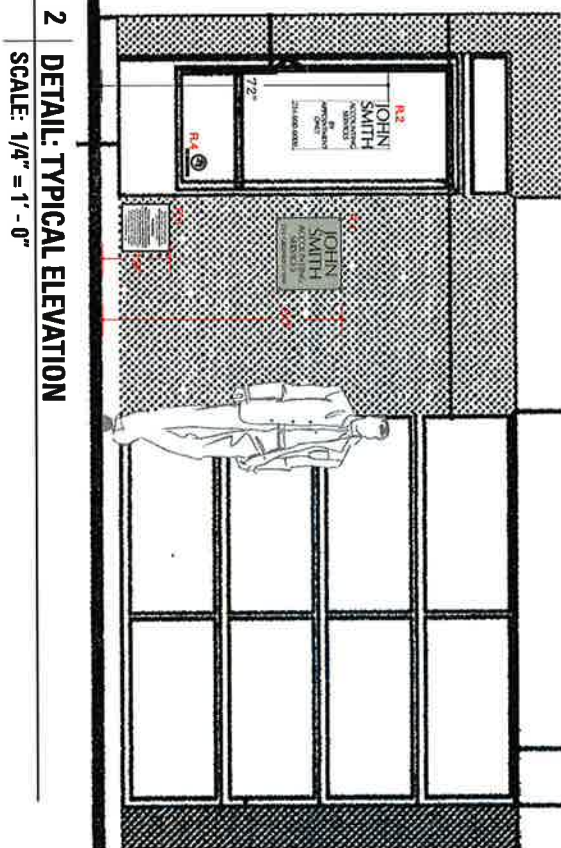


SIGN TYPE R.4 - S/F NO SMOKING SYMBOL

- QUANTITY:** ONE (1) PER UNIT, 60 UNITS
- LOCATION:** ON ENTRANCE DOOR ON WINDOW
- COPY:** NO SMOKING WITH SYMBOL
- MATERIALS:** VINYL
- SIGN AREA:** .5 SQUARE FEET
- LETTER HEIGHT:** 1 INCHES
- LOGO HEIGHT:** 4 INCHES
- COLORS:** WHITE
- TYPE FACE:** FUTURA BOLD
- LIGHTING:** NON-ILLUMINATED

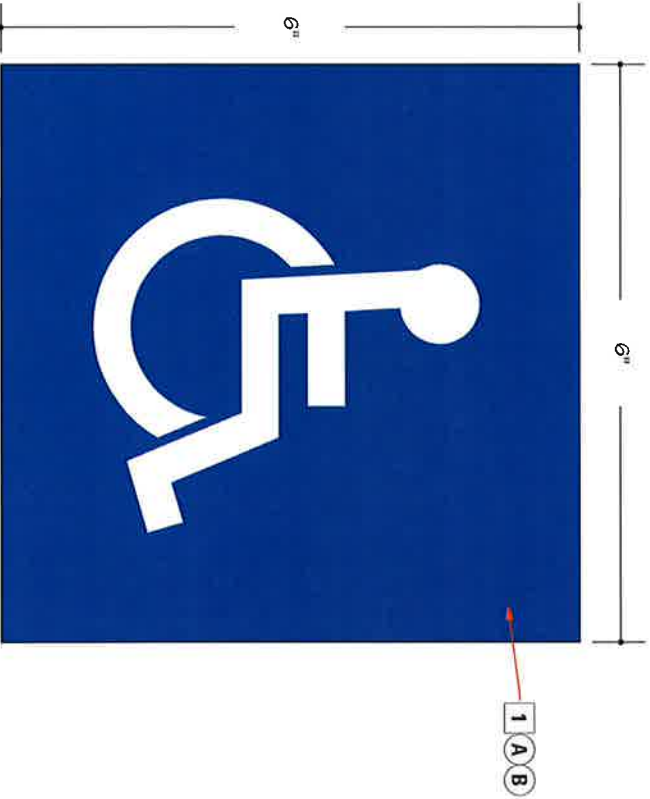


1 FRONT VIEW
SCALE: 1 : 2 (HALF SIZE)

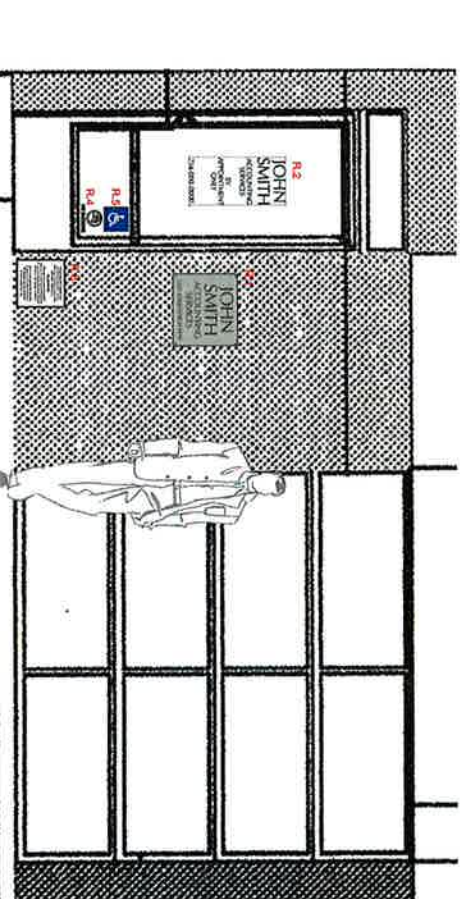


SIGN TYPE R.5 - S/F HANDICAP ACCESS SYMBOL

- QUANTITY:** ONE (1) PER UNIT, 60 UNITS
- LOCATION:** ON ENTRANCE DOOR
- COPY:** N/A
- MATERIALS:** VINYL
- SIGN AREA:** .25 SQUARE FEET
- LETTER HEIGHT:** N/A
- LOGO HEIGHT:** N/A
- COLORS:** FEDERAL BLUE
- TYPE FACE:** N/A
- LIGHTING:** NON-ILLUMINATED



1 FRONT VIEW
SCALE: 1 : 2 (HALF SIZE)



2 DETAIL: TYPICAL ELEVATION
SCALE: 1/4" = 1' - 0"

H/C ACCESS STICKER

- 1** TOP-MOUNTED DIE CUT VINYL
- SELF ADHESIVE VINYL ATTACHED TO GLASS DOOR.





CITY OF COSTA MESA

P.O. BOX 1200 • 77 FAIR DRIVE • CALIFORNIA 92628-1200

DEVELOPMENT SERVICES DEPARTMENT

April 21, 2016

Mr. Marlon Chinchilla
Outdoor Dimensions
5325 E. Hunter Avenue
Anaheim, CA 92807

**RE: ZONING APPLICATION ZA-16-07
PLANNED SIGN PROGRAM FOR SUPERIOR POINTE
(LIVE/WORK DEVELOPMENT),
1677 SUPERIOR AVE., COSTA MESA**

Dear Mr. Chinchilla:

City staff's review of your zoning application for the above-referenced project has been completed. The application, as described in the attached project description, has been approved, based on the findings and subject to the conditions of approval and code requirements (attached). The decision will become final at 5:00 p.m. on April 28, 2016, unless appealed by an affected party, including filing of the necessary application and payment of the appropriate fee, or called up for review by a member of the Planning Commission or City Council.

If you have any questions regarding this letter, please feel free to contact the project planner, Adrienne J. Gladson, AICP, at (714) 754-5609, or at adrienne.gladson@costamesaca.gov.

Sincerely,

WILLA BOUWENS-KILLEEN, AICP
Zoning Administrator

Attachments: Project Description and Analysis
Findings
Conditions of Approval, Code Requirements, and Special District
Requirements
Approved Planned Sign Program

cc: Engineering
Fire Protection Analyst
Building Safety Division

PROJECT DESCRIPTION

The project site is located south of 17th Street and west of Superior Avenue. The site is approximately 2.3 acres in size and the full implementation of project construction is nearly complete. The property is zoned C1 (Local Business District) and MG (General Industrial), and has a General Plan land use designation of Neighborhood Commercial and Light Industry. Superior Pointe is a mixed use project that was approved recently by the Planning Commission entitling 49 live/work units at the property. An entitlement condition of approval required the developer to submit a Planned Sign Program for signage with the specific purpose to bring forward appropriate and sensitive identification signs for the work units of the project. The physical layout of the development's site plan (see the site plan on pages 4 and 5 of the program) shows a series of three-story buildings aligned adjacent to private roadways with 48 individual small work units (approximately 120 square feet in size) on the first (ground) level. All of the work units are orientated outward to the street inviting pedestrians to visit the businesses operating inside. This Planned Sign Program will assist in communicating to the general public the name/type of businesses and where they are located in the development. The surrounding neighborhood includes commercial properties to the north and east and industrial properties to the west and south.

ANALYSIS

Proposed Planned Sign Program

The program allows each work unit tenant to have one painted, non-illuminated aluminum wall sign with the maximum sign area of two square feet. These signs will be installed flush mounted to the exterior wall adjacent to the business entrance with sign text to include the business name, optional logos, address so to clearly identify the business to visitors. The program also grants an approved color pallet, sign fabrication details, type face styles for sign copy, additional door/window graphics, and other regulatory signage related to ADA, Prop 65, and smoking. The maximum size area, height, and design details for the existing and previously permitted free-standing monument sign located at the corner of 17th Street and Superior Avenue is also memorialized in the program. This important information will assist with its replacement if needed in the future. For the specifics of the full program see detail sheets of the program attached.

For live/work units in mixed use projects, the goal of a planned sign program is to provide a comprehensive, consistent, and compatible program for all signage permitted at the development. For this program the need is to focus on a solid design theme for "work" element signage separate from the residential use above. An important goal the program achieves is to provide a sign design theme that complements the existing modern architecture theme and urban feel of the community as well as meet the required findings below. The program is simple and straightforward and achieves all the required goals expected by the development and delivers a thoughtful approach to signage needs for the Superior Pointe community.

General Plan Consistency

The proposed project is consistent with the Zoning Code and the City's General Plan. The planned sign program should not adversely impact the surrounding uses.

FINDINGS

- A. The information presented complies with Costa Mesa Municipal Code Section 13-29(e) in that:
1. Compatible and harmonious relationship between the proposed building and site development, and use(s), and the building and site developments, and uses that exist or have been approved for the general neighborhood.
 2. Safety and compatibility of the design of buildings, parking area, landscaping, luminaries and other site features which may include functional aspects of the site development such as automobile and pedestrian circulation.
 3. Compliance with any performance standards as prescribed elsewhere in this Zoning Code.
 4. Consistency with the General Plan and any applicable specific plan.
 5. The planning application is for a project-specific case and is not to be construed to be setting a precedent for future development. The planned signing program was designed specifically for the project site taking into consideration the site's building configuration, architecture, and vehicular access.
- B. The information presented complies with Costa Mesa Municipal Code Section 13-29(g)(8) in that:
1. The proposed signing is consistent with the intent of Chapter VIII – Signs of the Zoning Code and the General Plan.
 2. The proposed signs are consistent with each other in design and construction – taking into account sign style and shape, materials, letter styles, colors and illumination.
 3. The proposed signs are compatible with the buildings and developments they identify – taking into account materials, colors and design motif.
 4. Approval does not constitute a grant of special privilege or allow substantially greater visibility than what the standard sign provisions would allow.
- C. The project has been reviewed for compliance with the California Environmental Quality Act (CEQA), the CEQA Guidelines, and the City environmental procedures,

and has been found to be exempt under Section 15301, Class 1, Existing Facilities, of the CEQA Guidelines.

- D. The project is exempt from Chapter XII, Article 3, Transportation System Management, of Title 13 of the Costa Mesa Municipal Code.

CODE REQUIREMENTS

The following list of federal, state, and local laws applicable to the project has been compiled by staff for the applicant's reference. Any reference to "City" pertains to the City of Costa Mesa.

- Plng. 1. Approval of the zoning application is valid for one year from the effective date of this approval and will expire at the end of that period unless applicant establishes the use by one of the following actions: 1) obtains building permits for the authorized construction and initiates construction; and/or 2) obtains a business license and/or legally establishes the business. If the applicant is unable to establish the use/obtain building permits within the one-year time period, the applicant may request an extension of time. The Planning Division must receive a written request for the time extension prior to the expiration of the zoning application.
2. All construction-related activity shall be limited to between the hours of 7 AM and 7 PM, Monday through Friday, and 9 AM to 6 PM Saturday. Construction is prohibited on Sundays and federal holidays. Exceptions may be made for activities that will not generate noise audible from off-site, such as painting and other quiet interior work.
- Bldg. 3. Comply with the requirements of the following adopted codes: 2013 California Building Code, 2013 California Electrical code, 2013 California Mechanical code, 2013 California Plumbing code and 2013 California Energy Code (or the applicable adopted, California Building code California Electrical code, California Mechanical code California Plumbing Code and California Energy Code at the time of plan submittal or permit issuance) and California Code of Regulations also known as the California Building Standards Code, as amended by the City of Costa Mesa.
- Bus. 5. All contractors and subcontractors must have valid business licenses to do
Lic. business in the City of Costa Mesa. Final inspections, final occupancy and utility releases will not be granted until all such licenses have been obtained.

PLANNED SIGNAGE PROGRAM

Received
City of Costa Mesa
Development Services Department

APR 04 2016

Development: SUPERIOR POINTE
Address: 17th Street & Superior., Costa Mesa, CA 92727
Zoning: Mixed Use Development

Property Owner: TAYLOR MORRISON
100 Spectrum Drive, Ste 1450, Irvine CA 92618
949-341-1210
Contact: Yvonne Benschop
949-341-1210 E-mail: ybenschop@taylormorrison.com

Program Designer: OUTDOOR DIMENSIONS
5325 E. Hunter Avenue, Anaheim, CA 92807
714.578.9555
Contact: Pam Rogers
714-578-9555 E-mail: progers@outdoordimensions.com

MINOR CONDITIONAL USE PERMIT/
ADMINISTRATIVE ADJUSTMENT NO. 2416-07
Approval in Concept
SUBJECT TO CONDITIONS
CITY OF COSTA MESA
PLANNING DEPT.
By *Adriana G. Walker* DATE 4-21-16



VACINITY MAP

SUPERIOR POINTE
1677 Superior Avenue
Costa Mesa, CA 92727



5325 E. HUNTER AVENUE
ANAHEIM, CA 92807
714-578-9555 FAX 714-693-9578

SUPERIOR POINTE

SUPERIOR POINTE Sign Criteria v1 - 01/28/16 56 / v2 - 8/22/16 56

Sign Type	Description	Sign Location				Quantity	Sign Area (Sq. Ft.)	Height clearance of sign from the ground (inches).	Height or length limitations (feet)	Illumination (y or N)
		Freestanding	Building	Canopy	Projecting					
R.1	Live / Work Wall Sign		X			49	3 Sq.Ft.	60"	None	N
R.2	Door Vinyl		X			49	2 Sq.Ft.	72"	None	N
R.3	Prop 65 Sign		X			49	1 Sq.Ft.	18"	None	N
R.4	No Smoking Symbol		X			49	.5 Sq.Ft.	24"	None	N
R.5	Handicap Access Symbol		X			49	.25 Sq.Ft.	32"	None	N
R.6	Existing Monument	X				1	44.3 Sq.Ft.	74"	None	N
TOTAL							51.05 Sq.Ft			

TOTAL AREA OF ALL SIGNS 246 373.3 Sq.Ft.

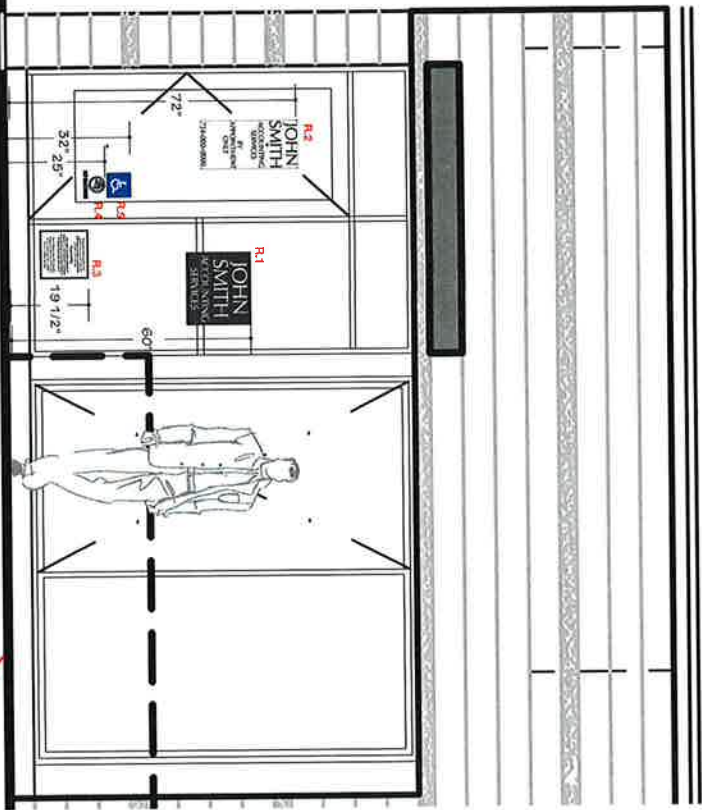
- 1) Minimum/maximum size of owner signs: 24"h x 18"w.
- 2) Minimum/maximum sign area for monument signs: 24"h x 266"w.
- 3) Specifications: All owner signs are 1/8"thk x 24"h x 18"w Aluminum. Painted Matthews MP32195 "Staid Grey Metallic" with white vinyl copy.
- 4) Exclusions / Prohibited Signs: Any non-conforming sign to this sign program is not acceptable.

SUPERIOR POINTE
 17th Street & Superior
 Costa Mesa, CA 92727



5325 E. HUNTER AVENUE
 ANAHEIM, CA 92807
 714-578-9555 FAX 714-693-9578
 V1 - 01/28/16 56 / V2 - 3/22/16 56

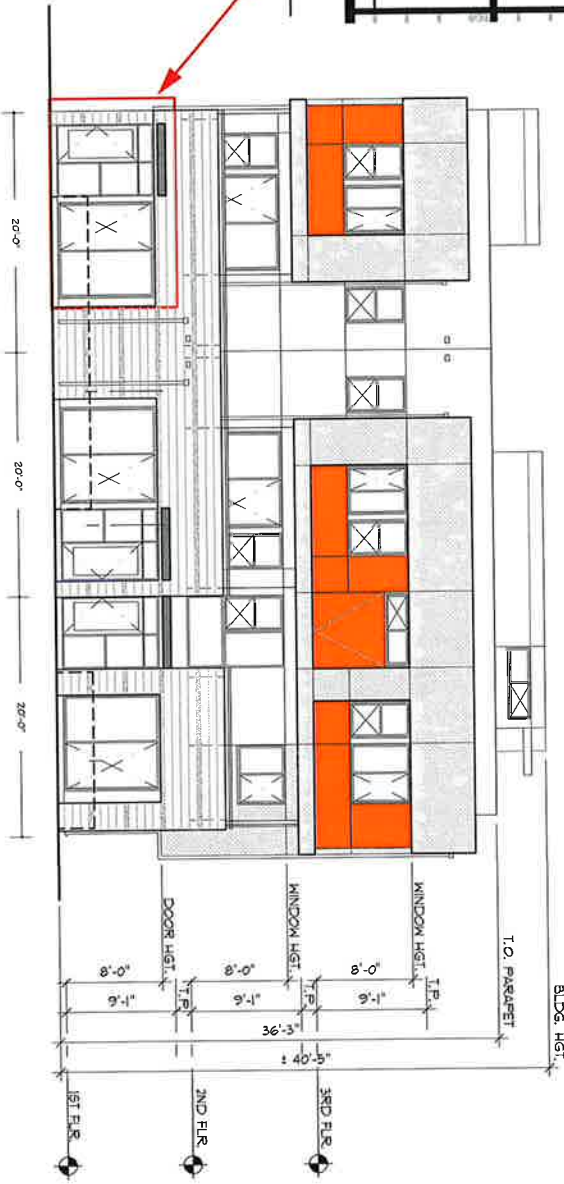
SUPERIOR POINTE



2 DETAIL: TYPICAL ELEVATION
SCALE: 1/4" = 1' - 0"

Building Elevation:

- R.1 Live / Work Wall Sign
- R.2 Door Vinyl
- R.3 Prop 65 Sign
- R.4 No Smoking Symbol
- R.5 Handicap Access Symbol



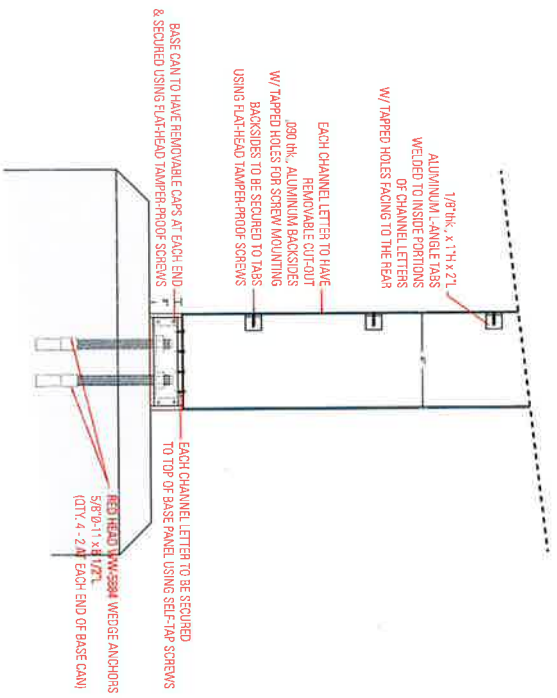
1 TYPICAL ELEVATION
SCALE: 1/16" = 1' - 0"

SUPERIOR POINTE
17th Street & Superior
Costa Mesa, CA 92727

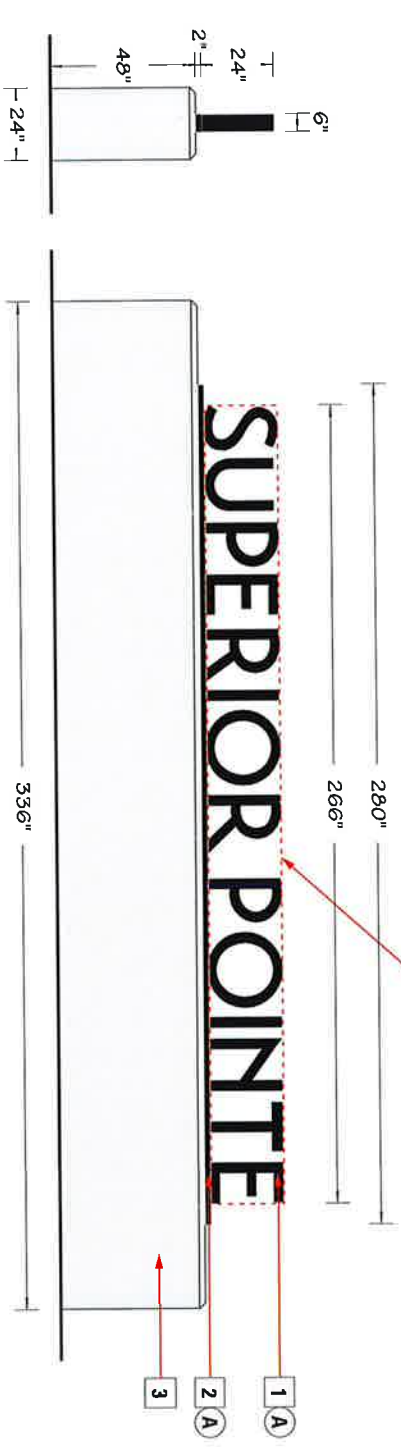


5335 E. HUNTER AVENUE
ANAHEIM, CA 92807
714-578-9555 FAX 714-693-9578
V1 - 01/28/16 561/v2 - 5/22/16 56

CHANNEL LETTERS	
MATERIALS:	
1	PAINTED, .090 wall, ALUMINUM CHANNEL LETTERS
2	PAINTED, 1/4" wall, ALUMINUM BASE CAN
3	CONCRETE WALL BY BUILDER
COLORS:	
A	BLACK



3 | SIDE PROFILE (TYPICAL MOUNTING DETAIL)
SCALE: 1" = 1'-0"



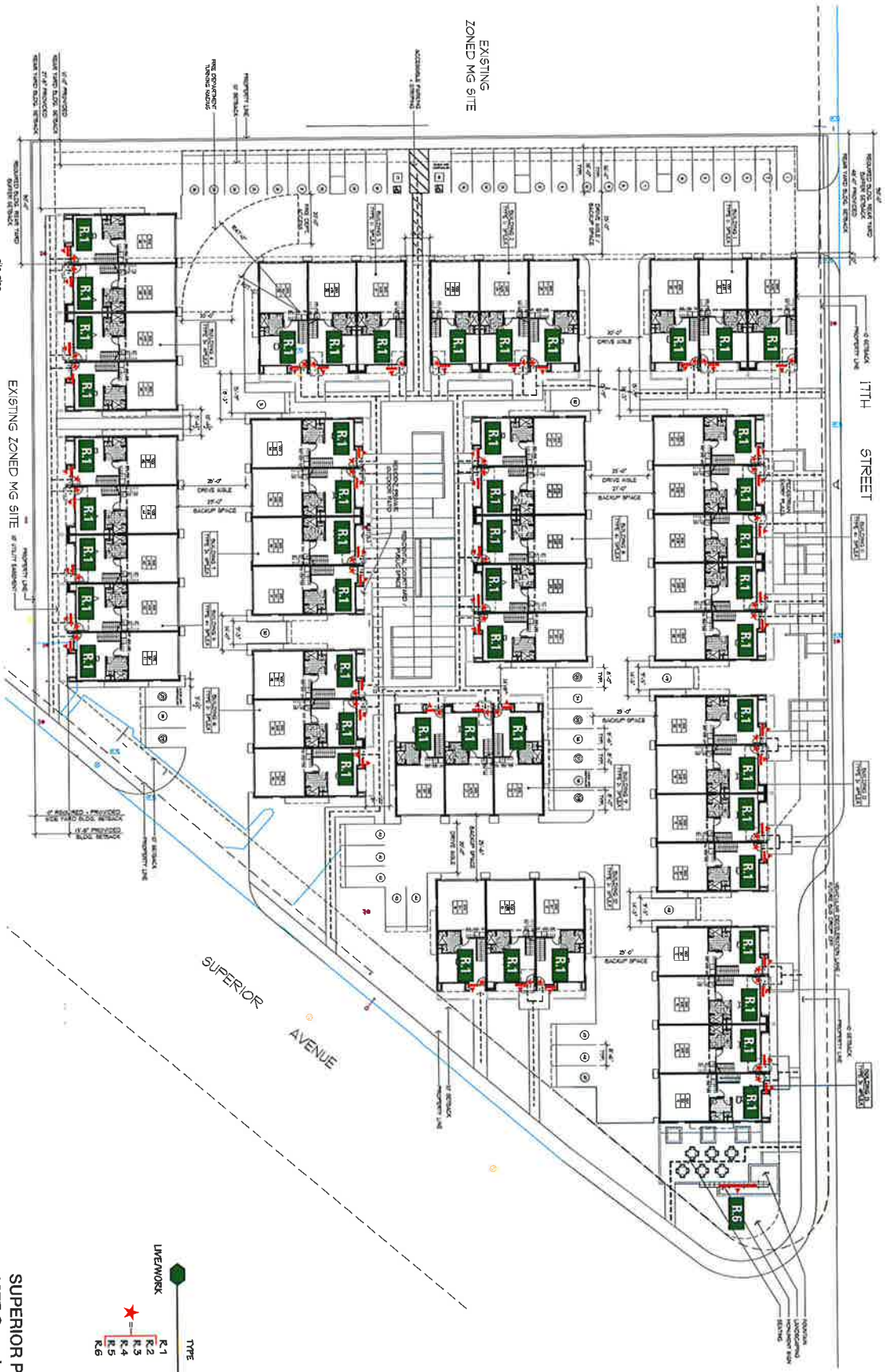
2 | SIDE ELEVATION
SCALE: 3/16" = 1'-0"

1 | FRONT ELEVATION
SCALE: 3/16" = 1'-0"

SUPERIOR POINTE
17th Street & Superior
Costa Mesa, CA 92727



5325 E. HUNTER AVENUE
ANAHEIM, CA 92807
714-578-9555 FAX 714-693-9578
V1-0128/1656/v2-3/22/1656



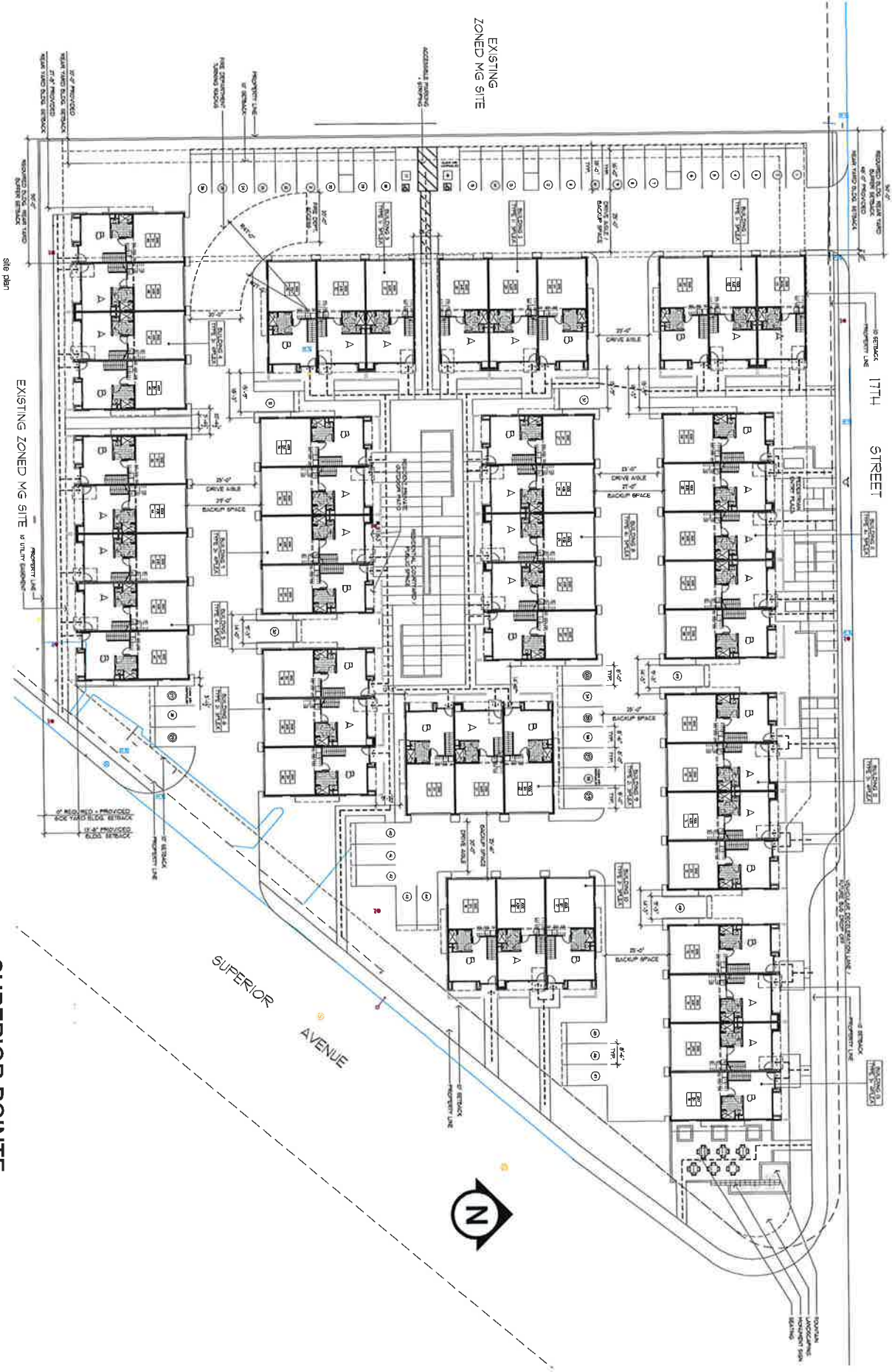
TYPE	QTY.	DESCRIPTION
█ LIVE/WORK		
R-1	49	NON-ILLUMINATED WALL SIGN
R-2	49	LIVE/WORK WINDOW IDENTIFICATION VINYL
R-3	49	FRONT 65 SIGN
R-4	49	RETAIL ADDRESS
R-5	49	HANDICAP ACCESS
R-6	1	EXISTING MONUMENT

SUPERIOR POINTE
 1677 Superior Avenue
 Costa Mesa, CA 92727

OUTDOOR DIMENSIONS

5335 E. HUNTER AVENUE
 ANAHEIM, CA 92807
 714-570-9355 FAX 714-689-5978
 *1 - 07/28/14 10:56:17 - 2/22/16 96

SUPERIOR POINTE



SUPERIOR POINTE

SUPERIOR POINTE
 17th Street & Superior
 Costa Mesa, CA 92727



5325 E. HUNTER AVENUE
 ANAHEIM, CA 92807
 714-578-9555 FAX 714-693-9578
 W1-01128/16SG/V2-3/22/1656

	Page #
Sign Summary	1
Building Elevation	2
Existing Monument Signage	3
Sign Plan Sign Locations	4
Architectural Plan	5
Table of Contents	6
Statement of Intent	7
General Live/Work Signage Guidelines	8-12

RETAIL SIGNAGE

Live/Work Owner Wall Sign - R.1	13-14
Live/Work Owner Door Vinyl - R.2	15
Prop. 65 Sign - R.3	16
No Smoking Symbol - R.4	17
Handicap Access Symbol - R.5	18



1. Purpose and Intent. A sign program is intended to integrate the design and placement of signs proposed within a multi-tenant or multi-building development project. A Sign Program provides a means for defining common sign regulations for mixed-use projects to encourage maximum incentive and latitude in the design and display of multiple signs and to achieve, not circumvent, the intent of this sign criteria.

The purpose of regulating signs is to increase the overall effectiveness of visual communications, to provide a harmonious relationship of urban graphics and their settings and to avoid the visual clutter that is potentially harmful to traffic and pedestrian safety, property values, business opportunities and the community's appearance.



TYPE OF SIGN PERMITTED

Each Live/Work Owner is allowed one (1) (R.1) wall sign for each retail frontage. Live/Work Owner is allowed one (1) window identification (R.2) set of vinyl that includes name, logo, address and hours of operation and (R.3- R.5) required regulatory vinyl.

All signage must comply with the regulations of the Planned Signage Program.

All signage must compliment existing architecture with a three-dimensional character.

TYPE OF SIGN COPY PERMITTED

Wording of the signage shall be limited to the Live/Work Owner's trade name, and shall generally not include specification of merchandise sold or services rendered, regardless of Live/Work Owner's "legal name". Logos will be permitted as long as the logo is intergrated into the sign copy.

An exception shall be made to the above limitation to allow the owner to include the product sold, i.e., shoes, dresses, etc., when identification of owner is impossible without same, and it is part of Live/Work Owner's trade name or insignia. (Sally's Shoes, Tony's Pizza, etc.)

The planned sign program will be the code for all signage at Superior Pointe.

APPROVED EXTERIOR COLORS FOR THIS PROJECT



APPROVED TYPESTYLES FOR THIS PROJECT

Futura Bold :	ABCDEF GHIJKLMN OPQRST UVWXYZ 1234567890	Futura Medium :	ABCDEF GHIJKLMN OPQRST UVWXYZ 1234567890	Optima Bold :	ABCDEF GHIJKLMN OPQRST UVWXYZ 1234567890	Optima Regular :	ABCDEF GHIJKLMN OPQRST UVWXYZ 1234567890
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SUPERIOR POINTE



5325 E. HUNTER AVENUE
ANAHEIM, CA 92807
714-578-9555 FAX 714-693-9578
v1 - 01/28/16 SG 1v2 - 3/22/16 SG

LIVE / WORK SIGNAGE**INCIDENTAL SIGNS/ WINDOW VINYL**

Incidental signs are small signs intended primarily for the convenience of the public; these include one (1) Prop 65 sign, one (1) handicap access vinyl and one (1) No Smoking vinyl.

BUILDING ADDRESS NUMBERS

Each Live/Work Unit at Superior Pointe requires a building address to satisfy fire, post office or building code requirements and these are existing.

All address numbers will be a minimum of four (4) inches high, in a font, material and finish specified by Superior Pointe. Unit address is existing on Live/Work buildings.

COLORS AND MATERIALS DISCUSSION

It is the intent of these guidelines to support creative expression, eye-catching design and high quality sign materials on the part of all Live/Work Owners at Superior Pointe. Within this context, the following material and color guidelines shall be followed:

- A. Neon and "day glow" colors are prohibited.
- B. Reflective and rainbow vinyls are prohibited.
- C. Colors shall be used in combination to ensure legibility, contrast and distinction.
- D. Using the same color as on the building for all returns on channel letters.
- F. Using the same type of sign supports or method of mounting for all signs of the same type, or by using the same type of construction material for components, such as sign copy, cabinets and supports.



LIVE/WORK SIGNAGE**GENERAL SIGN INSTALLATION / FABRICATION REQUIREMENTS**

Each Live/Work Owner, or its sign contractor, shall be responsible for the repair of any damage to the building caused by the installation of said Live/Work Owner's sign.

Each Live / Work Owner shall be responsible for the performance and operations of its sign contractor.

All bolts, fasteners, and hardware shall be corrosion resistant (i.e. stainless steel, aluminum, brass or bronze). No black iron materials of any type will be permitted.

Sign contractor shall install signage in accordance with the approved drawings.

All sign installation will be in accordance with the approved Planned Signage Program.

All materials used in fabrication and installation of materials shall be of high quality.

PERMIT PROCESS

Prior to any construction of the wall sign, the Live/Work Owner shall submit a sign permit application and three (3) sets of the Live / Work Owner's plans to the City of Costa Mesa Planning & Building Divisions.

Once approved by the City of Costa Mesa those applications found to comply with the Planned Signage Program will be granted a permit.

Applications found to conflict with the Planned Signage Program and/or requests to deviate from Planned

Signage Program may require the amendment of this sign program.



LIVE/WORK SIGNAGE**DESCRIPTION**

Note that throughout these standards, the following measurement criteria will be used: Total sign area will be determined by a series of contiguous boxes that enclose all parts of affixed sign.

Building Signage at Superior Pointe will be restricted to the first floor level and signage is to be installed on building facades. [See example R.1](#)

Each Live/Work Owner is allowed to have one wall mounted sign for it's frontage; the wall mounted sign shall not be placed higher than sixty (60) inches above grade. [See example R.1](#)

Each wall sign shall not exceed a maximum of two (2) square feet.

Each wall sign will be one eighth (1/8") inch thick.

Each Live/Work Owner will have one set of identification door vinyl signage. [See example R.2](#)

Each Live/Work Owner will have one Prop. 65 sign. [See example R.3](#)

Each Live/Work Owner will have one No Smoking vinyl signage. [See example R.4](#)

Each Live/Work Owner will have one handicap access vinyl signage. [See example R.5](#)



LIVE/WORK SIGNAGE**PROHIBITED SIGNAGE AND MEDIA**

No sign of any type other than those types previously described in the Live / Work Signage Guidelines will be allowed to become attached to or temporarily placed on Superior Pointe property.

Temporary window signs shall be allowed subject to city code requirements and permit process.

Transparent panels, photo murals or similar applications shall not be included in storefronts unless written approval is obtained from the city's Zoning Administrator.

Additionally, the following Sign Types are expressly forbidden:

1. Exposed neon expressed in a simple single or double stroke application.
2. Signs employing luminous-vacuum formed plastic letters.
3. Signs employing un-edged or uncapped plastic logos or letters with no returns and exposed fastenings.
4. Signs employing animated, moving, flashing or black lights or components thereof.
5. Neon and "day glow" paint, vinyl and paper colors.
6. Reflective, rainbow or other patterned vinyl's.
7. Signs utilizing paper, cardboard, Styrofoam, stickers or decals hung around, on or behind storefronts applied to or located behind storefront glazing (except as described in the incidental signs section).
8. Exposed raceways, ballast boxes, transformers, crossovers or conduit.
9. The stamps, decals or other displays of the sign manufacturer's identity cannot be displayed on any portion of the sign, other than when expressly required by jurisdictional requirements.
10. Non-ornamental hardware used to attach sign to storefront may not be exposed to view.
11. No simulated materials (i.e. wood grained plastic laminates, etc.) or wall coverings are allowed.
12. Neon strands of string lights highlighting the roof lines, gables, cornices, eaves or other architectural features, is prohibited, except as temporary holiday decoration.
13. Temporary or permanent lighting of any type is allowed only with the city's Zoning Administrator written approval, provided that these signs conform to other applicable criteria.
14. Multiple or repetitive signs or those using corporate shields, crests, logos or insignia.



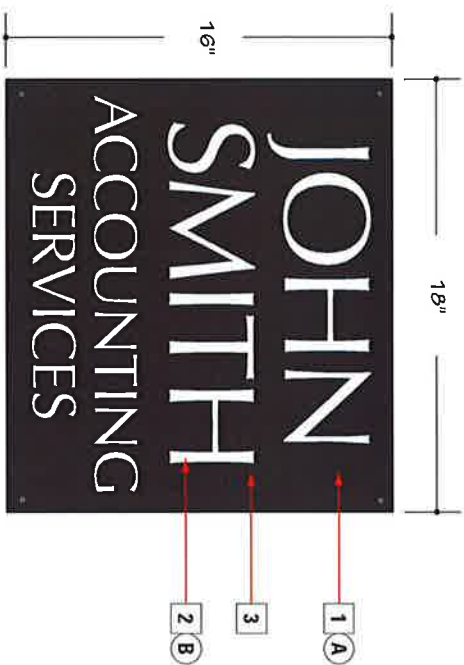
5325 E. HUNTER AVENUE
ANAHEIM, CA 92807
714-578-9555 FAX 714-693-9578

SUPERIOR POINTE

v1 - 01/28/16 56 / v2 - 8/22/16 56

SIGN TYPE R.1 - S/F LIVE /WORK OWNER SIGN

- QUANTITY:** ONE (1) PER UNIT, 49 UNITS
- LOCATION:** AS INDICATED ON LOCATION MAP PAGE 4
- COPY:** TENANT NAME AND LOGO
- MATERIALS:** ALUMINUM
- SIGN AREA:** MAXIMUM SIGN SIZE 1/8"thk x 16"h x 18"w, 2 SQUARE FEET
- LETTER HEIGHT:** TBD BY CLIENT LOGO
- LOGO HEIGHT:** TBD BY CLIENT LOGO
- COLORS:** MP32195 "STAIID GRAY METALLIC" BKGD, WHITE LOGO COLORS AND COPY
- TYPE FACE:** TBD BY CLIENT LOGO
- LIGHTING:** NON-ILLUMINATED



1 **DETAIL: FRONT VIEW**
SCALE: 1 1/2" = 1'-0"

SIDE VIEW

- S/F LIVE /WORK OWNER'S SIGN**
- 1 1/8" THK ALUMINUM SIGN FACE PAINTED
 - 2 DIE CUT VINYL COPY
 - 3 PROTECTIVE CLEARCOAT

SIGN ATTACHED TO WALL WITH FLUSH SCREWS AND NYLON ANCHORS.

ALL WALL PENETRATIONS MUST BE WATERPROOFED WITH INDUSTRIAL STRENGTH EPOXY

PONT: TBD

- (A) MAP STAIID GRAY METALLIC MP32195
- (B) WHITE



5325 E. HUNTER AVENUE
ANAHEIM, CA 92807
714-578-9555 FAX 714-693-9578
V1-01128/1656/V2-3/22/1696

SIGN TYPE R.1 - S/F LIVE / WORK OWNER SIGN

- QUANTITY:** ONE (1) PER UNIT, 49 UNITS
- LOCATION:** AS INDICATED ON LOCATION MAP PAGE 4
- COPY:** TENANT NAME AND LOGO
- MATERIALS:** ALUMINUM
- SIGN AREA:** MAXIMUM SIGN SIZE 1/8" thk x 16" h x 18" w; 2 SQUARE FEET
- LETTER HEIGHT:** TBD BY CLIENT LOGO
- LOGO HEIGHT:** TBD BY CLIENT LOGO
- COLORS:** MP32195 "STAIID GRAY METALLIC" BKGD., WHITE LOGO COLORS AND COPY
- TYPE FACE:** TBD BY CLIENT LOGO
- LIGHTING:** NON-ILLUMINATED

S/F LIVE / WORK OWNER'S SIGN

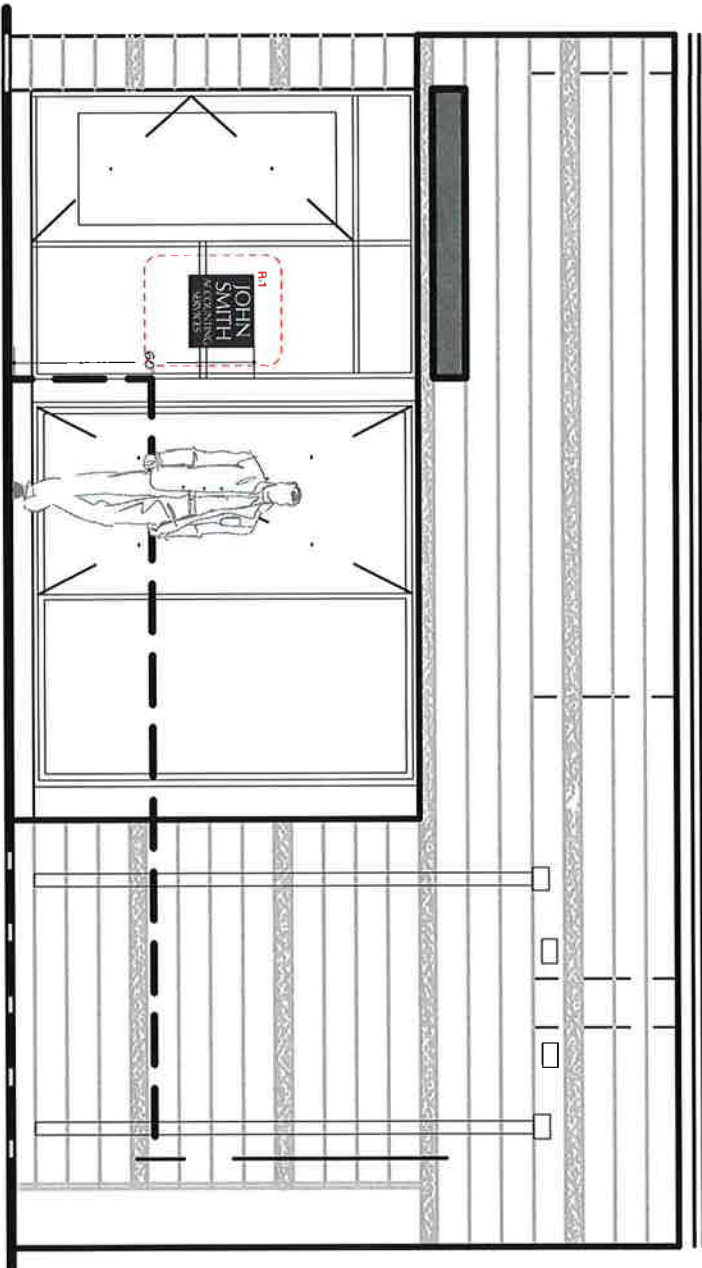
- 1 1/8" THK ALUMINUM SIGN FACE PAINTED
- 2 DIE CUT VINYL COPY
- 3 PROTECTIVE CLEARCOAT

SIGN ATTACHED TO WALL WITH FLUSH SCREWS AND NYLON ANCHORS.

ALL WALL PENETRATIONS MUST BE WATERPROOFED WITH INDUSTRIAL STRENGTH EPOXY

FONT: TBD

Ⓐ	MAP STAIID GRAY METALLIC MP32195
Ⓑ	WHITE



1 | **DETAIL: BUILDING 1 ELEVATION**

SCALE: 1/4" = 1' - 0"

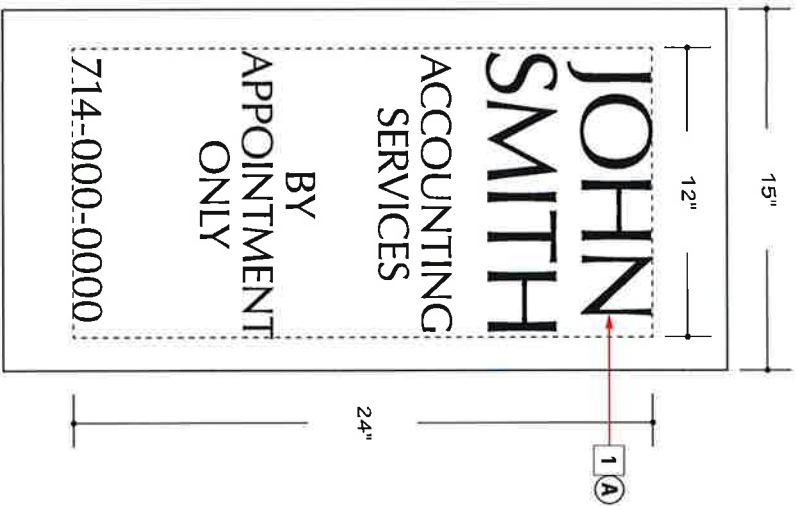
SUPERIOR POINTE



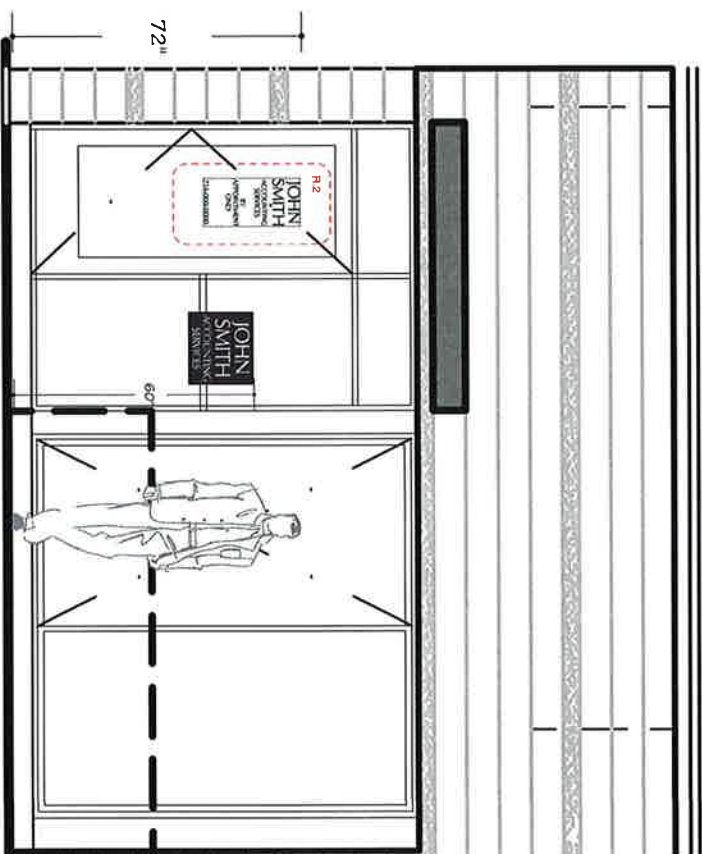
5325 E. HUNTER AVENUE
 ANAHEIM, CA 92807
 714-578-9555 FAX 714-693-9578
 v1 - 01/28/16 SG/v2 - 5/22/16 SG

SIGN TYPE R.2 - S/F LIVE / WORK OWNER DOOR VINYL

- QUANTITY:** ONE (1) PER UNIT, 49 UNITS
- LOCATION:** ON ENTRANCE DOOR GLASS
- COPY:** TBD
- MATERIALS:** VINYL
- SIGN AREA:** 2 SQUARE FEET
- LETTER HEIGHT:** TBD
- LOGO HEIGHT:** TBD
- COLORS:** WHITE
- TYPE FACE:** OPTIMA REGULAR
- LIGHTING:** NON-ILLUMINATED



1 | DETAIL: DOOR VINYL
SCALE: 1 1/2" = 1' - 0"



2 | DETAIL: BUILDING 1 ELEVATION
SCALE: 1/4" = 1' - 0"

S/F LIVE / WORK OWNER'S DOOR VINYL

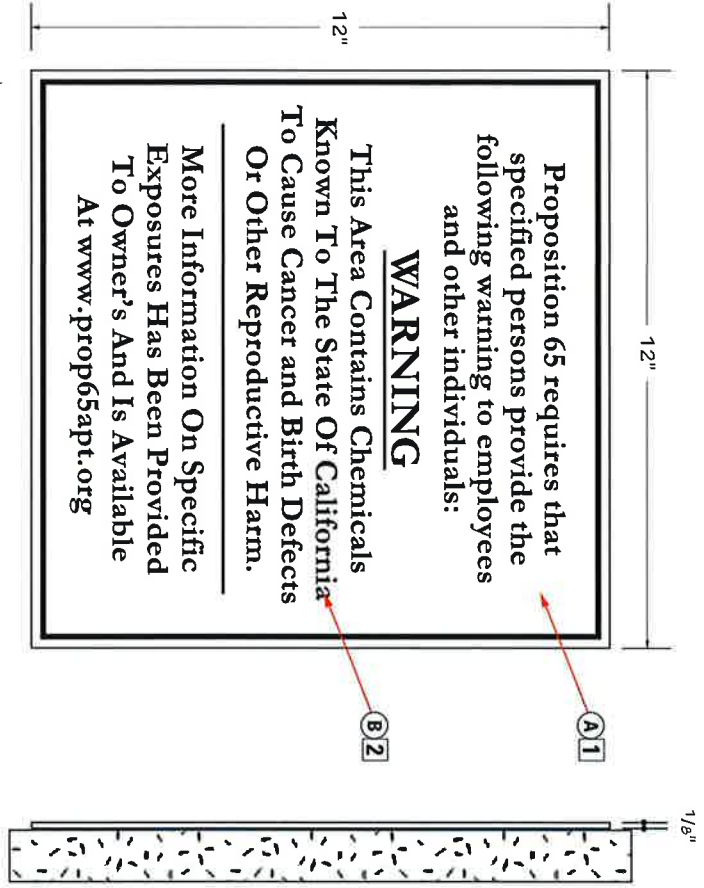
WHITE TOP-MOUNT DIE-CUT VINYL

WHITE

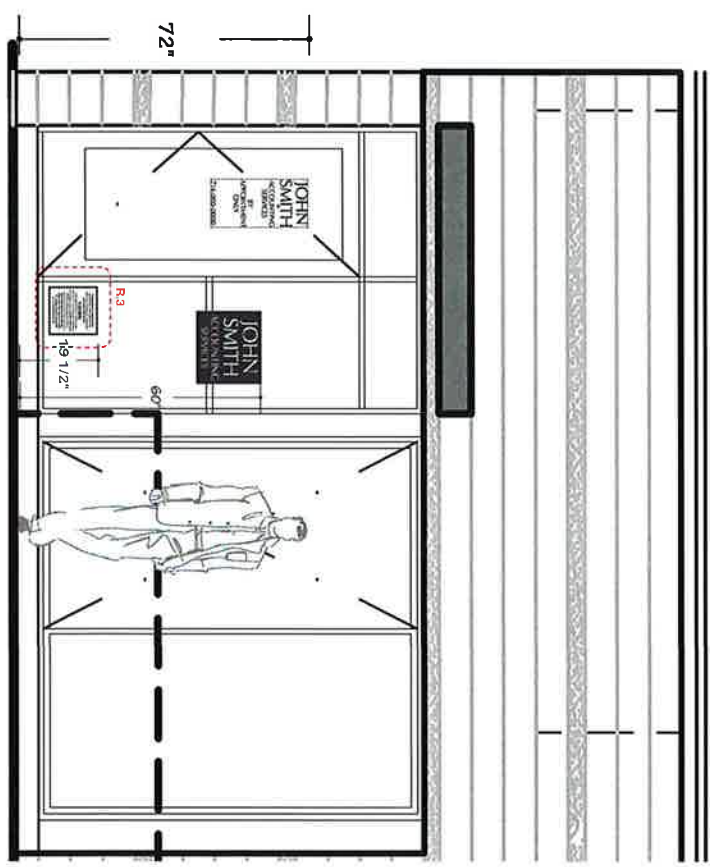
VINYL PLACED ON THE OUTSIDE OF THE GLASS (FIRST SURFACE VINYL)

SIGN TYPE R.3 - S/F PROP. 65 SIGN

- QUANTITY: ONE (1) PER UNIT, 49 UNITS
- LOCATION: NEXT TO ENTRANCE DOOR
- COPY: PROP. 65 REGULATORY COPY
- MATERIALS: PLEX AND PAINT
- SIGN AREA: 1 SQUARE FEET
- LETTER HEIGHT: 1" & 1/2"
- LOGO HEIGHT: N/A
- COLORS: WHITE AND BLACK
- TYPE FACE: GARAMOND BOLD
- LIGHTING: NON-ILLUMINATED



1 | **DETAIL: PROP. 65**
SCALE: 3" = 1' - 0"



2 | **DETAIL: BUILDING 1 ELEVATION**
SCALE: 1/4" = 1' - 0"

S/F INCIDENTAL RETAIL SIGN

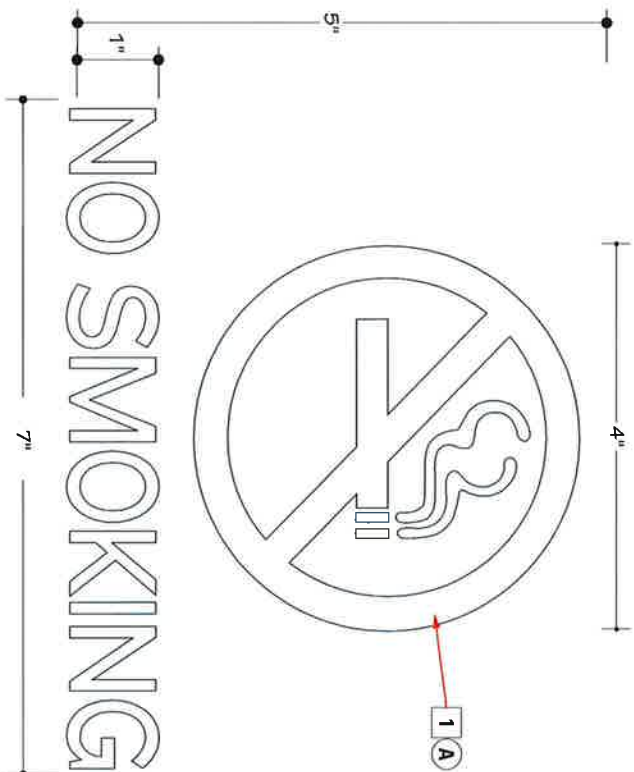
- 1) 1/8" WHITE PLEX
- 2) SILKSCREENED COPY
- 3) PROTECTIVE CLEARCOAT



SIGN ATTACHED TO WALL WITH VHB TAPE AND GE SILICONE

SIGN TYPE R.4 - S/F NO SMOKING SYMBOL

- QUANTITY:** ONE (1) PER UNIT, 49 UNITS
- LOCATION:** ON ENTRANCE DOOR ON WINDOW
- COPY:** NO SMOKING WITH SYMBOL
- MATERIALS:** VINYL
- SIGN AREA:** .5 SQUARE FEET
- LETTER HEIGHT:** 1 INCHES
- LOGO HEIGHT:** 4 INCHES
- COLORS:** WHITE
- TYPE FACE:** FUTURA BOLD
- LIGHTING:** NON-ILLUMINATED



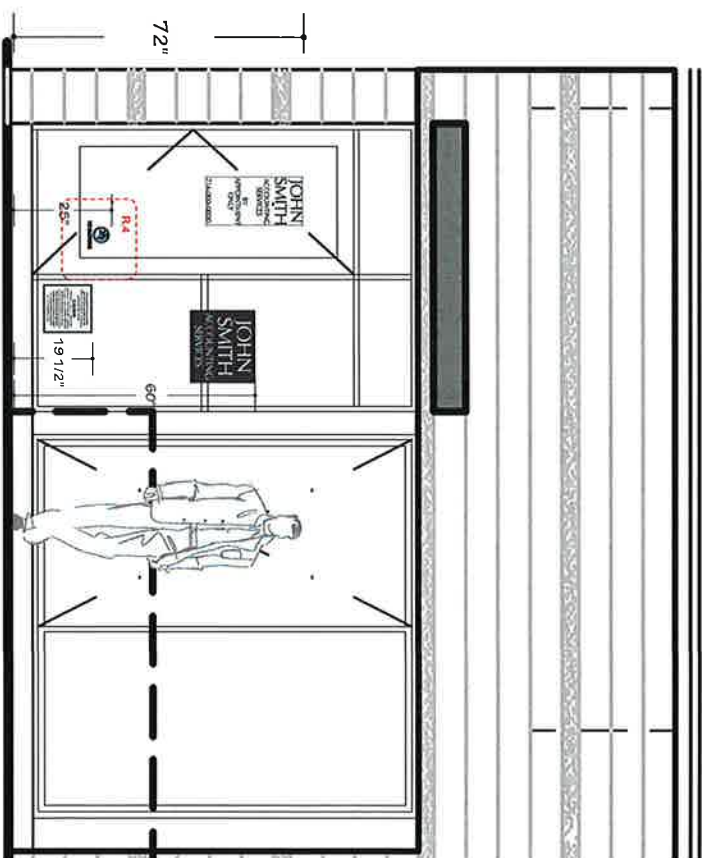
1 FRONT VIEW
SCALE: 1 : 2 (HALF SIZE)

S/F NO SMOKING SYMBOL

WHITE TOP-MOUNT DIE-CUT VINYL

A WHITE

VINYL PLACED ON OUTSIDE OF GLASS (FIRST SURFACE)



2 DETAIL- BUILDING 1 ELEVATION
SCALE: 1/4" = 1'-0"

SIGN TYPE R.5 - S/F HANDICAP ACCESS SYMBOL

QUANTITY: ONE (1) PER UNIT, 49 UNITS
LOCATION: ON ENTRANCE DOOR
COPY: N/A
MATERIALS: VINYL
SIGN AREA: .25 SQUARE FEET
LETTER HEIGHT: N/A
LOGO HEIGHT: N/A
COLORS: FEDERAL BLUE
TYPE FACE: N/A
LIGHTING: NON-ILLUMINATED

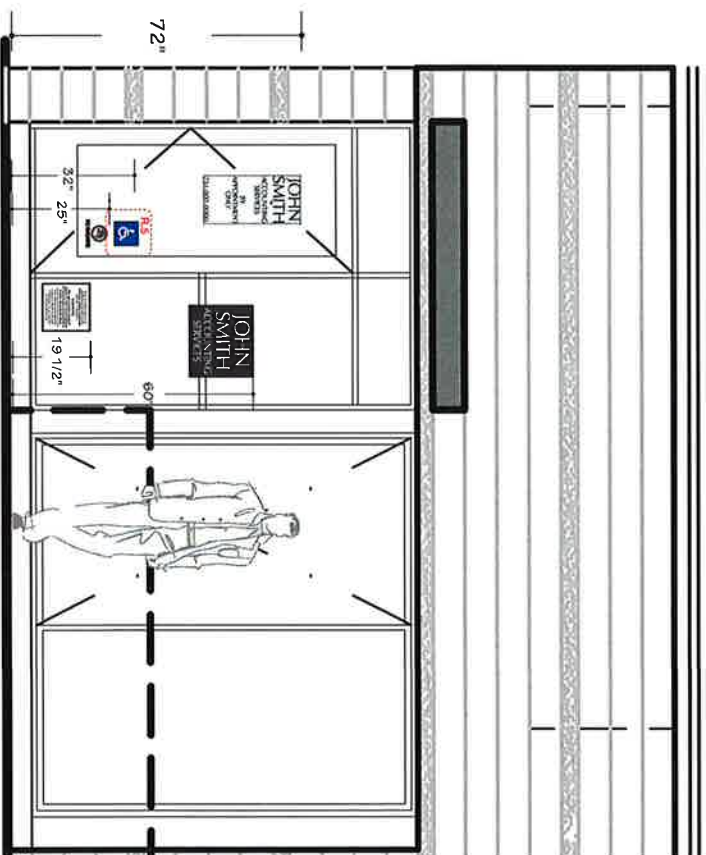


1 FRONT VIEW

SCALE: 1 : 2 (HALF SIZE)

H/C ACCESS STICKER

1 TOP-MOUNTED DIE CUT VINYL
 SELF ADHESIVE VINYL ATTACHED TO
 GLASS DOOR.



2 DETAIL: BUILDING 1 ELEVATION

SCALE: 1/4" = 1'-0"



CITY OF COSTA MESA

P.O. BOX 1200 • 77 FAIR DRIVE • CALIFORNIA 92628-1200

DEVELOPMENT SERVICES DEPARTMENT

April 21, 2016

Mike Goong
6 Gardenia
Irvine, CA 92620

**RE: ZONING APPLICATION ZA-16-11
MINOR CONDITIONAL USE PERMIT TO DEVIATE FROM SHARED
PARKING REQUIREMENTS
3151 AIRWAY AVE, SUITE P2, COSTA MESA**

Dear Mr. Goong:

City staff's review of your zoning application for the above-referenced project has been completed. The application, as described in the attached project description, has been approved, based on the findings and subject to the conditions of approval and code requirements (attached). The decision will become final at 5:00 p.m. on April 28, 2016, unless appealed by an affected party, including filing of the necessary application and payment of the appropriate fee, or called up for review by a member of the Planning Commission or City Council.

If you have any questions regarding this letter, please feel free to contact the project planner, Justin Arios, at (714) 754-5667, or at justin.arios@costamesaca.gov.

Sincerely,

WILLA BOUWENS-KILLEEN, AICP
Zoning Administrator

Attachments: Project Description and Analysis
Findings
Conditions of Approval, Code Requirements, and Special District
Requirements
Business Description
Approved Conceptual Plans

cc: Engineering
Fire Protection Analyst
Building Safety Division

PROJECT DESCRIPTION

The subject property is located in the John Wayne Executive Guild adjacent to John Wayne Airport, south of the 405 Freeway, east of the 55 Freeway, and north of the 73 Freeway. The site zoned CL (Commercial Limited), and has a General Plan land use designation of Industrial Park. It is surrounded by CL zones to the west and east and MP (Industrial Park) zones to the north, south and east. Physical on-site improvements include 21 multi-tenant buildings with a total of 591 parking spaces, including five total points of ingress/egress for the subject property and adjacent properties (two from East Baker Street, two from Paularino Avenue, and one from Airway Avenue).

The use will occupy a 2,102 square foot tenant space, located in one of the existing multi-tenant buildings. The proposed floor plan consists of four patient rooms, one office, two storage rooms, two bathrooms, and an administrative/reception area.

The applicant requests approval of a minor conditional use permit (MCUP) to allow a deviation from the shared parking requirements for a medical office due to unique operating characteristics.

ANALYSIS

Parking

The proposed medical office use is permitted by right in the CL zone; however, the parking ratio for medical offices is higher than the retail/office parking ratio provided at the property. The parking ratio for medical offices is 6 spaces per 1,000 square feet of floor area or 13 parking spaces for this suite. Based on the square footage of the subject suite, the applicant is credited with 8 parking spaces.

Day	Business Hours	Patient Hours
Monday	8:30AM – 2:30PM	10:30AM – 12:30PM
Tuesday	8:00AM – 6:30PM	8:30AM – 5:30PM
Wednesday	8:30AM – 4:30PM	8:30AM – 1:30PM
Thursday	8:30AM – 4:30PM	8:30AM – 1:30PM
Friday	8:00AM – 6:30PM	8:30AM – 5:30PM
Saturday	8:30AM – 2:30PM	8:30AM – 1:30PM

As described in the applicant's letter, the business is open Monday through Saturday, mostly during normal business hours. However, patient hours are limited within their normal business hours (see table above). The proposed chiropractic practice utilizes one chiropractor and requires one to two assistants, with treatments varying from 10 minutes to more than two hours in length. Below is an hourly breakdown of staff,

patients, and maximum occupancy of the suite, at any given time, as provided by the applicant. Based on these parameters, the proposed chiropractic office will not yield the same parking demand as a typical medical office and, therefore, will not exceed the allotted parking provided based on the retail/office ratio.

Day	Time	Staff (per hr)	Patient (per hr)	Max Occupancy (per hr)
Monday	9:30AM – 10:30AM	1	0	1
	10:30AM – 12:30PM	3	2	5
Tue. & Fri.	8:00AM – 8:30AM	1	0	1
	8:30AM – 10:30AM	3	4	7
	10:30AM – 12:30PM	4	4	8
	12:30PM – 2:30PM	4	2	6
	2:30PM – 3:30PM	4	4	8
	3:30PM – 6:30PM	3	5	8
Wed. & Thurs.	8:00AM – 8:30AM	1	0	1
	8:30AM – 10:30AM	3	5	8
	10:30AM – 1:30PM	4	4	8
	1:30PM – 2:30PM	3	2	5
	2:30PM – 4:30PM	2	0	2
Saturday	8:00AM – 9:00AM	2	6	8
	9:00AM – 12:00PM	3	5	8
	12:00PM – 2:30PM	2	6	8

If parking shortages or other parking-related problems develop, the business operator will be required to institute appropriate operational measures necessary to minimize or eliminate the problem including, but not limited to, reducing the number of people in the suite and/or operating hours of the business.

General Plan Consistency

The Industrial Park General Plan land use designation is intended to apply to large districts that contain a variety of industrial and compatible office and support commercial uses. Based on the scheduling of patients by appointment only and the limitation of patients served per hour as provided by the applicant, the proposed business should not generate parking impacts. Consequently, the use should be compatible with surrounding uses.

The proposed use, as conditioned, is consistent with the Zoning Code and the City's General Plan because, with the included conditions of approval, the chiropractic practice should not adversely impact the surrounding uses.

FINDINGS

- A. The information presented complies with Costa Mesa Municipal Code Section 13-29(e) in that:
1. There will be a compatible and harmonious relationship between the proposed use, and the building and site developments, and uses that exist or have been approved for the general neighborhood. Parking impacts will be avoided by conditioning the medical office to operate with no more than a total of 8 occupants, at any given time.
 2. Safety and compatibility of the design of buildings, parking area, landscaping, luminaries and other site features which may include functional aspects of the site development such as automobile and pedestrian circulation have been considered.
 3. The project complies with any performance standards as described elsewhere in the Zoning Code, and as conditioned to operate as described in this staff report.
 4. The use is consistent with the General Plan in that the medical office is a permitted use per the Zoning Code and compatible use in an Industrial Park land use designation.
 5. The zoning application is for a project-specific case and is not to be construed to be setting a precedent for future development.
- B. The information presented complies with Costa Mesa Municipal Code Section 13-29(g)(2) in that:
1. The proposed use is compatible and harmonious with developments in the same general area and would not be materially detrimental to other properties within the area. The proposed use will be limited to a maximum of 8 occupants to prevent parking impacts to surrounding uses.
 2. Granting the minor conditional use permit will not be detrimental to the health, safety and general welfare of the public or otherwise injurious to property or improvements within the immediate neighborhood. The proposed medical office will be conditioned to operate with a maximum of 8 people to avoid parking impacts.
 3. Granting the minor conditional use permit will not allow a use, density or intensity that is not in accordance with the General Plan designation and any applicable specific plan for the property. Due to the proposed operating characteristics, the proposed use does not increase the intensity of the use beyond what is allowed by the General Plan FAR requirements.
- C. The project has been reviewed for compliance with the California Environmental

Quality Act (CEQA), the CEQA Guidelines, and the City environmental procedures, and has been found to be exempt under Section 15301, Existing Facilities, of the CEQA Guidelines.

- D. The project, as conditioned, is consistent with Chapter XII, Article 3, Transportation System Management, of Title 13 of the Costa Mesa Municipal Code in that the development project's traffic impacts will be mitigated by the payment of traffic impact fees.

CONDITIONS OF APPROVAL

- Plng. 1. The use shall be limited to the type of operation as described herein:
- The business shall be limited to a maximum of 8 occupants in the suite, at any one time (inclusive of patients, doctors, and staff).
Any change in the operational characteristics shall require review by the Planning Division and may require an amendment to the conditional use permit, subject to either Zoning Administrator or Planning Commission approval, depending on the nature of the proposed change. The applicant is reminded that the Municipal Code allows the Planning Commission to modify or revoke any planning application based on findings related to public nuisance and/or noncompliance with conditions of approval [Title 13, Section 13-29(o)].
2. If parking shortages or other parking-related problems arise, the business operator shall institute appropriate operational measures necessary to minimize or eliminate the problem, including, but not limited to, reducing the occupancy and/or operating hours of the business.
3. The use shall be conducted, at all times, in a manner that will allow the quiet enjoyment of the surrounding neighborhood. The applicant and/or business owner shall institute appropriate security and operational measures are necessary to comply with this requirement.

CODE REQUIREMENTS

The following list of federal, state, and local laws applicable to the project has been compiled by staff for the applicant's reference. Any reference to "City" pertains to the City of Costa Mesa.

- Plng. 1. Approval of the zoning application is valid for one year from the effective date of this approval and will expire at the end of that period unless applicant establishes the use by one of the following actions: 1) obtains building permits for the authorized construction and initiates construction; and/or 2) obtains a business license and/or legally establishes the business. If the applicant is unable to establish the use/obtain building permits within the one-year time period, the applicant may request an extension of time. The Planning Division must receive a written request for the time extension prior to the expiration of the zoning application.

2. Permits shall be obtained for all signs according to the provisions of the Costa Mesa Sign Ordinance.
- Bldg. 3. Comply with the requirements of the following adopted codes: 2013 California Building Code, 2013 California Electrical code, 2013 California Mechanical code, 2013 California Plumbing code and 2013 California Energy Code (or the applicable adopted, California Building code California Electrical code, California Mechanical code California Plumbing Code and California Energy Code at the time of plan submittal or permit issuance) and California Code of Regulations also known as the California Building Standards Code, as amended by the City of Costa Mesa. Requirements for accessibility to sites, facilities, buildings and elements by individuals with disability shall comply with chapter 11B of the 2013 California Building Code.
- Bus. 4. All contractors and subcontractors must have valid business licenses to do business in the City of Costa Mesa. Final inspections, final occupancy and utility releases will not be granted until all such licenses have been obtained.
Lic.
5. Business license shall be obtained prior to the initiation the business.
- Trans. 6. The applicant shall submit a \$9,412 Traffic Impact Fee to the Transportation Division prior to the effective date of the Minor Conditional Use Permit. The traffic impact fee is based upon the average daily trip generation rate of 75.95 net trip ends for the proposed use. The fee is required to fulfill mitigation of off-site traffic impacts pursuant to the prevailing schedule of charges adopted by the City Council. The traffic impact fee is calculated and includes credits for existing uses. NOTE: The Traffic Impact Fee will be recalculated at the time of issuance of the Minor Conditional Use Permit based upon any changes in the prevailing schedule of charges adopted by the City Council and in effect at that time.

SPECIAL DISTRICT REQUIREMENTS

The requirements of the following special districts are hereby forwarded to the applicant:

- Sani. 1. It is recommended that the applicant contact the Costa Mesa Sanitary District at (949) 645-8400 for current district requirements.
2. Comply with the requirements of the California Food and Agriculture (CDFA) to determine if red imported fire ants exist on the property prior to any soil movement or excavation. Call CDFa at (714) 708-1910 for information.
- AQMD 3. Applicant shall contact the Air Quality Management District (800) 288-7664 for potential additional conditions of development or for additional permits required by AQMD.

16
Gooing Chiropractic Clinic
2787 Bristol Suite 102
Costa Mesa, CA 92626
(714) 556-9188

March 4, 2016

City of Costa Mesa
PO Box 1200
77 Fair Drive
Costa Mesa, CA 92628

RE: Minor Conditional Use Permit for a Chiropractic Office
Deviate from shared Parking Requirements - Parking Ratio 4/1,000sf
3151 Airway Ave. Suite P2, Costa Mesa, CA 92626

Dear City of Costa Mesa,

I am a homeopathic Chiropractor that specializes in chronic and difficult cases that have not responded well to previous treatment approaches. I have been in practice in Costa Mesa for 34 years and in 1993 I was chosen as one of the top 27 curative chiropractors in the U.S. by SELF-MAGAZINE.

We sold our building at 2787 Bristol and are now looking for a new location to continue our work. Because of the direction our practice has gone, (very specialized) and my age, we are looking for a smaller location that is close to our current one. 3151 Airway, Ste P2 is perfect for our needs. It is the right size and is already built out to accommodate our use.

I treat all the patients myself using techniques that require 1 to 2 assistants. The visits vary in time of treatment per visit and might last from 10 minutes to more than 2 hours. Since I see all the patients personally, it limits the number that will be in the office at one time and insures we will never be over our allotted parking usage. We treat approximately 160 patients per week. (See attached hourly breakdown to detail unique operating characteristics.)

We utilize multiple techniques, which require multiple treatment rooms for different types of therapies. Patients frequently use most of the office during the course of a treatment. (See floor plan attached.)

We are also willing to mandate our staff park on the public adjacent road (Airway Ave.) when they are working and use Easy Bidz Software to schedule patient care and staffing needs.

If the Minor Conditional Use Permit is approved we can move forward with the purchase of the office condo at 3151 Airway Suite P2.

Thank you in advance for your consideration.

Dr. Michael Gooing

Project Description

Submission of Application for a Minor Conditional Use Permit to deviate from existing parking requirements.

Property Description: John Wayne Executive Guild
3151 Airway Suite P2, Costa Mesa, CA 92626
Property Type: Office
Property Sub-type: Office Condo
2,102sf

The property is located at John Wayne Executive Guild on Airway Ave. along the Redhill Corridor. It is a campus style, multi-tenant condominium complex located in the Orange County Airport area. The major cross streets are Redhill and Paularino.

Applicant: Dr. Michael Gooing
6 Gardenia
Irvine, CA 92620
(714) 731-5997

Proposed Use:

The applicant is a Chiropractor who has practiced in Costa Mesa for 34 years and would like to purchase the office condo and relocate his practice there. The current parking ratio is 4/1,000 SF. The condo is 2,102 SF, which will allow 8 parking spaces. Applicant would require a Minor Conditional Use Permit to purchase and occupy the office.

Unit P2 has 2,102 Sq. Ft. There will be no new build out. Usage for Gooing Chiropractic Clinic will include the following: Area #1 Reception area, (168 SF) Area # 2 Admin/Doctor's Office, (156 SF) Area #3 Open common area including patient check out, bathrooms, halls and kitchen area, (Aprox. 685 SF), Area #4 Adjusting Room, (230 SF) Area #5 Adjusting Room, (230 SF) Area #6 Nutritional Testing and Nutritional Supply Room, (217 SF) Nutrition is sold only as prescribed by Doctor. Area #7 New Patient Exam Room, (149.5 SF) Area #8 Laser Treatment Room, (176 SF) Area #9 Administration and File Room, (230 SF) Space Plan is attached.

With our unique operating conditions as seen in above letter, the maximum occupancy per hour would be 8 people including all staff and patients. (Also, see attached hourly occupancy breakdown.)

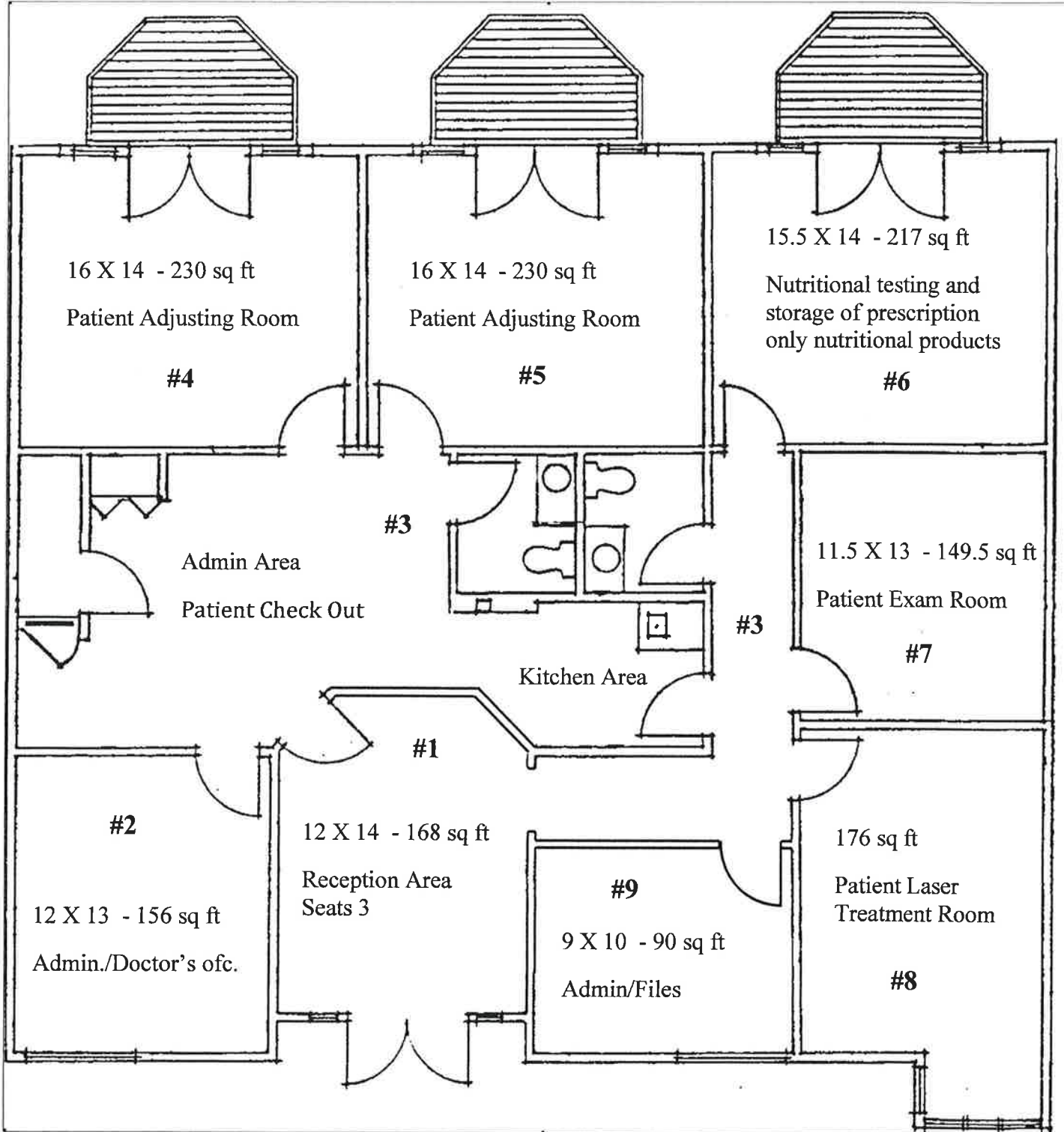
Attachments:

1. Floor plan with dimensions
2. Hourly Occupancy Use Breakdown.
3. Site Plan
4. Current Tennant list and Known Medical Usage for Complex.

GOONG CHIROPRACTIC CLINIC
PROPOSED SPACE USAGE

MINOR CONDITIONAL USE PERMIT/ZA-16-11
ADMINISTRATIVE ADJUSTMENT NO. _____
Approval in Concept
SUBJECT TO CONDITIONS
CITY OF COSTA MESA
PLANNING DEPT.
BY JA DATE 4/21/16

SUITE P-2: 2,102 SQ. FT.
JOHN WAYNE EXECUTIVE GUILD
3151 AIRWAY AVENUE
COSTA MESA, CA 92626
DRAWING NOT TO SCALE



Open Hours Occupancy Averages

Day	Patient Hours Only	All Open Hours	Max Dr & Staff/Hr.	Avg Pat./Hr	Max. Occ./Hr.
Monday	10:30AM till 12:30PM	8:30AM till 2:30PM	3	2	5
Tuesday	8:30AM till 5:30PM	8:00AM till 6:30PM	4	4	8
Wednesday	8:30AM till 1:30PM	8:30AM till 4:30PM	4	4	8
Thursday	8:30AM till 1:30PM	8:30AM till 4:30PM	4	4	8
Friday	8:30AM till 5:30PM	8:00AM till 6:30PM	4	4	8
Saturday	8:30AM till 1:30PM	8:30AM till 2:30PM	4	4	8

Hourly Operating Details

Day	Time	Staff/Hr	Patients/Hr	Max. Occ./Hr
Monday	9:30 - 10:30	1	0	1
	10:30 - 12:30	3	2	5
Tues. & Fri.	8:00 - 8:30	1	0	1
	8:30 - 10:30	3	4	7
	10:30 - 12:30	4	4	8
	12:30 - 2:30	4	2	6
Wed. & Thurs.	2:30 - 3:30	4	4	8
	3:30 - 6:30	3	5	8
	8:00 - 8:30	1	0	1
	8:30 - 10:30	3	5	8
	10:30 - 1:30	4	4	8
Saturday	1:30 - 2:30	3	2	5
	2:30 - 4:30	2	0	2
	8:00 - 9:00	2	6	8
	9:00 - 12:00	3	5	8
	12:00 - 2:30	2	6	8

Staff hours are part time and rotated to minimize overhead.
 We use Easy Bidz software to schedule number of patients and insure parking compliance.
 Average patients per week = 160
 Busiest day of week is Saturday.

GOING CHIROPRACTIC CLINIC
Proposed Office Location
Suite P2

SITE PLAN
JOHN WAYNE EXECUTIVE GUILD
3151 AIRWAY AVENUE
COSTA MESA, CA 92626
DRAWING NOT TO SCALE



<u>Suite</u>	<u>Size</u>	<u>Use</u>
A1	2475	Receivership Management
A2	1405	Insurance
A3	1832	Park and Rec Equip Sales
B1	2305	Accounting
B2	1733	Continuing Education for Teachers
B3	2305	Land Developer
C1	2305	Accounting
C2	1733	Architects
C3	2305	Magazine
D1	2016	Outpatient substance abuse treatment
D2	2016	
E1	3819	Accounting
E2	2221	VACANT
F101	768	Graphic Design
F103	3009	One on one dentist 3 days / week
F105	1021	Medical Support
F107	1140	Evening group therapy
F109	1330	Accounting
F110	3529	Non Profit Environmental
F120	1336	Media Production
F200	1501	Law
F202	819	Graphic Design
F203	1343	Insurance
F204	813	Senior Care
F205	1365	Security
F206A	1547	VACANT
F206B	1185	Accounting
F207	1004	Property Management
F208	1759	Staffing
G1	3708	One on one substance abuse therapy
G2	1874	Aerial Surveying & Mapping
G3	3602	Property Management
H1	2058	VACANT
H2	2243	Apparel Design
H3	2035	Property Management
I1	1654	Senior Care
I2	2079	Marketing
I3	4855	Software
J1	2159	Landscape Architect
J2	1717	One on one optomotrists, two Docs each onl
J3	3603	Landscape Architect
K101	741	Property Management
K102	1280	Costmetic Import
K103	2425	One on one chiropractic. One Chiropractor in
K105	1120	Security

<u>Suite</u>	<u>Size</u>	<u>Use</u>
K106	725	Billing
K108	1394	Notary Services
K200	927	Insurance
K203	1696	VACANT
K220	1129	Billing
K230	1293	VACANT
K240	936	VACANT
K250	1450	Asset Management
L1	1976	Asset Management
L2	2934	Pharmacy Management
L3	1993	Escrow Services
M1	1515	Property Management
M2	1543	One on one dentist.
M3	3336	
N1	2568	Group therapy, shuttles bring all clients
N2	3042	Group therapy, shuttles bring all clients
P1	2973	Real Estate
P2	2102	SUBJECT PROPERTY
P3	2712	Group therapy, shuttles bring all clients
Q1	2018	Law
Q2	2475	Custom Apparel Tailer
Q3	2006	Law
R1	2186	Accounting & Finance
R2	2186	Accounting & Finance
S1	2090	Law
S2	2090	Law
T1	2468	Engineering
T2	1690	One on one psychology
T3	2503	One on one psychology
U1	2147	VACANT
U2	1323	Real Estate Development
U3	1879	One on one chiropractic.
V1	1952	Construction
V2	2790	Construction