



City of Costa Mesa Inter Office Memorandum

TO: CITY COUNCIL, PLANNING COMMISSION
CC: TOM HATCH, JAY TREVINO, AND PEGGY SCHNEBLE
FROM: WILLA BOUWENS-KILLEEN, ZONING ADMINISTRATOR
DATE: MARCH 23, 2017
SUBJECT: ZONING ADMINISTRATOR DECISION(S)

A handwritten signature in blue ink, appearing to be 'Willi', is written over the 'FROM' and 'DATE' lines of the memorandum.

This is to advise you of the following decision(s) made by the Zoning Administrator within the last week. Project descriptions have been kept brief for this notice. Please feel free to contact me by e-mail at willa.bouwens-killeen@costamesaca.gov if you have any questions or would like further details.

ZA-17-02 2870 CLUBHOUSE ROAD

Minor Conditional Use Permit to construct an 809 sq. ft. garage (700 sq. ft. maximum allowed) in conjunction with the construction of 540 sq. ft. addition to the first floor and 728 sq. ft. addition to the second floor of an existing single family dwelling; living area of the residence will total 3,570 sq. ft. The proposed garage includes a water filter, a tankless water heater, and a sink.

Approved, subject to conditions of approval.

Comments received: None.

ZA-17-03 1525 MESA VERDE DRIVE EAST, SUITE 213

A request to deviate from shared parking requirements for a 1,358 sq. ft. music studio located at 1525 Mesa Verde Drive East, Suite 213 in a C1 zone. The music studio provides one-to-one voice, guitar, and piano instructions to children and adults in three separate rooms. The maximum number of students, teachers, and employees in the studio at one-hour class intervals will be seven. Hours of operation are Monday through Friday, 2:30 pm – 8:30 pm and Saturday / Sunday, 11 am – 4 pm. Most weekday classes will be conducted during off-peak hours, when other tenants within the center will be closed.

Approved, subject to conditions of approval.

Comments received: None.

ZA-17-07

410 WALNUT PLACE

Minor Conditional Use Permit to develop and construct four two-story single family residences each on its own separate parcel (411 Esther Street, 417 Esther Street, 410 Walnut Street, 416 Walnut Street) with garages larger than the maximum allowed (maximum 700 sq. ft. allowed; 807 to 853 sq. ft. proposed). Each parcel is 8,130 square feet in area and the proposed living space for each unit is greater than 3,000 square feet.

Approved, subject to conditions of approval.

Comments received: 2 against.

COLGAN, JULIE

Subject: Application # ZA-17-07

From: Irene Krinsky [mailto:IKrinsky@msn.com]

Sent: Wednesday, March 15, 2017 12:44 PM

To: planningcommission@costamesa.gov

Subject: Application # ZA-17-07

To Whom it May Concern:

I am a resident in the area of concern: I am opposed to the Minor Conditional Use Permit on 411 Esther Street and 417 Esther Street and other address is Incorrect as 410 Walnut Street and 426 Walnut Street and the Walnut Addresses should be WALNUT PLACE.

The original permit and this Conditional Use are all changing the face of these neighborhoods....They have become mini mansions, not the community type homes.

Further, this additional permit will cause even more homes in the direct area to go for sale. Now it stands for 4...way too many for this neighborhood.

Please Deny this permit as these homes are large enough (too large) for this neighborhood.

Sincerely,

Irene Krinsky

From: Darlene Tate <darlenetate@gmail.com>
Sent: Tuesday, March 21, 2017 3:59 PM
To: PLANNING COMMISSION
Subject: Application ZA-17-07

To Whom It May Concern,

I am a 25 year resident and homeowner in Eastside Costa Mesa and a native of Southern California. I am writing to express my objection to the planned development in east side Costa Mesa on Esther and Walnut Streets due to the size of the infill project. It is in keeping with the neighborhood to only develop the parcel into four lots. But I object to the size of the houses. What Costa Mesa needs is modest family size houses not more McMansions that maximize the lots and the profits and destroy the character of the neighborhood. These lots would be better suited to more modest size homes or homes that allow for connected in-law units. A lot of us in the neighborhood are having to create extended family homes and we don't need giant size mansions, but homes that are more adaptable to having parents, grandparents and children all living together with separate units. Why not designate two lots for smaller homes and two lots with the square footage necessary for building granny units? With just a small shift in how the lots were divided these houses would become much more suited to the needs of the neighborhood. Most all of my neighbors now have extended family households and are building illegal and non-permitted buildings to accommodate them. Please consider creating housing that is suited to the needs of the community. WE DON'T WANT MORE MCMANSIONS and speculative housing!!!

Thank you for hearing our requests.

Sincerely,
Darlene Tate



CITY OF COSTA MESA

P.O. BOX 1200 • 77 FAIR DRIVE • CALIFORNIA 92628 - 1200

DEVELOPMENT SERVICES DEPARTMENT

March 23, 2017

Craig Woolbert
5622 Littler Drive
Huntington Beach, CA 92649

**RE: ZONING APPLICATION ZA-17-02
MINOR CONDITIONAL USE PERMIT FOR A 809-SQUARE FOOT
ATTACHED GARAGE
2870 CLUB HOUSE ROAD, COSTA MESA**

Dear Mr. Woolbert:

City staff's review of your zoning application for the above-referenced project has been completed. The application, as described in the attached project description, has been approved, based on the findings and subject to the conditions of approval and code requirements (attached). The decision will become final at 5:00 p.m. on March 30, 2017, unless appealed by an affected party, including filing of the necessary application and payment of the appropriate fee, or called up for review by a member of the Planning Commission or City Council.

If you have any questions regarding this letter, please feel free to contact the project planner, Roger Rath, at (714) 754-5609, or at roger.rath@costamesaca.gov.

Sincerely,

WILLA BOUWENS-KILLEEN, AICP
Zoning Administrator

Attachments: Project Description and Analysis
 Findings
 Conditions of Approval and Code Requirements
 Vicinity Map
 Applicant Letter / Business Description
 Approved Conceptual Plans

cc: Engineering Thomas & Erika Carson
 Fire Protection Analyst 18269 Tower Ct
 Building Safety Division Newport Beach, CA 92663

PROJECT DESCRIPTION

Location

The subject property is located on a corner at 2870 Club House Road in a single-family residential district (R1 zone). The lot is 9,555 square feet in area and contains an existing 2,302 square feet two-story single family residence and a 758 square feet attached garage. The subject property is surrounded by single-family properties also zoned R1 and Adams Elementary School located southeast to this property. The neighborhood contains a mix of one and two-story single-family residences.

Proposed Project

The applicant proposes to construct additions to the existing single family residence: The first floor will gain an additional 540 square feet and the second floor will gain an additional 728 square feet; the total proposed square footage would be 3,570 square feet. The processing of this Minor Conditional Use Permit will serve as notice to the neighbors of the proposed second floor construction, as required by the Residential Design Guidelines.

The applicant requests approval of a minor conditional use permit to construct a garage that exceeds the maximum 700 square foot area permitted by the Zoning Code. A portion of the existing garage will be incorporated into the proposed relocated and expanded kitchen, so the applicant proposes extending the garage 6-feet closer to the front property line. The additional 51 square will result in a total area of 809 square feet in area; the addition includes the relocation of an existing sink so the required 20-foot by 20-foot clear interior dimension can be provided for the garage. All other development standards are to be satisfied.

ANALYSIS

Proposed Construction

The garage is proposed at the front of the lot abutting Club House Road. The oversized garage will provide the two covered parking spaces required for the residence. The garage meets all required setbacks and minimum interior dimensions and the bulk of the garage will not be readily visible from the street. Additionally, the garage design is seamlessly incorporated within the design of the home that it does not appear to be out of scale with the subject property. Additionally, at 809 sq.ft. in area, the garage will remain subordinate to the 3,570 sq.ft. residence.

The proposed garage, as conditioned, is consistent with the Zoning Code and the City's General Plan because the proposed garage should not adversely impact the surrounding uses. Specifically, with the recommended conditions of approval and the code requirements, the use will be consistent with surrounding uses, as specified in

Objective CD-7A.1 and CD-7A.2 and of the General Plan Community Design Element (Section Three: Residential Design Guidelines):

- *CD-7A.1 - Ensure that new and remodeled structures are designed in architectural styles which reflect the City's diversity, yet are compatible in scale and character with existing buildings and the natural surroundings within residential neighborhoods. Develop and adopt design guidelines for residential development.* The development proposes diverse architecture from neighbors enhancing variety and interest through providing offsets and building projections.
- *CD-7A.2 - Preserve the character and scale of Costa Mesa's established residential neighborhoods: where residential development or redevelopment is proposed, required as a condition of approval that it is consistent with the prevailing character of existing development in the immediate vicinity, and that it does not have a substantial adverse impact on adjacent areas.* The garage's size is in proportion to the rest of the living area. The garage is less than a quarter of the size of the entire residence. The façade of the garage allows the entire residence to maintain the same scale and character of the rest of the development and surrounding neighborhood.

FINDINGS

- A. The information presented complies with Costa Mesa Municipal Code Section 13-29(g)(2) in that:
1. The proposed use is compatible with developments in the same general area, specifically setback requirements are met and the proposed garage will have an architectural design in keeping with the proposed residence, with the bulk of the garage not readily visible from the street.
 2. Granting the Minor Conditional Use Permit will not be detrimental to the health, safety and general welfare of the public or other properties or improvements within the immediate vicinity because the addition will have to comply with all requirements of the California Building Code.
 3. Granting the Minor Conditional Use Permit will not allow a use, density or intensity that is not in accordance with the General Plan designation for the property since the garage is a permitted subordinate structure to the proposed residence.
- B. The information presented complies with Costa Mesa Municipal Code Section 13-29(e) in that:
1. There will be a compatible and harmonious relationship between the proposed

building and the site development, and use(s), and the building and site developments, and uses that exist or have been approved for the general neighborhood. The subject property is a large lot and the residence, with additions, will total 3,570 sq.ft. of living area. Consequently, the oversized garage will be in scale with the remainder of the residence.

2. Safety and compatibility of the design of buildings, parking area, landscaping, luminaries, and other site features which may include functional aspects of the site development such as automobile and pedestrian circulation have been considered and will not be affected by the addition.

3. The structure complies with performance standards described elsewhere in the Zoning Code. All development standards are met and the garage is proportionally sized to the proposed residence.

4. The structure is consistent with the General Plan, specifically Community Design Element Objective CD-7A.1 & CD-7A.2.

5. This zoning application is for a project-specific case and is not to be construed to be setting a precedent for future development.

C. The project has been reviewed for compliance with the California Environmental Quality Act (CEQA), the CEQA Guidelines, and the City environmental procedures, and has been found to be exempt under Section 15301, Class 1, Existing Facilities, of the CEQA Guidelines.

D. The project is exempt from Chapter XII, Article 3, Transportation System Management, of Title 13 of the Costa Mesa Municipal Code.

CONDITIONS OF APPROVAL

- Plng.
1. The project shall be limited to the type of building as described in this staff report and in the attached plans. Any change in the use, size, or design shall require review by the Planning Division and may require an amendment to the Minor Conditional Use Permit.
 2. The architectural style, colors, and materials of the proposed garage shall match the existing residence.
 3. A minimum 20 foot by 20 foot clear inside dimension shall be provided for the two-car garage. The proposed garage shall be used only for non-habitable purposes.
 4. The conditions of approval, code requirements, and special district requirements of ZA-17-02 shall be blueprinted on the face of the site plan as part of the plan check submittal package.
 5. The applicant shall contact the Planning Division to arrange a Planning inspection of the site prior to occupancy permit. This inspection is to

confirm that the conditions of approval and code requirements have been satisfied.

6. All on-site utility services shall be installed underground or with the ability to be underground in the future.
7. The applicant shall defend, indemnify, and hold harmless the City, its elected and appointed officials, agents, officers and employees from any claim, action, or proceeding (collectively referred to as "proceeding") brought against the City, its elected and appointed officials, agents, officers or employees arising out of, or which are in any way related to, the applicant's project, or any approvals granted by City related to the applicant's project. The indemnification shall include, but not be limited to, damages, fees and/or costs awarded against the City, if any, and cost of suit, attorney's fees, and other costs, liabilities and expenses incurred in connection with such proceeding whether incurred by the applicant, the City and/or the parties initiating or bringing such proceeding. This indemnity provision shall include the applicant's obligation to indemnify the City for all the City's costs, fees, and damages that the City incurs in enforcing the indemnification provisions set forth in this section. City shall have the right to choose its own legal counsel to represent the City's interests, and applicant shall indemnify City for all such costs incurred by City.

CODE REQUIREMENTS

The following list of federal, state, and local laws applicable to the project has been compiled by staff for the applicant's reference. Any reference to "City" pertains to the City of Costa Mesa.

- Plng.
1. Approval of the planning application is valid for one year from the effective date of this approval (March 23, 2017) and will expire at the end of that period (March 23, 2018) unless applicant establishes the use by obtaining a business license reflecting the group counseling. If the applicant is unable to obtain the business license within the one-year time period, the applicant may request an extension of time. The Planning Division must receive a written request for the time extension prior to the expiration of the planning application.
 2. All construction-related activity shall be limited to between the hours of 7 a.m. and 7 p.m., Monday through Friday, and 9 a.m. to 6 p.m. Saturday. Construction is prohibited on Sundays and federal holidays. Exceptions may be made for activities that will not generate noise audible from off-site, such as painting and other quiet interior work.
 3. Installation of all utility meters shall be performed in a manner so as to obscure the installation from view from any place on or off the property. The installation vault, wall cabinet, or wall box shall be installed under the direction of the Planning Division.

- Bldg. 4. Comply with the requirements of the following adopted codes: 2016 California Building Code, 2016 California Electrical Code, 2016 California Mechanical Code, 2016 California Plumbing Code, 2016 California Green Building Standards Code and 2016 California Energy Code (or the applicable adopted, California Residential Code, California Building Code, California Electrical Code, California Mechanical Code, California Plumbing Code, California Green Building Standards and California Energy Code at the time of plan submittal or permit issuance) and California Code of Regulations also known as the California Building Standards Code, as amended by the City of Costa Mesa. Requirements for accessibility to sites, facilities, buildings and elements by individuals with disability shall comply with chapter 11B of the 2016 California Building Code.
- Bus. Lic. 5. All contractors and subcontractors must have valid business licenses to do business in the City of Costa Mesa. Final inspections, final occupancy and utility releases will not be granted until all such licenses have been obtained.
- Eng. 6. For demolition, grading, or building permits involving projects with a valuation of \$10,000 or more, the contractor shall use a City-permitted hauler(s) to haul any debris or solid waste from the job site (refer to Section 8-83(h), Regulations, of Title 8 of the Costa Mesa Municipal Code). Use of a City-permitted hauler for such projects is the responsibility of the designated contractor. Non-compliance is subject to an administrative penalty as follows: \$1,000 or 3% of the total project value, whichever is greater.
7. At the time of development submit for approval an Offsite Plan to the Engineering Division and Grading Plan to the Building Division that shows Sewer, Water, Existing Parkway Improvements and the limits of work on the site prepared by a registered Civil Engineer or Architect. Construction Access approval must be obtained prior to Building or Engineering Permits being issued by the City of Costa Mesa.
8. Pay Offsite Plan Check fee per Section 13-231 of the C.C.M.M.C. and an approved Offsite Plan shall be required prior to Engineering Permits being issued by the City of Costa Mesa.
9. Obtain an encroachment permit from the Engineering Division for any work in the City public right-of-way. Pay required permit fee & cash deposit or surety bond to guarantee construction of off-site street improvements at time of permit per section 15-31 & 15-32, C.C.M.M.C. as approved by City Engineer. Cash deposit or surety bond amount to be determined by City Engineer.
10. Obtain a permit from the City of Costa Mesa, Engineering Division, at the time of development and then construct P.C.C. driveway approach per City of Costa Mesa Standards as shown on the Offsite Plan. Location and dimensions are subject to the approval of the Transportation Services Manager. ADA compliance required for new driveway approaches.
11. Obtain a permit from the City of Costa Mesa, Engineering Division, at the

time of development and then remove any existing driveways and/or curb depressions that will not be used and replace with full height curb and sidewalk at applicant's expense.

12. Fulfill Drainage Fee requirements per City of Costa Mesa Ordinance No. 06-19 prior to approval of Final Map/Approval of Plans.

SPECIAL DISTRICT REQUIREMENTS

The requirements of the following special districts are hereby forwarded to the applicant:

- | | | |
|-------|----|--|
| Sani. | 1. | It is recommended that the applicant contact the Costa Mesa Sanitary District at (949) 645-8400 for current district requirements. |
| AQMD | 2. | Applicant shall contact the Air Quality Management District (800) 288-7664 for potential additional conditions of development or for additional permits required by AQMD. |
| CDFA | 3. | Comply with the requirements of the California Department of Food and Agriculture (CDFA) to determine if red imported fire ants exist on the property prior to any soil movement or excavation. Call CDFA at (714) 708-1910 for information. |

PLANNING APPLICATION SUMMARY

Location: 2870 Clubhouse Road Permit No.: ZA-17-02

Request: Construct a 804 square feet attached garage

SUBJECT PROPERTY:

Zone: R1
 General Plan: Low Density Residential
 Lot Dimensions: Irregular
 Lot Area: 9,555 S.F.
 Original Development: Two-story, single-family residence with attached garage

SURROUNDING PROPERTY:

North: Single-Family Residential
 South: Single-Family Residential
 East: Institutional and Recreational District
 West: Single-Family Residential

DEVELOPMENT STANDARD COMPARISON

<u>Development Standard</u>	<u>Code Requirement</u>	<u>Proposed/Provided</u>
Density:		
Zone	1 du: 6,000 SF	1 du: 9,555 SF
General Plan	1 du: 5,445 SF	
Building Coverage:		
Building – residence totals		3,570 SF
Building – garage	700 SF max.	809 SF ¹
Driveway		385 S.F.
TOTAL – coverage	5,733 SF max. (60%)	4,036 SF (42%)
Open Space	3,822 SF (40%)	5,519 SF (58%)
Building Height:	2 stories/27 FT max.	2 story/23 FT
Building Separation between residence & garage:	6 FT	N/A
Setbacks:		
Front	20 FT	20 FT
Side (left/right)	5 FT /10 FT	5 FT/ 12 FT
Rear	10 FT	47 FT
Rear Yard Coverage:		
Building – Main Residence	400 SF (25%)	0 SF
Accessory Structure – Garage ¹	802.5 SF (50%)	0 SF
Parking Totals:		
Covered	2	2
Open	2	2
TOTAL	4	4

Final Action: Approved with conditions
 Environmental Determination: Exempt

¹ Minor Conditional Use Permit requested

² Additional second story setback required per the Residential Design Guidelines (Roger – is this correct????)

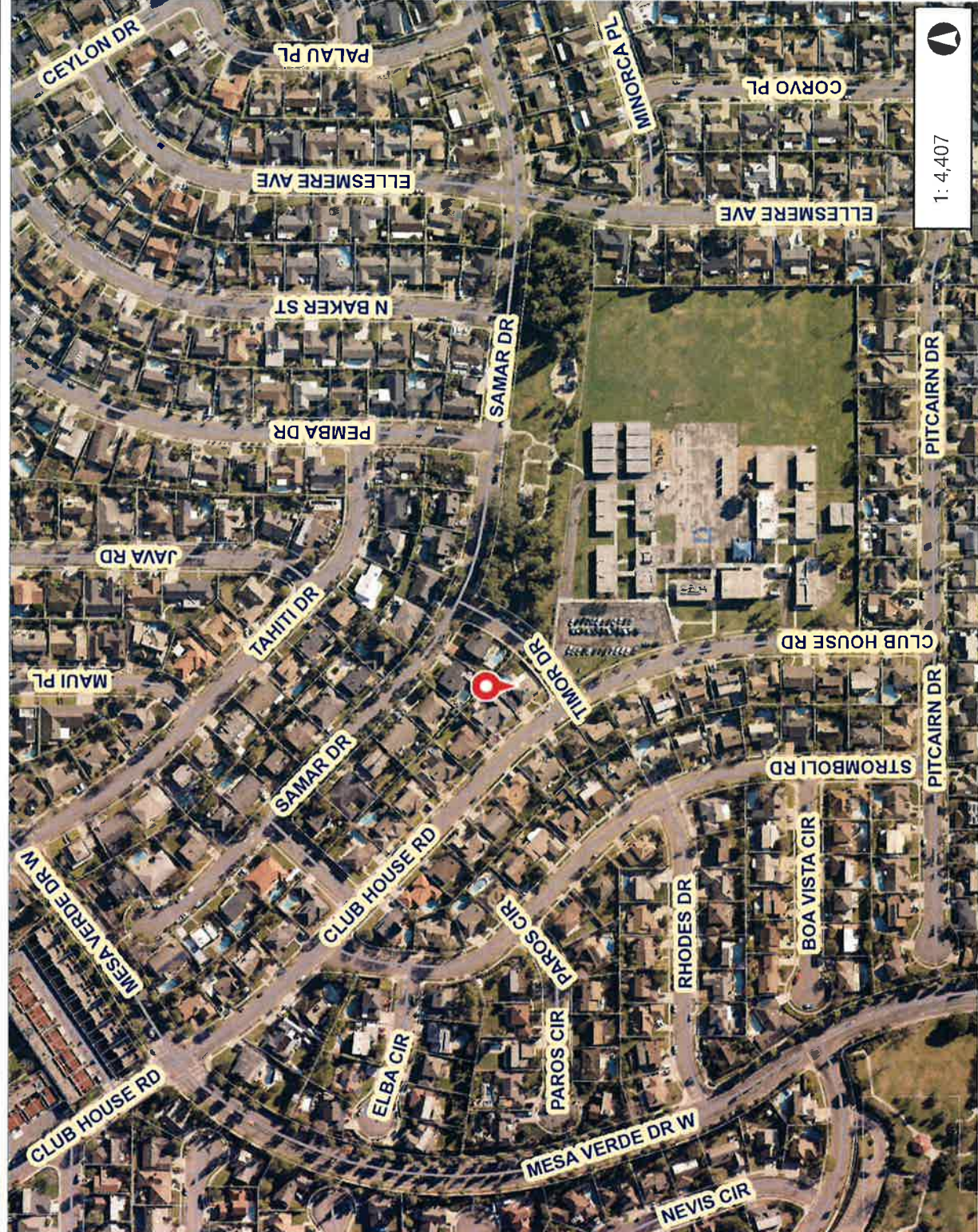


Legend

- Costa Mesa

Notes

Vicinity Map 2570 Club House Road (ZA-17-02)



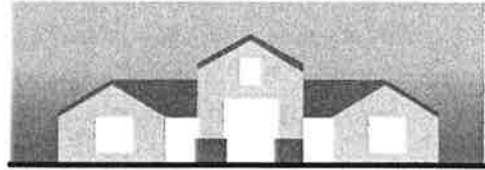
1: 4,407

0 0.07 0.1 Miles

This map is a user generated static output from an internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION





**WOOLBERT
DESIGNS**

CRAIG WOOLBERT
5622 LITTLER DRIVE
HUNTINGTON BEACH, CA 92649
714.856.2605
wdhouses@gmail.com

The City of Costa Mesa
77 Fair Drive
Costa Mesa, CA 92626

Project: Minor Conditional Use Permit
Spittler Residence
2870 Clubhouse Road
Costa Mesa, CA 92626

February 2, 2017

Dear City of Costa Mesa Planning Department

The Spittler's are planning to renovate and add to the existing 2-story single family dwelling. The existing house has a 2-car garage of 758 square feet. The new kitchen will remove 95 square feet of the garage and we are enlarging the garage to the front of the property. Total square feet of the proposed garage will be 809 square feet. This addition to the front of the garage will greatly add to the curb appeal of the house with a new gable roof matching the new gable entry roof. In addition to the new roofs, the walls articulate in and out giving the facade movement creating greater architectural interest. These architectural enhancements along with the 2nd floor addition and front patio provide relief from monotony and improves the appearance of the neighborhood.

Sincerely,

Craig Woolbert

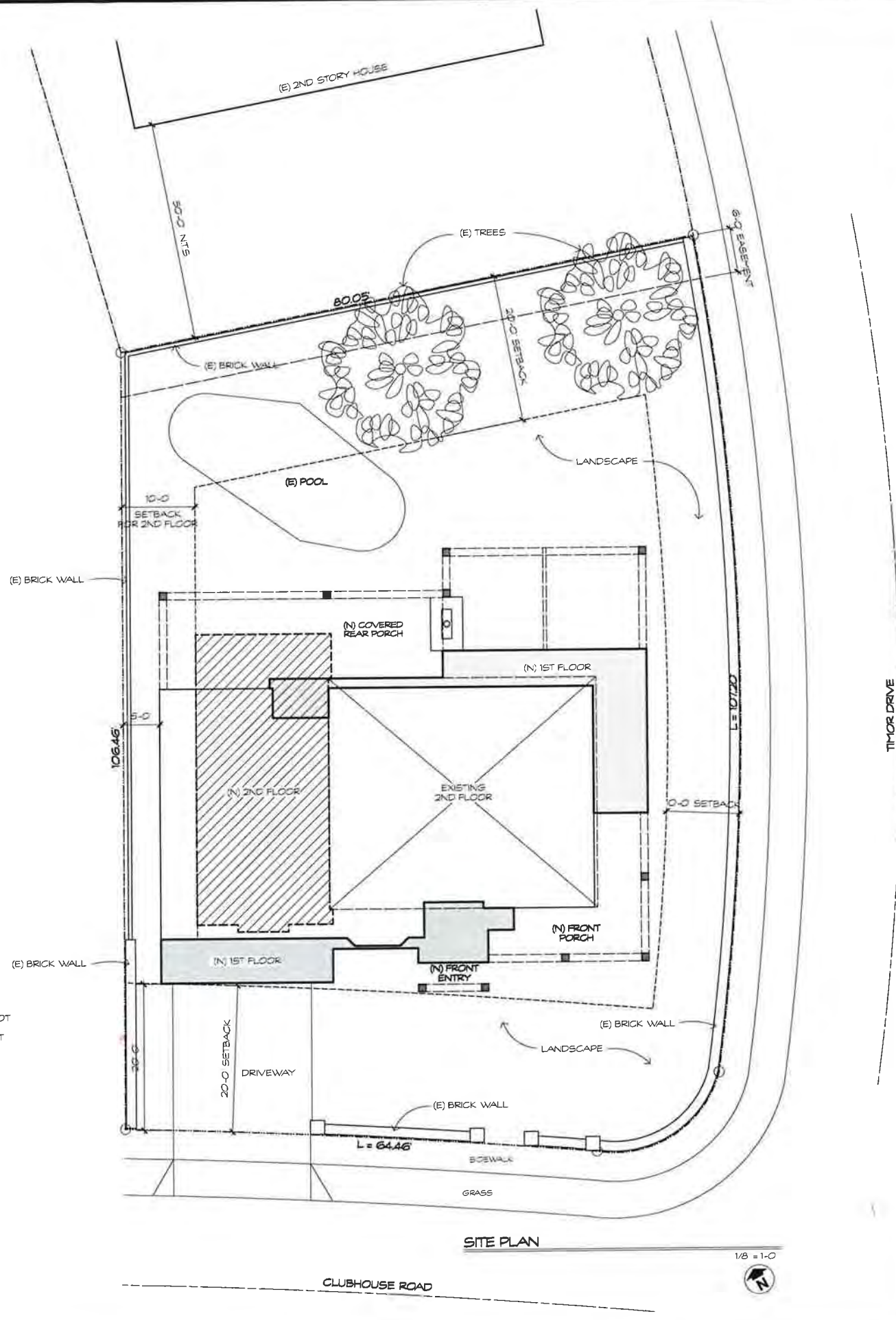
**SPITTLER
RESIDENCE
ADDITION**

2870 Clubhouse Road
Costa Mesa, CA 92626

ISSUE DATES	
AS BUILTS	10/14/16
DESIGN	11/02/16
DESIGN	11/11/16
DESIGN	11/23/16
DESIGN	12/19/16
DESIGN	1/09/17
PLANNING SUB	1/11/17
M.C.U. PERMIT SUB	2/02/17
M.C.U. PERMIT SUB	2/23/17
M.C.U. PERMIT SUB	3/06/17

SITE PLAN
AND
COVER SHEET

A-1.0



PROJECT DESCRIPTION:
RENOVATE THE ENTIRE HOUSE AND ADD SQUARE FEET TO THE 1ST FLOOR AND 2ND FLOOR

PROJECT ADDRESS:
2870 CLUBHOUSE ROAD
COSTA MESA, CA 92626

PROJECT DATA:
(1) SINGLE FAMILY DWELLING
(2) BEDROOMS
PARKING:
(2) CAR GARAGE
(2) ON DRIVEWAY

OWNER:
RITA AND RUSS SPITTLER
2870 CLUBHOUSE ROAD
COSTA MESA, CA 92626
702.824.6181

DESIGNER:
CRAIG WOOLBERT
5622 LITTLER DRIVE
HUNTINGTON BEACH, CA 92649
PH: 714.856.2605

AREA TABULATION

EXISTING 1ST FLOOR	1148 SF
EXISTING 2ND FLOOR	115 SF
TOTAL	2302 SF
EXISTING GARAGE	758 SF
NEW 1ST FLOOR	540 SF
NEW 2ND FLOOR	726 SF
TOTAL	1266 SF
TOTAL PROPOSED HOUSE	3570 SF
NEW COVERED ENTRY	38 SF
NEW COVERED FRONT PORCH	247 SF
NEW COVERED REAR PORCH	869 SF
REMOVED FROM EXISTING GARAGE	95 SF
NEW ADDITION TO GARAGE	146 SF
PROPOSED GARAGE	758-95+146 = 809 SF
NEW 2ND FLOOR DECK	108 SF

LOT: 9,555 SF
REQUIRED OPEN SPACE = 40% = 3,822 SF

COVERED SPACE:	
NEW COVERED ENTRY	38 SF
NEW COVERED FRONT PORCH	247 SF
NEW COVERED REAR PORCH	869 SF
PROPOSED GARAGE	758-95+146 = 809 SF
EXISTING 1ST FLOOR	1148 SF
NEW 1ST FLOOR	540 SF
DRIVEWAY	985 SF
TOTAL	4,032 SF = 42% OF LOT
OPEN SPACE PROVIDED	5,519 SF = 57% OF LOT

SHEET INDEX:

A-1.0	COVER SHEET AND SITE PLAN
A-2.0	EXISTING 1ST FLOOR
A-2.1	EXISTING 2ND FLOOR
A-2.2	NEW 1ST FLOOR
A-2.3	NEW 2ND FLOOR
A-3	ROOF PLAN
A-4.0	ELEVATIONS
A-4.1	ELEVATIONS

Development Review No. ZA-17-02
Approval in Concept
SUBJECT TO CONDITIONS
CITY OF COSTA MESA
PLANNING DEPT.
BY [Signature] DATE 3/23/17

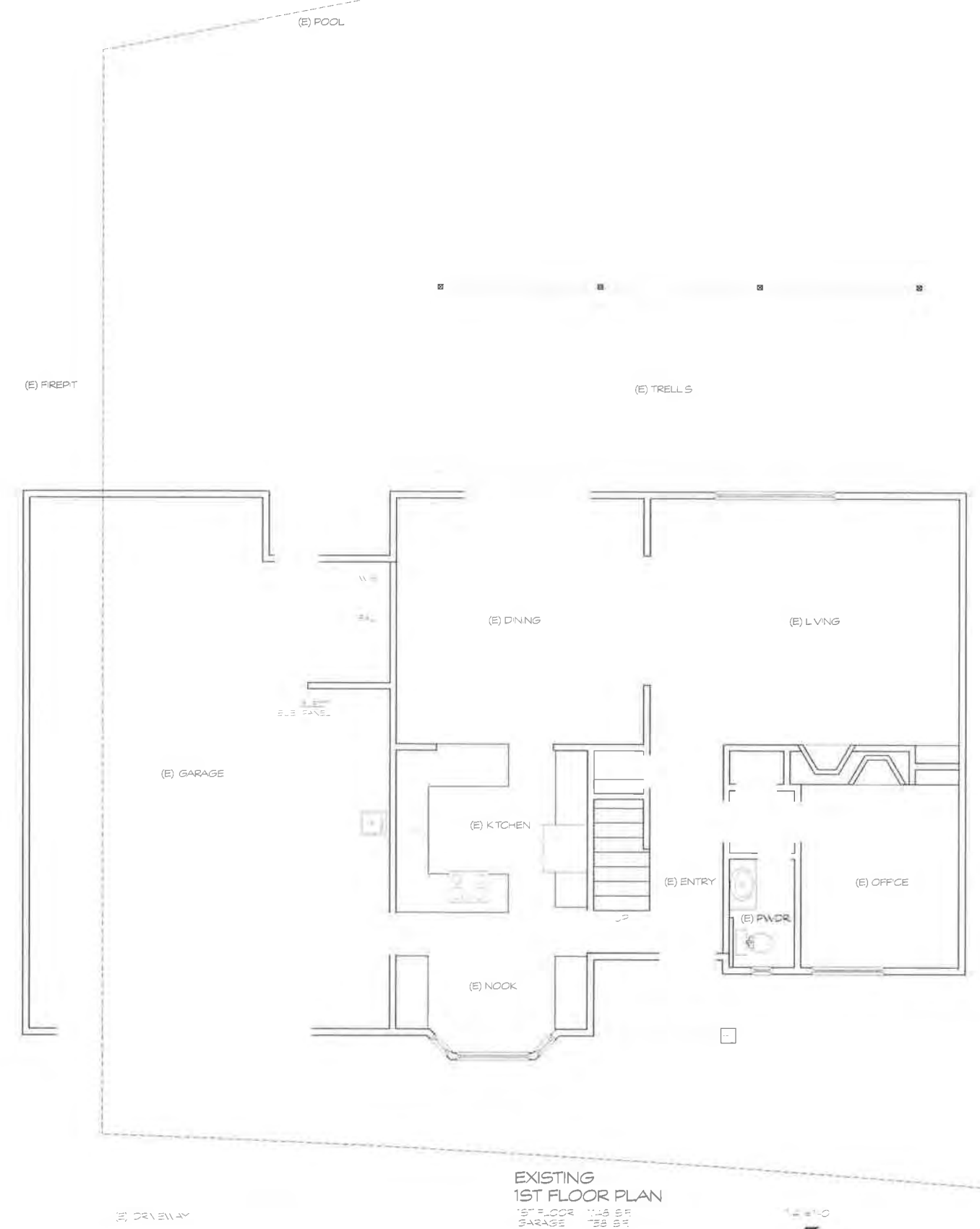
SITE PLAN

1/8" = 1'-0"



**SPITTLER
RESIDENCE
ADDITION**

2870 Clubhouse Road
Costa Mesa, CA 92626



ISSUE DATES
AS BUILT 10/15/18
DESIGN 10/21/18
DESIGN 11/16/18
DESIGN 12/18/18
DESIGN 12/19/18
DESIGN 12/27/18
PLANNING 3/15/19
PLANNING 3/15/19
PLANNING 3/15/19

EXISTING
1ST FLOOR PLAN

A-2.0



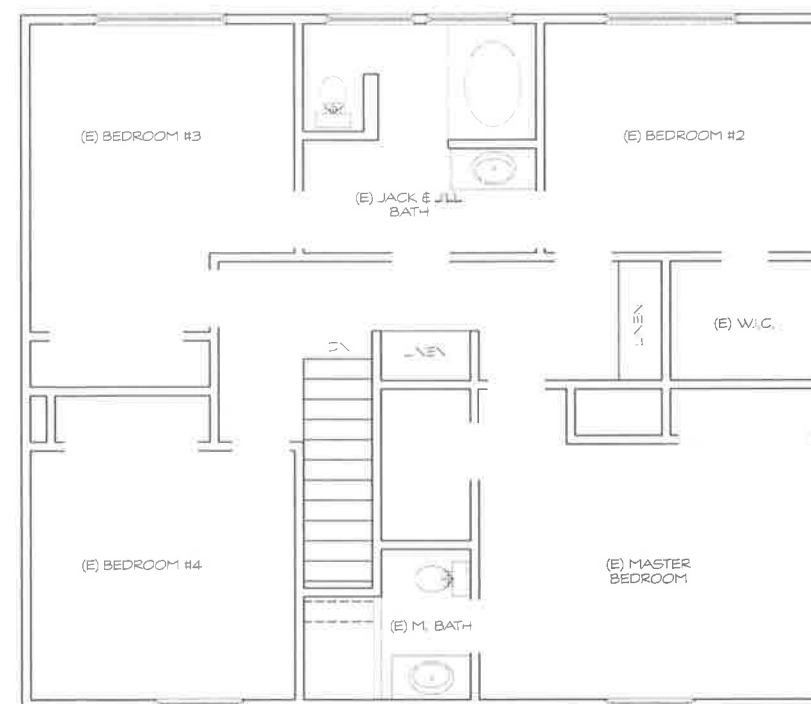
**WOOLBERT
DESIGNS**

714.856.2605
wchouses@gmail.com

**SPITTLER
RESIDENCE
ADDITION**

2870 Clubhouse Road
Costa Mesa, CA 92626

(E) POOL



EXISTING
2ND FLOOR PLAN
2ND FLOOR 1154 SF



PROPERTY LINE

ISSUE DATES

- AS BUILT 10/14/18
- DESIGN 10/21/18
- DESIGN 11/16/18
- DESIGN 12/18/18
- DESIGN 12/18/18
- DESIGN 10/21/18
- PLANNING 8/13/17
- 10/1/2018

EXISTING
2ND FLOOR PLAN

A-2.1



**WOOLBERT
DESIGNS**

714.856.2605
wohouses@gmail.com

**SPITTLER
RESIDENCE
ADDITION**

2870 Clubhouse Road
Costa Mesa, CA 92626

ISSUE DATES

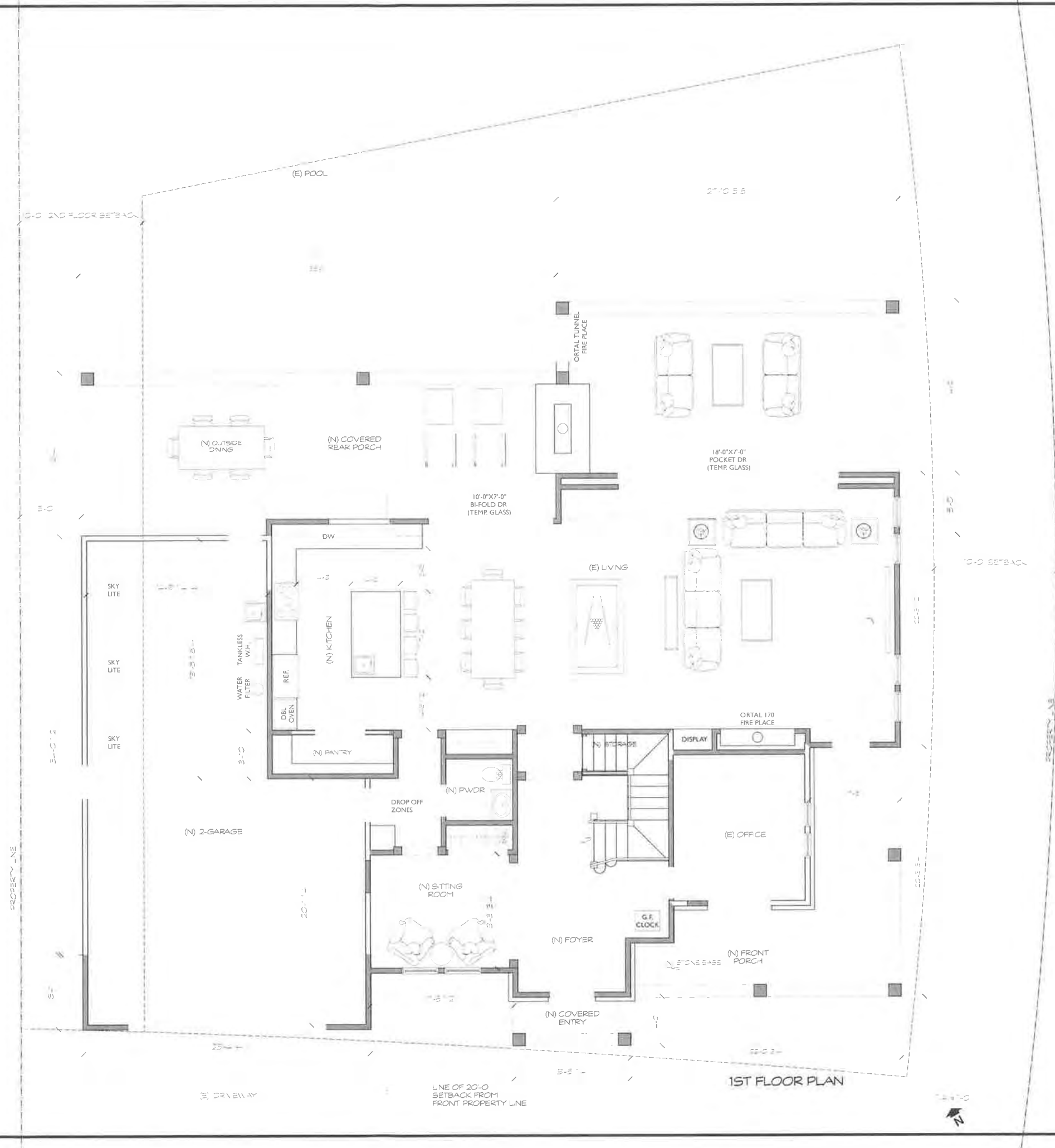
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- DESIGN 10/18
- DESIGN 11/18
- DESIGN 12/18
- DESIGN 12/18
- DESIGN 08/17
- PLANNING SUB 11/17
- YOU PERM SUB 2021
- YOU PERM SUB 2023
- YOU PERM SUB 2024

1ST FLOOR PLAN

A-2.2

WALL LEGEND:

- EXISTING WALLS TO REMAIN
- EXISTING WALLS TO RECYCLE
- NEW WALLS



1ST FLOOR PLAN

LINE OF 20'-0" SETBACK FROM FRONT PROPERTY LINE



**WOOLBERT
DESIGNS**

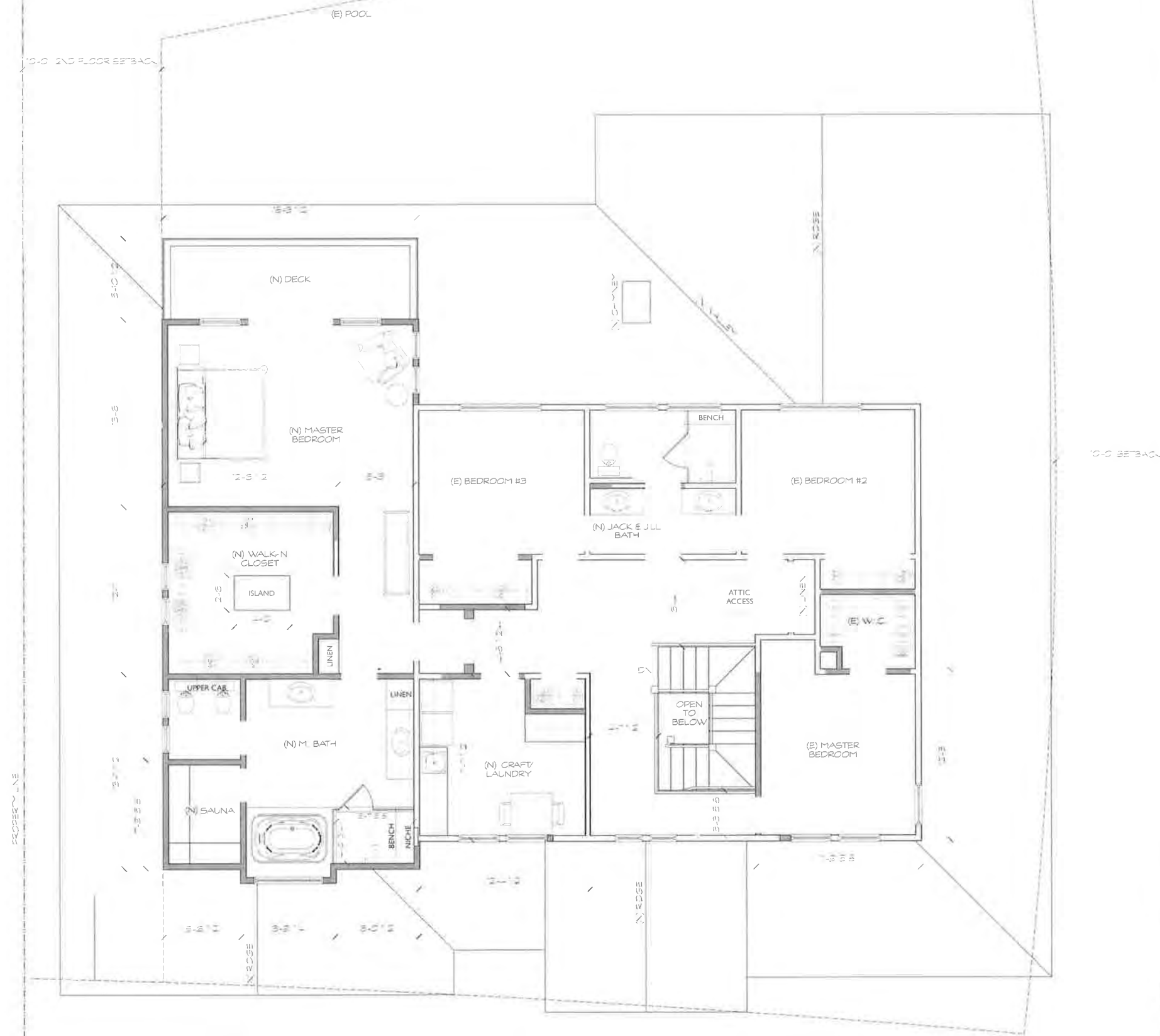
714.856.2605
wohouses@gmail.com

**SPITTLER
RESIDENCE
ADDITION**

2870 Clubhouse Road
Costa Mesa, CA 92626

WALL LEGEND:

- EXIST'G WALLS TO REMAIN
- EXIST'G WALLS TO REMOVE
- NEW WALLS



2ND FLOOR PLAN

ISSUE DATES
AS BUILT 12/18
DESIGN 12/18
DESIGN 12/18
DESIGN 12/18
DESIGN 12/18
DESIGN 12/18
PLANNING SUB
10.1.2017 SUB 2017

2ND FLOOR PLAN

A-2.3



**WOOLBERT
DESIGNS**

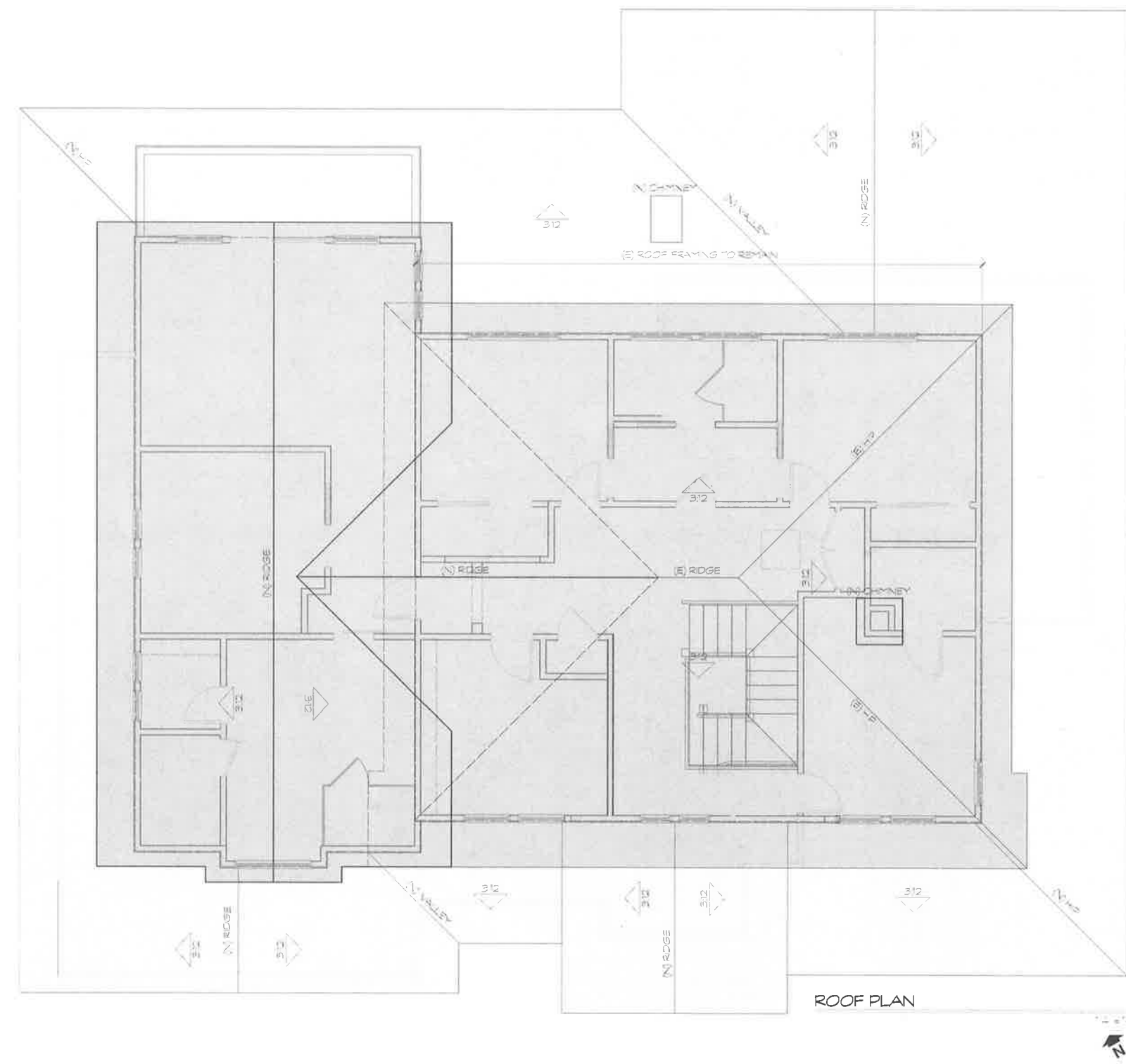
714.856.2605
wohouses@gmail.com

**SPITTLER
RESIDENCE
ADDITION**

2870 Clubhouse Road
Costa Mesa, CA 92626

GENERAL NOTES

- 1. NEW CLASS A CORRUGATED ROOFING SYSTEM WITH ALL ROOFS
- 2. CONTRACTOR TO MATCH AND VERIFY EXISTING ROOF SLOPE
- 3. WEIGHT OF ROOFING = 55 PSF



ROOF PLAN

ISSUE DATES

- AS BUILT 10/14/16
- DESIGN 10/21/16
- DESIGN 11/13
- DESIGN 12/16
- DESIGN 12/16
- DESIGN 10/17
- PLANNING SUB 10/17
- CONTRACT SUB 10/20/17

ROOF PLAN

A-3

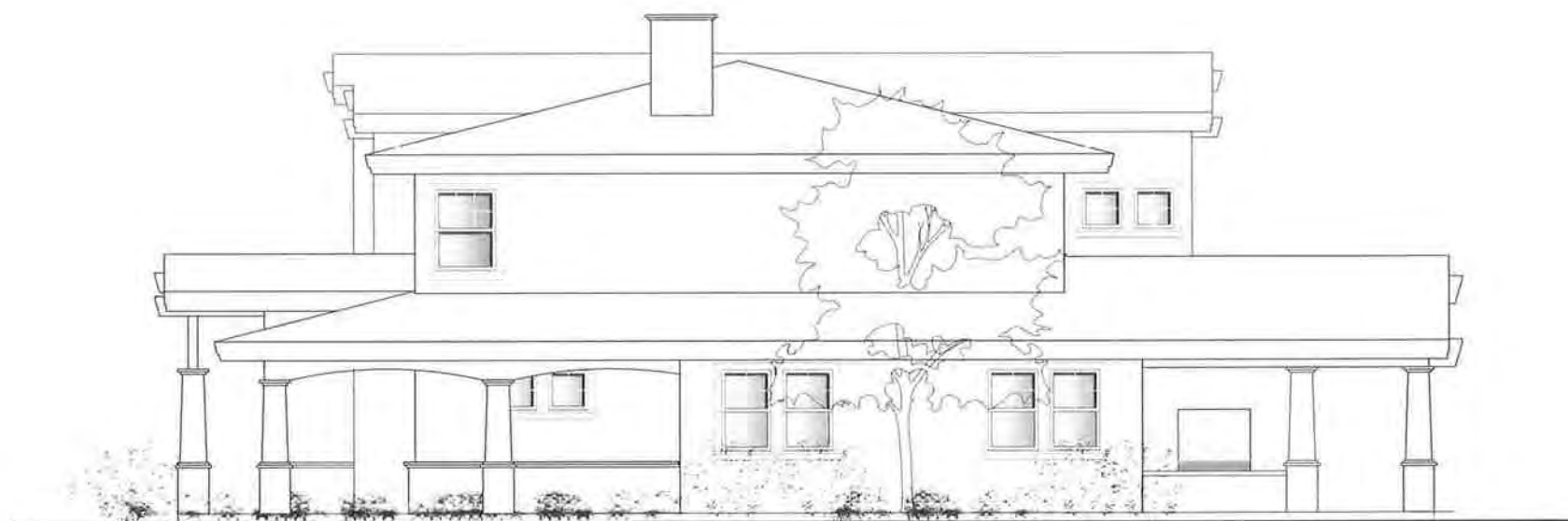


**WOOLBERT
DESIGNS**

714.856.2605
wohouses@gmail.com



FRONT ELEVATION W/ ARCHES



RIGHT ELEVATION

**SPITTLER
RESIDENCE
ADDITION**

2870 Clubhouse Road
Costa Mesa, CA 92626

ISSUE DATES

AS BUILT 10/11/18
DESIGN 10/21/18
DESIGN 11/1/18
DESIGN 11/23/18
DESIGN 12/3/18
DESIGN 10/31/19
PLANNING SUB 11/1/19
CON PERM SUB 2021

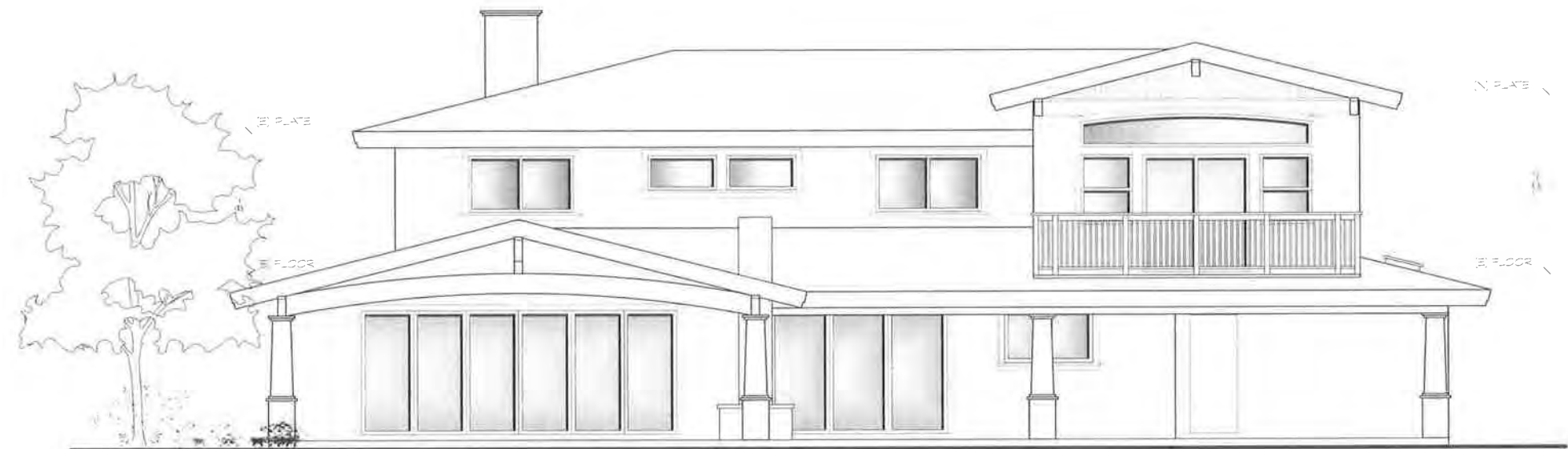
ELEVATIONS

A-4.0

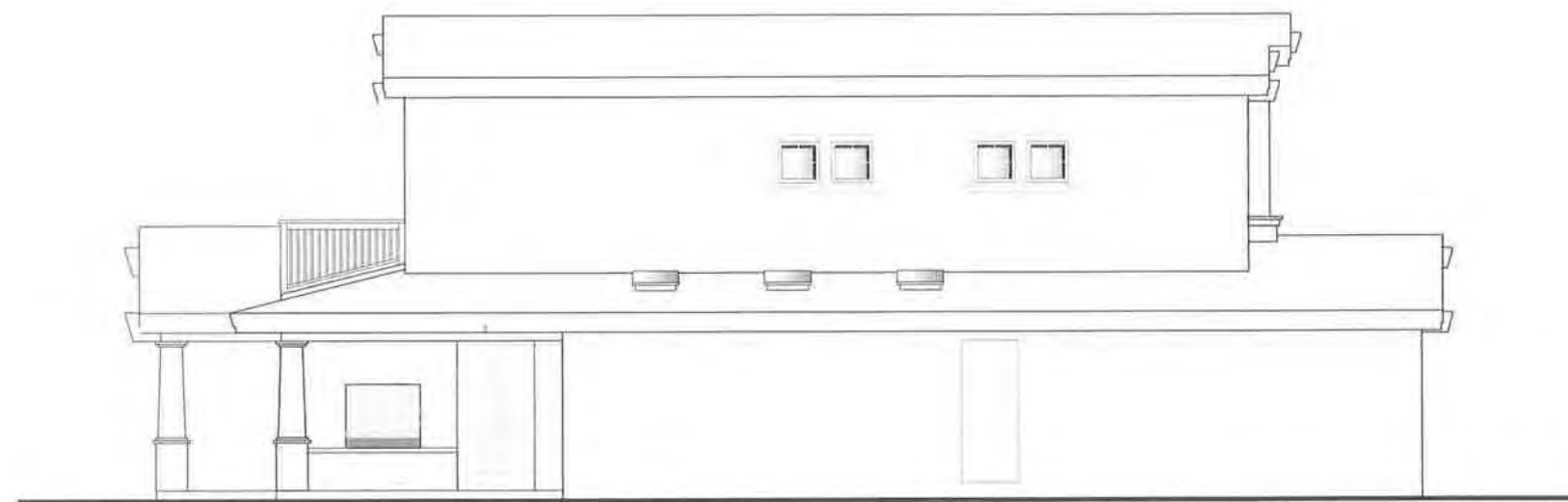


**WOOLBERT
DESIGNS**

714.856.2605
wohouses@gmail.com



REAR ELEVATION



LEFT ELEVATION

**SPITTLER
RESIDENCE
ADDITION**

2870 Clubhouse Road
Costa Mesa, CA 92626

ISSUE DATES

- AS BUILT 01'16
- DESIGN 10'16
- DESIGN 01'16
- DESIGN 12'16
- DESIGN 2'16
- DESIGN 03'17
- PLANNING SUB 01'17
- CONSTRUCTION SUB 10'17

ELEVATIONS

A-4.1



CITY OF COSTA MESA

P.O. BOX 1200 • 77 FAIR DRIVE • CALIFORNIA 92628 - 1200

DEVELOPMENT SERVICES DEPARTMENT

March 23, 2017

Arfan Jarjour
979 Paularino Ave
Costa Mesa, CA 92626

**RE: ZONING APPLICATION ZA-17-03
MINOR CONDITIONAL USE PERMIT TO DEVIATE FROM SHARED
PARKING REQUIREMENTS FOR A MUSIC STUDIO.
1525 MESA VERDE EAST DR, SUITE 213, COSTA MESA**

Dear Mr. Jarjour:

City staff's review of your zoning application for the above-referenced project has been completed. The application, as described in the attached project description, has been approved, based on the findings and subject to the conditions of approval and code requirements (attached). The decision will become final at 5:00 p.m. on March 30, 2017, unless appealed by an affected party, including filing of the necessary application and payment of the appropriate fee, or called up for review by a member of the Planning Commission or City Council.

If you have any questions regarding this letter, please feel free to contact the project planner, Johnwilly Aglupos, at either johnwilly.aglupos@costamesaca.gov or 714.754.5692.

Sincerely,

WILLA BOUWENS-KILLEEN, AICP
Zoning Administrator

Attachments: Project Description, Analysis, Findings, Conditions of Approval, Code Requirements, Business Intent Letter, Shared Parking Demand Calculations, and Floorplan.

cc: Engineering
Fire Protection Analyst
Building Safety Division
Mesa Verde Plaza
1525 Mesa Verde Dr. E
Suite 209
Costa Mesa, Ca 92626

PROJECT DESCRIPTION

The property is located in the Mesa Verde Plaza on Mesa Verde East Drive. The site is zoned C1 (Local Business District), and has a General Plan land use designation of General Commercial. Commercially zoned and developed property abuts the site to the east and southeast; residentially zoned and developed property abuts the site to the southwest; and residential developments exist across both Harla Ave to the west and across Mesa Verde Drive East to the north. The commercial center includes 48 suites with 186 parking spaces.

The applicant requests approval of a minor conditional use permit (MCUP) to deviate from the shared parking requirements for a music education studio with unique operating characteristics.

The music school will occupy a 1,358 square foot tenant space, located on the second floor of the existing multi-tenant building. The proposed floor plan consists of four rooms including small studios for voice, guitar, piano, and an office/waiting room. Classes would typically be 45 minutes long with a 15 minutes time buffer between classes. The proposed hours of operation are Monday through Friday, 2:30 p.m. to 8:30 p.m. and Saturday / Sunday, 11 a.m. to 4 p.m. as shown in the tables below. The maximum number of student / staff proposed at one time before 6 p.m. is 5 people; after 6 p.m. is 7 people; and on weekends is 7 people (with an exception when the student is driven to the site by an adult).

Table 1 Monday - Friday				
M-F	Piano / Guitar / Voice		Receptionist	Total
Time	Student	Teacher		
2:30-3:00pm	2	2	1	5
3:00-3:15pm	0	0	1	1
3:15-3:45pm	2	2	1	5
3:45-4:00pm	0	0	1	1
4:00-4:30pm	2	2	1	5
4:30-4:45pm	0	0	1	1
4:45-5:15pm	2	2	1	5
5:15-5:30pm	0	0	1	1
5:30-6:00pm	2	2	1	5
6:00-6:15pm	0	0	1	1
6:15-6:45pm	3	3	1	7
6:45-7:00pm	0	0	1	1
7:00-7:30pm	3	3	1	7
7:30-7:45pm	0	0	1	1
7:45-8:15pm	3	3	1	7

Sat-Sun Time	Piano		Receptionist	Total
	Student	Teacher		
11:00–11:30pm	3	3	1	7
11:30–11:45pm	0	0	1	1
11:45–12:15pm	3	3	1	7
12:15–12:30pm	0	0	1	1
12:30–1:00pm	3	3	1	7
1:00–1:15pm	0	0	1	1
1:15–1:45pm	3	3	1	7
1:45–2:00pm	0	0	1	1
2:00–2:30pm	3	3	1	7
2:30–2:45pm	0	0	1	1
2:45–3:15pm	3	3	1	7
3:15–3:30pm	0	0	1	1
3:30–4:00pm	3	3	1	7

ANALYSIS

Parking

The code’s parking ratio for a music studio is 10 spaces per 1,000 square feet of floor area or 14 spaces for this studio; 5 parking spaces are allocated to this 1,359 sq. ft. suite. On December 9, 2010 under ZA-10-51, the center was approved for an adjusted and comprehensive parking ratio as shown below:

Use	Code Required	Adjusted Parking Rate
Retail	4 spaces per 1,000 SF	3 spaces per 1,000 SF
Office (includes medical)	4 spaces per 1,000 SF	For first 1,000 SF: 2.5 spaces per 1,000 SF
		For >1,000 SF: 3 spaces per 1,000 SF
Restaurant	10 spaces per 1,000 SF for first 3,000 SF / 20 spaces per 1,000 SF for > 3,000 SF	For first 3,000 SF: 8 spaces per 1,000 SF
		For >3,000 SF 10 spaces per 1,000 SF

Since music studios are not included in any of the adjusted uses above, and since the property is commercially zoned, the suite has been allocated 4 parking spaces per 1,000 sq.ft. of floor area – as has the Orange County Education Center in suite 108, approved prior to this 2010 Zoning Administrator action.

Per the applicant, the maximum parking demand during the week is 5 parking spaces when lessons are given before 6 p.m. and 7 parking spaces after 6 p.m. which is below the required parking ratio as calculated for a studio (10 spaces per 1,000 sq. ft. or 14 parking spaces. See Tables 1 and 2 for a breakdown of occupants proposed for the suite).

The center provides a total of 199 parking spaces (includes 6 disabled parking) but a total of 207 spaces are required during maximum weekday parking demand at 2 p.m. based on the shared parking study. The shared parking study recognizes the multiple users within a center with various parking peak hours (see Attachment 1). Since the suite is allocated with 5 parking spaces and the music studio generates an anticipated parking demand of 5 spaces, the proposed music studio should not impede on existing parking during the highest parking demand for the center.

After 6 p.m. on weekdays, as businesses close, the center's parking demand reduces to approximately 136 (see Attachment 1). At that time, the music studio demand increases to 7 parking spaces; however, there are 63 "extra" spaces available at 6:00 p.m., which would accommodate the spaces required generated by the proposed studio.

In the weekend, the shared parking spreadsheet indicates that there is ample supply of parking during the studio's hours of operation – 93 spaces required at peak times or 106 "extra" spaces (see Attachment 1) – to accommodate the additional two spaces needed by the music studio.

To conclude, the combination of the studio's operational characteristic of having a maximum of 5 (driving) occupants before 6 p.m. and 7 (driving) occupants after 6 p.m. on weekdays will allow adequate parking to be available for the studio without impacting existing businesses in the center. However, if parking shortages or other parking-related problems develop, the business operator will be required to institute appropriate operational measures necessary to minimize or eliminate the problem including, but not limited to, reducing the class sizes and/or operating hours of the business.

Noise

A secondary issue the project must address is noise. Although noise impacts are not anticipated to surrounding uses, a condition of approval has been included requiring that music and verbal instructions / coaching not be audible outside the tenant space. Additionally, the applicant has agreed to install an acoustic attenuation system to ensure there are no noise impacts on surrounding uses.

General Plan Consistency

The General Plan land use designation for the site is General Commercial which is intended to apply to large districts that contain a variety of businesses by providing a wide range of goods and services. Approval of the use allows another diverse use on this property, which will help ensure the long-term productivity and viability of the community's economic base consistent with Objective LU-6A of the City's 2015-2035 General Plan. As conditioned, the small class sizes and offset operating hours as well as the type of music proposed in conjunction with the acoustic attenuation system will not generate parking and noise impacts, consistent with Objective N-2.9 of the City's 2015-2035 General Plan.

FINDINGS

- A. The information presented complies with Costa Mesa Municipal Code Section 13-29(e) in that:
1. As proposed and conditioned, the proposed studio is compatible and harmonious to the surrounding uses that exist or have been approved for the general neighborhood (such as retail, office, studios, etc.).
 2. Safety and compatibility of the interior layout of the building has been considered through proper space planning of each studio / receptionist space and obtaining necessary permits.
 3. The project complies with any performance standards, such as noise, through sound attenuation system and parking requirements, as described in the Zoning Code, and as conditioned to operate as described in this staff report.
 4. The studio is considered a general commercial use which is consistent with the General Plan designation of the site.
 5. The MCUP to deviate from shared parking is for a project-specific case and is not to be construed to be setting a precedent for future development.
- B. The information presented complies with Costa Mesa Municipal Code Section 13-29(g)(2) in that:
1. The proposed use is compatible and harmonious with developments in the same general area and would not be materially detrimental to other properties within the area. As conditioned, adequate parking will be available during the operation of the studio.
 2. Granting the minor conditional use permit will not be detrimental to the health, safety and general welfare of the public or otherwise injurious to property or improvements within the immediate neighborhood. The applicant agreed to install interior sound attenuation system and operate as described on the business description.
 3. Granting the minor conditional use permit will not allow a use, density or intensity that is not in accordance with the General Plan designation and any applicable specific plan for the property. The music studio is permitted within the City's Land Use Matrix and the use is compatible under the property's General Commercial land use designation.
- C. The project has been reviewed for compliance with the California Environmental Quality Act (CEQA), the CEQA Guidelines, and the City environmental procedures, and has been found to be exempt under Section 15301, Existing Facilities, of the CEQA Guidelines.

CONDITIONS OF APPROVAL

- Plng
1. The use shall be limited to the type of operation described in this staff report: A studio to teach music on a one-to-one basis with a maximum of 2 students per hour interval with no more than 2 teachers and 1 receptionist on site before 6 p.m. weekdays and a maximum of 3 students per hour interval with no more than 3 teachers and 1 receptionist on site after 6 p.m. on weekdays and weekends. Any change in the operational characteristics including, but not limited to, type of service provided, size of classes, or time of classes will require approval of an amendment to the minor conditional use permit, subject to Zoning Administrator approval.
 2. There shall be a minimum of 15 minutes between classes to allow departing students to leave before arriving students.
 3. All uses shall be conducted within the tenant space (underroof).
 4. If parking shortages or other parking-related problems arise, the business operator shall institute appropriate operational measures necessary to minimize or eliminate the problem, including, but not limited to, reducing class sizes or the days and/or hours of the business.
 5. The applicant shall contact the Planning Division to arrange a Planning inspection of the site. This inspection is to confirm that sound mitigation through an acoustical attenuation system has been installed and code requirements have been satisfied.
 6. To mitigate noise impacts, the applicant agrees to install sound attenuation system. Prior to building occupancy, Building Services Department shall inspect such installation.
 7. Applicant shall defend, indemnify and hold harmless the City, its officials and employees, against all legal actions filed challenging City's approval of the applicant's project and/or challenging any related City actions supporting the approval. City shall have the right to select the attorney defending it, if it elects to do so.
 8. If any section, division, sentence, clause, phrase or portion of this approval is for any reason held to be invalid or unconstitutional by a decision of any court of competent jurisdiction, such decision shall not affect the validity of the remaining provisions.
- Bldg
9. Prior to issuing the Building permit the conditions of approval shall be required to be incorporated on the approved Architectural plans.
 10. Prior to issuance of Certificate of Occupancy (C of O) the applicant shall provide a scaled and dimensioned digital site plan(s) for the project site, on either a CD or thumb drive, to the Planning Division. All site plans shall include an accurate and precise drawing of all building footprints and property line locations for the entire project site. All buildings shall be annotated with its corresponding address and suites if applicable.

CODE REQUIREMENTS

The following list of federal, state, and local laws applicable to the project has been compiled by staff for the applicant's reference. Any reference to "City" pertains to the City of Costa Mesa.

- Plng
1. Approval of the zoning application is valid for one year from the effective date of this approval (March 23,2017) and will expire at the end of that period (March 23, 2018) unless applicant establishes the use by one of the following actions: 1) obtains building permits for the authorized construction and initiates construction; and/or 2) obtains a business license and/or legally establishes the business. If the applicant is unable to establish the use/obtain building permits within the one-year time period, the applicant may request an extension of time. The Planning Division must receive a written request for the time extension prior to the expiration of the zoning application.
 2. Permits shall be obtained for all signs according to the provisions of the Costa Mesa Sign Ordinance.
- Bldg
3. Comply with the requirements of the following adopted codes: 2016 California Building Code, 2016 California Electrical code, 2016 California Mechanical code, 2016 California Plumbing code and 2016 California Energy Code (or the applicable adopted, California Building code California Electrical code, California Mechanical code California Plumbing Code and California Energy Code at the time of plan submittal or permit issuance) and California Code of Regulations also known as the California Building Standards Code, as amended by the City of Costa Mesa. Requirements for accessibility to sites, facilities, buildings and elements by individuals with disability shall comply with chapter 11B of the 2016 California Building Code.
- Bus.
Lic.
4. All contractors and subcontractors must have valid business licenses to do business in the City of Costa Mesa. Final inspections, final occupancy and utility releases will not be granted until all such licenses have been obtained.
 5. Business license shall be obtained prior to the initiation the business.

MUSÍKA STUDIO

Date: 02/08/17

Objective:

Musika Studio is an educational and artistic venue designed to teach music to children and adults of various levels and age groups.

Instruments:

- Musika Studio offers classes in three instruments: Piano, voice and Guitar. With its' sound proofed walls and floor, its' purpose is to create a joyful experience to students and noise free environment to its' neighboring tenants.

Classes size and age:

- The lessons are designed to be one on one setting.
- Students ages for piano and guitar will range between age 6 years and up
- The maximum number of students and teachers at one hour intervals will be between 5 & 7. (see table)
- After each class session there will be a 15-minutes break before the next session occurs. *Attached is chart showing the break down.*
- Students ages for voice will range between 8 years old and up
- Adults and college students will be welcomed in classes as well.
- The number of students and teachers at one hour, will be around 5 & 7 (see the table) total including the teachers and receptionist.

Parents will be welcomed to drop their kids off.

- Lessons will be provided in the following time segments according to the students age
- Piano
 1. Age 6-10: (30 min lesson)
 2. Age 11-16: (30 min lessons or 45 min Lesson)
 3. Age 16 +: (30 min lessons or 45 min lessons)
- Guitar
 1. Age 7-10: (30 min lesson)
 2. Age 11-16: (30 min lessons or 45 min Lesson)
 3. Age 16 +: (30 min lessons or 45 min lessons)
- Voice
 1. Age 7-10 (30 min lesson)
 2. Age 11-16 (30 min lesson or 45 min lesson)
 3. Age 17+ (30 min lesson or 45 min lesson)

****Days and Times:**

Hours will vary according to students schedules. The box below indicates the studio hours, however that does not indicate every single hour will be filled the whole time.

Monday	2:30 pm- 8:30 pm
Tuesday	2:30 pm- 8:30 pm
Wednesday	2:30 pm- 8:30 pm
Thursday	2:30 pm- 8:30 pm
Friday	2:30 pm- 8:30 pm
* Saturday	11:00 am- 4:00 pm
* Sunday	11:00 am- 4:00 pm

*weekends Hours are subject to change according to teachers' availability and students schedules. (It might be less than the stated times)

**Studio will be closed on following holidays Thanksgiving Day, Christmas Eve, Christmas Day, New Year's Eve, New Year's Day and 4th of July.

**Studio's schedule in the summer might be shorter due to summer vacations.

Staff:

- 1 Receptionist: The receptionist Hours will be Monday- Saturday as follow

Monday	2:30 pm- 8:30 pm
Tuesday	2:30 pm- 8:30 pm
Wednesday	2:30 pm- 8:30 pm
Thursday	2:30 pm- 8:30 pm
Friday	2:30 pm- 8:30 pm
* Saturday	11:00 am- 4:00 pm
* Sunday	11:00 am- 4:00 pm

*On the weekend, the receptionist might not be at the studio depending on the students attendants.

- Teachers:
Three teachers will be available to teach the assigned classes. Voice Teacher, Piano and Guitar.
- Parents will be encouraged to drop their children off.
- Total of 3- 4 parking stalls will be used for the teachers and staff at max.
- parking stalls will be occupied by the parents at max. With 1 to 2 spaces used for students drop-off or by parents that wait during their children lesson.

Events:

- Due to the nature of performance, size, and audio, concerts and Recitals will be held at an outside venue.

Studio Use:

- We anticipate the 3 studios will typically be in full use for classes after 6 pm when most of the businesses in the shopping center are ending up business for the day. Saturdays and Sundays nearly all of the businesses in the center are closed

Musika Studio
Breakdown of Class Schedule

Monday-Friday	Guitar/Piano/voice			Parking places
	Time	Student	Teacher	
2:30pm- 3:00 pm	2	2	1	5
3:00 pm-3:15 pm	0	0	1	1
3:15 pm -3:45pm	2	2	1	5
3:45 pm- 4:00 pm	0	0	1	1
4:pm-4:30 pm	2	2	1	5
4:30 pm- 4:45 pm	0	0	1	1
4:45 Pm-5:15 pm	2	2	1	5
5:15 pm-5:30 pm	0	0	1	1
5:30 pm-6:00 pm	2	2	1	5
6:00 pm-6:15 pm	0	0	1	1
6:15 pm-6:45 pm	3	3	1	7
6:45 pm-7:00 pm	0	0	1	1
7:00 pm-7:30 pm	3	3	1	7
7:30 pm-7:45 pm	0	0	1	1
7:45 pm-8:15 pm	3	3	1	7

Saturday-Sunday	Guitar/Piano/voice			parking places
	Time	Student	Teacher	
11:00 am-11:30 am	3	3	1	7
11:30 pm -11:45 am	0	0	1	1
11:45 am- 12:15 pm	3	3	1	7
12:15 pm- 12:30 pm	0	0	1	1
12:30 pm-1:pm	3	3	1	7
1:00 pm-1:15 pm	0	0	1	1
1:15 pm-1:45 pm	3	3	1	7
1:45 pm-2:00 pm	0	0	1	1
2:00 pm-2:30 pm	3	3	1	7
2:30 pm-2:45 pm	0	0	1	1
2:45 pm-3:15 pm	3	3	1	7
3:15 pm-3:30 pm	0	0	1	1
3:30 pm-4:00 pm	3	3	1	7

SHARED PARKING DEMAND (adjusted) MIXED USE DEVELOPMENT 1525 Mesa Verde 199 parking spaces provided																			
USE	Office		Banks	Medical Office	Retail	Restaurant		Theaters and Cinemas (seats)	Guest Rooms (units)	Hotel/Motel		Residential				Guest (total units)	Total Parking Demand by Hour		
	<1,000 (Sq. Ft.)	>1,000 (Sq. Ft.)				1st 3K (Sq. Ft.)	>3K (Sq. Ft.)			1st 3K (Sq. Ft.)	>3K (Sq. Ft.)	1st 3K (Sq. Ft.)	>3K (Sq. Ft.)	Bachelor (units)	1 bedroom (units)			2 bedroom (units)	3+ Bedroom (units)
	8464.00	16294.00	0.00	12797.00	6636.00	5601.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00			
PEAK DEMAND	21.16	48.88	0.00	38.39	19.91	44.81	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	173.15		
WEEKDAY																	Weekdays		
6:00 AM	0.63	1.47	0.00	1.15	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	3.25	6:00 AM	
7:00 AM	4.23	9.78	0.00	7.68	1.59	0.90	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	24.18	7:00 AM	
8:00 AM	13.33	30.80	0.00	24.19	3.38	2.24	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	73.94	8:00 AM	
9:00 AM	19.68	45.46	0.00	35.70	7.96	4.48	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	113.29	9:00 AM	
10:00 AM	21.16	48.88	0.00	38.39	12.94	8.96	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	130.33	10:00 AM	
11:00 AM	21.16	48.88	0.00	38.39	16.52	13.44	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	138.40	11:00 AM	
NOON	19.04	43.99	0.00	34.55	18.32	22.40	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	138.31	NOON	
1:00 PM	19.04	43.99	0.00	34.55	18.91	31.37	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	147.87	1:00 PM	
2:00 PM	20.53	47.42	0.00	37.24	18.32	26.88	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	150.38	2:00 PM	
3:00 PM	19.68	45.46	0.00	35.70	17.92	26.88	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	145.64	3:00 PM	
4:00 PM	16.29	37.64	0.00	29.56	16.52	22.40	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	122.42	4:00 PM	
5:00 PM	9.95	22.97	0.00	18.04	14.93	31.37	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	97.26	5:00 PM	
6:00 PM	4.87	11.24	0.00	8.83	15.53	40.33	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	80.80	6:00 PM	
7:00 PM	1.48	3.42	0.00	2.69	16.92	44.81	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	69.32	7:00 PM	
8:00 PM	1.48	3.42	0.00	2.69	16.52	44.81	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	68.92	8:00 PM	
9:00 PM	0.63	1.47	0.00	1.15	11.55	44.81	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	59.61	9:00 PM	
10:00 PM	0.63	1.47	0.00	1.15	5.97	40.33	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	49.55	10:00 PM	
11:00 PM	0.00	0.00	0.00	0.00	2.39	31.37	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	33.75	11:00 PM	
MIDNIGHT	0.00	0.00	0.00	0.00	0.00	22.40	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	22.40	MIDNIGHT	
MAXIMUM WEEKDAY DEMAND						150.38													
TOTAL MAX (W/ ADD'L USES NOT INCLUDED ON TABLE)						206.38													
WEEKEND																		Weekend	
6:00 AM	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	6:00 AM
7:00 AM	0.63	1.47	0.00	1.15	0.60	0.90	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	4.75	7:00 AM	
8:00 AM	2.12	4.89	0.00	3.84	1.99	1.34	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	14.18	8:00 AM	
9:00 AM	2.75	6.35	0.00	4.99	5.97	2.69	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	22.76	9:00 AM	
10:00 AM	2.75	6.35	0.00	4.99	8.96	3.58	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	26.64	10:00 AM	
11:00 AM	3.60	8.31	0.00	6.53	14.53	4.48	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	37.45	11:00 AM	
NOON	3.60	8.31	0.00	6.53	16.92	13.44	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	48.80	NOON	
1:00 PM	2.75	6.35	0.00	4.99	18.91	20.16	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	53.17	1:00 PM	
2:00 PM	2.12	4.89	0.00	3.84	19.91	20.16	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	50.91	2:00 PM	
3:00 PM	1.48	3.42	0.00	2.69	19.91	20.16	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	47.66	3:00 PM	
4:00 PM	1.48	3.42	0.00	2.69	17.92	20.16	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	45.67	4:00 PM	
5:00 PM	0.63	1.47	0.00	1.15	14.93	26.88	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	45.07	5:00 PM	
6:00 PM	0.63	1.47	0.00	1.15	12.94	40.33	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	56.52	6:00 PM	
7:00 PM	0.63	1.47	0.00	1.15	11.94	42.57	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	57.77	7:00 PM	
8:00 PM	0.63	1.47	0.00	1.15	10.95	44.81	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	59.01	8:00 PM	
9:00 PM	0.00	0.00	0.00	0.00	7.96	44.81	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	52.77	9:00 PM	
10:00 PM	0.00	0.00	0.00	0.00	7.57	42.57	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	50.13	10:00 PM	
11:00 PM	0.00	0.00	0.00	0.00	2.59	38.09	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	40.67	11:00 PM	
MIDNIGHT	0.00	0.00	0.00	0.00	0.00	31.37	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	31.37	MIDNIGHT	
MAXIMUM WEEKEND DEMAND						59.01													
TOTAL MAX (W/ ADD'L USES NOT INCLUDED ON TABLE)						115.01													
REQUIRED PARKING			150.38																
+ ADD'L USES NOT INCLUDED ON TABL			56.00																
TOTAL REQUIRED PARKING			206.38																

Use	Suite	Tenant	Sq. ft.	Parking Ratio
Retail	101	Stevens Pharmacy	2,118	3 / 1000
Beauty	103	La Vogue Salon	1,059	3 / 1000
Retail	104	Sue Optical	1,059	3 / 1000
Med	105	Harbor Mesa Dental Care	2,600	3 / 1000
Office	107	Allstate	550	2.5 / 1000
School	108	OC Education	2,716	4 / 1000
Med	110	Newport Float Therapy	1,358	3 / 1000
Med	111	Acupuncture	1,358	3 / 1000
Restaurant	112	Aoki	1,358	8 / 1000
Med	113	Max Perfor Chiro	1,358	3 / 1000
n/a	114	Available	1,358	3 / 1000
Med	115	Sinajon DDS	1,358	3 / 1000
Office	116	Edward D. Jones	801	2.5 / 1000
Office	116B	Mesa Trailer	555	2.5 / 1000
n/a	116c	Available	200	2.5 / 1000
Restaurant	117	Great Mex Grill	1,357	8 / 1000
Restaurant	117 Patio	Great Mex Grill	486	8 / 1000
Studio	118	OC Tae Kwon Do	1,358	10 / 1000
Office	119	Paulist Press	2,716	3 / 1000
Med	121/122	Family Animal Hospital	2,716	3 / 1000
Studio	123	Club Pilates	1,783	10 / 1000
Restaurant	124/125	Al Forno Caffè	2,400	8 / 1000
Office	126	Dry Cleaners	1,200	3 / 1000
n/a	127	Available	1,200	3 / 1000
Retail	129	Chèers Liquor	2,400	3 / 1000
Med	200	Lisa Hollis	680	3 / 1000
Office	201	Pas, CO INC	680	2.5 / 1000
Spa	202	Wellness For you	1,358	10 / 1000
Office	203	Sciascia	1,358	3 / 1000
Office	204	Port Financial	510	2.5 / 1000
Office	205	MFG Software	622	2.5 / 1000
Office	206	Melgoza	344	2.5 / 1000
Office	206b	Cronin	289	2.5 / 1000
Office	207	US Eldercare	633	2.5 / 1000
Office	208	Erhardt Insurance	615	2.5 / 1000
Office	209	Management	1,358	3 / 1000
Office	210	Silver	1,358	3 / 1000
Office	211	MKD Business	1,358	3 / 1000
Office	212	Armed Forces Recruit	1,360	3 / 1000
Studio	213	Musika Studio	1,358	
Med	214	Philosophy Wellness Spa	1,389	3 / 1000
n/a	215	Available	1,338	3 / 1000
Office	216	SCR Realty	1,690	3 / 1000
Office	224	Engle	533	2.5 / 1000
Office	225	Tolentino & Larson	533	2.5 / 1000
Office	226	Lanae Parsons	533	2.5 / 1000
Office	227	Shannon Brady	533	2.5 / 1000
Office	228	Assured in Home Care	533	2.5 / 1000
			58,365	

Color Legend
 Studio
 Additional Uses added to Total Max
 Uses that are included in the Table
 Time when proposed studio opens

ATTACHMENT 1



CITY OF COSTA MESA

P.O. BOX 1200 • 77 FAIR DRIVE • CALIFORNIA 92628 - 1200

DEVELOPMENT SERVICES DEPARTMENT

March 23, 2017

Patrick Hayes
758 Turtle Crest Drive
Irvine CA 92603

**RE: ZONING APPLICATION ZA-17-07
MINOR CONDITIONAL USE PERMIT TO CONSTRUCT OVERSIZE
GARAGES FOR FOUR NEW SINGLE FAMILY HOMES
411 ESTHER STREET, 417 ESTHER STREET, 410 WALNUT PLACE, 416
WALNUT PLACE**

Dear Mr. Hayes:

City staff's review of your zoning application for the above-referenced project has been completed. The application, as described in the attached project description, has been approved, based on the findings and subject to the conditions of approval and code requirements (attached). The decision will become final at 5:00 p.m. on March 30, 2017, unless appealed by an affected party, including filing of the necessary application and payment of the appropriate fee, or called up for review by a member of the Planning Commission or City Council.

If you have any questions regarding this letter, please feel free to contact the project planner, Daniel Inloes, at (714) 754-5088, or at daniel.inloes@costamesaca.gov.

Sincerely,

WILLA BOUWENS-KILLEEN, AICP
Zoning Administrator

Attachments: Project Description
Findings
Conditions of Approval, Code Requirements, and Special District
Planning Application Summary
Approved Conceptual Plans

cc: Engineering
Fire Protection Analyst
Building Safety Division

PROJECT DESCRIPTION

Location

The subject property (410 Walnut) was recently subdivided into four equally sized lots (PM 2016-109). The parcels are located between Esther Street and Walnut Place within an R1 (Single Family Residential) zoning district. The four lots are 8,130 square feet each (6,000 sqft minimum lot size required by code). The properties are surrounded by single-family properties also zoned R1. The two parcels to the west have two-story homes while the two properties to the east are both single story.

Proposed Project

The applicant proposes to construct a new two-story single family residence on each of the four separate parcels. The living space for each single-family home is greater than 3,000 square feet. Each unit includes an attached garage.

Parcel #	Site Address	Living Space (SF)	Attached Garage (SF)	Linear Frontage of Garage (Ft)
1	411 Esther St	3,096	807	26.25
2	417 Esther St	3,474	853	20.75
3	416 Walnut Pl	3,096	827	26.25
4	410 Walnut Pl	3,474	853	20.75

A minor conditional use permit is required because the garage area exceeds the maximum garage size of 700 square feet; all other development standards as well as the Residential Design Guidelines are to be satisfied.

The notice of this Zoning Application also constitutes notice for the proposed two story homes required by the City's Residential Design Guidelines.

ANALYSIS

The oversized garages will provide the required parking spaces for the residence. The garages, though oversized, meets all required setback requirements. The bulk of the garage will not be readily visible from the street since the width of all four garages are either approximately 21 to 27 feet in width; minimum two car garage width is 21 feet. The additional footage is in the depth of the garages, so the additional area will not be readily visible from the street. Furthermore, the size of the garages is in scale to the rest of the proposed house which will have over 3,000 square feet of living area.

The proposed garage, as conditioned, is consistent with the Zoning Code and the City's General Plan because the proposed oversized garage should not adversely impact surrounding uses. The additional garages area is provided in the depth of the garages. While the widths are consistent with a standard two car garage. The garage façade blends into the rest of the home and while it does face the street is not the dominant

architectural feature of the proposed residential units: The remainder of the first floor is approximately three times wider than the garage and substantial porches accentuate the main pedestrian entrances to all four homes. These design features minimize the visual impact of the proposed attached garages and comply with Objective CD-7A.1 and CD-7A.2 of the General Plan Community Design Element:

CD-7.1 - Ensure that new and remodeled structures are designed in architectural styles which reflect the City's diversity, yet are compatible in scale and character with existing buildings and the natural surroundings within residential neighborhoods. Develop and adopt design guidelines for residential development.

CD-7.2 - Preserve the character and scale of Costa Mesa's established residential neighborhoods: where residential development or redevelopment is proposed, required as a condition of approval that it is consistent with the prevailing character of existing development in the immediate vicinity, and that it does not have a substantial adverse impact on adjacent areas.

- The development meets or exceeds all R1 development standards and the Residential Design Guidelines. The four proposed residential units meet the required second floor setbacks including the average ten-foot setback along the sides of the properties. Each unit has a first floor to second floor ratio well below the 100% maximum allowed by the Residential Design Guidelines.
- The proposed architectural accents and materials are found throughout the neighborhood of the project site consisting of; stacked columns, stone veneer, gabled roofs, second floors, and a variety of horizontal, stone, and vertical board and batten siding. While the proposed residential developments are above the average size homes within the neighborhood so are the size of their lots. The size of the homes relative to their lots size are a blend of the developments that directly abut them.
- The garages' size is in proportion to the rest of the living area.

FINDINGS

A. The information presented complies with Costa Mesa Municipal Code Section 13-29(g)(2) in that:

1. The proposed use is compatible with developments in the same general area, specifically setback requirements are met and the proposed garage will have an architectural design in keeping with the proposed residence, with the additional square footage of the garage not impacting the visual aesthetic from the street.

2. Granting the Minor Conditional Use Permit will not be detrimental to the health, safety and general welfare of the public or other properties or improvements within

the immediate vicinity because the new structure will have to comply with all requirements of the California Building Code.

3. Granting the Minor Conditional Use Permit will not allow a use, density or intensity that is not in accordance with the General Plan designation for the property since the proposed garages will remain a subordinate structure to the proposed residences.

B. The information presented complies with Costa Mesa Municipal Code Section 13-29(e) in that:

1. There will be a compatible and harmonious relationship between the proposed building and the site development, and use(s), and the building and site developments, and uses that exist or have been approved for the general neighborhood. The subject properties are large lots (8,130 sq. ft. versus the 6,000 sq. ft. minimum required by code) with new construction of homes that will contain more than 3,000 square feet in living area, allowing the oversized garage to be in scale with the rest of the subject site.

2. Safety and compatibility of the design of buildings, parking area, landscaping, luminaries, and other site features which may include functional aspects of the site development such as automobile and pedestrian circulation have been considered and will not be affected by the new structure.

3. The structure complies with performance standards described elsewhere in the Zoning Code. All development standards are met and the garage is proportionally sized to the proposed residence.

4. The structure is consistent with the General Plan, specifically Community Design Element Objective CD-7.1 & CD-7.2.

5. This zoning application is for a project-specific case and is not to be construed to be setting a precedent for future development.

C. The project has been reviewed for compliance with the California Environmental Quality Act (CEQA), the CEQA Guidelines, and the City environmental procedures, and has been found to be exempt under Section 15332, Class 32, In-Fill Development Project, of the CEQA Guidelines.

D. The project is not exempt from Chapter XII, Article 3, Transportation System Management, of Title 13 of the Costa Mesa Municipal Code.

Prior to issuance of building permit, developer shall remit traffic impact fee pursuant to the prevailing schedule of charges adopted by City Council at the time the vesting tentative tract map was deemed complete. The Traffic Impact fee is currently estimated at **\$650.00**, as determined by the date the vesting tentative

tract map was deemed complete. Developer shall contact the Transportation Services Division for a final estimate prior to issuance of building permits. Developer shall remit the traffic impact fee to the Planning Division.

CONDITIONS OF APPROVAL

- Plng.
1. The project shall be limited to the type of building as described in this staff report and in the attached plans. Any change in the use, size, or design shall require review by the Planning Division and may require an amendment to the Minor Conditional Use Permit.
 2. Applicant shall defend, indemnify and hold harmless the City, its officials and employees, against all legal actions filed challenging City's approval of the applicant's project and/or challenging any related City actions supporting the approval. City shall have the right to select the attorney defending it, if it elects to do so.
 3. The architectural style, colors, and materials of the proposed garage shall match the proposed residence.
 4. A minimum 10 foot by 20 foot clear inside dimension shall be provided for each of the garage spaces. The proposed garage shall be used only for non-habitable purposes.
 5. The conditions of approval, code requirements, and special district requirements of ZA-17-07 shall be blueprinted on the face of the site plan as part of the plan check submittal package.
 6. The applicant shall contact the Planning Division to arrange a Planning inspection of the site prior to occupancy permit. This inspection is to confirm that the conditions of approval and code requirements have been satisfied.
 7. All on-site utility services shall be installed underground or with the ability to be undergrounded in the future.
 8. Any new mechanical equipment such as air-conditioning equipment and duct work shall be screened from view in a manner approved by the Planning Division. All roof-mounted equipment is prohibited.
 9. All conditions of approval and requirements for approved Parcel Map number 2016-109 shall still apply.
 10. If Plan 1 opts to convert the loft area to a fifth bedroom the project shall provide three garage parking spaces each with ten by twenty feet dimensions, with two spaces tandem.
Prior to issuance of Certificate of Occupancy (C of O) the applicant shall provide a scaled and dimensioned digital site plan(s) for the project site, on either a CD or thumb drive, to the Planning Division. All site plans shall include an accurate and precise drawing of all building footprints and property line locations for the entire project site. All buildings shall be annotated with its corresponding address and suites if applicable.
- Trans.
11. Fulfill mitigation of off-site traffic impacts at the time of issuance of Certificate of Occupancy by submitting to the Transportation Division the

required Traffic Impact Fee pursuant to the prevailing schedule of charges adopted by the City Council. The Traffic Impact Fee is calculated based upon the average daily trip generation rate of 9.57 trip ends per TSF for the proposed project and includes a credit for any previously existing use. At the current rate the Traffic Impact Fee is estimated at: 650.00

NOTE: The Traffic Impact Fee will be recalculated at the time of issuance of Certificate of Occupancy based upon any changes in the prevailing schedule of charges adopted by the City Council and in effect at that time.

- Bldg 12. Submit a precise grading plans, an erosion control plan and a hydrology study. If it is determined that a grading plan is not required a drainage plan shall be provided. A precise grading plan shall not be required if any of the following are met:
- 1- An excavation which does not exceed 50 CY on any one site and which is less than 2 feet in vertical depth, or which does not create a cut slope greater than 1 ½:1 (excluding foundation area).
 - 2- A fill less than 1 foot in depth placed on natural grade with a slope flatter than 5:1, which does not exceed 50 CY on any one lot and does not obstruct a drainage course.
 - 3- A fill less than 3 feet in depth, not intended to support structures, which does not exceed 50 CY on any one lot and does not obstruct a drainage course.
13. Submit a soils report for this project. Soil's Report recommendations shall be blueprinted on both the architectural and the precise grading plans.
14. On graded sites the top of exterior foundation shall extend above the elevation of the street gutter at point of discharge or the inlet of an approved discharge devise a minimum of 12 inches plus 2 percent. 2013 California Residential Code CRC 403.1.7.3
15. Lot shall be graded to drain surface water away from foundation walls. The grade shall fall a minimum of 6 inches within the first 10 feet. CRC R401.3
- Pub. Ser. 16. Applicant must plant 1-24" box tree in the public right-of-way as part of the re-development of the property. Species may be proposed by Applicant, with Maintenance Services approval.

CODE REQUIREMENTS

The following list of federal, state, and local laws applicable to the project has been compiled by staff for the applicant's reference. Any reference to "City" pertains to the City of Costa Mesa.

- Plng. 1. Approval of the zoning application is valid for one (1) year from the effective date of this approval and will expire at the end of that period unless applicant establishes the use by obtaining building permits for the authorized construction and initiates construction. If the applicant is unable

to obtain building permits within the one-year time period, the applicant may request an extension of time. The Planning Division must receive a written request for the time extension prior to the expiration of the planning application.

2. All construction-related activity shall be limited to between the hours of 7 a.m. and 7 p.m., Monday through Friday, and 9 a.m. to 6 p.m. Saturday. Construction is prohibited on Sundays and federal holidays. Exceptions may be made for activities that will not generate noise audible from off-site, such as painting and other quiet interior work.
3. Installation of all utility meters shall be performed in a manner so as to obscure the installation from view from any place on or off the property. The installation vault, wall cabinet, or wall box shall be installed under the direction of the Planning Division.
- Bldg. 4. Comply with the requirements of the adopted 2013 California Residential Code, 2013 California Building Code, 2013 California Electrical code, 2013 California Mechanical code, 2013 California Plumbing code, 2013 California Green Building Standards Code and 2013 California Energy Code (or the applicable adopted, California Residential Code, California Building code, California Electrical code, California Mechanical code, California Plumbing Code, California Green Building Standards and California Energy Code at the time of plan submittal or permit issuance) and California Code of Regulations also known as the California Building Standards Code, as amended by the City of Costa Mesa.
- Bus. 5. All contractors and subcontractors must have valid business licenses to do
Lic. business in the City of Costa Mesa. Final inspections will not be granted until all such licenses have been obtained.
- Eng. 6. For demolition, grading, or building permits involving projects with a valuation of \$10,000 or more, the contractor shall use a City-permitted hauler(s) to haul any debris or solid waste from the job site (refer to Section 8-83(h), Regulations, of Title 8 of the Costa Mesa Municipal Code). Use of a City-permitted hauler for such projects is the responsibility of the designated contractor. Non-compliance is subject to an administrative penalty as follows: \$1,000 or 3% of the total project value, whichever is greater.

SPECIAL DISTRICT REQUIREMENTS

The requirements of the following special districts are hereby forwarded to the applicant:

- Sani. 1. It is recommended that the applicant contact the Costa Mesa Sanitary District at 949.645.8400 for current district requirements.
- AQMD 2. Applicant shall contact the Air Quality Management District (800) 288-7664 for potential additional conditions of development or for additional permits required by AQMD.
- CDFA 3. Comply with the requirements of the California Department of Food and

Agriculture (CDFA) to determine if red imported fire ants exist on the property prior to any soil movement or excavation. Call CDFA at (714) 708-1910 for information.

PLANNING APPLICATION SUMMARY

Location: 410 Walnut Permit No.: ZA-17-07

Request: Allow oversized garages for four single-family homes on separate properties.

SUBJECT PROPERTY:

Zone: R1
 General Plan: Low Density Residential
 Lot Dimensions: Each lot 87 W x 92 D
 Lot Area: 4 separate lots each 8,130 S.F.
 Original Development: Vacant lot

SURROUNDING PROPERTY:

North: R1 Single-Family Residential
 South: R1 Single-Family Residential
 East: R1 Single-Family Residential
 West: R1 Single-Family Residential

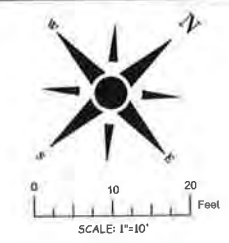
DEVELOPMENT STANDARD COMPARISON

Development Standard Code Requirement Proposed/Provided

Density:		
Zone	1 du: 6,000 SF	1 du: 8,130 SF
General Plan	1 du: 5445 SF	
Building Coverage:		
Building – residence totals	NA	Plan 1 3,008 SF Plan 2 3,200 SF
Building – garage	700 S.F. max.	Plan 1A 807 SF. ¹ Plan 1B 827 SF ¹ Plan 2 853 SF ¹
Driveway	NA	Plan 1 485 SF Total Plan 2 356 SF Total
TOTAL – coverage	5,397 S.F. max. (60%)	Plan 1 3,493 SF (43%) Plan 2 3,556 SF (44%)
Open Space	3,598 S.F. (40%)	Plan 1 4,637 SF (57%) Plan 2 4,574 SF (56%)
Building Height:	2 stories/27 FT max.	2 story/27 FT
Residence Setbacks:		
Front	20 FT	20 FT
Side (left/right) – first floor	5 FT /5 FT	Plan 1 5 FT / 7 FT Plan 2 7 FT / 7 FT
Rear	10 FT	Plan 1 30 FT Plan 2 14 FT
Rear Yard Coverage	Not to Exceed 25%	7%
Residential Design Guidelines		
Average Second Story Setback	10 FT	Plan 1 17 FT Minimum Plan 2 13 FT Minimum
Second vs First Story Ratio	100%	Plan 1 56% Plan 2 46%
Parking Totals:		
Covered	Plan 1 3 Plan 2 2	Plan 1 3 Plan 2 2
Open	2	2
TOTAL	Plan 1 5 Plan 2 4	Plan 1 5 Plan 2 4

Final Action: Zoning Administrator
 Environmental Determination: Exempt
 1. Minor Conditional Use Permit requested

REVISIONS		
#	DATE	DESCRIPTION



PROJECT DATA
 ZONE R1 (SINGLE FAMILY RESIDENTIAL)
 GENERAL PLAN LOW DENSITY RESIDENTIAL

PARCEL 1
 PLAN 1 - 4 BEDROOM
 LOT AREA 8130 S.F. 100.0%
 DRIVEWAY 485 S.F. 6.0%
 BUILDING FOOTPRINT* 3008 S.F. 37.0%
 OPEN SPACE 4637 S.F. 57.0%
 REAR YARD AREA 1758 S.F. (87.9'x20')
 REAR YARD COVERAGE 0 S.F. 0.0%
 COVERED PARKING 2 SPACES
 OPEN PARKING 2 SPACES

PARCEL 2
 PLAN 2 - 4 BEDROOM
 LOT AREA 8130 S.F. 100.0%
 DRIVEWAY 356 S.F. 4.4%
 BUILDING FOOTPRINT* 3200 S.F. 39.4%
 OPEN SPACE 4574 S.F. 56.3%
 REAR YARD AREA 1758 S.F. (87.9'x20')
 REAR YARD COVERAGE 119 S.F. 6.8%
 COVERED PARKING 2 SPACES
 OPEN PARKING 2 SPACES

PARCEL 3
 PLAN 1 - 4 BEDROOM
 LOT AREA 8130 S.F. 100.0%
 DRIVEWAY 485 S.F. 6.0%
 BUILDING FOOTPRINT* 3008 S.F. 37.0%
 OPEN SPACE 4637 S.F. 57.0%
 REAR YARD AREA 1758 S.F. (87.9'x20')
 REAR YARD COVERAGE 0 S.F. 0.0%
 COVERED PARKING 2 SPACES
 OPEN PARKING 2 SPACES

PARCEL 4
 PLAN 2 - 4 BEDROOM
 LOT AREA 8130 S.F. 100.0%
 DRIVEWAY 356 S.F. 4.4%
 BUILDING FOOTPRINT* 3189 S.F. 39.2%
 OPEN SPACE 4585 S.F. 56.4%
 REAR YARD AREA 1758 S.F. (87.9'x20')
 REAR YARD COVERAGE 119 S.F. 6.8%
 COVERED PARKING 2 SPACES
 OPEN PARKING 2 SPACES

*BUILDING FOOTPRINT INCLUDES GARAGES & COVERED PORCHES

BUILDING FOOTPRINTS						
PARCEL #	PLAN #	FIRST FLOOR (SF)	GARAGE (SF)	PORCH (SF)	COVERED PATIO (SF)	TOTAL FOOTPRINT (SF)
1	1A	1690	807	203	308	3008
2	2B	2109	853	238	0	3200
3	1B	1690	827	183	308	3008
4	2A	2104	853	232	0	3189

GRADING & DRAINAGE
 SEE APPROVED PRECISE GRADING PLAN AND WATER QUALITY MANAGEMENT PLAN (WQMP) FOR SITE TOPOGRAPHY, EROSION CONTROL, POST CONSTRUCTION STORMWATER BMPs, GRADING AND DRAINAGE DETAILS.

Notes:
 0.747 ACRES GROSS & NET
 LAND NOT SUBJECT TO ENUNCIATION OR OVERFLOW
 NO PARKS TO BE DEDICATED

Proposed Land Use:
 4 SINGLE FAMILY RESIDENCES ON 4 PARCELS.

Assessor's Parcel Numbers:
 426-313-08

Legal Description:
 PARCEL 1 OF PARCEL MAP NO. 91-287 IN THE CITY OF COSTA MESA, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 282, PAGES 36 AND 37 OF PARCEL MAPS IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

Basis of Bearings:
 THE BEARINGS SHOWN HEREON ARE BASED UPON THE BEARING BETWEEN O.C.S. HORIZONTAL CONTROL STATION 6P5 NO. "6235R2" AND STATION 6P5 NO. "6236R1" BEING NORTH 56°32'05" WEST, PER RECORDS ON FILE IN THE OFFICE OF THE COUNTY SURVEYOR.

Owner/Subdivider:
 STEVE SCARBOROUGH
 WESTMARK LAND COMPANY, LLC
 5 SKYLINE
 IRVINE, CA 92603

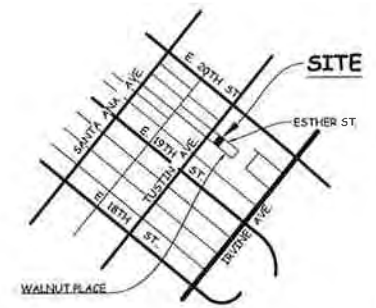
Site Address:
 410 WALNUT PLACE
 COSTA MESA, CA 92626

Flood Zone:
 ZONE X, OUTSIDE THE 500 YEAR FLOOD BOUNDARIES

Engineer:
 ROBIN B. HAMERS & ASSOCIATES, INC.
 234 E. 17TH STREET, SUITE 205
 COSTA MESA, CA 92627
 (949) 548-1192

Architect:
 BASSENANT LAGONI
 2031 ORCHARD DRIVE, SUITE 100
 NEWPORT BEACH, CA 92660
 (949) 553-9100

Permits:
 SEPARATE PLAN CHECKS AND PERMITS SHALL BE REQUIRED FOR THE FOLLOWING ITEMS WHEN APPLICABLE:
 A. RETAINING WALLS
 B. BLOCK WALLS
 C. SEWER CONNECTIONS

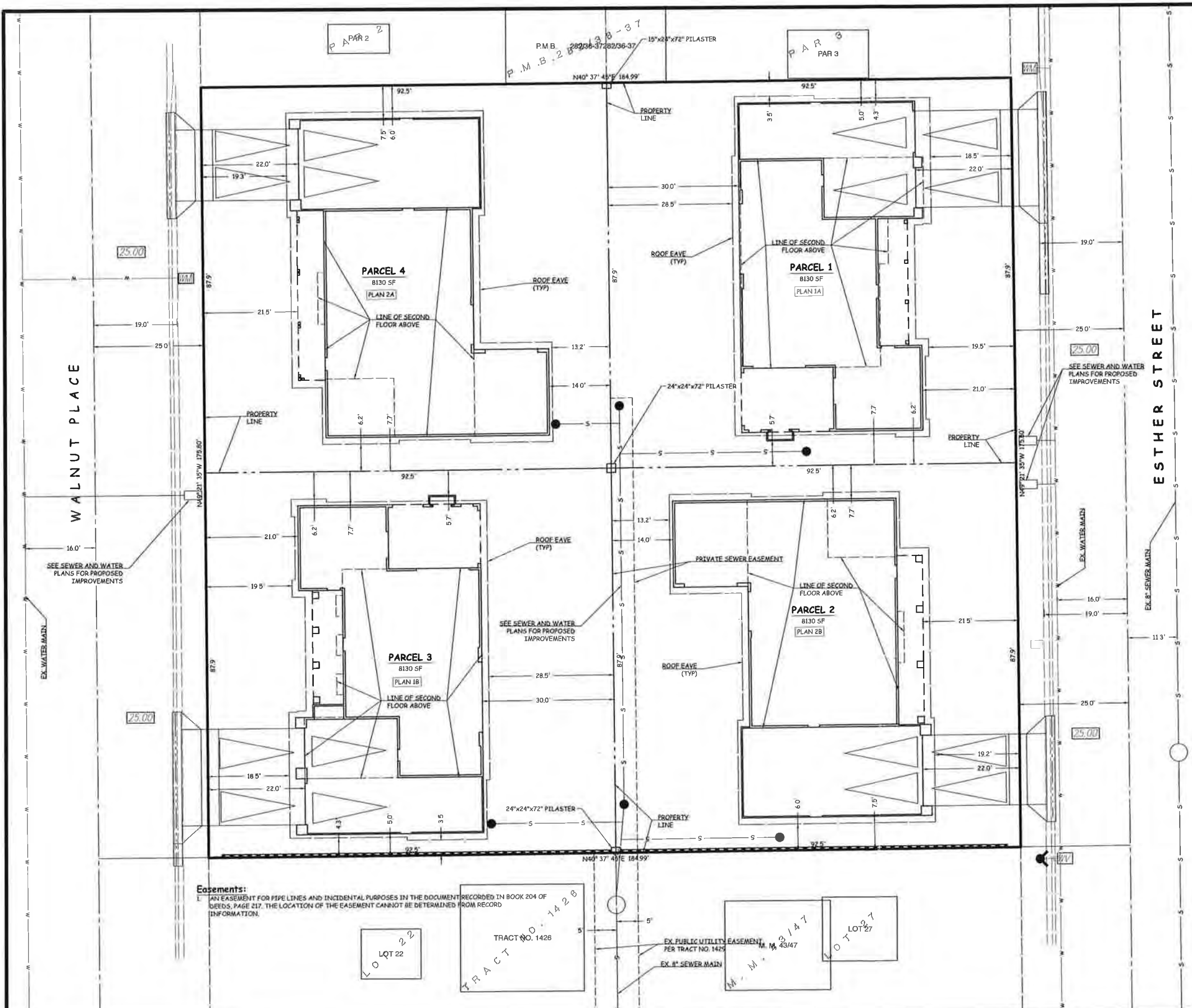


PREPARED BY:
ROBIN B. HAMERS & ASSOC., INC.
 CIVIL ENGINEERS
 234 E. 17TH STREET, SUITE 205
 COSTA MESA, CA 92627
 (949) 548-1192
 2/9/17
 ROBIN B. HAMERS R.C.E. 31720 DATE

CITY OF COSTA MESA
 SITE PLAN
 FOR
 PM 2015-109
 410 WALNUT PLACE, COSTA MESA, CA 92626

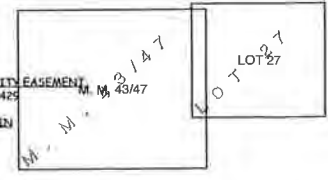
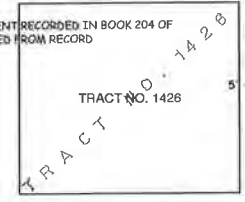
PLAN DATE: 2/9/17
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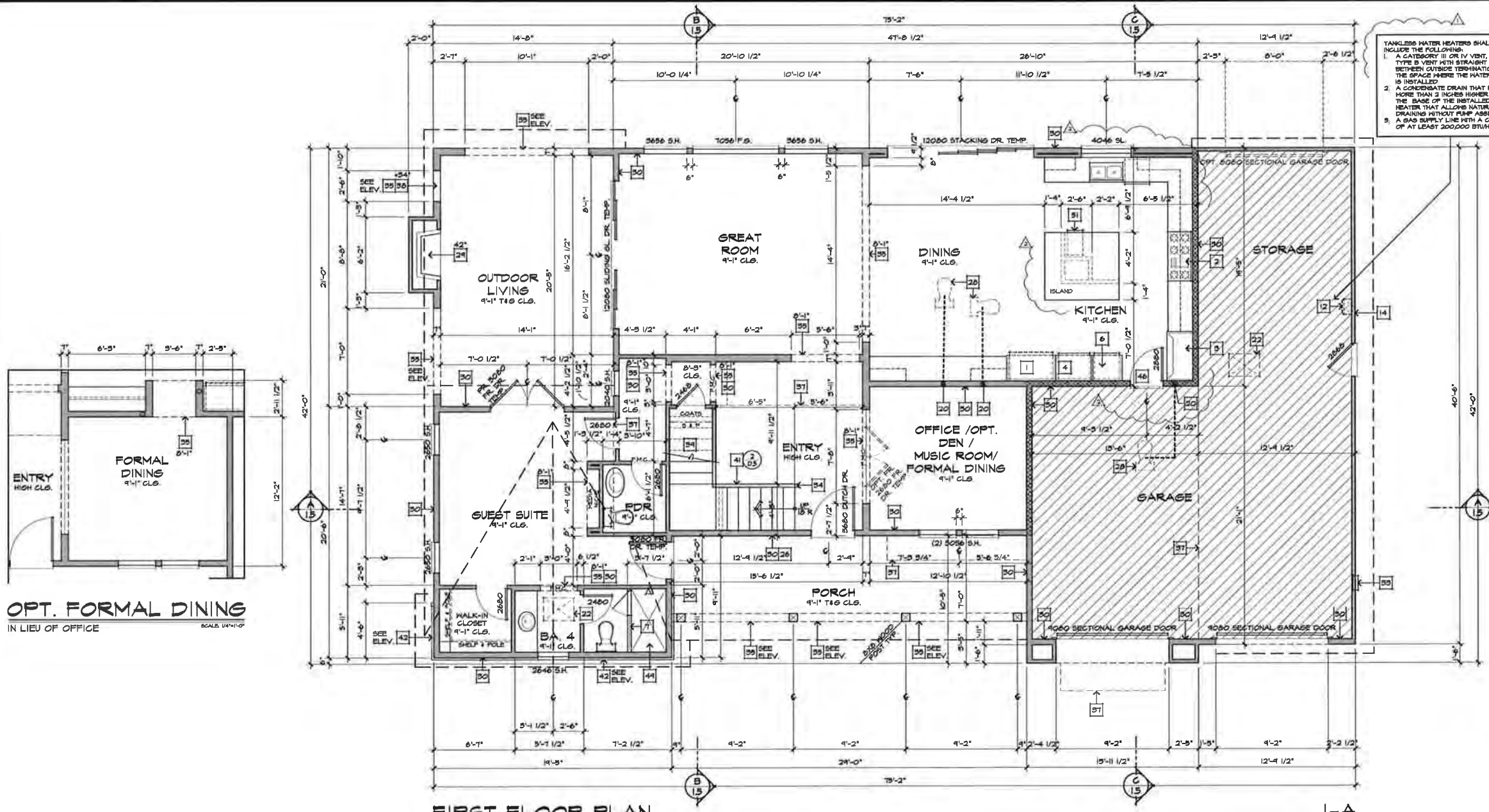
ORIGINAL SCALE: 1"=10'



Easements:
 1. AN EASEMENT FOR PIPE LINES AND INCIDENTAL PURPOSES IN THE DOCUMENT RECORDED IN BOOK 204 OF DEEDS, PAGE 217, THE LOCATION OF THE EASEMENT CANNOT BE DETERMINED FROM RECORD INFORMATION.

EX. PUBLIC UTILITY EASEMENT PER TRACT NO. 1425
 EX. 8" SEWER MAIN





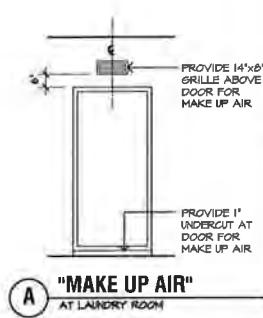
FIRST FLOOR PLAN

SEE APPENDIX FOR PLAN CHANGE PER ELEVATION

PLAN 1 SQUARE FOOTAGE

FIRST FLOOR	1,690
SECOND FLOOR	1,406
TOTAL	3,096
GARAGE AT ELEV. "A"	807
GARAGE AT ELEV. "B"	827
PORCH AT ELEV. "A"	203
PORCH AT ELEV. "B"	183
OUTDOOR LIVING	308

NOTE: FINISHED SQUARE FOOTAGE CALCULATIONS FOR THIS HOUSE WERE MADE BASED ON PLAN DIMENSIONS ONLY AND MAY VARY FROM THE FINISHED SQUARE FOOTAGE OF THE HOUSE AS BUILT.



FLOOR PLAN NOTES

- 42" CLEAR REFRIGERATOR SPACE. PLUMB FOR WATER SUPPLY. VERIFY WIDTH AND DEPTH IF BUILT-IN REFRIGERATOR.
- 48" COOKTOP AND METAL EXHAUST HOOD ABV. 1/4" LIGHT AND FAN (MIN. 100 CFM, MAX. 5 SONS, AND VENTED TO OUTSIDE AIR).
- PANTRY: SEE INTERIOR ELEVATIONS.
- 30" DOUBLE BUILT-IN OVER.
- 3" O.D. CAST IRON TUB SHOWER WITH TILE. HANGCOT TO 80" ABOVE DRAIN U.O. PROVIDE SHOWER CURTAIN ROD U.O.
- BUILT-IN MICRO WAVE IN CABINET. SEE INTERIOR ELEVATIONS.
- TEMPERED GLASS SHOWER ENCLOSURE PER C.R.G. R300.1. SHOWER DOOR TO BE A MIN. 22" CLEAR.
- 12" X 42" OVAL TUB WITH TILE HANGCOT. PROVIDE MOTOR ACCESS PANEL AT OPTIONAL SPA / HYDROMASSAGE BATH/TUBS. VERIFY SIZE AND LOCATION OF ACCESS PANEL.
- SHOWER SEAT. SEE PLAN FOR HEIGHT.
- LINEN CABINET. SEE INTERIOR ELEVATIONS.
- BUILT-IN SHELVES BY OTHERS.
- TANKLESS WATER HEATER. REFER TO H.V.A.C. DRAWING.
- WATER HEATER IS VENT TO OUTSIDE AIR.
- TEMPERATURE AND PRESSURE RELIEF VALVE.
- 66" X 36" RECTANGULAR FREE STANDING TUB.
- PROVIDE WATER AND WASTE FOR WASHER.
- PROVIDE SHITTY PAN WITH DRAIN BENEATH WASHER.
- DRYER VENT MAKE UP AIR. VERIFY LENGTH INCLUDING (2) 90 DEGREE ELBOWS) PER C.M.C. 504.5.
- 14" X 6" GARAGE EXHAUST VENT. SCREENED AND LOWERED.
- PLUMBING WASTE DROP FROM ABOVE.
- F.A.U. IN ATTIC. PROVIDE 30" X 30" CLEAR. ATTIC ACCESS PANEL (OR PER C.M.C. 904.10) PROVIDE FUEL, GAS, LIGHT AND SWITCH.
- 22" X 30" ROUGH FRAMED ATTIC ACCESS OPENING PER C.R.G. R301.1.
- LINE OF DECORATIVE PORCH RAILINGS. SEE ELEVATIONS.
- EXTERIOR BALCONY GUARD. SEE ELEVATIONS FOR DETAIL. TOP OF GUARDS SHALL NOT BE LESS THAN 42" IN HEIGHT. OPEN GUARDS SHALL HAVE INTERMEDIATE RAILS OR AN ORNAMENTAL PATTERN SUCH THAT A SPHERE 4" IN DIAMETER CANNOT PASS THROUGH PER C.R.G. R302.1.
- DUCT CHASE. VERIFY WITH H.V.A.C. DRAWINGS.
- BALLOON FRAMED WALLS. SEE STRUCTURAL FRAMING PLANS.
- LINE OF GRIPPLE WALL ABOVE.
- LOCATION OF WATER CLOSET AT FLOOR ABOVE.
- DIRECT-VENT SEALED COMBUSTION TYPE EXTERIOR FIREPLACE. SEE PLAN FOR FIREPLACE BOX SIZE. PROVIDE F.G., IGNITOR SWITCH, DIRECT-VENT TERMINATION PER MFR. SEE MFR. SPECS. FOR RAISED HEARTH REQUIREMENTS (HEATLATOR-UL-M185H1 OR EQUAL).
- 2x6 STUD WALL.
- POW. HALL. SEE PLAN FOR HEIGHT.
- DIRECT-VENT SEALED COMBUSTION TYPE INTERIOR FIREPLACE. SEE PLAN FOR FIREPLACE BOX SIZE. PROVIDE F.G., IGNITOR SWITCH, DIRECT-VENT TERMINATION PER MFR. SEE MFR. SPECS. FOR RAISED HEARTH REQUIREMENTS (HEATLATOR-UL-M185H1 OR EQUAL).
- ELECTRICAL SERVICE PANEL. (SEE UTILITY PLAN). SEE GENERAL NOTES FOR GROUNDING INFORMATION.
- REBEL POST.
- FLAT IN SOFFIT. SEE PLAN FOR HEIGHT OR DETAIL.
- ARCHED SOFFIT. SEE PLAN FOR HEIGHT OR DETAIL.
- LINE OF FLOOR ABOVE.
- SHELF. SEE PLAN FOR HEIGHT.
- ENCLOSED ACCESSIBLE SPACE UNDER STAIR SHALL BE PROTECTED WITH 1/2" GYPSUM BOARD ON ENCLOSED SIDE PER C.R.G. R302.7.
- 42" HIGH GUARD PER C.R.G. R302.1.
- 34" HIGH HANDRAIL ABOVE NOSING PER C.R.G. R302.1.1.
- LINE OF ADHERED SYNTHETIC STONE VENEER. SEE ELEVATION.
- LINE OF ADHERED THIN SET VENEER. SEE ELEVATION FOR HEIGHT.
- ACCESS PAVED COLUMN. SEE ELEVATION FOR HEIGHT. (C.R.G. R302.5.1)
- LINE OF HANGCOT FURRING. SEE ELEVATION FOR HEIGHT. SEE SLAB INTERFACE PLAN FOR MORE INFORMATION.
- DOOR OPENINGS BETWEEN GARAGE AND RESIDENCE SHALL BE SOLID WOOD DOORS NOT LESS THAN 1 3/8 INCHES IN THICKNESS, SOLID OR HONEYCOMB-CORE STEEL DOORS NOT LESS THAN 1 3/8 INCHES THICK, OR 20-MINUTE FIRE-RATED DOORS, EQUIPPED WITH SELF-CLOSING AND SELF-LATCHING DEVICES (C.R.G. R302.5.1).
- PROVIDE MIN. 100 SQ. IN. OPENING FOR MAKE UP AIR AT LAUNDRY ROOM PER C.M.C. 504.5.1. (SEE DETAIL "A" FOR COMPLIANCE).
- LAUNDRY SINK.
- FIELD-BUILT SHOWER. SEE PLAN FOR SIZE. TILE TO 80" ABOVE DRAIN (TILE TO CEILING AT MASTER SHOWER).
- 12" X 12" X 3" SOAP/SHAMPOO NICHE. BOTTOM OF NICHE TO BE 48" A.F.F.
- RECYCLE BIN.
- ELASTOMERIC DECKING BY PLI-DECK (ICC-ES ESR-2041) SLOPE 1/4" PER FOOT MINIMUM.

LEGEND

- INDICATES WALLS REQUIRING 1/2" MINIMUM GYPSUM BOARD ON GARAGE SIDE OF WALL FOR OCCUPANCY SEPARATION PER C.R.G. TABLE R302.6.
- INDICATES (1) LAYER MIN. 1/2" GYPSUM BOARD AT CEILING WHEN ATTIC OCCURS ABOVE GARAGE. INDICATES (2) LAYER 5/8" TYPE "X" GYPSUM BOARD AT CEILING WHEN HABITABLE ROOMS OCCUR ABOVE GARAGE (C.R.G. TABLE R302.6).
- INDICATES EXTENT OF OFFERED CEILING. SEE PLAN FOR HEIGHT(S).

GENERAL PLAN NOTES

- ALL INTERIOR DOORS TO BE HOLLOW CORE 1 3/8" THICK U.O. (SEE PLAN FOR SIZE). AT DOUBLE INTERIOR DOOR CONDITIONS PROVIDE DEADBOLT AT TOP OF INACTIVE DOOR.
- ALL GARAGE SERVICE DOORS TO BE HOLLOW CORE 1 3/4" THICK EXTERIOR GRADE. (SEE PLAN FOR SIZE).
- ALL ENTRY DOORS TO BE SOLID CORE 1 3/4" THICK. (SEE PLAN FOR SIZE). AT DOUBLE ENTRY DOORS PROVIDE DEADBOLT AT TOP AND BOTTOM OF INACTIVE DOOR.
- ALL EXTERIOR FRENCH DOORS TO BE SOLID CORE 1 3/4" THICK. (SEE PLAN FOR SIZE). AT DOUBLE FRENCH DOORS PROVIDE DEADBOLT AT TOP AND BOTTOM OF INACTIVE DOOR.
- BUILDER SHALL VERIFY WITH WINDOW MANUFACTURER THAT ALL ESCAPE OR RESCUE WINDOWS HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET. GRADE FLOOR OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.50 FT. THE MIN. NET CLEAR OPENING HEIGHT SHALL BE 24". THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20" AND THE BOTTOM OF THE CLEAR OPENING NO GREATER THAN 44" ABOVE THE FLOOR (C.R.G. R310.1). WINDOWS NOT MEETING THESE REQUIREMENTS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT.
- THE LOWEST PART OF THE CLEAR OPENING OF OPERABLE WINDOWS LOCATED MORE THAN 12" ABOVE FINISH GRADE OR SURFACE BELOW SHALL BE A MINIMUM OF 24" ABOVE THE FINISH FLOOR. WHEN OPERABLE SECTIONS OF THESE WINDOWS ARE LOCATED LESS THAN 24" ABOVE THE FINISHED FLOOR THE OPENINGS SHALL NOT ALLOW THE PASSAGE OF A 4" DIAMETER SPHERE (C.R.G. R312.2.1).

Bassenian | Lagoni
ARCHITECTURE • PLANNING • INTERIORS

DELTA 2
Date: 12-13-16

REVISIONS

BLDG. DEPT.	12/2/16
CLIENT	12/15/16

DRAWINGS ISSUED FOR BID PRIOR TO AGENCY APPROVAL. APPROVAL MAY INCLUDE REVISIONS DUE TO ENGINEERING AND ARCHITECTURAL BACK CHECK AND / OR AGENCY REVIEW AND APPROVAL.

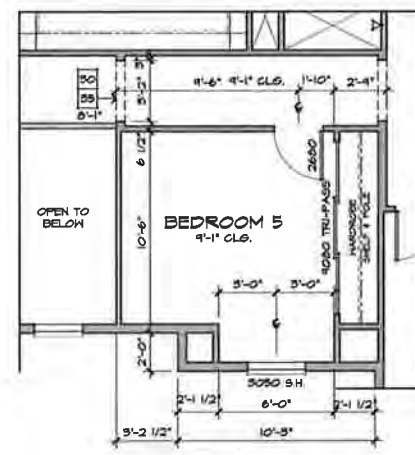
410 WALNUT PLACE
COSTA MESA, CA

PLAN 1
FIRST FLOOR
PLAN

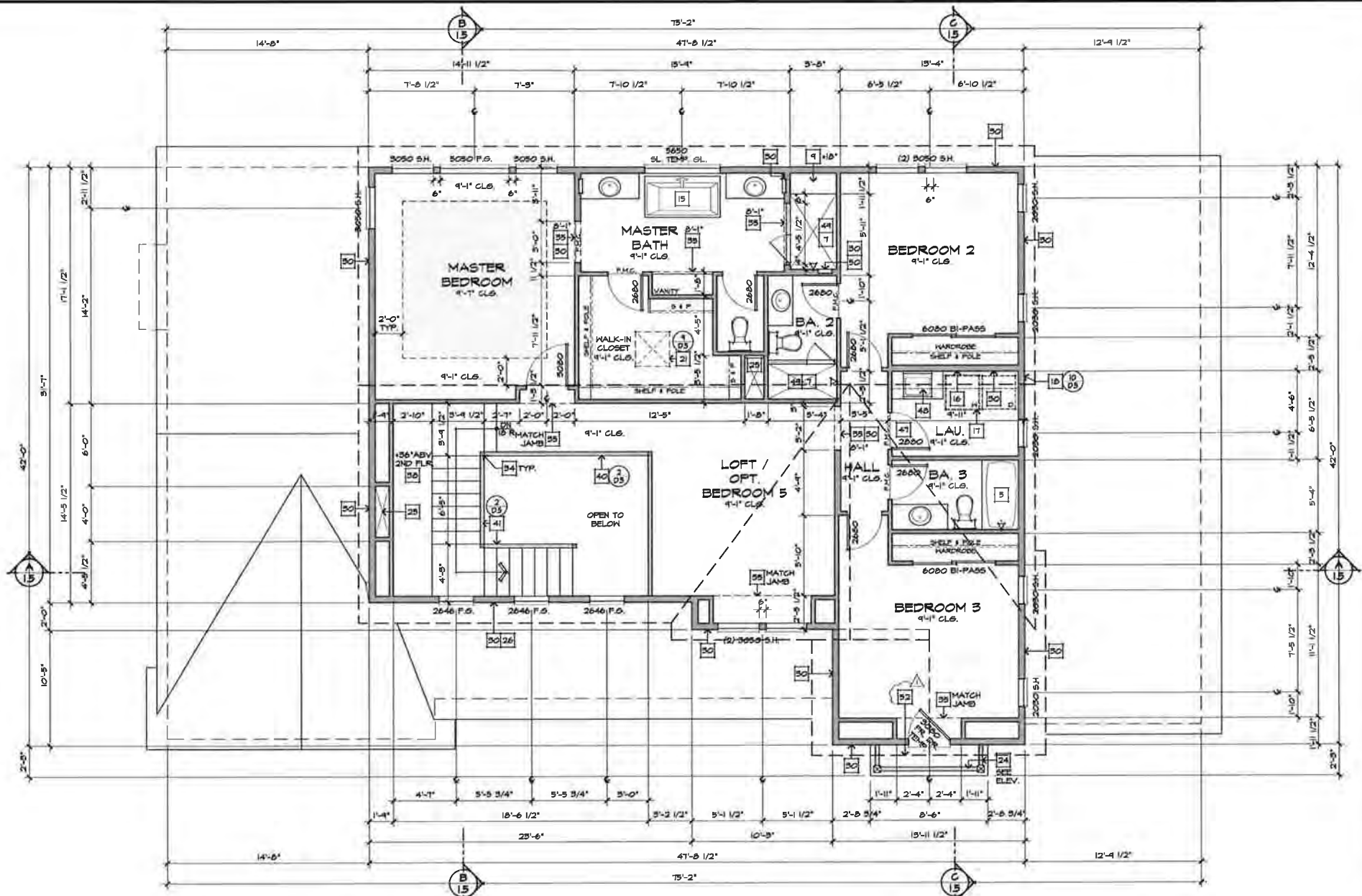
1.2

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FILE NAME: 0 - E212A
 PROJECT DATE: 12-13-16



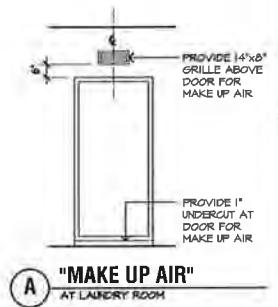
OPT. BEDROOM 5
 IN LIEU OF LOFT
 SCALE: 1/4"=1'-0"



SECOND FLOOR PLAN

SEE APPENDIX FOR PLAN CHANGE PER ELEVATION

1-A
 SCALE: 1/4"=1'-0"



FLOOR PLAN NOTES

1. 42" CLEAR REFRIGERATOR SPACE. FLUME FOR WATER SUPPLY. VERIFY WIDTH AND DEPTH IF BUILT-IN REFRIGERATOR.
2. 48" COOKTOP AND METAL EXHAUST HOOD ABV. W/ LIGHT AND FAN (MIN 100 CFM, MAX 3 SONE, AND VENTED TO OUTSIDE AIR).
3. PANTRY SEE INTERIOR ELEVATIONS.
4. 30" DOUBLE BUILT-IN OVEN.
5. 9'-0" CAST IRON TUB/SHOWER WITH TILE. HANGSCOT TO 80" ABOVE DRAIN UNO. PROVIDE SHOWER CURTAIN ROD UNO.
6. BUILT-IN MICRO WAVE IN CABINET. SEE INTERIOR ELEVATIONS.
7. TEmPERED GLASS SHOWER ENCLOSURE PER C.R.G. R508.1. SHOWER DOOR TO BE A MIN. 22" CLEAR.
8. 12" X 42" OVAL TUB WITH TILE HANGSCOT. PROVIDE MOTOR ACCESS PANEL AT OPTIONAL SPA / HYDROMASSAGE BATHUBS. VERIFY SIZE AND LOCATION OF ACCESS PANEL.
9. SHOWER SEAT. SEE PLAN FOR HEIGHT.
10. LINEN CABINET. SEE INTERIOR ELEVATIONS.
11. BUILT-IN SHELVES BY OTHERS.
12. TANKLESS WATER HEATER. REFER TO H.V.A.C DRAINING.
13. WATER HEATER TO VENT TO OUTSIDE AIR.
14. TEMPERATURE AND PRESSURE RELIEF VALVE.
15. 66"x 24" RECTANGULAR FREE STANDING TUB.
16. PROVIDE WATER AND WASTE FOR WASHER.
17. PROVIDE SMITTY PAN WITH DRAIN BENEATH WASHER.
18. DRYER VENT MAX 14 FEET LONGER THAN 1/8" INCHES IN THICKNESS. ELBOWS PER C.M.G. 504.5.
19. 14"x6" GARAGE EXHAUST VENT. SCREENED AND LOUVERED.
20. PLUMBING WASTE DROP FROM ABOVE.
21. F.A.U. IN ATTIC. PROVIDE 30" X 30" CLEAR. ATTIC ACCESS PANEL (OR PER C.M.G. 404.10) PROVIDE FUEL GAS, LIGHT AND SWITCH.
22. 22"x30" ROUGH FRAMED ATTIC ACCESS OPENING PER C.R.G. R507.1.
23. LINE OF DECORATIVE PORCH RAILINGS. SEE ELEVATIONS.
24. LINE OF EXTERIOR BALCONY RAILINGS. SEE ELEVATIONS FOR DETAIL. TOP OF GUARDS SHALL NOT BE LESS THAN 42" IN HEIGHT. OPEN GUARDS SHALL HAVE INTERMEDIATE RAILS OR AN ORNAMENTAL PATTERN SUCH THAT A SPHERE 4" IN DIAMETER CANNOT PASS THROUGH PER C.R.G. R512.1.
25. DUCT CHASE. VERIFY WITH H.V.A.C DRAWINGS.
26. BALLOON FRAMED WALLS. SEE STRUCTURAL FRAMING PLANS.
27. LINE OF CRIBBLE HALL ABOVE.
28. LOCATION OF WATER CLOSET AT FLOOR ABOVE.
29. DIRECT-VENT SEALED COMBUSTION TYPE EXTERIOR FIREPLACE. SEE PLAN FOR FIREPLACE BOX SIZE. PROVIDE F.G. IGNITOR SWITCH. DIRECT-VENT TERMINATION PER MFR. SEE MFR. SPECS. FOR RAISED HEARTH REQUIREMENTS (HEATILATOR-IL-H4959M OR EQUAL).
30. 2x6 STUD WALL.
31. POINT HALL. SEE PLAN FOR HEIGHT.
32. DIRECT-VENT SEALED COMBUSTION TYPE INTERIOR FIREPLACE. SEE PLAN FOR FIREPLACE BOX SIZE. PROVIDE F.G. IGNITOR SWITCH. DIRECT-VENT TERMINATION PER MFR. SEE MFR. SPECS. FOR RAISED HEARTH REQUIREMENTS (HEATILATOR-IL-H4959M OR EQUAL).
33. ELECTRICAL SERVICE PANEL. (SEE UTILITY PLAN). SEE GENERAL NOTES FOR GROUNDING INFORMATION.
34. NEVEL POST.
35. F.L.U. SOFFIT. SEE PLAN FOR HEIGHT OR DETAIL.
36. ARCHED SOFFIT. SEE PLAN FOR HEIGHT OR DETAIL.
37. LINE OF FLOOR ABOVE.
38. SHELF. SEE PLAN FOR HEIGHT.
39. ENCLOSED ACCESSIBLE SPACE UNDER STAIR SHALL BE PROTECTED WITH 1/2" GYPSUM BOARD ON ENCLOSED SIDE PER C.R.G. R502.1.
40. 42" HIGH GUARD PER C.R.G. R512.1.
41. 34" HIGH HANDRAIL ABOVE NOSING PER C.R.G. R511.1.1.
42. LINE OF ADHERED SYNTHETIC STONE VENEER. SEE ELEVATION.
43. LINE OF ADHERED THIN SET VENEER. SEE ELEVATION FOR HEIGHT.
44. MANUFACTURED COLUMN. SEE ELEVATION FOR HEIGHT.
45. LINE OF HANGSCOT FLOORING. SEE ELEVATION FOR HEIGHT. SEE SLAB INTERFACE PLAN FOR MORE INFORMATION.
46. DOOR OPENINGS BETWEEN GARAGE AND RESIDENCE SHALL BE SOLID HOOD DOORS NOT LESS THAN 1 5/8" INCHES IN THICKNESS. SOLID OR HONEYCOMB-CORE STEEL DOORS NOT LESS THAN 1 5/8" INCHES THICK, OR 20-MINUTE FIRE-RATED DOORS, EQUIPPED WITH SELF-CLOSING AND SELF-LATCHING DEVICES. C.R.G. R502.5.1.
47. PROVIDE MIN. 100 SQ. IN. OPENING FOR MAKE UP AIR AT LAUNDRY ROOM PER C.M.G. 504.5.1. (SEE DETAIL 'A' FOR COMPLIANCE).
48. LAUNDRY SINK.
49. FIELD-BUILT SHOWER. SEE PLAN FOR SIZE. TILE TO 80" ABOVE DRAIN TILE TO CEILING AT MASTER SHOWER.
50. 12"x12"x3" SOAP/SHAMPOO NICHE. BOTTOM OF NICHE TO BE +48" A.F.F.
51. RECYCLE BIN.
52. ELASTOMERIC DECKING BY FLI-DECK (CC-ES ESR-2041) SLOPE 1/4" PER FOOT MINIMUM.

LEGEND

- INDICATES HALLS REQUIRING 1/2" MINIMUM GYPSUM HALL BOARD ON GARAGE SIDE OF HALL FOR OCCUPANCY SEPARATION PER C.R.G. TABLE R502.6.
- INDICATES (1) LAYER MIN. 1/2" GYPSUM BOARD AT CEILING WHEN ATTIC OCCURS ABOVE GARAGE. INDICATES (1) LAYER 5/8" TYPE "X" GYPSUM BOARD AT CEILING WHEN HABITABLE ROOMS OCCUR ABOVE GARAGE. C.R.G. TABLE R502.6.
- INDICATES EXTENT OF COFFERED CEILING. SEE PLAN FOR HEIGHT(S).

GENERAL PLAN NOTES

- A. ALL INTERIOR DOORS TO BE HOLLOW CORE | 3/8" THICK UNO. (SEE PLAN FOR SIZE). AT DOUBLE INTERIOR DOOR CONDITIONS PROVIDE DEADBOLT AT TOP OF INACTIVE DOOR.
- B. ALL GARAGE SERVICE DOORS TO BE HOLLOW CORE | 3/4" THICK EXTERIOR GRADE. (SEE PLAN FOR SIZE).
- C. ALL ENTRY DOORS TO BE SOLID CORE | 3/4" THICK. (SEE PLAN FOR SIZE). AT DOUBLE ENTRY DOORS PROVIDE DEADBOLT AT TOP AND BOTTOM OF INACTIVE DOOR.
- D. ALL EXTERIOR FRENCH DOORS TO BE SOLID CORE | 3/4" THICK. (SEE PLAN FOR SIZE). AT DOUBLE FRENCH DOORS PROVIDE DEADBOLT AT TOP AND BOTTOM OF INACTIVE DOOR.
- E. BUILDER SHALL VERIFY WITH WINDOW MANUFACTURER THAT ALL ESCAPE OR RESCUE WINDOWS HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET. GARAGE FLOOR OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.50 FT. THE MIN NET CLEAR OPENING HEIGHT SHALL BE 24". THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20" AND THE BOTTOM OF THE CLEAR OPENING NO GREATER THAN 44" ABOVE THE FLOOR (C.R.G. R510.1). WINDOWS NOT MEETING THESE REQUIREMENTS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT.
- F. THE LOWEST PART OF THE CLEAR OPENING OF OPERABLE WINDOWS LOCATED MORE THAN 12" ABOVE FINISH GRADE OR SURFACE BELOW SHALL BE A MINIMUM OF 24" ABOVE THE FINISH FLOOR. WHEN OPERABLE SECTIONS OF THESE WINDOWS ARE LOCATED LESS THAN 24" ABOVE THE FINISHED FLOOR THE OPENINGS SHALL NOT ALLOW THE PASSAGE OF A 4" DIAMETER SPHERE (C.R.G. R512.2.1).

Bassenian | Lagoni
 ARCHITECTURE - PLANNING - INTERIORS
 2400 WILSON BLVD. SUITE 100, COSTA MESA, CA 92626

DELTA 2	
Date: 12-13-16	
REVISIONS	
BLDD. DEPT.	12/13/16

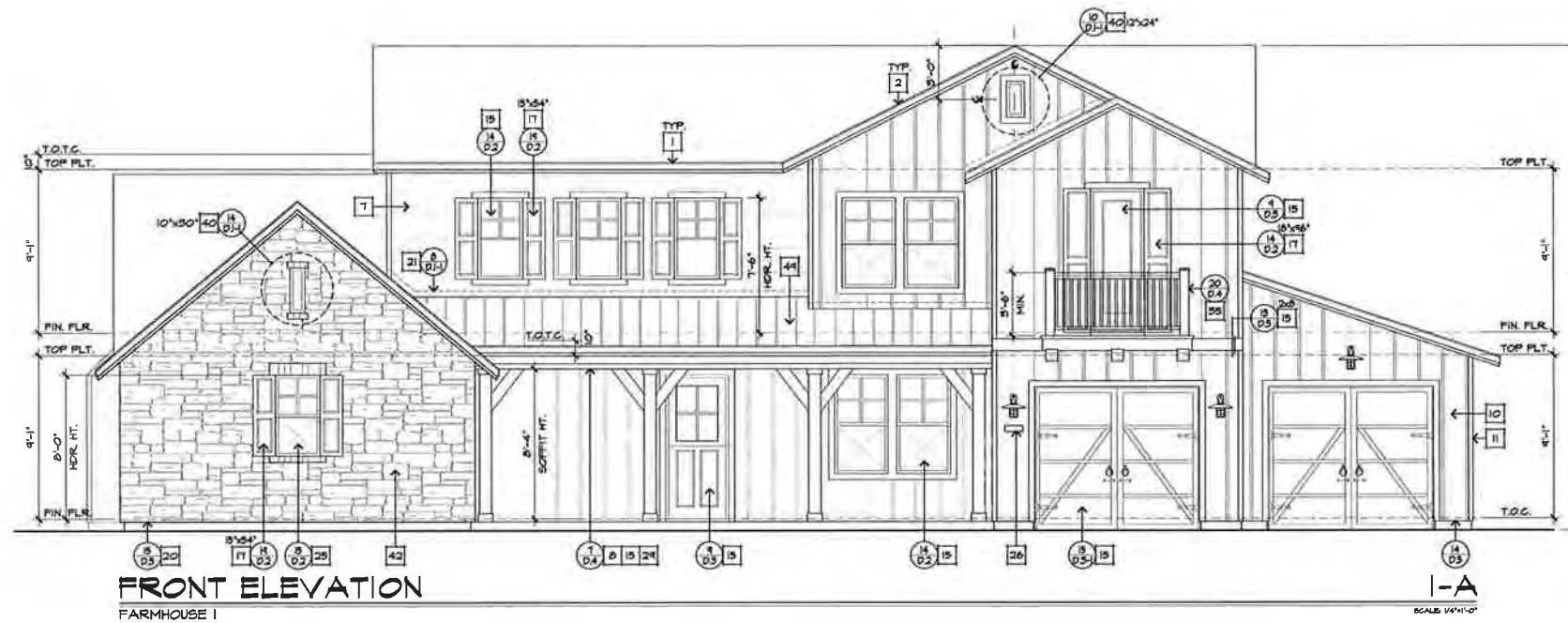
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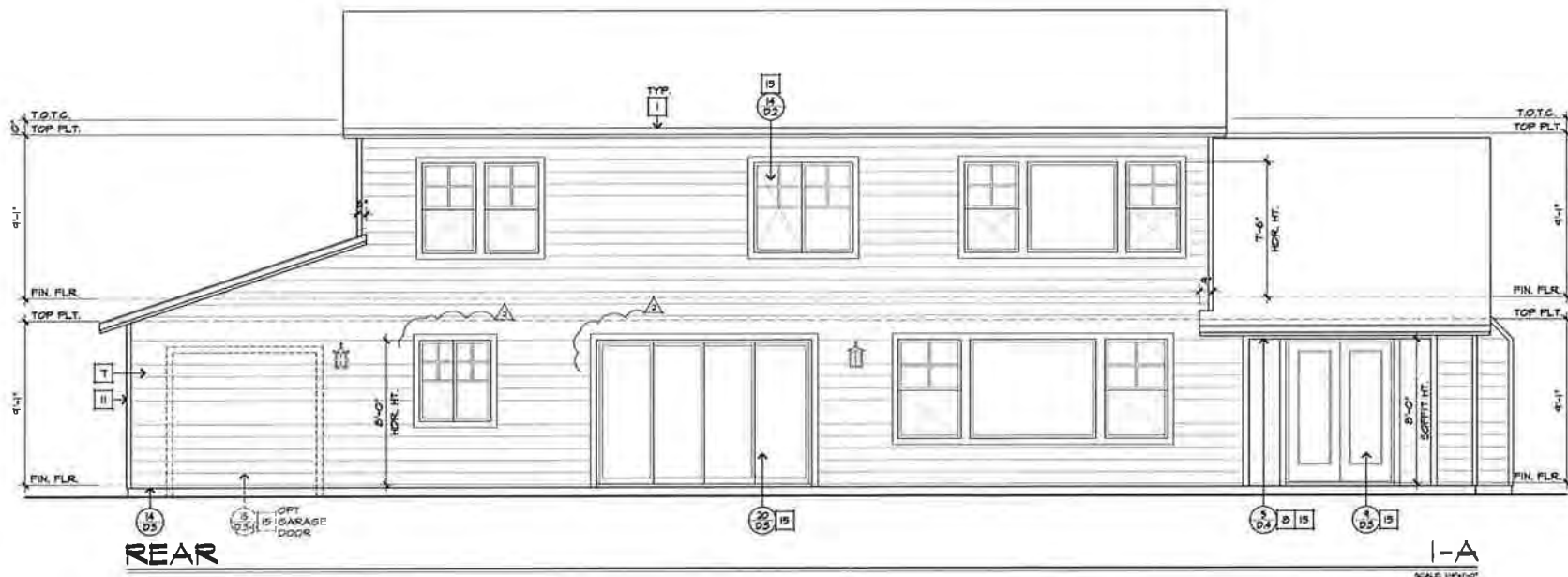
PLAN 1
SECOND FLOOR PLAN

1.2-1

JOB NUMBER: 857-16086
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FRONT ELEVATION
FARMHOUSE 1



REAR

ELEVATION / ROOF NOTES

1. 1x4 @ 2x6 FASCIA, SEE DETAIL.
2. 1x4 @ 2x6 BARGE, SEE DETAIL.
3. EXPOSED RAFTER TAILS WITH SHAPED ENDS, SEE DETAIL. ALL RAFTER TAILS TO BE EQUALLY SPACED. FRAMER TO COORDINATE WITH TRUSS ENGINEER.
4. EXTERIOR PLASTER OVER PAPER BACKED WITH WIRE MESH.
5. EXTERIOR PLASTER SOFFIT OVER EXPANDED METAL LATH.
6. 1-COAT STUCCO SYSTEM.
7. EXTERIOR SIDING, SEE EXTERIOR FINISH NOTES.
8. EXTERIOR GRADE PLYWOOD SOFFIT.
9. TONGUE AND GROOVE SOFFIT.
10. VERTICAL TRIM TO BE 5/4"x2 1/2" HARDIE WOOD GRAIN BATTEN BOARDS (NER-405) AT 16" O.C. OVER JAMES HARDIE, HARDIPANEL. VERTICAL SIDING WITH WOOD GRAIN FINISH.
11. EXPOSED WOOD CORNER TRIM, SEE EXTERIOR FINISH NOTES.
12. EXTERIOR GRADE PLYWOOD OR M.D.O. BOARD.
13. SIMULATED PRECAST FOAM TRIM, SEE ELEVATION FOR ACTUAL SIZE.
14. FOAM TRIM, SEE ELEVATION OR DETAIL FOR ACTUAL SIZE.
15. EXPOSED WOOD TRIM, SEE ELEVATION OR DETAIL FOR ACTUAL SIZE.
16. BUILT-UP 'CURVED' PLYWOOD TRIM OR M.D.O. BOARD.
17. FIXED SHUTTERS, SEE ELEVATION FOR SIZE.
18. POTSHIELD, SEE DETAIL.
19. PROVIDE G.I. FLASHING AT ALL EXPOSED WOOD TRIM.
20. CONTINUOUS G.I. EXTERIOR PLASTER SCREED, SEE DETAIL.
21. G.I. FLASHING ROOF TO WALL.
22. G.I. FLASHING AND SADDLE / CRICKET.
23. APPROVED TERMINATION GAP WITH SPARK ARRESTER FROM FIREPLACE MANUFACTURER.
24. LINE OF INTERIOR CEILING OR INTERIOR WALL.
25. ADHERED MASONRY VENEER, INSTALL PER MFR.
26. LIGHTED ADDRESS SIGN.
27. SHAPED FOAM CORDEL, SEE DETAIL.
28. SHAPED WOOD CORDEL, SEE DETAIL.
29. WOOD POST(S), SEE PLAN FOR SIZE.
30. EXPOSED WOOD BEAM.
31. MANUFACTURED COLUMN.
32. PRE-CAST CONCRETE COMPONENT / TRIM, SEE DETAIL.
33. DECORATIVE FALSE TILE VENTS, SEE ELEVATION FOR LOCATION.
34. METAL RAILING, SEE DETAIL.
35. HOOD RAILING, SEE DETAIL.
36. DECORATIVE METAL, SEE DETAIL.
37. EXTERIOR PLASTER RECESS, SEE ELEVATION FOR LOCATION, DEPTH AND SIZE OF FINISHED OPENING.
38. G.I. SCREENED AND LOUVERED GABLE END VENT; SEE ELEVATION FOR VENT SIZE AND LOCATION. SEE REQUIRED ATTIC VENTILATION CHART FOR MORE INFORMATION.
39. G.I. GUTTER AND DOWNSPOUTS, GUTTER LAYOUT AND DOWNSPOUT LOCATIONS TO BE FIELD VERIFIED.
40. DECORATIVE (FALSE) VENT / LOUVERED BOARD, SEE ELEV. FOR SIZE AND LOCATION.
41. G.I. GUTTER AND DOWNSPOUTS, GUTTER LAYOUT AND DOWNSPOUT LOCATIONS TO BE FIELD VERIFIED.
42. LINE OF ADHERED SYNTHETIC STONE VENEER BY EL. DORADO, ESR-125.
43. LINE OF ADHERED MASONRY VENEER.
44. LINE OF 2" HANSKOT. SEE ELEVATION FOR HEIGHT.
45. LINE OF HANSKOT FERRING. SEE ELEVATION FOR HEIGHT. SEE SLAB INTERFACE PLAN FOR MORE INFORMATION.
46. G.I. RESLET FOR COLOR GOAT CHANGE.
47. MECHANICAL TUB ACCESS PANEL, CORROSION RESISTANT, VERIFY SIZE AND LOCATION. PAINT TO MATCH STUCCO COLOR.
48. REPEAT DETAIL AT OPPOSITE SIDE OF OPENING.
49. STANDING SEAM METAL ROOF, SEE DETAILS. (INSTALL PER MFR.)

EXTERIOR FINISHES

- A. ALL EXPOSED PLYWOOD TO BE EXTERIOR GRADE.
- B. ALL EXPOSED WOOD TRIM, PLYWOOD, SHUTTERS, POSTS AND CORBELS TO BE "RESAWN" AND SHALL BE PRIMED ON ALL SIDES PRIOR TO INSTALLATION/ASSEMBLY.
- C. ALL EXPOSED POST TO BEAM HARDWARE TO HAVE HIDDEN INSTALLATION OR STRUCTURALLY APPROVED ORNAMENTAL CONNECTORS WITH A TEXTURED BLACK POWDER COAT FINISH.
- D. TYPICAL SIDING TO BE: JAMES HARDIE LAP SIDING, NER-405 (HARDIPANEL, BEADED CEDARHILL LAP SIDING AT OUTDOOR LIVING ROOMS).
EXPOSURE: "T" (4" AT ELEV. -1.5 ROOF CORNERS).
FINISH: WOOD GRAIN. (12/05)

ROOF PLAN NOTES

- ▲ INDICATES 6:12 SLOPE UNLESS NOTED OTHERWISE ON ROOF PLAN.
- A. TYPICAL ROOFING TO BE ASPHALT COMPOSITION SHINGLES BY GAF ESR-1475 OR APPROVED EQUAL.
- ▲ METAL ROOF BY BERTRIDGE ESR-5456 OR APPROVED EQUAL.
- B. TYPICAL ROOF OVERHANG AT RAKE CONDITION TO BE 4" UNLESS NOTED OTHERWISE ON ROOF PLAN.
- C. TYPICAL ROOF OVERHANG AT EAVE CONDITION TO BE 18" UNLESS NOTED OTHERWISE ON ROOF PLAN.

REQUIRED ATTIC VENTILATION

- A. ATTIC AREA (SQUARE FEET)
 - B. DIVIDE A BY 300 AND MULTIPLY BY 144 TO CALCULATE THE TOTAL REQUIRED MIN. NET FREE VENTILATING AREA IN SQUARE INCHES. AT LEAST 40% AND NO MORE THAN 50% OF THE REQUIRED VENTILATING AREA SHALL BE PROVIDED BY HIGH VENTS LOCATED NO MORE THAN 3 FEET VERTICAL BELOW THE RIDGE OR HIGHEST POINT OF ROOF WITH BALANCE OF VENTING PROVIDED BY EAVE/LOW VENTS (OR IN CLIMATE ZONES 14 AND 16 A CLASS 1 OR II VAPOR RETARDER SHALL BE INSTALLED ON THE WARM-IN-WINTER SIDE OF CEILING.)
* DIVIDE A BY 150 AND MULTIPLY BY 144 TO CALCULATE THE TOTAL REQUIRED MIN. NET FREE VENTILATING AREA IN SQUARE INCHES.
 - C. TOTAL SQUARE INCHES OF NET FREE VENTILATING AREA PROVIDED BY GABLE END ATTIC VENTS. (SEE ATTIC VENT CHART FOR FREE AREA)
[ZZZ] = GABLE END VENT
 - D. TOTAL SQUARE INCHES OF NET FREE VENTILATING AREA PROVIDED BY ROOF AIR VENTS. (SEE ATTIC VENT CHART FOR FREE AREA)
[H] = HIGH VENT [L] = LOW VENT [A] = AREA / 150 VENT
 - E. TOTAL SQUARE INCHES OF NET FREE VENTILATING AREA PROVIDED BY UNDER EAVE VENT BLOCKS. (12 50 IN. OF FREE AREA MIN. EA.)
[III] = VENT BLOCK AT TRUSS BAY [IIII] = VENT BLOCK AT RAFTER BAY
 - F. TOTAL SQUARE INCHES OF NET FREE VENTILATING AREA PROVIDED.
[] = PROVIDE ACCESS AND VENTILATION FROM CALIFORNIA FRAMED AREAS TO ADJACENT ATTIC SPACES. REFER TO STRUCTURAL DRAWINGS FOR SHEATHING PENETRATIONS.
- NOTE: FOR ADDITIONAL GENERAL ATTIC / ROOF AIR VENTING REQUIREMENTS REFER TO GENERAL NOTE SHEETS.

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DELTA 2

Date: 12-13-18

REVISIONS

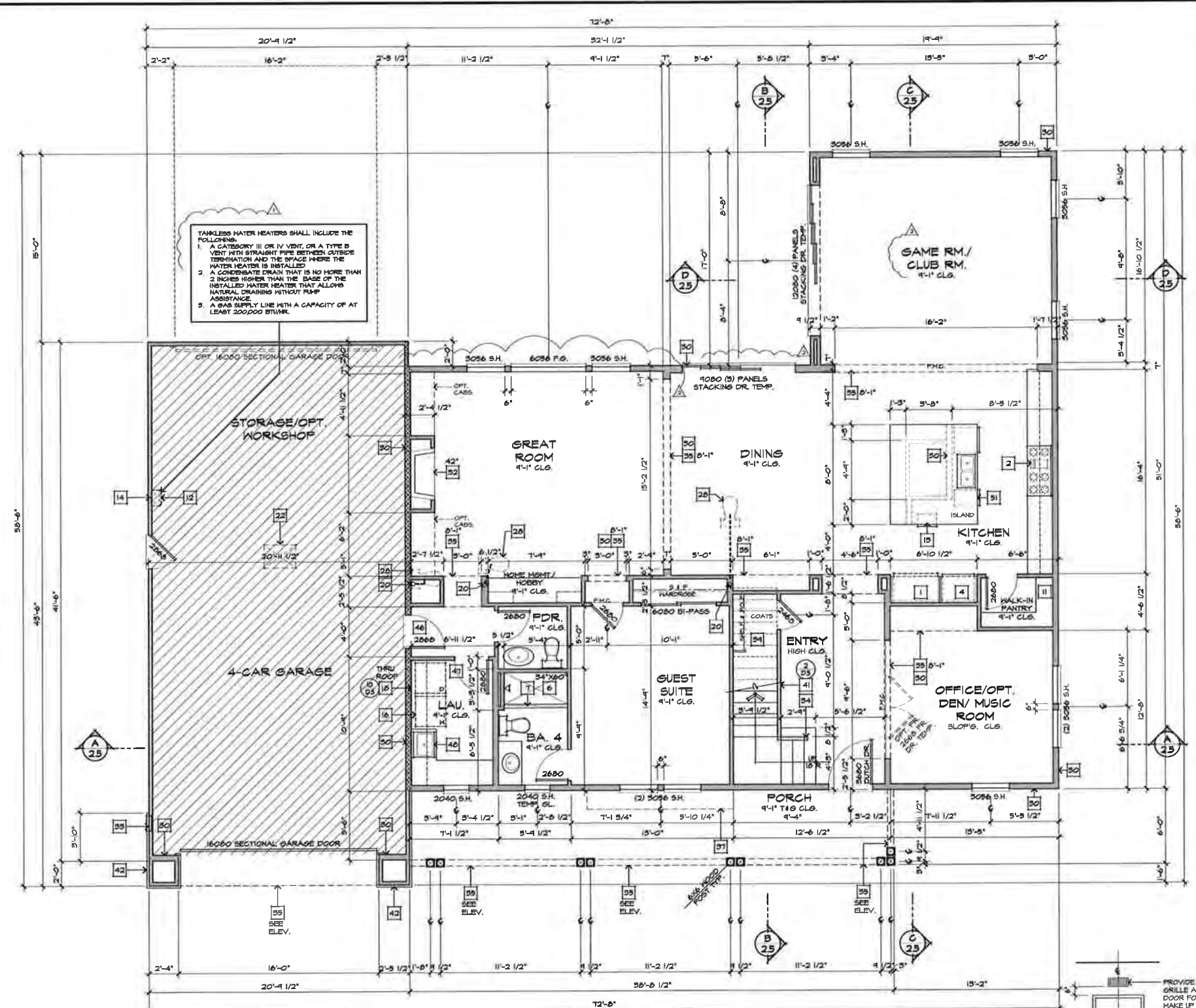
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DRAWINGS ISSUED FOR BID PRIOR TO AGENCY APPROVAL. MAY INCLUDE REVISIONS DUE TO ENGINEERING AND ARCHITECTURAL BACK CHECK AND / OR AGENCY REVIEW AND APPROVAL.

410 WALNUT PLACE
COSTA MESA, CA

PLAN 1
ELEVATION "A"
FRONT & REAR ELEV.

1.6
JOB NUMBER: 857-18086
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FIRST FLOOR PLAN

SEE ADDENDA FOR PLAN CHANGE PER ELEVATION.

FLOOR PLAN NOTES

- 42" CLEAR REFRIGERATOR SPACE. PLUMB FOR WATER SUPPLY. VERIFY WIDTH AND DEPTH IF BUILT-IN REFRIGERATOR.
- 48" COOKTOP AND METAL EXHAUST HOOD ABV. HV LIGHT AND FAN (MIN 100 CFM, MAX 5 SONE, AND VENTED TO OUTSIDE AIR).
- PAINTRY: SEE INTERIOR ELEVATIONS.
- 50" DOUBLE BUILT-IN OVEN.
- 5'-0" CAST IRON TUB/SHOWER WITH TILE MAINCOT TO 80" ABOVE DRAIN UNO. PROVIDE SHOWER CURTAIN ROD UNO.
- BUILT-IN MICRO WAVE IN CABINET, SEE INTERIOR ELEVATIONS.
- TEMPERED GLASS SHOWER ENCLOSURE PER C.R.G. R500.1. SHOWER DOOR TO BE A MIN. 22" CLEAR.
- 12" X 42" OVAL TUB WITH TILE MAINCOT. PROVIDE MOTOR ACCESS PANEL AT OPTIONAL SPA / HYDROMASSAGE BATHTUBS. VERIFY SIZE AND LOCATION OF ACCESS PANEL.
- SHOWER SEAT: SEE PLAN FOR HEIGHT.
- LINEIN CABINET: SEE INTERIOR ELEVATIONS.
- BUILT-IN SHELVES BY OTHERS.
- TANKLESS WATER HEATER, REFER TO H.V.A.C. DRAWING.
- WATER HEATER: VENT TO OUTSIDE AIR.
- TEMPERATURE AND PRESSURE RELIEF VALVE.
- 66" X 36" RECTANGULAR FREE STANDING TUB.
- PROVIDE WATER AND WASTE FOR WASHER.
- PROVIDE SHITTY PAN WITH DRAIN BENEATH WASHER.
- DRYER VENT (MAX 14 FEET LENGTH INCLUDING (2) 90 DEGREE ELBOWS) PER C.M.G. 504.8.
- 14"x6" GARAGE EXHAUST VENT, SCREENED AND LOUVERED.
- PLUMBING WASTE DROP FROM ABOVE.
- FLAT IN ATTIC: PROVIDE 30" X 30" CLEAR, ATTIC ACCESS PANEL (OR PER C.M.G. 904.0) PROVIDE FUEL GAS, LIGHT AND SWITCH.
- 22"x30" ROUGH FRAMED ATTIC ACCESS OPENING PER C.R.G. R501.1.
- LINE OF DECORATIVE PORCH RAILINGS, SEE ELEVATIONS.
- LINE OF EXTERIOR BALCONY GUARD, SEE ELEVATIONS FOR DETAIL.
- TOP OF GUARDS SHALL NOT BE LESS THAN 42" IN HEIGHT. OPEN GUARDS SHALL HAVE INTERMEDIATE RAILS OR AN ORNAMENTAL PATTERN SUCH THAT A SPHERE 4" IN DIAMETER CANNOT PASS THROUGH PER C.R.G. R502.1.
- DUCT CHASE: VERIFY WITH H.V.A.C. DRAWINGS.
- BALLOON FRAMED WALLS: SEE STRUCTURAL FRAMING PLANS.
- LINE OF GRIPPLE HALL ABOVE.
- LOCATION OF WATER CLOSET AT FLOOR ABOVE.
- DIRECT-VENT SEALED COMBUSTION TYPE EXTERIOR FIREPLACE: SEE PLAN FOR FIREPLACE BOX SIZE. PROVIDE F.G., IGNITOR SWITCH, DIRECT-VENT TERMINATION PER MFR. SEE MFR. SPECS. FOR RAISED HEARTH REQUIREMENTS (HEATILATOR-UL-1418514 OR EQUAL).
- 2x6 STUD WALL.
- POINT WALL: SEE PLAN FOR HEIGHT.
- DIRECT-VENT SEALED COMBUSTION TYPE INTERIOR FIREPLACE: SEE PLAN FOR FIREPLACE BOX SIZE. PROVIDE F.G., IGNITOR SWITCH, DIRECT-VENT TERMINATION PER MFR. SEE MFR. SPECS. FOR RAISED HEARTH REQUIREMENTS (HEATILATOR-UL-1418514 OR EQUAL).
- ELECTRICAL SERVICE PANEL (SEE UTILITY PLAN). SEE GENERAL NOTES FOR GROUNDING INFORMATION.
- NEEL POST.
- FLAT SOFFIT: SEE PLAN FOR HEIGHT OR DETAIL.
- ARCHED SOFFIT: SEE PLAN FOR HEIGHT OR DETAIL.
- LINE OF FLOOR ABOVE.
- SHELF: SEE PLAN FOR HEIGHT.
- ENCLOSED ACCESSIBLE SPACE UNDER STAIR SHALL BE PROTECTED WITH 1/2" GYPSUM BOARD ON ENCLOSED SIDE PER C.R.G. R502.1.
- 42" HIGH GUARD PER C.R.G. R502.1.
- 34" HIGH HANDRAIL ABOVE NOSING PER C.R.G. R501.1.
- LINE OF ADHERED SYNTHETIC STONE VENEER, SEE ELEVATION.
- LINE OF ADHERED THIN SET VENEER: SEE ELEVATION FOR HEIGHT.
- MANUFACTURED COLUMN: SEE ELEVATION FOR HEIGHT OR EQUAL.
- LINE OF MAINCOT FURRING: SEE ELEVATION FOR HEIGHT. SEE SLAB INTERFACE PLAN FOR MORE INFORMATION.
- DOOR OPENINGS BETWEEN GARAGE AND RESIDENCE SHALL BE SOLID WOOD DOORS NOT LESS THAN 1 3/8" IN THICKNESS. SOLID OR HONEYCOMB-CORE STEEL DOORS NOT LESS THAN 1 3/8" INCHES THICK, OR 20-MINUTE FIRE-RATED DOORS, EQUIPPED WITH SELF-CLOSING AND SELF-LATCHING DEVICES. PER C.R.G. R502.1.
- PROVIDE MIN. 100 SG. IN OPENING FOR MAKE UP AIR AT LAUNDRY ROOM PER C.M.G. 504.8. (SEE DETAIL 'A' FOR COMPLIANCE).
- LAUNDRY SINK.
- FIELD-BUILT SHOWER: SEE PLAN FOR SIZE. TILE TO 80" ABOVE DRAIN (TILE TO CEILING AT MASTER SHOWER).
- 12"x12"x3" SOAP/DISHWASHER NICHE BOTTOM OF NICHE TO BE 48" A.F.F.
- RECYCLE BIN.
- ELASTOMERIC DECKING BY PLI-DECK (ICC-ES ESR-2041) SLOPE 1/4" PER FOOT MINIMUM.

LEGEND

- INDICATES WALLS REQUIRING 1/2" MINIMUM GYPSUM BOARD ON GARAGE SIDE OF WALL FOR OCCUPANCY SEPARATION PER C.R.G. TABLE R502.6.
- INDICATES (1) LAYER MIN. 1/2" GYPSUM BOARD AT CEILING WHEN ATTIC OCCURS ABOVE GARAGE. INDICATES (1) LAYER 5/8" TYPE "X" GYPSUM BOARD AT CEILING WHEN HABITABLE ROOMS OCCUR ABOVE GARAGE. C.R.G. TABLE R502.6.
- INDICATES EXTENT OF COFFERED CEILING (SEE PLAN FOR HEIGHTS).

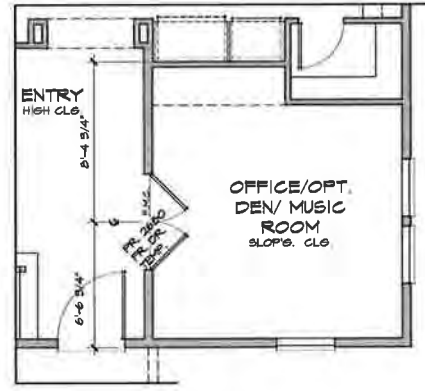
GENERAL PLAN NOTES

- ALL INTERIOR DOORS TO BE HOLLOW CORE 1 3/8" THICK UNO. (SEE PLAN FOR SIZE). AT DOUBLE INTERIOR DOOR CONDITIONS PROVIDE DEADBOLT AT TOP OF INACTIVE DOOR.
- ALL GARAGE SERVICE DOORS TO BE HOLLOW CORE 1 3/4" THICK EXTERIOR GRADE. (SEE PLAN FOR SIZE).
- ALL ENTRY DOORS TO BE SOLID CORE 1 3/4" THICK. (SEE PLAN FOR SIZE). AT DOUBLE ENTRY DOORS PROVIDE DEADBOLT AT TOP AND BOTTOM OF INACTIVE DOOR.
- ALL EXTERIOR FRENCH DOORS TO BE SOLID CORE 1 3/4" THICK. (SEE PLAN FOR SIZE). AT DOUBLE FRENCH DOORS PROVIDE DEADBOLT AT TOP AND BOTTOM OF INACTIVE DOOR.
- BUILDER SHALL VERIFY WITH WINDOW MANUFACTURER THAT ALL ESCAPE OR RESCUE WINDOWS HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET. GRADE FLOOR OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.50 FT. THE MIN. NET CLEAR OPENING HEIGHT SHALL BE 24". THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20" AND THE BOTTOM OF THE CLEAR OPENING NO GREATER THAN 44" ABOVE THE FLOOR (C.R.G. R501.1). WINDOWS NOT MEETING THESE REQUIREMENTS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT.
- THE LOWEST PART OF THE CLEAR OPENING OF OPERABLE WINDOWS LOCATED MORE THAN 12" ABOVE FINISH GRADE OR SURFACE BELOW SHALL BE A MINIMUM OF 24" ABOVE THE FINISH FLOOR. WHEN OPERABLE SECTIONS OF THESE WINDOWS ARE LOCATED LESS THAN 24" ABOVE THE FINISHED FLOOR THE OPENINGS SHALL NOT ALLOW THE PASSAGE OF A 4" DIAMETER SPHERE (C.R.G. R512.2.1).

PLAN 2 SQUARE FOOTAGE

FIRST FLOOR	2,109
SECOND FLOOR	1,365
TOTAL	3,474
4-CAR GARAGE	853
PORCH ELEV. "A"	232
PORCH ELEV. "B"	238

NOTE: FINISHED SQUARE FOOTAGE CALCULATIONS FOR THIS HOUSE WERE MADE BASED ON PLAN DIMENSIONS ONLY AND MAY VARY FROM THE FINISHED SQUARE FOOTAGE OF THE HOUSE AS BUILT.



OPT. FRENCH DOORS AT OFFICE, DEN & MUSIC ROOM



"MAKE UP AIR" AT LAUNDRY ROOM

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DELTA 2
Date: 12-13-18

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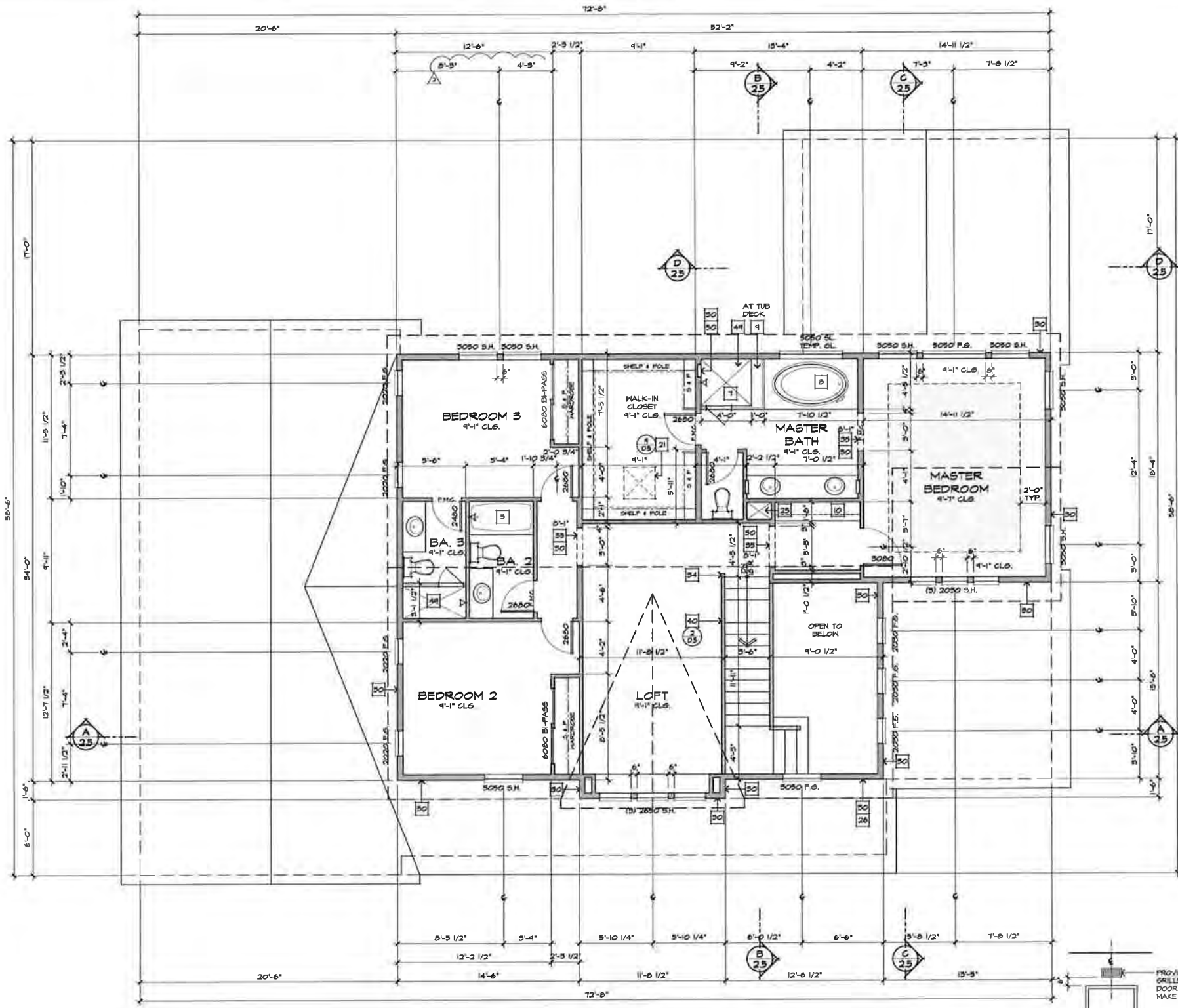
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410 WALNUT PLACE
COSTA MESA, CA

PLAN 2
FIRST FLOOR
PLAN

2.2

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SECOND FLOOR PLAN

SEE APPENDIX FOR PLAN CHANGE PER ELEVATION.

A "MAKE UP AIR"
AT LAUNDRY ROOM

FLOOR PLAN NOTES

1. 42" CLEAR REFRIGERATOR SPACE. PUMP FOR WATER SUPPLY. VERIFY WIDTH AND DEPTH IF BUILT-IN REFRIGERATOR.
2. 48" COOKTOP AND METAL EXHAUST HOOD ABV. 1W LIGHT AND FAN. (MIN 100 CFM, MAX 5 SONE, AND VENTED TO OUTSIDE AIR).
3. PANTRY. SEE INTERIOR ELEVATIONS.
4. 30" DOUBLE BUILT-IN OVEN.
5. 5'-0" CAST IRON TUB/SHOWER WITH TILE MAINSCOT TO 80" ABOVE DRAIN UNO. PROVIDE SHOWER CURTAIN ROD UNO.
6. BUILT-IN MIRROR HAVE IN CABINET. SEE INTERIOR ELEVATIONS.
7. TEMPERED GLASS SHOWER ENCLOSURE PER C.R.C. R308.1. SHOWER DOOR TO BE A MIN 22" CLEAR.
8. 12" X 42" OVAL TUB WITH TILE MAINSCOT. PROVIDE MOTOR ACCESS PANEL AT OPTIONAL SPA / HYDROMASSAGE BATHS. VERIFY SIZE AND LOCATION OF ACCESS PANEL.
9. SHOWER SEAT. SEE PLAN FOR HEIGHT.
10. LINEN CABINET. SEE INTERIOR ELEVATIONS.
11. BUILT-IN SHELVES BY OTHERS.
12. TANKLESS WATER HEATER. REFER TO H.V.A.C DRAWINGS.
13. WATER HEATER. 5" VENT TO OUTSIDE AIR.
14. TEMPERATURE AND PRESSURE RELIEF VALVE.
15. 66" X 36" RECTANGULAR FREE STANDING TUB.
16. PROVIDE WATER AND WASTE FOR WASHER.
17. PROVIDE SPLITTY FAN WITH DRAIN BENEATH WASHER.
18. DRYER VENT (MAX 14 FEET LENGTH INCLUDING (2) 90 DEGREE ELBOWS) PER C.M.C. 504.3.
19. 14"x6" GARAGE EXHAUST VENT. SCREENED AND LOVERED.
20. PLUMBING WASTE DROPP FROM ABOVE.
21. F.A.U. IN ATTIC. PROVIDE 30" X 30" CLEAR. ATTIC ACCESS PANEL (OR PER C.M.C. 904.10) PROVIDE FUEL GAS, LIGHT AND SWITCH.
22. 22"x30" ROUGH FRAMED ATTIC ACCESS OPENING PER C.R.C. R301.1.
23. LINE OF DECORATIVE PORCH RAILING. SEE ELEVATIONS.
24. LINE OF EXTERIOR BALCONY GUARD. SEE ELEVATIONS FOR DETAIL. TOP OF GUARDS SHALL NOT BE LESS THAN 42" IN HEIGHT. OPEN GUARDS SHALL HAVE INTERMEDIATE RAILS OR AN ORNAMENTAL PATTERN SUCH THAT A SPHERE 4" IN DIAMETER CANNOT PASS THROUGH PER C.R.C. R512.1.
25. DUCT CHASE. VERIFY WITH H.V.A.C DRAWINGS.
26. BALCONY FRAMED HALLS. SEE STRUCTURAL FRAMING PLANS.
27. LINE OF CRIPPLE WALL ABOVE.
28. LOCATION OF WATER CLOSET AT FLOOR ABOVE.
29. DIRECT-VENT SEALED COMBUSTION TYPE EXTERIOR FIREPLACE. SEE PLAN FOR FIREPLACE BOX SIZE. PROVIDE F.G. IGNITOR SWITCH. DIRECT-VENT TERMINATION PER MFR. SEE MFR. SPECS. FOR RAISED HEARTH REQUIREMENTS (HEATILATOR-UL-HH15914 OR EQUAL).
30. 2x6 STUD WALL.
31. POIN WALL. SEE PLAN FOR HEIGHT.
32. DIRECT-VENT SEALED COMBUSTION TYPE INTERIOR FIREPLACE. SEE PLAN FOR FIREPLACE BOX SIZE. PROVIDE F.G. IGNITOR SWITCH. DIRECT-VENT TERMINATION PER MFR. SEE MFR. SPECS. FOR RAISED HEARTH REQUIREMENTS (HEATILATOR-UL-HH15914 OR EQUAL).
33. ELECTRICAL SERVICE PANEL. (SEE UTILITY PLAN) SEE GENERAL NOTES FOR GROUNDING INFORMATION.
34. NEEL POST.
35. FLAT SOFFIT. SEE PLAN FOR HEIGHT OR DETAIL.
36. ARCHED SOFFIT. SEE PLAN FOR HEIGHT OR DETAIL.
37. LINE OF FLOOR ABOVE.
38. SHELF. SEE PLAN FOR HEIGHT.
39. ENCLOSED ACCESSIBLE SPACE UNDER STAIR SHALL BE PROTECTED WITH 1/2" GYPSUM BOARD ON ENCLOSED SIDE PER C.R.C. R302.1.
40. 42" HIGH GUARD PER C.R.C. R512.1.
41. 34"-38" HIGH HANDRAIL ABOVE NOSING PER C.R.C. R511.2.1.
42. LINE OF ADHERED SYNTHETIC STONE VENEER. SEE ELEVATION.
43. LINE OF ADHERED THIN SET VENEER. SEE ELEVATION FOR HEIGHT.
44. MANUFACTURED COLUMN. SEE ELEVATION FOR HEIGHT.
45. LINE OF MAINSCOT FURRING. SEE ELEVATION FOR HEIGHT. SEE SLAB INTERFACE PLAN FOR MORE INFORMATION.
46. DOOR OPENINGS BETWEEN GARAGE AND RESIDENCE SHALL BE SOLID HOOD DOORS NOT LESS THAN 1 3/8" IN THICKNESS. SOLID OR HONEYCOMB-CORE STEEL DOORS NOT LESS THAN 1 3/8" INCHES THICK, OR 20-MINUTE FIRE-RATED DOORS, EQUIPPED WITH SELF-CLOSING AND SELF-LATCHING DEVICES. C.R.C. R302.2.1.
47. PROVIDE MIN 100 SQ IN OPENING FOR MAKE UP AIR AT LAUNDRY ROOM PER C.M.C. 504.3.1 (SEE DETAIL 'A' FOR COMPLIANCE).
48. LAUNDRY SINK.
49. FIELD-BUILT SHOWER. SEE PLAN FOR SIZE. TILE TO 80" ABOVE DRAIN (TILE TO CEILING AT MASTER SHOWER).
50. 12"x12"x3" SOAP/SHAMPOO NICHE. BOTTOM OF NICHE TO BE 48" A.F.F.
51. RECYCLE BIN.
52. ELASTOMERIC DECKING BY PUI-DECK (100-ES ESR-204T) SLOPE 1/4" PER FOOT MINIMUM.

LEGEND

- INDICATES WALLS REQUIRING (2") MINIMUM GYPSUM HALL BOARD ON GARAGE SIDE OF WALL FOR OCCUPANT SEPARATION PER C.R.C. TABLE R302.6.
- INDICATES (1) LAYER MIN 1/2" GYPSUM BOARD AT CEILING WHEN ATTIC OCCURS ABOVE GARAGE. INDICATES (1) LAYER 5/8" TYPE "X" GYPSUM BOARD AT CEILING WHEN HABITABLE ROOMS OCCUR ABOVE GARAGE. C.R.C. TABLE R302.6.
- INDICATES EXTENT OF COFFERED CEILING. SEE PLAN FOR HEIGHTS.

GENERAL PLAN NOTES

- A. ALL INTERIOR DOORS TO BE HOLLOW CORE 1 3/8" THICK UNO. (SEE PLAN FOR SIZE). AT DOUBLE INTERIOR DOOR CONDITIONS PROVIDE DEADBOLT AT TOP OF INACTIVE DOOR.
- B. ALL GARAGE SERVICE DOORS TO BE HOLLOW CORE 1 3/4" THICK EXTERIOR GRADE. (SEE PLAN FOR SIZE).
- C. ALL ENTRY DOORS TO BE SOLID CORE 1 3/4" THICK. (SEE PLAN FOR SIZE). AT DOUBLE ENTRY DOORS PROVIDE DEADBOLT AT TOP AND BOTTOM OF INACTIVE DOOR.
- D. ALL EXTERIOR FRENCH DOORS TO BE SOLID CORE 1 3/4" THICK. (SEE PLAN FOR SIZE). AT DOUBLE FRENCH DOORS PROVIDE DEADBOLT AT TOP AND BOTTOM OF INACTIVE DOOR.
- E. BUILDER SHALL VERIFY WITH WINDOW MANUFACTURER THAT ALL ESCAPE OR RESCUE WINDOWS HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET, GRADE FLOOR OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.50 SQ. FT. THE MIN. NET CLEAR OPENING HEIGHT SHALL BE 24". THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20" AND THE BOTTOM OF THE CLEAR OPENING NO GREATER THAN 44" ABOVE THE FLOOR (C.R.C. R310.1). WINDOWS NOT MEETING THESE REQUIREMENTS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT.
- F. THE LOWEST PART OF THE CLEAR OPENING OF OPERABLE WINDOWS LOCATED MORE THAN 12" ABOVE FINISH GRADE OR SURFACE BELOW SHALL BE A MINIMUM OF 24" ABOVE THE FINISH FLOOR. WHEN OPERABLE SECTIONS OF THESE WINDOWS ARE LOCATED LESS THAN 24" ABOVE THE FINISHED FLOOR THE OPENINGS SHALL NOT ALLOW THE PASSAGE OF A 4" DIAMETER SPHERE (C.R.C. R312.2.1).

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DELTA 2
Date: 12-13-16

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DRAWINGS ISSUED FOR BID PRIOR TO AGENCY APPROVAL MAY INCLUDE REVISIONS DUE TO ENGINEERING AND ARCHITECTURAL BACK CHECK AND / OR AGENCY REVIEW AND APPROVAL.

410 WALNUT PLACE
COSTA MESA, CA

PLAN 2
SECOND FLOOR PLAN

2.2-1
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ELEVATION / ROOF NOTES

1. 1X4 @ 2X6 FASCIA, SEE DETAIL.
2. 1X4 @ 2X6 BARGE, SEE DETAIL.
3. EXPOSED RAFTER TAILS WITH SHARPED ENDS, SEE DETAIL. ALL RAFTER TAILS TO BE EQUALLY SPACED. FRAMER TO COORDINATE WITH TRUSS ENGINEER.
4. EXTERIOR PLASTER OVER PAPER BACKED WITH WIRE MESH.
5. EXTERIOR PLASTER SOFFIT OVER EXPANDED METAL LATH.
6. 1-COAT STUCCO SYSTEM.
7. EXTERIOR SIDING, SEE EXTERIOR FINISHES NOTES.
8. EXTERIOR GRADE PLYWOOD SOFFIT.
9. TONGUE AND GROOVE SOFFIT.
10. VERTICAL TRIM TO BE 5/4\"X2 1/2\" HARDIE WOOD GRAIN BATTER BOARDS (NER-405) AT 16\" O.C. OVER JAMES HARDIE, HARDIPANEL. VERTICAL SIDING WITH WOOD GRAIN FINISH.
11. EXPOSED WOOD CORNER TRIM, SEE EXTERIOR FINISHES NOTES.
12. EXTERIOR GRADE PLYWOOD OR M.D.O. BOARD.
13. SIMULATED PRECAST FOAM TRIM, SEE ELEVATION FOR ACTUAL SIZE.
14. FOAM TRIM, SEE ELEVATION OR DETAIL FOR ACTUAL SIZE.
15. EXPOSED WOOD TRIM, SEE ELEVATION OR DETAIL FOR ACTUAL SIZE.
16. BUILT-UP 'CURVED' PLYWOOD TRIM OR M.D.O. BOARD.
17. FIXED SHUTTERS, SEE ELEVATION FOR SIZE.
18. POTSHIELD, SEE DETAIL.
19. PROVIDE G.I. FLASHING AT ALL EXPOSED WOOD TRIM.
20. CONTINUOUS G.I. EXTERIOR PLASTER SCREED, SEE DETAIL.
21. G.I. FLASHING ROOF TO HALL.
22. G.I. FLASHING AND SADDLE / CRICKET.
23. APPROVED TERMINATION CAP WITH SPARK ARRESTER FROM FIREPLACE MANUFACTURER.
24. LINE OF INTERIOR CEILING OR INTERIOR HALL.
25. ADHERED MASONRY VENEER, INSTALL PER MFR.
26. LIGHTED ADDRESS SIGN.
27. SHAPED FOAM CORBEL, SEE DETAIL.
28. SHAPED WOOD CORBEL, SEE DETAIL.
29. WOOD POST(S) SEE PLAN FOR SIZE.
30. EXPOSED HOOD BEAM.
31. MANUFACTURED COLUMN.
32. PRE-CAST CONCRETE COMPONENT / TRIM, SEE DETAIL.
33. DECORATIVE FALSE TILE VENTS, SEE ELEVATION FOR LOCATION.
34. METAL RAILING, SEE DETAIL.
35. WOOD RAILING, SEE DETAIL.
36. DECORATIVE METAL, SEE DETAIL.
37. EXTERIOR PLASTER RECESS, SEE ELEVATION FOR LOCATION, DEPTH AND SIZE OF FINISHED OPENING.
38. G.I. SCREENED AND LOUVERED GABLE END VENT, SEE ELEVATION FOR VENT SIZE AND LOCATION. SEE REQUIRED ATTIC VENTILATION CHART FOR MORE INFORMATION.
39. G.I. SCREENED ROOF AIR VENT, SEE REQUIRED ATTIC VENTILATION CHART FOR MORE INFORMATION.
40. DECORATIVE (FALSE) VENT / LOUVERED BOARD, SEE ELEV. FOR SIZE AND LOCATION.
41. G.I. GUTTER AND DOWNSPOUTS, GUTTER LAYOUT AND DOWNSPOUT LOCATIONS TO BE FIELD VERIFIED.
42. LINE OF ADHERED SYNTHETIC STONE VENEER BY EL DORADO, ESP-015.
43. LINE OF ADHERED MASONRY VENEER.
44. LINE OF 12\" MAINSICOT. SEE ELEVATION FOR HEIGHT.
45. LINE OF MAINSICOT FURRING. SEE ELEVATION FOR HEIGHT. SEE SLAB INTERFACE PLAN FOR MORE INFORMATION.
46. G.I. REGLET FOR COLOR COAT CHANGE.
47. MECHANICAL TUB ACCESS PANEL, CORROSION RESISTANT, VERIFY SIZE AND LOCATION. PAINT TO MATCH STUCCO COLOR.
48. REPEAT DETAIL AT OPPOSITE SIDE OF OPENING.
49. STANDING SEAM METAL ROOF, SEE DETAILS. (INSTALL PER MFR.)

EXTERIOR FINISHES

- A. ALL EXPOSED PLYWOOD TO BE EXTERIOR GRADE.
- B. ALL EXPOSED WOOD TRIM, PLYWOOD, SHUTTERS, POSTS AND CORBELS TO BE 'RESAWNY' AND SHALL BE PRIMED ON ALL SIDES PRIOR TO INSTALLATION/ASSEMBLY.
- C. ALL EXPOSED ROOF TO BEAM HARDWARE TO HAVE HIDDEN INSTALLATION OR STRUCTURALLY APPROVED ORNAMENTAL CONNECTORS WITH A TEXTURED BLACK POWDER COAT FINISH.
- D. TYPICAL SIDING TO BE: JAMES HARDIE LAP SIDING, NER-405 (HARDIE PLANK BEADED CEDARMILL LAP SIDING AT OUTDOOR LIVING ROOMS).
EXPOSURE: 1\", 1/4\" AT ELEV. 1-B ROOF DORMERS).
FINISH: WOOD GRAIN.
SEE TYPICAL DETAIL: 12 D5

ROOF PLAN NOTES

- A. INDICATES 6:12 SLOPE UNLESS NOTED OTHERWISE ON ROOF PLANS.
- B. TYPICAL ROOFING TO BE ASPHALT COMPOSITION SHINGLES BY GAF ESP-1475 OR APPROVED EQUAL.
- C. METAL ROOF BY BERKSHIRE ESP-3406 OR APPROVED EQUAL.
- D. TYPICAL ROOF OVERHANGS AT RAKE CONDITION TO BE 4\" UNLESS NOTED OTHERWISE ON ROOF PLAN.
- E. TYPICAL ROOF OVERHANG AT EAVE CONDITION TO BE 16\" UNLESS NOTED OTHERWISE ON ROOF PLAN.

REQUIRED ATTIC VENTILATION

- ATTIC VENTILATION CALCULATIONS PER C.R.C. RB062 AS FOLLOWS:
- A. ATTIC AREA (SQUARE FEET)
 - B. DIVIDE A BY 500 AND MULTIPLY BY 144 TO CALCULATE THE TOTAL REQUIRED MIN NET FREE VENTING AREA IN SQUARE INCHES AT LEAST 40% AND NO MORE THAN 50% OF THE REQUIRED VENTING AREA SHALL BE PROVIDED BY HIGH VENTS LOCATED NO MORE THAN 3 FEET VERTICAL BELOW THE RIDGE OR HIGHEST POINT OF ROOF WITH BALANCE OF VENTING PROVIDED BY EAVE/LOW VENTS (OR IN CLIMATE ZONES 14 AND 16 A CLASS 1 OR II VAPOR RETARDER SHALL BE INSTALLED ON THE HARM-IN-WINTER SIDE OF CEILING.)
* DIVIDE A BY 50 AND MULTIPLY BY 144 TO CALCULATE THE TOTAL REQUIRED MIN NET FREE VENTING AREA IN SQUARE INCHES.
 - C. TOTAL SQUARE INCHES OF NET FREE VENTILATING AREA PROVIDED BY GABLE END ATTIC VENTS (SEE ATTIC VENT CHART FOR FREE AREA)
[Z] = GABLE END VENT
 - D. TOTAL SQUARE INCHES OF NET FREE VENTILATING AREA PROVIDED BY ROOF AIR VENTS (SEE ATTIC VENT CHART FOR FREE AREA)
[H] = HIGH VENT [L] = LOW VENT [A] = AREA / 150 VENT
 - E. TOTAL SQUARE INCHES OF NET FREE VENTILATING AREA PROVIDED BY UNDER EAVE VENT BLOCKS (12 5/8 IN. OF FREE AREA MIN. EA.)
[B] = VENT BLOCK AT TRUSS BAY [C] = VENT BLOCK AT RAFTER BAY
 - F. TOTAL SQUARE INCHES OF NET FREE VENTILATING AREA PROVIDED
[D] = PROVIDE ACCESS AND VENTILATION FROM CALIFORNIA FRAMED AREAS TO ADJACENT ATTIC SPACES. REFER TO STRUCTURAL DRAWINGS FOR SHEATHING PENETRATIONS.
- NOTE: FOR ADDITIONAL GENERAL ATTIC / ROOF AIR VENTING REQUIREMENTS REFER TO GENERAL NOTE SHEETS.

Bassenian | Lagoni
 ARCHITECTURE • PLANNING • INTERIORS
 2021 LOCHARD DRIVE | NEWPORT BEACH, CA 92660
 TEL: 949.666.8888 | FAX: 949.666.8888

DELTA 2
Date: 12-13-16

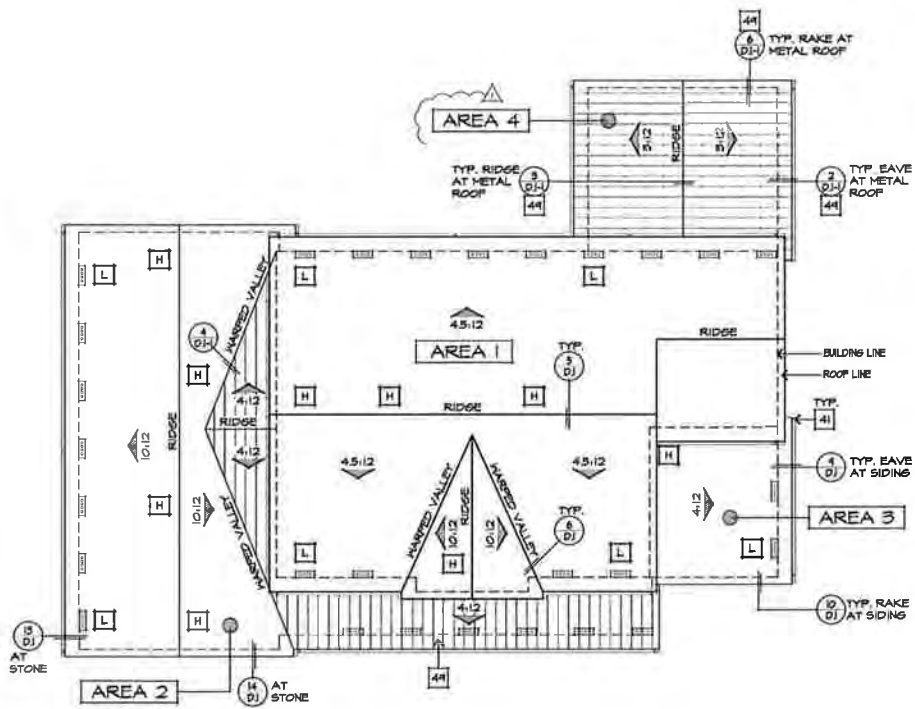
REVISIONS	BLOG DEPT.	DATE
CLIENT		12/15/16

DRAWINGS ISSUED FOR BID PRIOR TO AGENCY APPROVAL. MAY INCLUDE REVISIONS DUE TO ENGINEERING AND ARCHITECTURAL CHECK AND / OR AGENCY REVIEW AND APPROVAL.

410 WALNUT PLACE
COSTA MESA, CA

PLAN 2
ELEVATION "A"
FRONT & REAR ELEV.

2.6
JOB NUMBER: 857-16086
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ROOF PLAN

2-A
SCALE: 1/8"=1'-0"

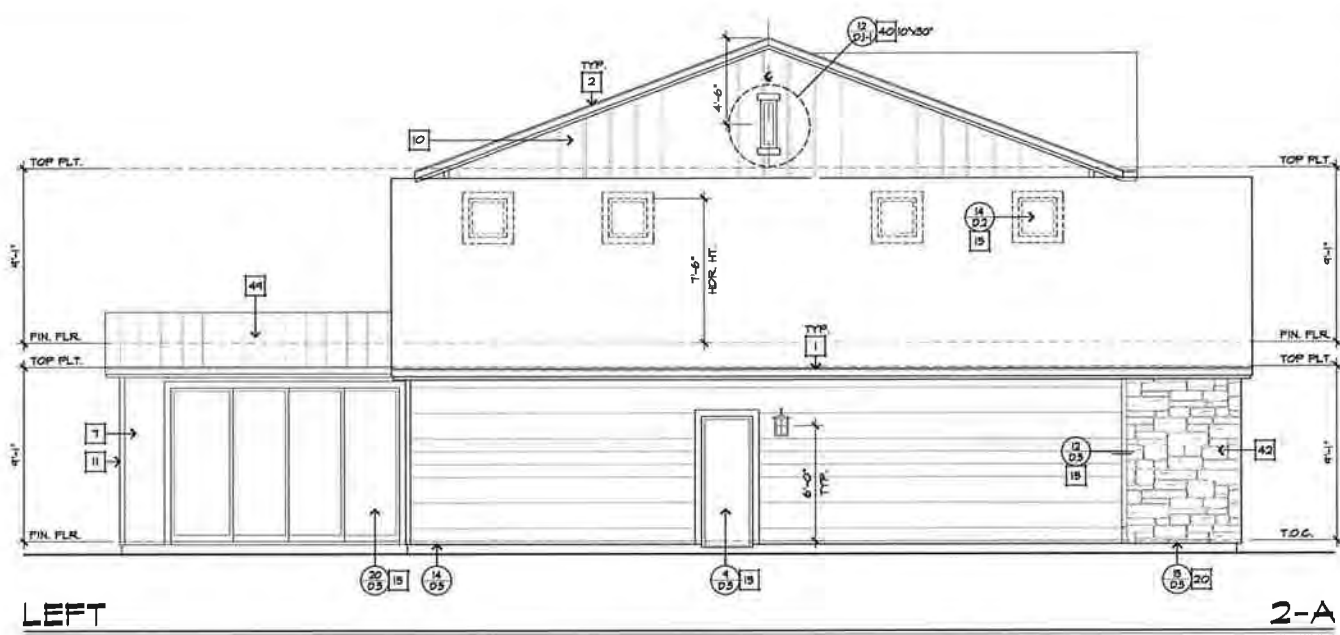
ATTIC VENTILATION CALCULATIONS
REFER TO REQUIRED ATTIC VENTILATION NOTES FOR ADDITIONAL INFORMATION

PLAN "2-A"	A ATTIC AREA (SQ. FT.)	B RESID. VENTING (SQ. IN.)	C ROOF VENTING (SQ. IN.)	D OVEN ROOF VENTS (SQ. IN.)	E EAVE VENTS (SQ. IN.)	F TOTAL VENTING PROVIDED (SQ. IN.)
AREA-1	803	300	100	100	100	600
AREA-2	180	300	100	100	100	600
AREA-3	180	300	100	100	100	600
AREA-4	250	300	100	100	100	600

NOTE: FRAMER/TRUSS MFR. SHALL ADJUST TRUSS HEEL DEPTH TO ALIGN EAVE OF STEEPER PITCHED ROOFS WITH EAVE OF ADJACENT LOWER PITCH ROOFS.

TYPICAL ROOF DETAILS
REFER TO THE FOLLOWING FOR STANDARD CONDITIONS NOT REFERENCED ON ROOF PLAN

S ROOF MATERIAL
 E EAVE VENT BLOCK
 H ROOF DECK PENETRATIONS



LEFT **2-A**
SCALE: 1/4"=1'-0"



RIGHT **2-A**
SCALE: 1/4"=1'-0"

ELEVATION / ROOF NOTES

- 1/4" O/ 2x6 FASCIA, SEE DETAIL.
- 1/4" O/ 2x6 BARGE, SEE DETAIL.
- EXPOSED RAFTER TAILS WITH SHAPED ENDS, SEE DETAIL. ALL RAFTER TAILS TO BE EQUALLY SPACED. FRAMER TO COORDINATE WITH TRUSS ENGINEER.
- EXTERIOR PLASTER OVER PAPER BACKED WITH WIRE MESH.
- EXTERIOR PLASTER SOFFIT OVER EXPANDED METAL LATH.
- 1-COAT STUCCO SYSTEM.
- EXTERIOR SIDING, SEE EXTERIOR FINISHES NOTES.
- EXTERIOR GRADE PLYWOOD SOFFIT.
- TONGUE AND GROOVE SOFFIT.
- VERTICAL TRIM TO BE 3/4"x2 1/2" HARDIE WOOD GRAIN BATTEN BOARDS (NER-405) AT 16" O.C. OVER JAMES HARDIE HARDIPANEL VERTICAL SIDING WITH WOOD GRAIN FINISH.
- EXPOSED WOOD CORNER TRIM, SEE EXTERIOR FINISHES NOTES.
- EXTERIOR GRADE PLYWOOD OR M.D.O. BOARD.
- SIMULATED PRECAST FOAM TRIM, SEE ELEVATION FOR ACTUAL SIZE.
- FOAM TRIM, SEE ELEVATION OR DETAIL FOR ACTUAL SIZE.
- EXPOSED WOOD TRIM, SEE ELEVATION OR DETAIL FOR ACTUAL SIZE.
- BUILT-UP 'CURVED' PLYWOOD TRIM OR M.D.O. BOARD.
- FIXED SHUTTERS, SEE ELEVATION FOR SIZE.
- POTSHIELD, SEE DETAIL.
- PROVIDE G.I. FLASHING AT ALL EXPOSED WOOD TRIM.
- CONTINUOUS G.I. EXTERIOR PLASTER SCREED, SEE DETAIL.
- FLASHING ROOF TO HALL.
- G.I. FLASHING AND SADDLE / CRICKET.
- APPROVED TERMINATION GAP WITH SPARK ARRESTER FROM MANUFACTURER.
- LINE OF INTERIOR CEILING OR INTERIOR HALL.
- ADHERED MASONRY VENEER, INSTALL PER MFR.
- LIGHTED ADDRESS SIGN.
- SHAPED FOAM CORBEL, SEE DETAIL.
- SHAPED WOOD CORBEL, SEE DETAIL.
- WOOD POST(S), SEE PLAN FOR SIZE.
- EXPOSED WOOD BEAM.
- HANDMADE CONCRETE COLUMN.
- PRE-CAST CONCRETE COMPONENT / TRIM, SEE DETAIL.
- DECORATIVE FALSE TILE VENTS, SEE ELEVATION FOR LOCATION.
- METAL RAILING, SEE DETAIL.
- WOOD RAILING, SEE DETAIL.
- DECORATIVE METAL, SEE DETAIL.
- EXTERIOR PLASTER RECESS, SEE ELEVATION FOR LOCATION, DEPTH AND SIZE OF FINISHED OPENING.
- G.I. SCREENED AND LOUVERED 'GABLE END VENT', SEE ELEVATION FOR VENT SIZE AND LOCATION. SEE REQUIRED ATTIC VENTILATION CHART FOR MORE INFORMATION.
- G.I. SCREENED ROOF AIR VENT, SEE REQUIRED ATTIC VENTILATION CHART FOR MORE INFORMATION.
- DECORATIVE (FALSE) VENT / LOUVERED BOARD, SEE ELEV. FOR SIZE AND LOCATION.
- GUTTER AND DOWNSPOUTS, GUTTER LAYOUT AND DOWNSPOUT LOCATIONS TO BE FIELD VERIFIED.
- LINE OF ADHERED SYNTHETIC STONE VENEER BY EL DORADO, ESR-1218.
- LINE OF ADHERED MASONRY VENEER.
- LINE OF 1/2" MAINSCOT FLOORING, SEE ELEVATION FOR HEIGHT.
- LINE OF HANDSCOT FLOORING, SEE ELEVATION FOR HEIGHT. SEE SLAB INTERFACE PLAN FOR MORE INFORMATION.
- G.I. REGLET FOR COLOR COAT CHANGE.
- MECHANICAL TUB ACCESS PANEL, CORROSION RESISTANT, VERIFY SIZE AND LOCATION. PAINT TO MATCH STUCCO COLOR.
- REPEAT DETAIL AT OPPOSITE SIDE OF OPENING.
- STANDING BEAM METAL ROOF, SEE DETAILS (INSTALL PER MFR).

EXTERIOR FINISHES

- ALL EXPOSED PLYWOOD TO BE EXTERIOR GRADE.
- ALL EXPOSED WOOD TRIM, PLYWOOD, SHUTTERS, POSTS AND CORBELS TO BE 'RESAWN' AND SHALL BE PRIMED ON ALL SIDES PRIOR TO INSTALLATION/ASSEMBLY.
- ALL EXPOSED POST TO BEAM HARDWARE TO HAVE HIDDEN INSTALLATION OR STRUCTURALLY APPROVED 'ORNAMENTAL' CONNECTORS WITH A TEXTURED BLACK POWDER COAT FINISH.
- TYPICAL SIDING TO BE - JAMES HARDIE LAP SIDING, NER-405 (HARDIE LANK BEADED GEDARRELL LAP SIDING AT OUTDOOR LIVING ROOMS).
EXPOSURE: 'T', (4" AT ELEV. 1-B ROOF CORNERS)
FINISH: WOOD GRAIN
SEE TYPICAL DETAIL: D5

ROOF PLAN NOTES

- INDICATES 6:12 SLOPE UNLESS NOTED OTHERWISE ON ROOF PLANS.
- TYPICAL ROOFING TO BE ASPHALT COMPOSITION SHINGLES BY GAF ESR-1475 OR APPROVED EQUAL.
- TYPICAL ROOF OVERHANGS AT RAKE CONDITION TO BE 4" UNLESS NOTED OTHERWISE ON ROOF PLAN.
- TYPICAL ROOF OVERHANGS AT EAVE CONDITION TO BE 18" UNLESS NOTED OTHERWISE ON ROOF PLAN.

REQUIRED ATTIC VENTILATION

- ATTIC VENTILATION CALCULATIONS PER C.R.C. R806.2 AS FOLLOWS:
- ATTIC AREA (SQUARE FEET)
 - DIVIDE A BY 500 AND MULTIPLY BY 144 TO CALCULATE THE TOTAL REQUIRED MIN. NET FREE VENTING AREA IN SQUARE INCHES AT LEAST 40% AND NO MORE THAN 50% OF THE REQUIRED VENTING AREA SHALL BE PROVIDED BY HIGH VENTS LOCATED NO MORE THAN 3 FEET VERTICAL BELOW THE RIDGE OR HIGHEST POINT OF ROOF WITH BALANCE OF VENTING PROVIDED BY EAVE/LOW VENTS (OR IN CLIMATE ZONES 14 AND 16 A CLASS I OR II VAPOR RETARDER SHALL BE INSTALLED ON THE WARM-IN-WINTER SIDE OF CEILING).
* DIVIDE A BY 150 AND MULTIPLY BY 144 TO CALCULATE THE TOTAL REQUIRED MIN. NET FREE VENTING AREA IN SQUARE INCHES.
 - TOTAL SQUARE INCHES OF NET FREE VENTILATING AREA PROVIDED BY GABLE END ATTIC VENTS (SEE ATTIC VENT CHART FOR FREE AREA)
[ZZZ] GABLE END VENT
 - TOTAL SQUARE INCHES OF NET FREE VENTILATING AREA PROVIDED BY ROOF AIR VENTS (SEE ATTIC VENT CHART FOR FREE AREA)
[H] HIGH VENT [L] LOW VENT [A] AREA / ISO VENT
 - TOTAL SQUARE INCHES OF NET FREE VENTILATING AREA PROVIDED BY UNDER EAVE VENT BLOCKS (2 5/8" IN. OF FREE AREA MIN. EA.)
[E] VENT BLOCK AT TRUSS BAY [E] VENT BLOCK AT RAFTER BAY
 - TOTAL SQUARE INCHES OF NET FREE VENTILATING AREA PROVIDED
PROVIDE ACCESS AND VENTILATION FROM CALIFORNIA FRAMED AREAS TO ADJACENT ATTIC SPACES REFER TO STRUCTURAL DRAWINGS FOR SHEATHING PENETRATIONS.
- NOTE: FOR ADDITIONAL GENERAL ATTIC / ROOF AIR VENTING REQUIREMENTS REFER TO GENERAL NOTE SHEETS.

Bassenian | Lagoni
ARCHITECTURE • PLANNING • INTERIORS
7801 COLLEGEWAY | UNIVERSITY HEIGHTS, TX 78150
TEL: 281.865.9100 | WWW.BLARCH.COM | F: 552.531.5543

DELTA 2
Date: 12-13-16

REVISIONS

BLDG. DEPT.	DATE	DESCRIPTION
	12/12/16	

DRAWINGS ISSUED FOR BID PRIOR TO AGENCY APPROVAL MAY INCLUDE REVISIONS DUE TO ENGINEERING AND ARCHITECTURAL BACK CHECK AND / OR AGENCY REVIEW AND APPROVAL.

410 WALNUT PLACE
COSTA MESA, CA

PLAN 2
ELEVATION "A"
RIGHT & LEFT ELEV.
& ROOF PLAN

2.6-1
JOB NUMBER: 057-10086
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PLOT DATE: 11/21/17
FILE NAME: D_BLDG