



City of Costa Mesa

Inter Office Memorandum

TO: CITY COUNCIL, PLANNING COMMISSION
CC: TOM HATCH, BARRY CURTIS, AND PEGGY SCHNEBLE
FROM: WILLA BOUWENS-KILLEEN, ZONING ADMINISTRATOR
DATE: OCTOBER 5, 2017
SUBJECT: ZONING ADMINISTRATOR DECISION(S)

WBN

This is to advise you of the following decision(s) made by the Zoning Administrator within the last week. Project descriptions have been kept brief for this notice. Please feel free to contact me by e-mail at willa.bouwens-killeen@costamesaca.gov if you have any questions or would like further details.

ZA-17-11 450 WEST WILSON STREET

A request to install a small cell network on top of a Southern California Edison streetlight pole with an antenna inside a radome that is 24 inch in height and 8 inch in diameter and the RRUs attached on each side of the pole. The installation will require the removal and replacement of the existing pole, and an underground utility pull box for fiber and power to the new pole.

Approved, subject to conditions of approval.

Comments received: None.

ZA-17-38 2196 HARBOR BOULEVARD

A request to install a small cell network on top of a Southern California Edison streetlight pole with RRUs and antennas inside a radome that is 48 inch in height and 18 inch in diameter. The installation will require the removal and replacement of the existing pole, and an underground utility pull box for fiber and power to the new pole.

Approved, subject to conditions of approval.

Comments received: None.

ZA-17-39

333 MERRIMAC WAY

A request to install a small cell network on top of a Southern California Edison streetlight pole with RRUs and antennas inside a radome that is 48 inch in height and 18 inch in diameter. The installation will require the removal and replacement of the existing pole, and an underground utility pull box for fiber and power to the new pole.

Approved, subject to conditions of approval.

Comments received: None.

PCN FINDING

1875 NEWPORT BOULEVARD, SUITE L1-108

Determination of Public Convenience or Necessity (PCN) as requested by the State Department of Alcoholic Beverage Control (ABC) for a Type 48 (On-Sale General, Public Premise) ABC license for a dueling piano club (Keys on Main) at 1875 Newport Boulevard, Suite L1-108.

Approved.

Comments received: None.



CITY OF COSTA MESA

P.O. BOX 1200 • 77 FAIR DRIVE • CALIFORNIA 92628 - 1200

DEVELOPMENT SERVICES DEPARTMENT

October 5, 2017

Peter J. Blied
250 El Camino Real
Suite 117
Tustin, CA 92780

**RE: ZONING APPLICATION ZA-17-11
MINOR CONDITIONAL USE PERMIT TO INSTALL A SMALL CELL
FACILITY ON TOP OF A STREETLIGHT POLE
450 W. WILSON, COSTA MESA**

Dear Mr. Blied:

City staff's review of your zoning application for the above-referenced project has been completed. The application, as described in the attached project description, has been approved, based on the findings and subject to the conditions of approval and code requirements (attached). The decision will become final at 5:00 p.m. on October 12, 2017, unless appealed by an affected party, including filing of the necessary application and payment of the appropriate fee, or called up for review by a member of the Planning Commission or City Council.

If you have any questions regarding this letter, please feel free to contact the project planner, Johnwilly Aglupos, at either johnwilly.aglupos@costamesaca.gov or 714.754.5692.

Sincerely,

WILLA BOUWENS-KILLEEN, AICP
Zoning Administrator

Attachments: Project Description, Findings, Conditions of Approval, Code Requirements, Intent Letter, SCE consent letter, SCE Letter of Authorization, Disconnect Letter, SCE Streetlight Authorization Form, Rendering, and Plans.

cc: Engineering
Transportation

PROJECT DESCRIPTION

The applicant requests approval of a minor conditional use permit (MCUP) to install a small cell facility on top of a Southern California Edison (SCE) streetlight pole adjacent to 450 West Wilson Street. The facility will include two RRUs attached on each side of the pole and antennas inside a radome that is 23.5 inches in height and 7.9 inches in diameter. The installation will require the removal and replacement of the existing pole and an underground utility pull box for fiber and power to the new pole. The site is surrounded by commercially-zoned and developed properties.

The telecommunication industry is in constant growth and expansion. This includes an introduction of "Small Cell" facilities placed on light poles, traffic signals, or on new poles within the public right-of-way to support increased demand and capacity. "Small Cell" facilities (also referred to as "nodes" are a lower-power facility that will complement and supplement broader macro cell facilities, filling gaps in coverage from the macro facilities.

Pursuant to Municipal Code Title 19, Section 19-15(c)(2), a minor conditional use permit is required to establish and operate a wireless communication facility within the public right-of-way if: (1) the antenna is greater than 26 inches in length, (2) the volume of the radio box exceeds two cubic feet, (3) the facility requires an above ground cabinet/equipment, and (4) the facility is located within a 500-foot radius of a residentially zoned property. The applicant is requesting to deviate from the volume of the radio box (radio box is proposed at 3.27-cubic-foot total) and to locate within a 500-foot radius of residentially zoned properties; remaining requirements are proposed to be satisfied.

ANALYSIS

Design and Location

The existing and replacement streetlight poles are owned by SCE. The SCE design criteria dictates the height and material of the replacement pole while the supporting small cell equipment varies in size and location in accordance to the carrier's technology (see Table 1 below). The applicant has provided an SCE letter of authorization regarding the approved Carrier's preliminary plans. Per U.S.C. 332(c)(7)(B)(i)(II), the city may not regulate the placement, construction or modification of wireless service facilities in a manner that prohibits the provision of personal wireless services; however, the law does not prohibit local government from asking the applicant to provide a design that allows for a compatible and harmonious relationship between the proposed facility and the surrounding area.

TABLE 1			
Comparison			
	Existing	Proposed	City Requirement
Top of Pole	SCE Stnd	29'-3"	N/A
Top of Light	SCE Stnd	30'-0"	N/A
Overall Height	SCE Stnd	32'-0"	35'-0"
Antenna Length	N/A	23.5"	26"
Diameter	Varies	11.8"	N/A
Color	Gray	Gray, lightly exposed aggregate	N/A

The combined volume of the two RRUs is 3.27 cubic feet which exceeds the City's minimum requirement by 1.27 cubic feet; however, each volume is 1.63 cubic feet and its position is the least conspicuous for the technology opposed to two RRUs inside a large radome. The meter pedestal will be placed underground. In addition, the standard SCE pole will be in the same color and finish as the existing pole. The location, height, supporting small cell equipment, and color/finish of the replacement pole will be the least intrusive means of supporting coverage. Therefore, the design balances visual impact and coverage with adequate spacing of the facilities to effectively relay signal with minimum number of node locations, and utilizes existing vertical elements to minimize the net number of vertical intrusions in the public right-of-way.

The selected location maximizes the coverage of the small cell facility and minimizes the overlap with other facilities of the system which results in a lower overall number of proposed facilities within the public right-of-way.

To avoid any street light outage during the replacement process and to keep compatible spacing between the existing streetlight poles, the proposed pole will be installed three feet from the existing pole; the existing pole will be removed as soon as the new pole is activated.

Health and Safety

Pursuant to Mobile Services U.S.C 332(c)(7)(B)(iv), no state or local government may regulate the site of wireless telecommunication facilities on the basis of the perceived health effects of radio frequency (RF) emissions to the extent that the proposed facility complies with FCC regulations concerning such emissions. As conditioned, the applicant agreed to submit a report regarding the RF emission prior to the submittal of the plans to the Public Services Department for the encroachment permit.

General Plan Consistency

The City's 2015-2035 General Plan ensures that development decisions and improvements to public and private infrastructures are consistent with the goals, objectives, and policies of the City.

- Policy CD-1.5: *Encourage electric and communication lines to be placed underground and electrical substations and telephone facilities to be screened to minimize visual impacts from sidewalks, streets, and adjacent properties. Support utility undergrounding through conditions of project approval, preparation of undergrounding plans, and the formation of assessment districts.*
- Policy C-1.2: *Allow for flexible use of public rights-of-way to accommodate all users of the street system while maintaining safety standards.*

Approval of the facility will meet the growing demand of the City's telecommunication needs while ensuring that the facility will not hinder the City's aesthetic and circulation of the public right-of-way. The proposal is in keeping with the intent of the City ordinance in that:

- The facility and support equipment are designed, textured, and painted to match existing streetlight poles;
- The facility uses the latest technology to reduce the bulk of the equipment;
- The design screens any supporting electrical and communication lines; and
- Placing all utilities underground allows flexible use of the sidewalk while maintaining safety standards.

FINDINGS

- A. The information presented complies with Costa Mesa Municipal Code Section 13-29(e) in that:
1. As proposed and conditioned, the small cell facility is compatible and harmonious to the surrounding existing facilities by locating the replacement pole as close as possible to the existing pole and using an approved SCE pole that is closely similar to the existing SCE poles.
 2. The proposed streetlight pole is engineered to withstand the weight of the equipment, the small cell will be compliant with FCC's radio frequency emissions, and the location of the replacement pole is close to the existing location which will not impede the pedestrian and automobile's path of travel. Therefore, granting the minor conditional use permit will not be detrimental to the health, safety and general welfare of the public or otherwise injurious to property or improvements within the immediate neighborhood.
 3. The proposed small cell facility complies with the maximum height of a telecommunication facility allowed within the public right-of-way.
 4. The proposed small cell facility meets Policy CD-1.5 and Policy C-1.2 of the City's the General Plan.
- B. The information presented complies with Costa Mesa Municipal Code Section 13-29(g)(2) in that:
1. The proposed small cell facility is compatible and harmonious to the surrounding facilities that exist on site and will not be materially detrimental

to other facilities within the area. The facility and support equipment will be designed, textured, and painted to match the existing streetlight poles.

2. Granting the minor conditional use permit will not be materially detrimental to the health, safety and general welfare of the public within the immediate neighborhood because it will be compliant with FCC's radio frequency emissions and meets SCE's design and structural standards.
 3. Granting the minor conditional use permit will not allow a use, density, or intensity which is not in accordance with the General Plan designation since the facility will be of the smallest size possible while incorporating all equipment within a single shroud/radome.
- C. The project has been reviewed for compliance with the California Environmental Quality Act (CEQA), the CEQA Guidelines, and the City environmental procedures, and has been found to be exempt under Section 15303(d), New Construction or Conversion of Small Structures, of the CEQA Guidelines.

CONDITIONS OF APPROVAL

- Ping
1. The small cell mounted on SCE's streetlight pole shall be mounted as shown on the attached conceptual plan with appropriate treatments to minimize visual impacts to surrounding properties and uses. Any support cabinet(s) shall be installed underground.
 2. All electrical and antenna wiring shall be encased within the street light pole itself.
 3. Any substantial modifications to the physical dimension of the equipment or antennas shall be done with the prior approval of Planning Staff and may require filing and approval of a minor conditional use permit to ensure compliance with applicable City codes.
 4. Applicant shall defend, indemnify and hold harmless the City, its officials and employees, against all legal actions filed challenging City's approval of the applicant's project and/or challenging any related City actions supporting the approval. City shall have the right to select the attorney defending it, if it elects to do so.
 5. If any section, division, sentence, clause, phrase or portion of this approval is for any reason held to be invalid or unconstitutional by a decision of any court of competent jurisdiction, such decision shall not affect the validity of the remaining provisions.
 6. The replacement pole will be placed as close as possible to the existing pole. The existing pole shall be immediately removed upon the activation of the new pole.
 7. The replacement pole shall be of the same materials and as close as possible to the same diameter as the existing street light poles in the vicinity.
 8. Applicant to submit a report regarding the RF emission, prior to submittal of plans to the Public Services Department for the encroachment permit.
 9. The Small Cell shall comply with Title 47 - FCC's rules and regulations, including those related to FCC Radio Frequency Safety Guidelines.

CODE REQUIREMENTS

The following list of federal, state, and local laws applicable to the project has been compiled by staff for the applicant's reference. Any reference to "City" pertains to the City of Costa Mesa.

- | | |
|--------------|--|
| Plng | <ol style="list-style-type: none">1. The approval of the zoning application shall be valid for a ten-year period from the date of approval (October 12, 2027), unless otherwise indicated in a condition imposed at the time of granting the application or unless otherwise exempted under federal or state law. Prior to the expiration of the permit, the applicant may apply for a ten-year extension of time. If notice was required for the original application, and a public hearing on the extension is allowed under federal and state law, notice of the public hearing for a time extension shall be given according to the procedures set forth in this section.2. The antenna and all support equipment shall comply with all requirements of CMMC 19-15. |
| Bldg | <ol style="list-style-type: none">3. Comply with the requirements of the following adopted codes: 2016 California Building Code, 2016 California Electrical code, 2016 California Mechanical code, 2016 California Plumbing code and 2016 California Energy Code (or the applicable adopted, California Building code California Electrical code, California Mechanical code California Plumbing Code and California Energy Code at the time of plan submittal or permit issuance) and California Code of Regulations also known as the California Building Standards Code, as amended by the City of Costa Mesa. Requirements for accessibility to sites, facilities, buildings and elements by individuals with disability shall comply with chapter 11B of the 2016 California Building Code. |
| Bus.
Lic. | <ol style="list-style-type: none">4. All contractors and subcontractors must have valid business licenses to do business in the City of Costa Mesa. Final inspections, final occupancy and utility releases will not be granted until all such licenses have been obtained. |
| Eng. | <ol style="list-style-type: none">5. Obtain an Encroachment Permit from the Engineering Division for work in the City public right-of-way. Pay required permit fee and cash deposit or surety bond to guarantee construction of off-site street improvements at time of permit per section 15-31 & 15-32, C.C.M.M.C. as approved by City Engineer. Cash deposit or surety bond amount to be determined by City Engineer. |



Telecommunications Project Management

January 18, 2017

Peter J. Blied
PlanCom, Inc.
250 El Camino Real, Ste 117
Tustin, CA 92780

City of Costa Mesa
Public Services Department
77 Fair Drive
Costa Mesa, CA 92626

Sent Via: Hand-Delivery

RE: Proposed "Small Cell" Site for Verizon Wireless
Site Name: SCL ESTANCIA A1
Location: SCE Light pole in front of 450 W. Wilson Street

To Whom It May Concern:

After consultation with staff from both the Planning and Public Services, we are requesting that the appropriate City staff review and approve the attached proposal and new small cell wireless communications facility. Our varied conversations have left us with an unclear understanding of a still-to-be-determined process with the City of Costa Mesa for this type of project. This project application and request is intended to be a test case to allow for both the City and we as the applicant to establish a mutually beneficial and predictable process for the 40-plus sites that will soon be requested from the City. As wireless technology evolves and the target areas of much needed system capacity and coverage are defined, the use of so-called "small cell" sites are becoming part of the myriad options we deploy as we try and keep up with user demand. This particular site is in the public right-of-way and will be affixed to a pole asset owned and operated by Southern California Edison (SCE). The pole itself will be replaced with a similar pole engineered for the proposed use following a well-established process that Verizon and SCE have agreed upon and used for years throughout southern California. This process can begin as soon as we receive your approval in writing for the use of the right of way.

The drawings and photo-simulations attached explain in detail the actual project and a signed letter of authorization from SCE is also included. As you can see in the attached documents, there are several forms we will require from the City for the SCE process to begin. **The first** is a consent letter which requires signature from the City granting SCE the right to lease the space in the right of way. **Second**, is a template letter that must be placed on the City letterhead that grants SCE permission to disconnect and replace the specific street light pole that will be the location of the new small cell facility. Any questions regarding these forms should be addressed to me or the SCE contact listed in these letters, Phil Hickerson. At the time of the actual project, the appropriate encroachment permits will be requested and pulled under City guidance.



Telecommunications Project Management

We request your efficient and timely processing and approval of the proposal. The use of the right of way for utilitarian purposes such as this is allowed and encouraged by State and Federal policies and statutes. We respectfully request that the City of Costa Mesa support our request and the related desire to improve and enhance wireless data and voice services throughout the City in the least conspicuous way possible on existing vertical poles already established and effectively placed near many commercial and residentially dense developments. As you can imagine, with more than forty more of these sites anticipated soon, it is critical that we have a defined path to follow and a clear understanding of your process and any related fees, timelines, or additional submittal requirements. If you should have any questions, please call me at (714) 262-0651 or e-mail at peter.blied@plancominc.com. As always, thank you for your time and consideration.

Warmest Regards,

A handwritten signature in blue ink, appearing to read "P. Blied", is written over a light blue horizontal line.

Peter J. Blied
Sr. Project Manager
PlanCom, Inc.
For Verizon Wireless



Brian Ryan
Principle Manager
Telephone: 909-274-1949
Brian.Ryan@sce.com

October 3, 2016

RE: Verizon SCL Estancia

To Whom It May Concern:

Since 1994, Southern California Edison (SCE) has assisted wireless service providers in expanding their networks to meet customers' needs for telecommunications service. SCE makes available existing structures that can be used to co-locate the wireless service providers' equipment, while lessening the visual impacts on the community and constituency that is served. This letter requests that you help us in this endeavor.

In an effort to minimize the potential clutter that new vertical structures would produce, many California cities have adopted ordinances and policies encouraging wireless facilities to be mounted on street light poles within the public rights of way.

As you are aware, SCE owns and maintains street light poles in your city pursuant to our LS-1 tariff. In order to accommodate the increasing demand for micro-cell site locations, SCE has agreed to allow wireless service providers to attach their antennas to some of these streetlight poles, and contractually requires the wireless service provider to comply with certain requirements, including a requirement that the facility will not impact SCE's ability to provide street lighting service.

The City has and retains full control over the entitlement and permitting process for these and future sites. The wireless service providers also pay for electrical usage resulting from their sites. This electrical service is metered and billed separately, and the City is not impacted.

While SCE believes this approach benefits local governments as well as their constituency, we would not engage in this solution if doing so resulted in extra costs to SCE. We would therefore appreciate you confirming The City of Costa Mesa consents to use of its public rights of way for the purpose of licensing space on SCE's streetlight pole #4252257E located on the S/S of Wilson St. Approx. 462' W/O College Ave. in the City of Costa Mesa, on or over the City's public rights of way at no cost to SCE.

Please sign this letter to indicate the City's consent and return it to me at the below address. If you have any questions, please feel free to call Phil Hickerson at (626) 543-8106.

Sincerely, 
Brian Ryan

Signature _____
Name _____
Title _____
Date: _____



Brian Ryan
Southern California Edison
Principle Manager-Wireless
Brian.Ryan@sce.com

October 3, 2016

Planning Department
City of Costa Mesa

To Whom it May Concern:

Re: Letter of Authorization - **SCE Light Pole #4252257E** located on the S/S of Wilson St. Approx. 462' W/O College Ave. in the City of Costa Mesa, Orange County, CA.

Verizon Site Reference: "SCL Estancia"

Southern California Edison Company (SCE) is the owner of the above Light Pole in the City of Costa Mesa. Verizon "Carrier" has requested that SCE replace the existing Light Pole so that it can be used for operating a wireless communications facility ("Site").

I have reviewed Carrier's preliminary plans for this Site and believe this plan is compatible with SCE's use of this Light Pole. Thus, as a representative of SCE, I hereby authorize Carrier, and its representatives, to seek and secure all right(s), that are needed from the City to use the SCE Light Pole and other property for this purpose as long as there is no extra cost to SCE.

Notwithstanding this authorization, SCE reserves the right to reject Carrier's request for use of its Light Pole for any reason, including imposed conditions or required changes to the light pole by the City that are unacceptable to SCE.

All correspondence and/or notices regarding use of SCE's Light Pole by Carrier, or any later requests by the Carrier for authorizations or approvals needed for construction, operation or maintenance of an approved Site, should include a copy to SCE.

If you have any questions, please contact Phil Hickerson at 626-695-5888.

Sincerely,

A handwritten signature in black ink, appearing to read "Brian P. Ryan".

2 Innovation Way
1st Floor
Pomona, CA 91768

PLEASE TRANSFER LETTER TO CITY LETTERHEAD

Date

Brian Ryan
Southern California Edison
Carrier Solutions Division
2 Innovation Way
1st Floor -115M
Pomona, CA 91768

Dear Mr. Ryan:

This letter authorizes Southern California Edison (SCE) to disconnect the SCE streetlight identified as Verizon site "SCL Estancia" located in the City of Costa Mesa so that work can be performed to replace the existing Streetlight.

Verizon (Wireless Carrier) has requested that SCE replace the Southern California Edison streetlight with a new streetlight that will be used for operating the wireless communications facility identified as "SCL Estancia" located on the S/S of Wilson St. Approx. 462' W/O College Ave. in the City of Costa Mesa, Orange County, CA. **SCE Pole: 4252257E.**

Please coordinate the disconnecting of the streetlight directly with _____ (City Contact Name, Phone) so that the light will be out only for the above referenced work to be completed.

If you have any questions, please do not hesitate to call me.

Sincerely,

Name
Public Agency

SOUTHERN CALIFORNIA EDISON STREETLIGHT AUTHORIZATION

DEVELOPER/APPLICANT MUST PROVIDE THIS FORM
COMPLETED BY THE PUBLIC AUTHORITY
FOR ANY SCE-OWNED STREETLIGHT INSTALLATION, REMOVAL OR CHANGE REQUESTS
Incomplete forms will be returned and not processed

PUBLIC AUTHORITY NAME: (Jurisdiction)

Builder/Developer Name: (Carrier / Vendor) Phone #: _____

Tract/Ref # leave blank Streetlight Location (Pole #, adjacent address)

Please Check one: Installation Removal Change

Number of Lamp(s)	Lamp Size <small>(wattage)</small>	Lamp Type <small>(LED or like for like)</small>
1 _____	_____	_____
_____	_____	_____
_____	_____	_____

New Installations

Public Authority Responsibility for Streetlight Monthly Billing

Please Check one and fill out applicable dates:

___ Upon Energizing

If Public Authority is collecting Builder/Developer Advanced Energy Payment, indicate date collected. (_____)

Monthly Billing: ___ Establish new Service Account (SA) Use existing SA # _____

___ Commitment Date-

Date Agreed upon by SCE and Public Authority (_____) or no later than 36 months from first streetlight energized whichever is earlier.

Monthly Billing: ___ Establish new Service Account (SA) Use existing SA # _____

Public Authority is not responsible

HOA Area Name _____ Other Entity (please define) (Carrier name)

Public Authority Notes:

0 day outage requested

Authorized Public Authority Agent

_____ Print name _____ Date _____ Signature _____

Phone # _____ Title _____

TO BE COMPLETED BY SCE

ACTION: ENTER TRACT/REF# ON DM PROGRAM NAME FIELD.

District _____ Planning AOR _____ PLANNER NAME (PRINT) _____

DM SR # _____ Product # _____ (one per SLA)

FORWARD COMPLETED COPIES OF THE SLA FORM, MAP AND CSD272 CONTRACT, IF APPLICABLE TO:
"Street & Outdoor Lighting Organization" Santa Ana Bldg. D

EXISTING



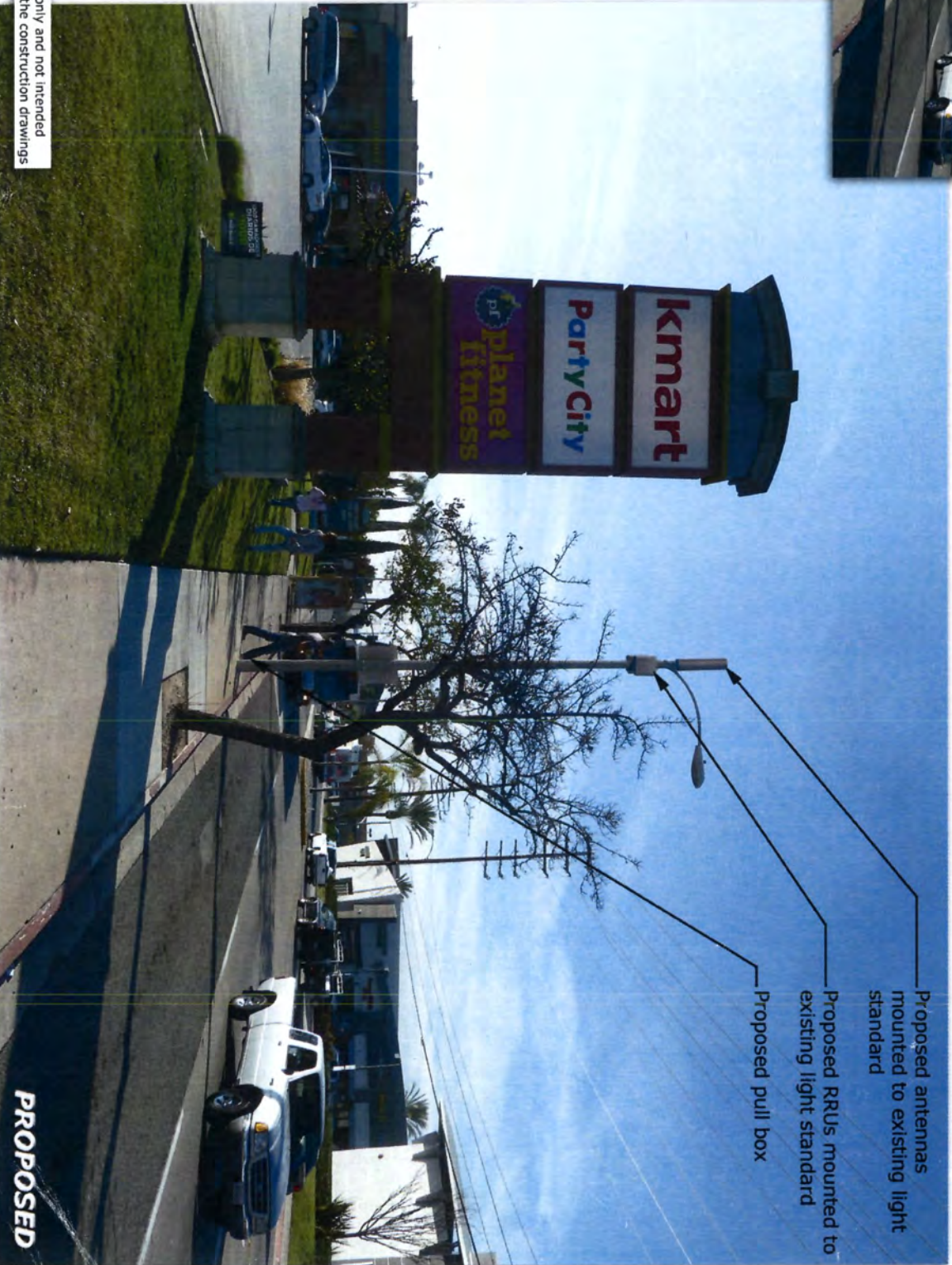
SCL Estancia A1
Street Light ID #252257E
IFO - 450 W Wilson St. - R.O.W.
Costa Mesa, CA 92627



Proposed antennas
mounted to existing light
standard

Proposed RRUs mounted to
existing light standard

Proposed pull box



PROPOSED

These simulations are intended for graphical purposes only and not intended to be part of or to replace the information provided on the construction drawings

4/25/2016

Photosimulation of proposed telecommunications site



SCL ESTANCIA A1

STREET LIGHT ID #4252257E

IFO - 450 W WILSON STREET - R.O.W
COSTA MESA, CALIFORNIA 92627

LATITUDE: 33° 39' 21.97" N
LONGITUDE: 117° 55' 03.79" W

Jeffrey Rome |
ASSOCIATES
architecture | telecommunications
131 Innovation Drive, Suite 100
Irvine, California 92617
tel 949.760.3929 | fax 949.760.3931

PREPARED FOR

verizon
15505 SAND CANYON AVENUE
IRVINE, CALIFORNIA 92618
(949) 286-7000

PROPRIETARY INFORMATION
THE INFORMATION CONTAINED IN THIS SET OF CONSTRUCTION DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO VERIZON WIRELESS IS STRICTLY PROHIBITED.

PROJECT TEAM

CLIENTS REPRESENTATIVE:

PLANDOM, INC.
250 EL CAMINO REAL, SUITE 117
TUSTIN, CALIFORNIA 92780
PHONE: (949) 370-5939
CONTACT: ERIC MEURS

ARCHITECT:

JEFFREY ROME & ASSOCIATES
131 INNOVATION DRIVE, SUITE 100
IRVINE, CALIFORNIA 92617
PHONE: (949) 760-3929
CONTACT: RANDY WILLIAMS

SURVEYOR:

AJK ENGINEERING AND SURVEY
3 MINOS
IRVINE, CALIFORNIA 92620
PHONE: (714) 824-9027
CONTACT: ANDREW KOLTAVARY

VICINITY MAP



DRIVING DIRECTIONS

DIRECTIONS FROM VERIZON WIRELESS OFFICE: DEPART OFFICE AND TURN RIGHT ONTO SAND CANYON AVENUE. TURN RIGHT TO MERGE ONTO I-405 NORTH. TAKE CA-55 SOUTH. TAKE EXIT 3 TOWARD 22ND STREET / VICTORIA STREET. STAY RIGHT TO MERGE ONTO NEWPORT BLVD. TURN RIGHT ONTO FAIRVIEW ROAD. TURN LEFT ONTO W. WILSON STREET. LIGHT STANDARD LOCATION WILL BE ON THE LEFT.

SCALE

THE DRAWING SCALES SHOWN IN THIS SET REPRESENT THE CORRECT SCALE ONLY WHEN THESE DRAWINGS ARE PRINTED IN 24"x36" FORMAT. IF THIS DRAWING SET IS NOT 24"x36", THIS SET IS NOT TO SCALE.

PROJECT INFORMATION

APPLICANT:

VERIZON WIRELESS
15505 SAND CANYON AVENUE
IRVINE, CALIFORNIA 92618

JURISDICTION:

PUBLIC RIGHT OF WAY
CITY OF COSTA MESA
77 FAIR DRIVE
COSTA MESA, CALIFORNIA 92626

POWER:

SOUTHERN CALIFORNIA EDISON
2 INNOVATION WAY
POMONA, CALIFORNIA 91768
CONTACT: PHIL HICKERSON
PHONE: (626) 695-5888

TELCO:

VERIZON DARK FIBER

POLE OWNER:

SOUTHERN CALIFORNIA EDISON
2 INNOVATION WAY
POMONA, CALIFORNIA 91768
CONTACT: PHIL HICKERSON
PHONE: (626) 695-5888

SHEET INDEX

T-1 TITLE SHEET
T-2 PHOTOSIM & GEODETIC COORDINATE CERTIFICATION

A-0 SITE PLAN
A-1 ENLARGED SITE PLAN
A-2 ELEVATION
A-2.1 LIGHT STANDARD DRAWING
A-3 EQUIPMENT DETAILS
A-4 ANTENNA SPECIFICATIONS
A-4.1 ANTENNA MOUNTING SPECIFICATIONS
A-4.2 ANTENNA PLUMBING DIAGRAM

E-1 ELECTRICAL DETAILS

G-1 GROUNDING DETAILS

LS-1 SURVEY
LS-2 SURVEY

PROJECT SUMMARY

PROJECT DESCRIPTION:

VERIZON WIRELESS PROPOSES TO MODIFY, OPERATE AND MAINTAIN AN UNMANNED WIRELESS COMMUNICATIONS FACILITY. THIS FACILITY WILL CONSIST OF THE FOLLOWING:

VERIZON TO INSTALL (1) COMMSCOPE 3X-V655-0C3-3XR ANTENNA AND (2) RRUS-12 WITH PSU UNITS ON A REPLACEMENT STREET LIGHT. VERIZON TO INSTALL (2) PULL BOXES AND (N) CONDUIT FOR POWER & FIBER IN A NEW TRENCH.

ASSESSORS PARCEL NUMBER:

N/A (R.O.W.)

EXISTING ZONING:

N/A (R.O.W.)

PROPOSED EQUIPMENT AREA:

4 S.F.

EXISTING TYPE OF CONSTRUCTION:

TYPE V-B

PROPOSED TYPE OF CONSTRUCTION:

TYPE V-B

EXISTING OCCUPANCY:

NONE

PROPOSED OCCUPANCY:

NONE

JURISDICTION:

CITY OF COSTA MESA

APPLICABLE CODES

ALL WORK SHALL COMPLY WITH THE FOLLOWING APPLICABLE CODES:

CALIFORNIA FIRE CODE, 2016 EDITION
CALIFORNIA BUILDING CODE, 2016 EDITION
CALIFORNIA PLUMBING CODE, 2016 EDITION
CALIFORNIA MECHANICAL CODE, 2016 EDITION
CALIFORNIA ELECTRICAL CODE, 2016 EDITION
CALIFORNIA GREEN BUILDING CODE, 2016 EDITION

IN THE EVENT OF CONFLICT, THE MOST RESTRICTIVE CODE SHALL PREVAIL.

SITE NAME
SCL ESTANCIA A1

IFO - 450 W WILSON STREET - R.O.W.
COSTA MESA, CALIFORNIA 92627

DRAWING DATES

03/11/16 ZONING REVIEW (P1)
03/28/16 CONSTRUCTION REVIEW (B1)
04/26/16 100% CD# (B2)
05/03/16 VERIZON COMMENTS CD# (B3)
06/17/16 FIX SHEET SCHEDULE CD# (B4)
06/12/16 ADD METER PED CD# (B5)
02/28/17 R4-VERIZON COMMENTS (B6)
07/23/17 R5-REMOVE METER PED (B7)

SHEET TITLE

TITLE SHEET

T-1

JRA JOB NUMBER: 153378



DIG ALERT

UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA

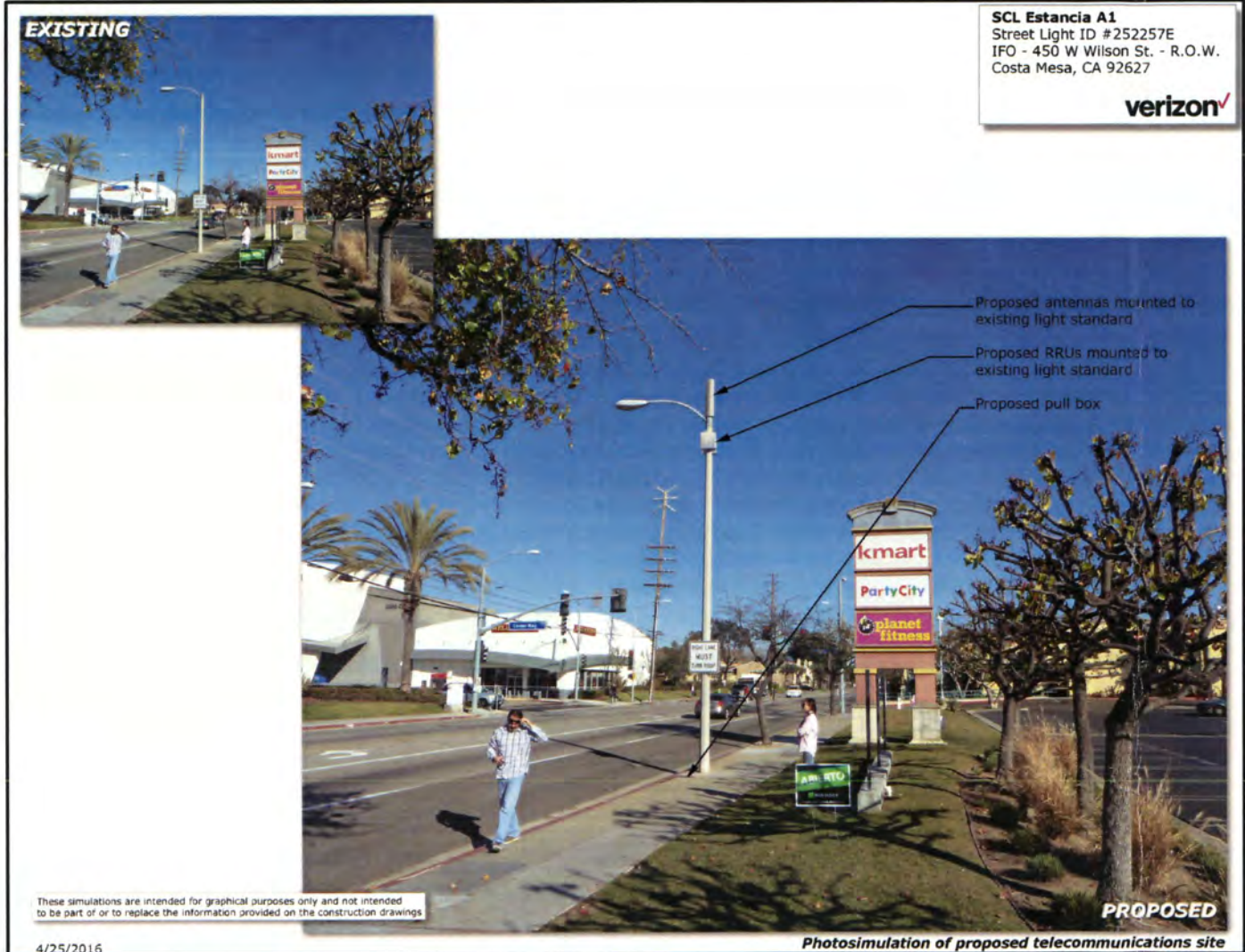
DIAL TOLL FREE

1-800-277-2600

AT LEAST TWO DAYS

BEFORE YOU DIG

PHOTOSIM



SCL Estancia A1
 Street Light ID #252257E
 IFO - 450 W Wilson St. - R.O.W.
 Costa Mesa, CA 92627

verizon

These simulations are intended for graphical purposes only and not intended to be part of or to replace the information provided on the construction drawings.

4/25/2016

Photosimulation of proposed telecommunications site

1A CERTIFICATE



JeffreyRome ASSOCIATES
 A Professional Architectural Corporation
 Architecture • Planning • Telecommunications

I-A ACCURACY CERTIFICATION
 DATE: MARCH 09, 2016
 SITE NAME: SCL ESTANCIA
 TYPE: EXISTING LIGHT STANDARD
 LOCATION: WILSON ST. & HARBOR BLVD., COSTA MESA, CA 92627

I, ANDREW J. KOLTAVARY, HEREBY CERTIFY THE GEODETIC COORDINATES AT THE CENTER OF EXISTING LIGHT STANDARD IS:
 GEODETIC COORDINATES: (NORTH AMERICAN DATUM 1983)

LATITUDE: 33° 39' 21.97"N
 LONGITUDE: 117° 55' 03.79"W

AND FURTHER CERTIFY THAT THE ELEVATION CALLS PRODUCED HEREON ARE ABOVE MEAN SEA LEVEL (A.M.S.L.), NORTH AMERICAN VERTICAL DATUM 1988 (NAVD88)
 **SEE BENCHMARK DATUM REFERENCED HEREON

GROUND ELEVATION @ BASE OF EXISTING LIGHT STD = 75.97 FEET (A.M.S.L./NAVD88)
 TOP OF EXISTING LIGHT POLE = 105.20 FEET (A.M.S.L./NAVD88)
 TOP OF EXISTING LIGHT HEAD = 106.76 FEET (A.M.S.L./NAVD88)

AND FURTHER CERTIFY THAT THE MEASURED HEIGHTS ARE AS STATED ABOVE THE GROUND LINE (A.G.L.)

HEIGHT OF EXISTING LIGHT POLE = 29.23 FEET (A.G.L.)
 HEIGHT OF EXISTING LIGHT HEAD = 30.79 FEET (A.G.L.)
 THE ACCURACY STANDARDS FOR THIS "I-A ACCURACY CERTIFICATION" ARE AS FOLLOWS:

GEODETIC COORDINATE LOCATIONS: FIFTEEN (15) FEET HORIZONTALLY
 THE ELEVATIONS OF THE GROUND AND THE FEATURES LOCATED: THREE (3) FEET VERTICALLY (A.M.S.L.)
 THE MEASURED HEIGHTS OF THE FEATURES LOCATED: ONE (1) FOOT +/- VERTICALLY (A.G.L.)

GEODETIC COORDINATES AND ELEVATIONS WERE ESTABLISHED USING SURVEY GRADE G.P.S. RECEIVERS AND SURVEY GRADE PRECISION SOFTWARE FOR POST-PROCESSING.
 BENCHMARK REFERENCE: CR17N "TRAK"

131 Innovation Drive, Suite 100 • Irvine • California • 92617 • Telephone (949) 760-3929

Jeffrey Rome ASSOCIATES
 architecture | telecommunications
 131 Innovation Drive, Suite 100
 Irvine, California 92617
 tel 949.760.3929 | fax 949.760.3931

PREPARED FOR
verizon
 15505 SAND CANYON AVENUE
 IRVINE, CALIFORNIA 92618
 (949) 286-7000

PROPRIETARY INFORMATION
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SCL ESTANCIA A1
 IFO - 450 W WILSON STREET - R.O.W.
 COSTA MESA, CALIFORNIA 92627

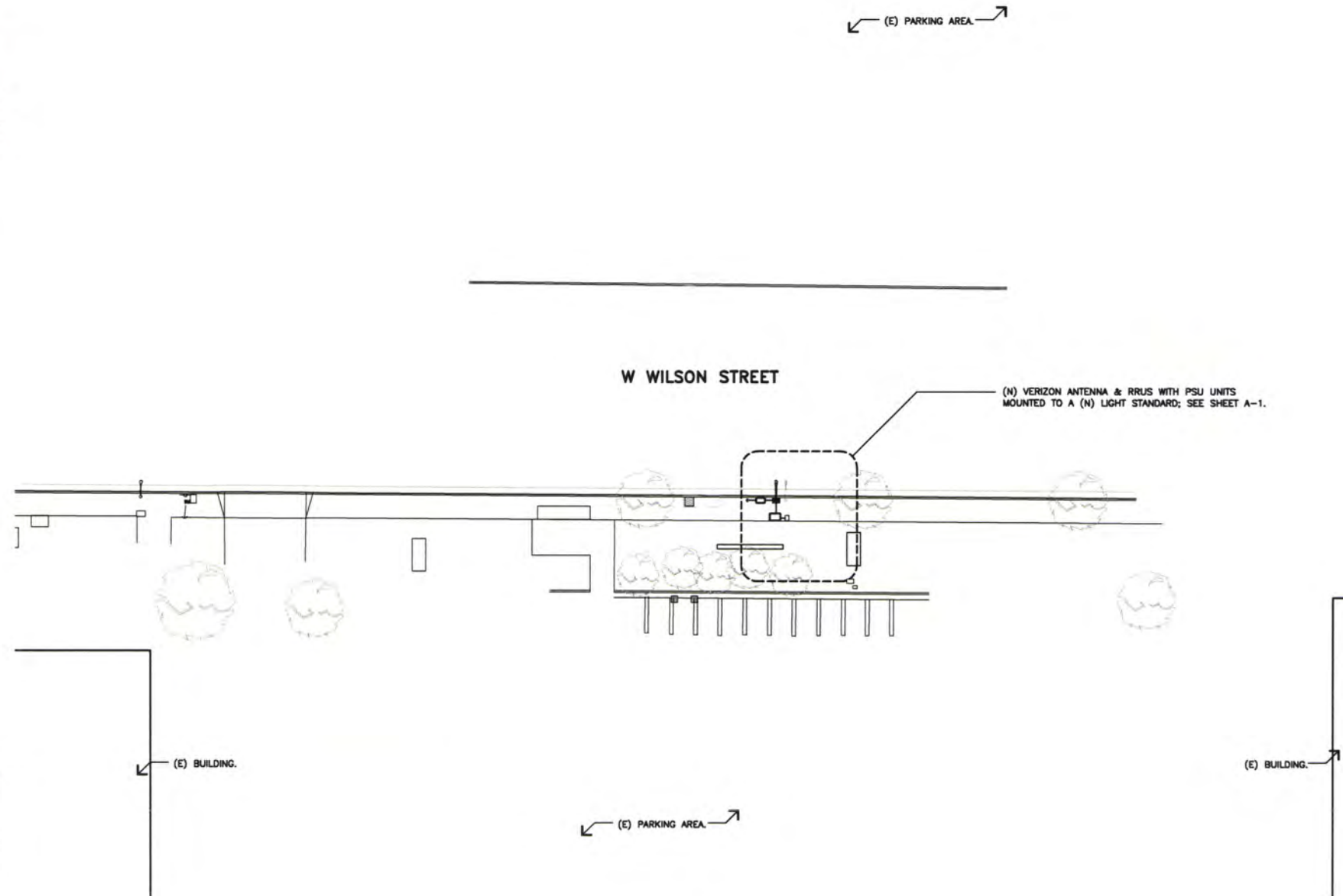
DRAWING DATES
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 08/17/16 FIX SHEET SCHEDULE CD# (B4)
 08/12/16 ADD METER PED CD# (B5)
 02/28/17 R4-VERIZON COMMENTS (B6)
 07/23/17 R5-REMOVE METER PED (B7)

SHEET TITLE
PHOTOSIM & GEODETIC COORDINATE CERTIFICATION

T-2
 JRA JOB NUMBER: 153378

NOTES TO THE CONTRACTOR:

1. PRIOR TO BEGINNING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL CONTACT THE CITY OF COSTA MESA DEVELOPMENT SERVICES DEPARTMENT.
2. THE CONTRACTOR SHALL REPLACE ALL EXISTING GROUND COVER AND ALL OTHER LANDSCAPING INCLUDING TURF, SHRUBS, AND/OR TREES IN-KIND INCLUDING SIZE, SPECIES AND SPACING WHERE DAMAGED BY NEW CONSTRUCTION.
3. THE CONTRACTOR SHALL REPAIR, REPLACE OR RE-ROUTE ALL LANDSCAPE IRRIGATION LINES & FIXTURES IN-KIND INCLUDING LINE SIZE, HEAD TYPE, SPACING AND CONTROL WIRE WHERE DAMAGED BY NEW CONSTRUCTION.
4. WHERE REMOVED OR DAMAGED BY CONSTRUCTION, ALL CURB, GUTTER & SIDEWALK SHALL BE REPLACED IN ENTIRE SECTIONS BETWEEN EXPANSION JOINTS. NO SAWCUTTING & PARTIAL PATCHING SHALL BE PERMITTED. ALL CONSTRUCTION DETAILS FOR REPLACEMENT SECTIONS SHALL BE PER CITY OF COSTA MESA STANDARD DRAWINGS.
5. A TRAFFIC CONTROL PLAN SHALL BE SUBMITTED AND APPROVED AS PART OF ENCROACHMENT PERMIT PROCESS.
6. THE GENERAL CONTRACTOR SHALL REMOVE ALL DIG-ALERT MARKINGS MADE FOR THIS PROJECT (PRESSURE WASH) AT COMPLETION OF WORK.






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BENCHMARK:
 THE CALIFORNIA SPATIAL REFERENCE CENTER CRTN "TRAK".

BOUNDARY NOTE:
 THE PROPERTY BOUNDARY LINES SHOWN ON THIS DRAWING ARE APPROXIMATE AND ARE SHOWN FOR REFERENCE ONLY.

SITE PLAN

SCALE: 1"=30'



1

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 architecture | telecommunications
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 Irvine, California 92617
 tel 949.760.3929 | fax 949.760.3931

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SITE NAME
SCL ESTANCIA A1
 450 W WILSON STREET - R.O.W.
 COSTA MESA, CALIFORNIA 92627

DRAWING DATES

03/11/16	ZONING REVIEW (P1)
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07/23/17	R5-REMOVE METER PED (B7)

SHEET TITLE
SITE PLAN

A-0
 JRA JOB NUMBER: 153378

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 COSTA MESA, CALIFORNIA 92627

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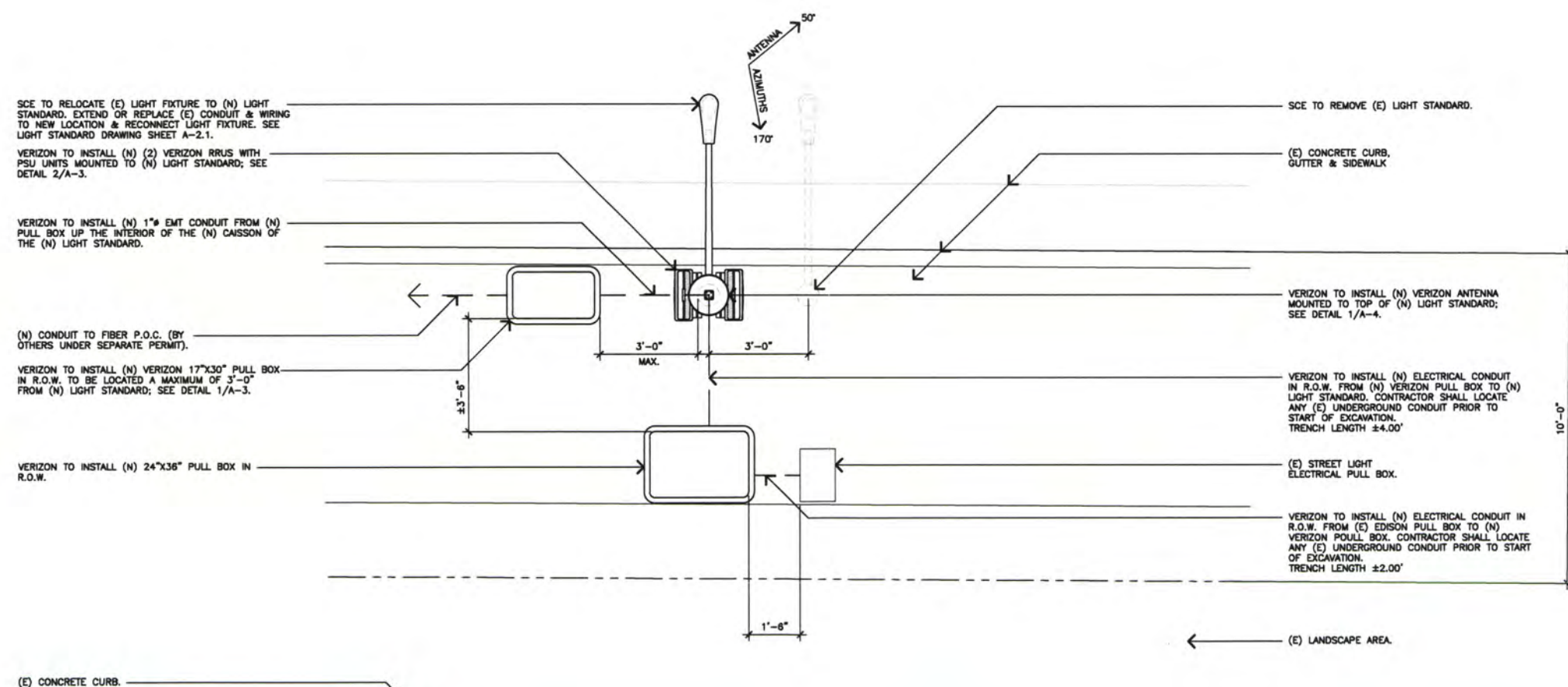
SHEET TITLE

ENLARGED SITE PLAN

A-1

JRA JOB NUMBER: 153378

W WILSON STREET



SCE TO RELOCATE (E) LIGHT FIXTURE TO (N) LIGHT STANDARD, EXTEND OR REPLACE (E) CONDUIT & WIRING TO NEW LOCATION & RECONNECT LIGHT FIXTURE. SEE LIGHT STANDARD DRAWING SHEET A-2.1.
 VERIZON TO INSTALL (N) (2) VERIZON RRUS WITH PSU UNITS MOUNTED TO (N) LIGHT STANDARD; SEE DETAIL 2/A-3.

VERIZON TO INSTALL (N) 1" EMT CONDUIT FROM (N) PULL BOX UP THE INTERIOR OF THE (N) CAISSON OF THE (N) LIGHT STANDARD.

(N) CONDUIT TO FIBER P.O.C. (BY OTHERS UNDER SEPARATE PERMIT).

VERIZON TO INSTALL (N) VERIZON 17"x30" PULL BOX IN R.O.W. TO BE LOCATED A MAXIMUM OF 3'-0" FROM (N) LIGHT STANDARD; SEE DETAIL 1/A-3.

VERIZON TO INSTALL (N) 24"x36" PULL BOX IN R.O.W.

SCE TO REMOVE (E) LIGHT STANDARD.

(E) CONCRETE CURB, GUTTER & SIDEWALK

VERIZON TO INSTALL (N) VERIZON ANTENNA MOUNTED TO TOP OF (N) LIGHT STANDARD; SEE DETAIL 1/A-4.

VERIZON TO INSTALL (N) ELECTRICAL CONDUIT IN R.O.W. FROM (N) VERIZON PULL BOX TO (N) LIGHT STANDARD. CONTRACTOR SHALL LOCATE ANY (E) UNDERGROUND CONDUIT PRIOR TO START OF EXCAVATION. TRENCH LENGTH ±4.00'

(E) STREET LIGHT ELECTRICAL PULL BOX.

VERIZON TO INSTALL (N) ELECTRICAL CONDUIT IN R.O.W. FROM (E) EDISON PULL BOX TO (N) VERIZON PULL BOX. CONTRACTOR SHALL LOCATE ANY (E) UNDERGROUND CONDUIT PRIOR TO START OF EXCAVATION. TRENCH LENGTH ±2.00'

(E) LANDSCAPE AREA.

(E) CONCRETE CURB.

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 1-800-277-2600
 AT LEAST TWO DAYS BEFORE YOU DIG

ENLARGED SITE PLAN

SCALE:
 1/2" = 1'-0"





DIG ALERT

UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA
DIAL TOLL FREE
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AT LEAST TWO DAYS BEFORE YOU DIG

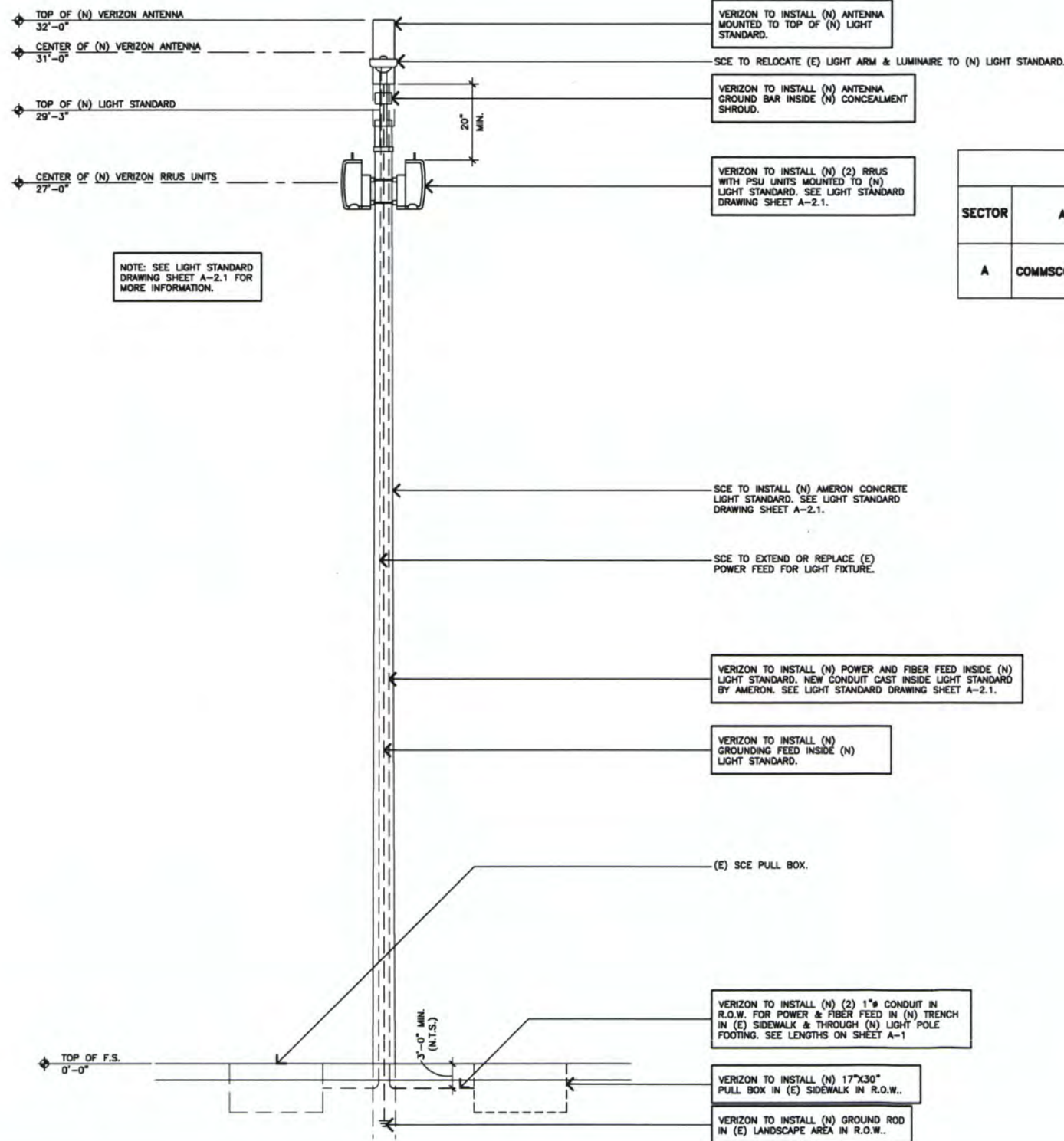
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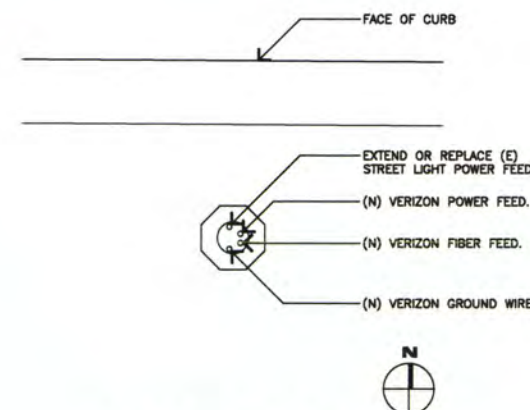
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PROPOSED ANTENNA SCHEDULE					
SECTOR	ANTENNA MODEL	RAD CENTER	AZIMUTH	RRU TYPE	TOTAL RRU
A	COMMSCOPE 3X-V65S-GC3-3XR	31'-0"	50°/170°	(N) RRU-12 & PSU	2

COAX PORT CONNECTIONS		
	RRU/mRRU	ANTENNA
PORT 1	A	+45°
PORT 2	B	-45°



RISER DIAGRAM

SITE NAME
SCL ESTANCIA A1

FD - 450 W WILSON STREET - R.O.W.
COSTA MESA, CALIFORNIA 92627

DRAWING DATES

- 03/11/16 ZONING REVIEW (P1)
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- 08/12/16 ADD METER PED CD# (B5)
- 02/28/17 R4-VERIZON COMMENTS (B6)
- 07/23/17 RS-REMOVE METER PED (B7)

SHEET TITLE

ELEVATION

A-2

JRA JOB NUMBER: 153378

NORTH ELEVATION

SCALE: **1**
NTS

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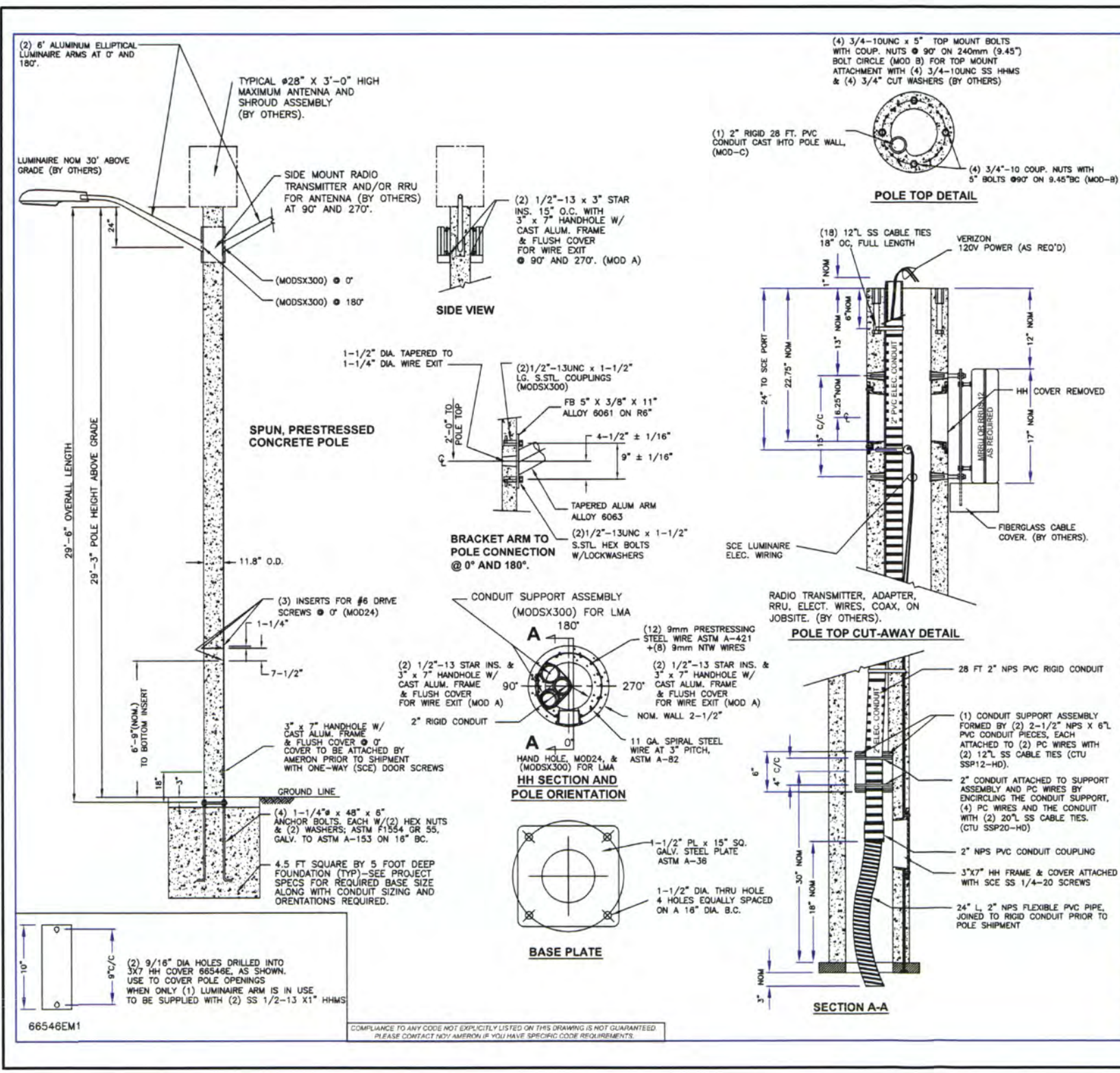
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SHEET TITLE

LIGHT STANDARD DRAWING

A-2.1

JRA JOB NUMBER: 153378



REV.	DATE	DESCRIPTION	DRN.	APPR.
A	2/06/15	ADD DETAILS; LOWER INSERTS FOR XFMR, CHANGE XFMR ADAPTER DETAIL	SJB	
B	2/13/15	CHG. DETAILS; RAISE INSERTS FOR XFMR,	SJB	
C	2/17/15	ADD (8) NTW; INCREASE POLE CAPACITY	SJB	

"F" LEVEL CONFIG CODES			"P" LEVEL CONFIG CODES		
OPTION CLASS	ENTRY	INFO	OPTION CLASS	ENTRY	INFO
COATING	S		MIX	81	
HH COVER	66546E	(3 REQ'D)	FINISH	5	
HH COVER	66546EM1	(1 REQ'D)	POLE TOP CON.	(4) MOD-B	3/4"-10 COUP.NUTS
HH PAINT	BARE		COLLAR SHAPE	NONE	
DOOR SCR	SCE	(2 REQ'D)	BASEPLATE	63250E	
DOOR SCR	1/4-20X.75	(4 REQ'D)	CAST IN MOD	(2) MODSX300	SIDE MT.
DOOR SCR	1/2-13X.75	(2 REQ'D)	CAST IN MOD	(2) MOD-A	HH + 1/2" STAR INS.
DRILL IN	MOD24		CAST IN MOD	(1) 2"CONDUIT MOD-C	TOP 28 FT
			CAST IN MOD	(1) SUPPORT	UP 30"

300MM NON-TAPERED BASE PLATE ROUND POLE

POLE DESIGNATION	POLE HEIGHT ABOVE GROUND	OVER-ALL LENGTH	ANCHOR BOLT CIRCLE	POLE DIA.	ULTIMATE G.L. MOMENT (ft. lbs.)	WEIGHT (lbs.)
BP300X09	29'-3"	29'-6"	16"	11-13/16"	79,900	2900

() POLES REQ'D (P/N: BP300X09-815S) INCL CONDUIT, EA WITH (2) 6" WALL BRACKET ALUM ELLIP. ARMS (P/N: LAEB6A); (1) ALUM COVER PLATE (66546EM1) FOR USE WHEN ONLY (1) LAEB6A ARM IS IN USE.

- NOTES:**
- MIX (815S): SCE BLACK & WHITE, LIGHTLY EXPOSED AGGREGATE FINISH, WITH FLAT, WATER SEALER COATING.
 - ASTM C-150 TYPE III GRAY CEMENT.
 - f_c @ 28 DAYS = 7,000 PSI, USING SPUN CYLINDER TEST.
 - f_c @ 28 DAYS = 5,000 PSI, USING ASTM C-31 CYLINDER TEST.
 - POLES MANUFACTURED PER ASTM C-1089-13 SPECIFICATIONS.
 - PROTECTIVE COAT EXPOSED P.C. WIRES AT POLE ENDS.
 - SCE MAX ANTENNA: 200 POUNDS; CENTERED 2 FT ABOVE POLE TOP. - MAXIMUM PROJECTED AREA - ROUND SHAPE IS 11 SQUARE FEET.
 - DUE TO THE NATURE & CHARACTERISTICS OF CONCRETE, SIDE MOUNT SPACING DIMENSIONS CAN ONLY BE TAKEN TO THE NEAREST 1/8 INCH.
 - INTERNAL SEPARATE ELECTRICAL CONDUIT FULL POLE LENGTH TO BE FURNISHED AND INSTALLED BY AMERON. INTERNAL ELEC. WIRES FOR ANTENNA AND RADIOS TO BE SEPERATED FROM SCE LUMINAIRE WIRES.

APPROVED BY **Ameron** POLE PRODUCTS DIVISION

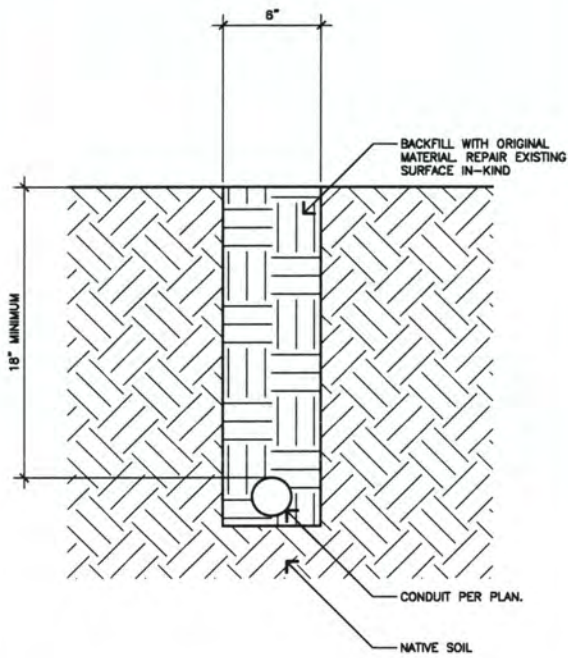
SOUTHERN CALIFORNIA EDISON/VERIZON BP300X09 POLE WITH DOUBLE 6' ARMS SPCL COVERED WIREWAYS FOR RADIOS

THIS DOCUMENT CONTAINS INFORMATION WHICH IS PROPRIETARY TO AMERON. IT SHALL NOT BE REPRODUCED, USED OR DISCLOSED TO ANYONE WITHOUT THE PRIOR WRITTEN PERMISSION OF AMERON.

DRAWN: SJB	2/15	SCALE	DWG. NO.	REV
CHK'D:		N.T.S.	1409-040	C

LIGHT STANDARD DRAWING

SCALE: 1
 NTS



TRENCH

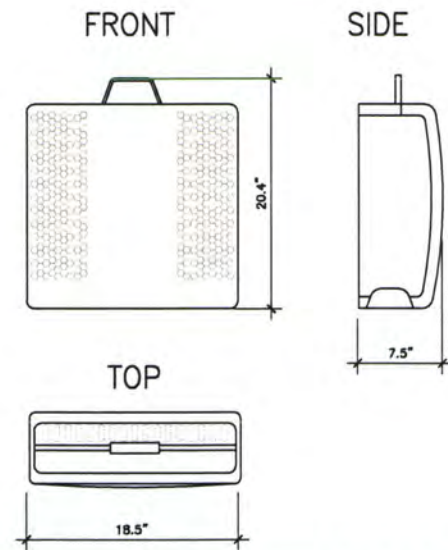
5

NOT USED

3

**RRUS A2 REMOTE RADIO
RRUS-12 B4 (2T2R 2x60W)**

COLOR: LIGHT GRAY
 DIMENSIONS, HxWxD: 20.4"x18.5"x7.5"
 WEIGHT: 50.6 LBS.
 POWER: -48VDC

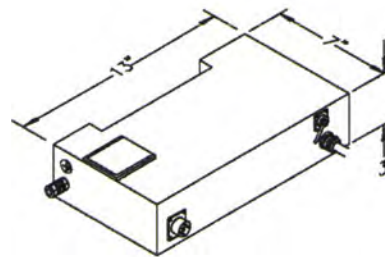


RRUS-12 SPECS

SCALE:
NONE

4

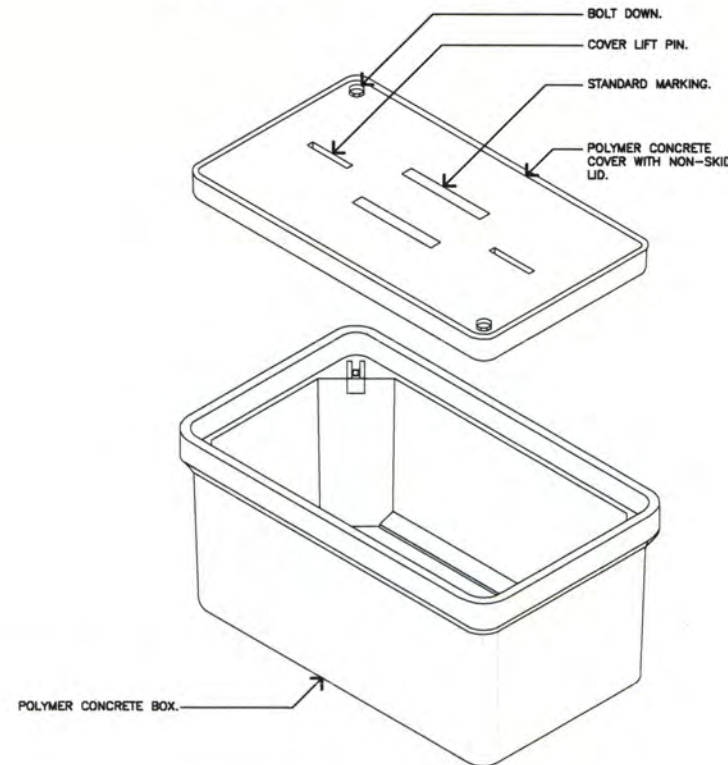
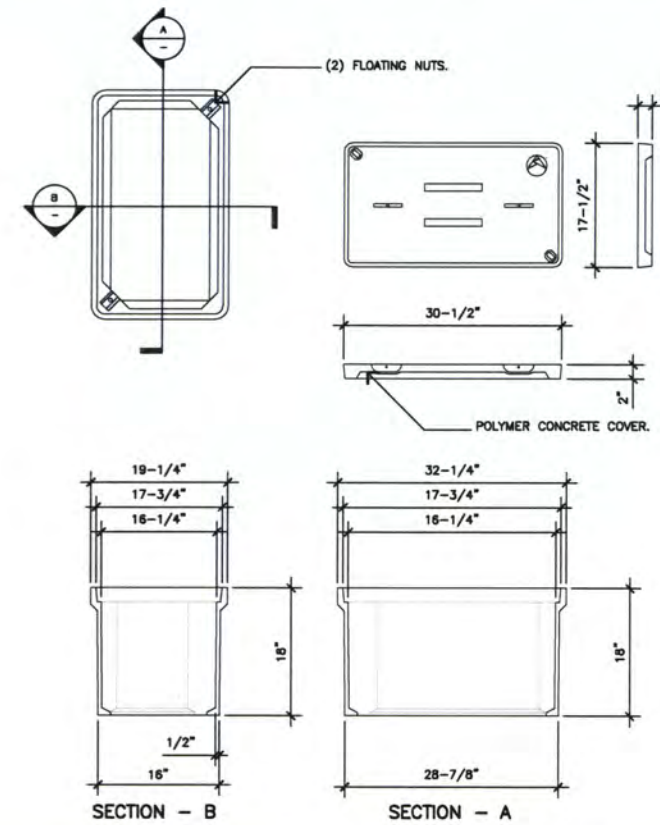
VERIZON PSU



PSU SPECS

SCALE:
NONE

2



PULL BOX

SCALE:
NONE

1

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 IFO - 450 W WILSON STREET - R.O.W.
 COSTA MESA, CALIFORNIA 92627

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 07/23/17 R5-REMOVE METER PED (B7)

SHEET TITLE
EQUIPMENT DETAILS

A-3

JRA JOB NUMBER: 153378

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SHEET TITLE

ANTENNA SPECIFICATIONS

A-4

JRA JOB NUMBER: 153378

Product Specifications

3XV6SS-GC3-3XR
 Andrew Tri-sector Antenna, 1695-2690 MHz, 3 x 65° horizontal beamwidth, internal RET. Contains internal GPS antenna.

- Three DualPole® antennas under one radome
- Fully integrated flange mounting system for ease of installation
- Aesthetically pleasing concealment solution for tough zoning areas
- 4.3-10 connector significantly improves PIM consistency and smaller footprint on antenna bottom

Electrical Specifications

Frequency Band, MHz	1695-1880	1850-1990	1920-2200	2300-2500	2500-2690
Gain, dBi	13.2	13.7	13.9	14.4	14.3
Beamwidth, Horizontal, degrees	74	73	72	68	71
Beamwidth, Vertical, degrees	18.7	17.5	16.7	14.6	13.6
Beam Tilt, degrees	0-20	0-20	0-20	0-20	0-20
USLS (First Lobe), dB	12	13	13	14	14
Front-to-Back Ratio at 180°, dB	30	27	26	27	32
Isolation, dB	25	25	25	25	25
VSWR 1 Return Loss, dB	1.3 14.0	1.5 14.0	1.5 14.0	1.3 14.0	1.3 14.0
PIM, 3rd Order, 2 x 20 W, dBc	-153	-153	-153	-150	-150
Input Power per Port, maximum, watts	300	300	300	250	250
Polarization	+45°	+45°	+45°	+45°	+45°
Impedance	50 ohm	50 ohm	50 ohm	50 ohm	50 ohm

Electrical Specifications, BASTA*

Frequency Band, MHz	1695-1880	1850-1990	1920-2200	2300-2500	2500-2690
Gain by all Beam Tilts, average, dBi	+0.4	+0.3	+0.3	+0.5	+0.6
Gain by Beam Tilt, average, dBi	0° 12.0	0° 13.2	0° 13.5	0° 14.1	0° 14.1
	10° 13.1	10° 13.4	10° 13.6	10° 14.2	10° 14.1
	20° 13.0	20° 13.3	20° 13.3	20° 13.9	20° 13.2
Beamwidth, Horizontal Tolerance, degrees	+2.5	+2.6	+3.1	+4.7	+4.1
Beamwidth, Vertical Tolerance, degrees	+1.3	+0.9	+1.2	+1.2	+1
USLS, beampeak to 20° above beampeak, dB	15	16	15	16	15
Front-to-Back Total Power at 180° ± 30°, dB	24	24	25	26	26
CPR at Boresight, dB	19	22	21	22	18
CPR at Sector, dB	10	10	7	7	9

* CommScope® supports 3GPP recommendations on Base Station Antenna Standards (BASTA). To learn more about the benefits of BASTA, download the whitepaper [Time to Raise the Bar on BSAs](#).

General Specifications

Antenna Brand	Andrew®
Antenna Type	DualPole® tri-sector with internal RET
Band	Single band
Brand	DualPole® Micro ACCELERATOR™
Operating Frequency Band	1695 - 2690 MHz
Internal GPS frequency band	1575.42 MHz
Internal GPS VSWR	2.0
Performance Note	Outdoor usage

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Product Specifications

3XV6SS-GC3-3R

Mechanical Specifications

Color	Light gray
GPS Connector Interface	4.1-9.5 DIN Female
GPS Connector Quantity	1
Lightning Protection	dc Ground
Radiator Material	Low loss circuit board
Radome Material	Fiberglass, UV resistant
Reflector Material	Aluminum
RF Connector Interface	4.3-10 Female
RF Connector Location	Bottom
RF Connector Quantity, total	6
Wind Loading, maximum	90.0 N @ 150 km/h 20.2 lbf @ 150 km/h
Wind Speed, maximum	241 km/h 150 mph

Dimensions

Length	596.0 mm 23.5 in
Outer Diameter	200.0 mm 7.9 in
Net Weight	7.5 kg 16.5 lb

Remote Electrical Tilt (RET) Information

Input Voltage	10-30 Vdc
Power Consumption, idle state, maximum	2.0 W
Power Consumption, normal conditions, maximum	13.0 W
Protocol	3GPP/AISG 2.0 (Single RET)
RET Interface	8-pin DIN Male
RET Interface, quantity	1 male
RET System	Telenit®

Packed Dimensions

Depth	300.0 mm 11.8 in
Length	850.0 mm 33.5 in
Width	320.0 mm 12.6 in
Shipping Weight	10.3 kg 22.7 lb

Regulatory Compliance/Certifications

Agency	Classification
China RoHS SJ/T 11364-2006	Above Maximum Concentration Value (MCV)
ISO 9001:2008	Designed, manufactured and/or distributed under this quality management system
RoHS 2011/65/EU	

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COMMSCOPE® Installation Instructions

Mounting Kit for Metro Cell Antennas
MC-MNT-3KV-TOP Mounting Kits

Bulletin 127388 • Revision A • Jul 2013 • Page 1 of 6

GENERAL INFORMATION

- Top of pole mounting option
- 78 round members (24" to 36" (60 to 90mm) pole diameter)

PARTS LIST

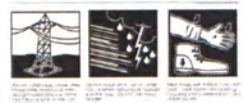
Item	Description	Qty	Image	Item	Description	Qty	Image
1	Top Mount Bracket	1		11	M4 Top Washer	1	
2	Pipe Clamp Bracket	1		12	1/4" Hex Nut	1	
3	Spacer Nut	1		13	M4 Locknut	1	
4	M4 x 1/8" Hex Head Bolt	1		14	M4 Lock Washer	1	
5	M4 x 1/8" Hex Head Bolt	1		15	1/4" Hex Nut	1	
6	M4 x 1/8" Hex Head Bolt	1		16	1/4" Hex Nut	1	
7	M4 x 1/8" Hex Head Bolt	1		17	1/4" Hex Nut	1	
8	M4 x 1/8" Hex Head Bolt	1		18	1/4" Hex Nut	1	
9	M4 x 1/8" Hex Head Bolt	1		19	M4 Lock Washer	1	
10	M4 x 1/8" Hex Head Bolt	1		20	1/4" Hex Nut	1	
11	M4 x 1/8" Hex Head Bolt	1		21	1/4" Hex Nut	1	
12	M4 x 1/8" Hex Head Bolt	1		22	1/4" Hex Nut	1	
13	M4 x 1/8" Hex Head Bolt	1		23	1/4" Hex Nut	1	
14	M4 x 1/8" Hex Head Bolt	1		24	1/4" Hex Nut	1	
15	M4 x 1/8" Hex Head Bolt	1		25	1/4" Hex Nut	1	
16	M4 x 1/8" Hex Head Bolt	1		26	1/4" Hex Nut	1	
17	M4 x 1/8" Hex Head Bolt	1		27	1/4" Hex Nut	1	
18	M4 x 1/8" Hex Head Bolt	1		28	1/4" Hex Nut	1	
19	M4 x 1/8" Hex Head Bolt	1		29	1/4" Hex Nut	1	
20	M4 x 1/8" Hex Head Bolt	1		30	1/4" Hex Nut	1	

PRE-INSTALLATION INSTRUCTIONS

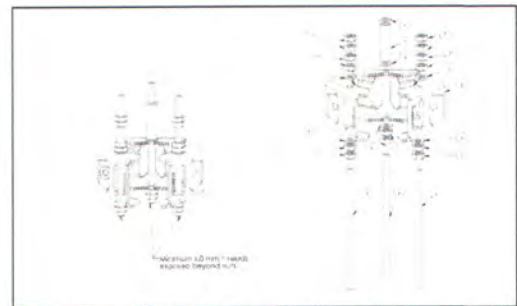
- Examine antenna and hardware to ensure that all parts are included and that there is no physical damage.
- Verify that the frequency range shown on the label on the bottom of the antenna matches the frequency range of the launch equipment.

NOTICE

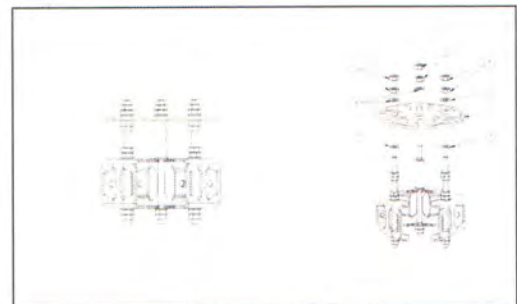
The installation, maintenance, or removal of an antenna requires qualified, experienced personnel. Commscope installation instructions are written for such installation personnel. Antenna systems should be installed, inspected, maintained, and removed by qualified personnel.



MC-MIND-3KV-TOP Mounting Kits

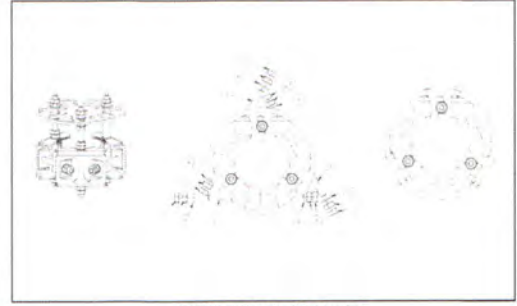


Assemble hardware to pipe clamp brackets

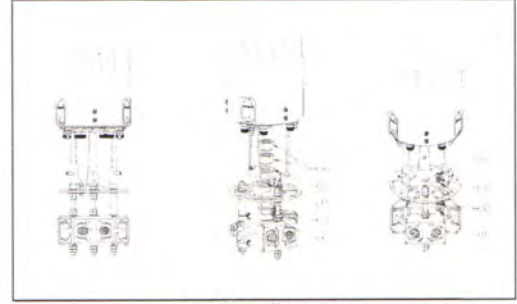


Assemble top mount bracket to pipe clamp brackets

MC-MNT-3KV-TOP Mounting Kits

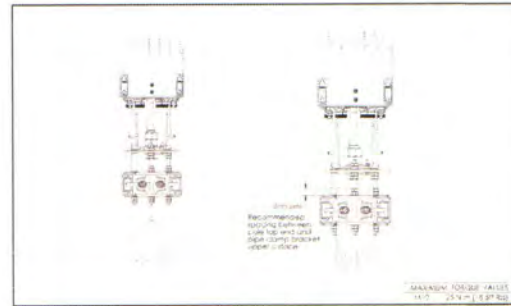


Assemble studs to pipe clamp brackets

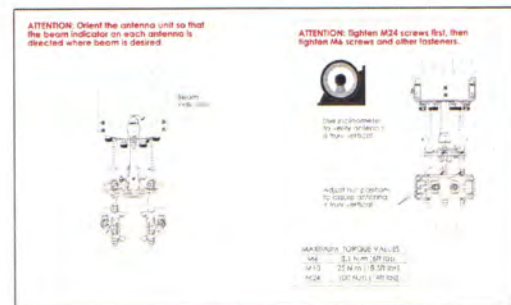


Assemble mount kit to antenna

MC-MNT-3KV-TOP Mounting Kits

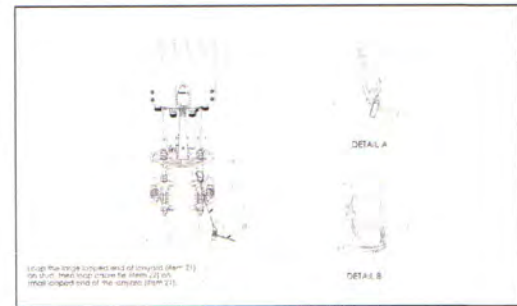


Mount antenna to pole

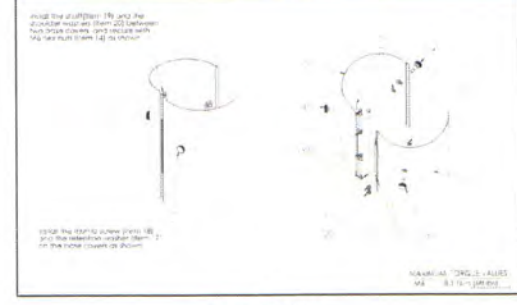


Orient and align antenna

MC-MNT-3KV-TOP Mounting Kits

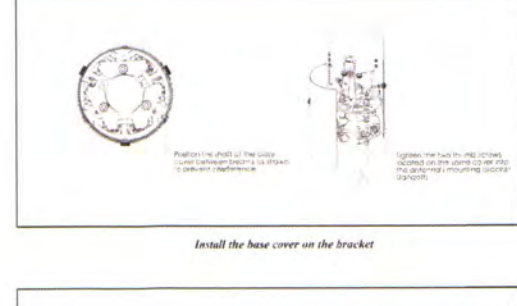


Install the lanyard on the stud

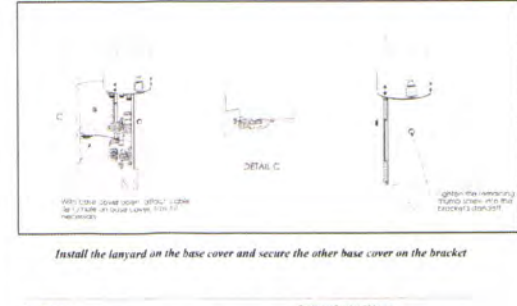


Base cover installation

MC-MET-3KV-TOP Mounting Kits



Install the base cover on the bracket



Install the lanyard on the base cover and secure the other base cover on the bracket

Commscope
1100 Commscope Plaza, Suite 100, San Jose, CA 95128
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www.commscope.com

Customer Service 24 Hours
Toll-free: 1-800-393-3939
Tel: 408.255.8400
Fax: 408.255.8401
www.commscope.com

Jeffrey Rome | ASSOCIATES
architecture | telecommunications
131 Innovation Drive, Suite 100
Irvine, California 92617
tel 949.760.3929 | fax 949.760.3931

PREPARED FOR
verizon
15505 SAND CANYON AVENUE
IRVINE, CALIFORNIA 92618
(949) 286-7000

PROPRIETARY INFORMATION
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SITE NAME
SCL ESTANCIA A1
450 W WILSON STREET - R.O.W.
COSTA MESA, CALIFORNIA 92627

DRAWING DATES
03/11/16 ZONING REVIEW (P1)
03/28/16 CONSTRUCTION REVIEW (B1)
04/26/16 100% CD# (B2)
05/03/16 VERIZON COMMENTS CD# (B3)
06/17/16 FIX SHEET SCHEDULE CD# (B4)
08/12/16 ADD METER PED CD# (B5)
02/28/17 R4-VERIZON COMMENTS (B6)
07/23/17 R5-REMOVE METER PED (B7)

SHEET TITLE
ANTENNA MOUNTING SPECIFICATIONS

A-4.1
JRA JOB NUMBER: 153378

PREPARED FOR


 15505 SAND CANYON AVENUE
 IRVINE, CALIFORNIA 92618
 (949) 286-7000

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SITE NAME
SCL ESTANCIA A1

PO - 450 W WILSON STREET - R.O.W.
 COSTA MESA, CALIFORNIA 92627

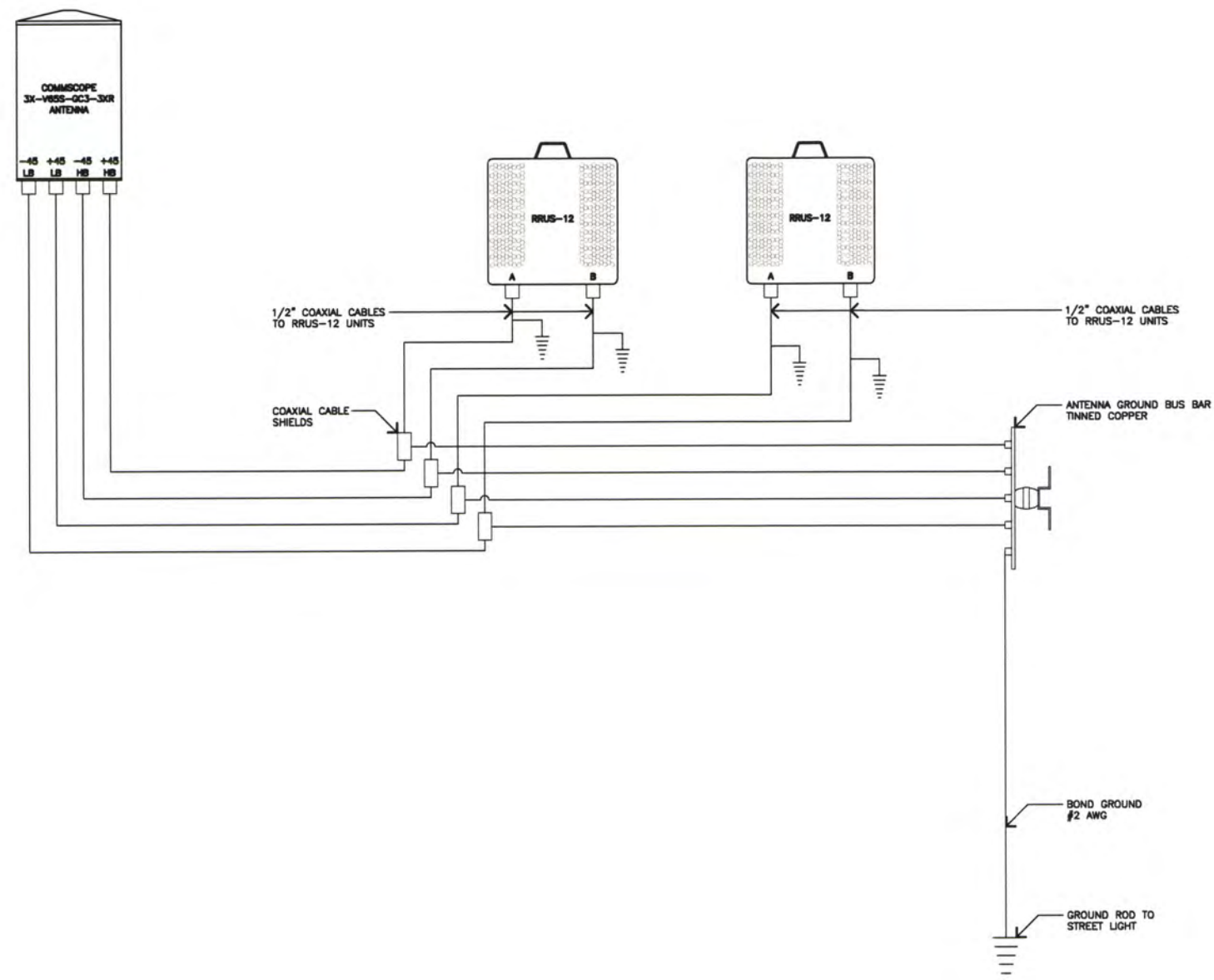
DRAWING DATES
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 03/28/16 CONSTRUCTION REVIEW (B1)
 04/26/16 100% CD# (B2)
 05/03/16 VERIZON COMMENTS CD# (B3)
 06/17/16 FIX SHEET SCHEDULE CD# (B4)
 06/12/16 ADD METER PED CD# (B5)
 02/28/17 R4-VERIZON COMMENTS (B6)
 07/23/17 R5-REMOVE METER PED (B7)

SHEET TITLE

**ANTENNA PLUMBING
 DIAGRAM**

A-4.2

JRA JOB NUMBER: 153378



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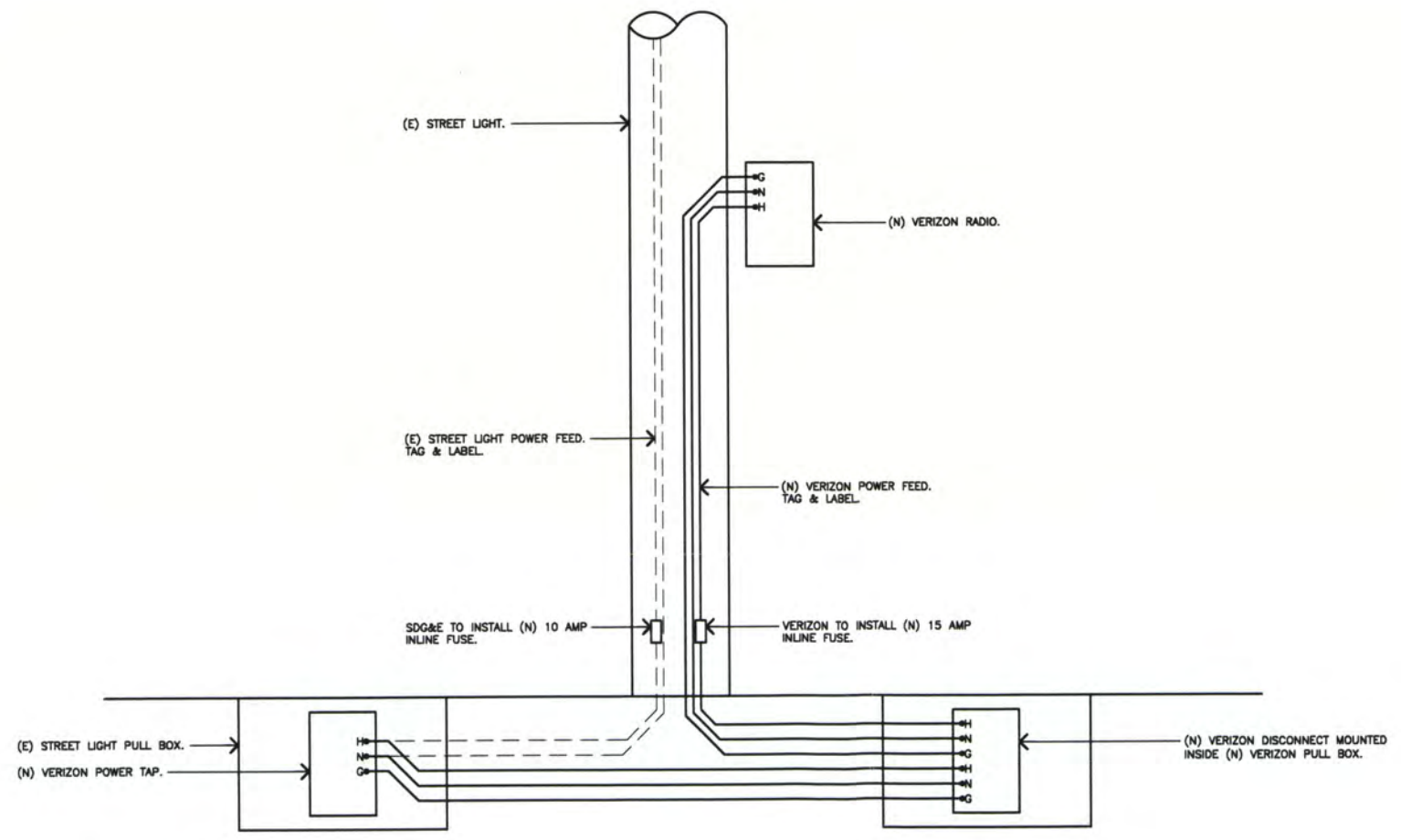
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SITE NAME
SCL ESTANCIA A1
 RD - 450 W WILSON STREET - R.O.W.
 COSTA MESA, CALIFORNIA 92627

DRAWING DATES
 03/11/16 ZONING REVIEW (P1)
 03/28/16 CONSTRUCTION REVIEW (B1)
 04/28/16 100% CDs (B2)
 05/03/16 VERIZON COMMENTS CDs (B3)
 06/17/16 FIX SHEET SCHEDULE CDs (B4)
 08/12/16 ADD METER PED CDs (B5)
 02/28/17 R4-VERIZON COMMENTS (B6)
 07/23/17 R5-REMOVE METER PED (B7)

SHEET TITLE
SINGLE LINE DIAGRAM

E-1



PREPARED FOR



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SITE NAME
SCL ESTANCIA A1

PO - 450 W WILSON STREET - R.O.W.
 COSTA MESA, CALIFORNIA 92627

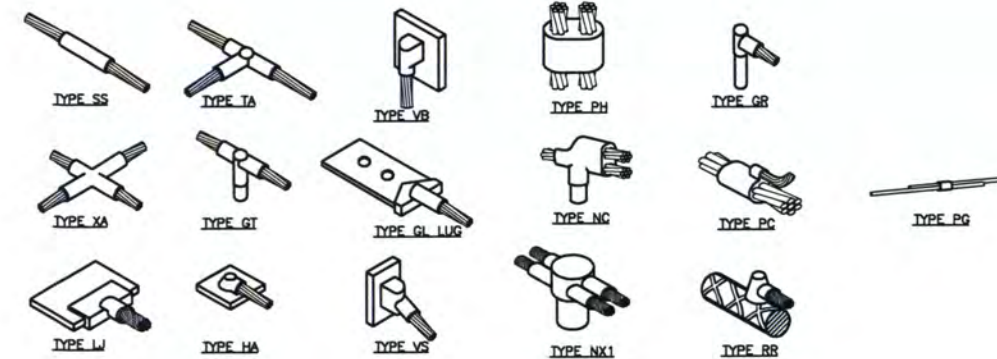
DRAWING DATES
 03/11/16 ZONING REVIEW (P1)
 03/28/16 CONSTRUCTION REVIEW (B1)
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 08/12/16 ADD METER PED CD# (B5)
 02/28/17 R4-VERIZON COMMENTS (B6)
 07/23/17 R5-REMOVE METER PED (B7)

SHEET TITLE

GROUNDING DETAILS

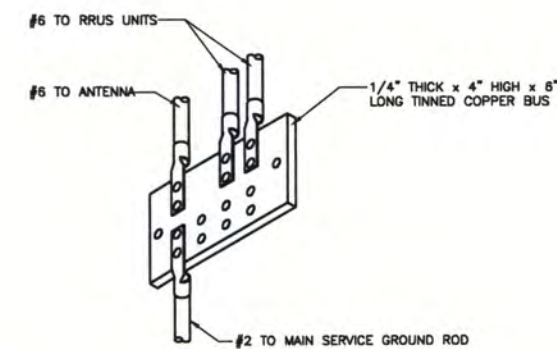
G-1

JRA JOB NUMBER: 153378



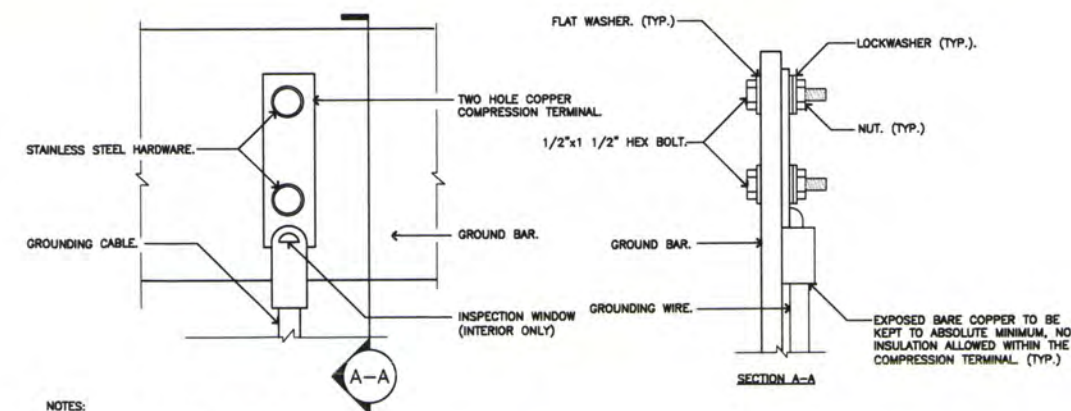
TYPICAL CADWELD TYPES

SCALE:
 NONE **3**



ANTENNA GROUND BUSS

SCALE:
 NONE **2**



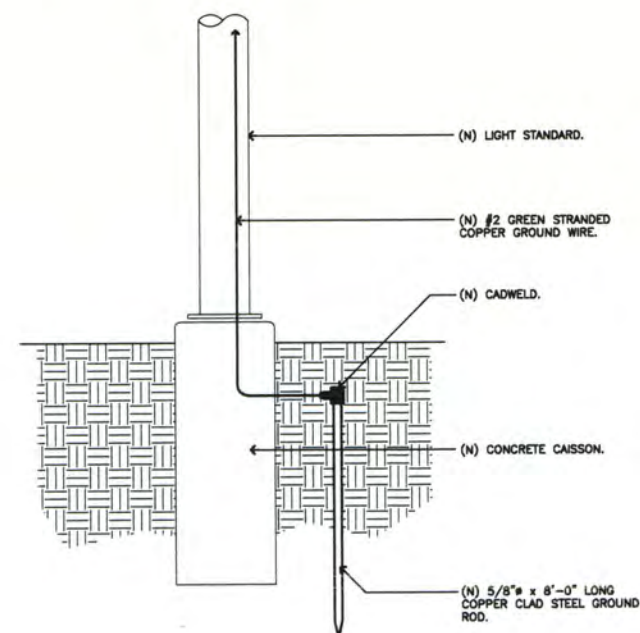
NOTES:
 1. "DOUBLING UP" OR "STACKING" OF CONNECTIONS IS NOT PERMITTED.
 2. OXIDE INHIBITING COMPOUND TO BE USED AT ALL LOCATIONS AND TO BE APPLIED PRIOR TO ADDING HARDWARE.

TYPICAL GROUND BAR CONNECTION

SCALE:
 NONE **1**

NOT USED

5



GROUND ROD

SCALE:
 NONE **4**



VICINITY MAP



LEGAL DESCRIPTION

TO BE DETERMINED

SITE ADDRESS

TO BE DETERMINED

APN

TO BE DETERMINED

RECORD OWNER

TO BE DETERMINED

TITLE REPORT

TO BE DETERMINED

BASIS OF BEARING

THE STATE PLANE COORDINATE SYSTEM 1983 (NAD 83), CALIFORNIA ZONE 8.

BENCH MARK

THE CALIFORNIA SPATIAL REFERENCE CENTER CRIN "TRAK"

FLOOD ZONE

SITE IS LOCATED IN FLOOD ZONE "X" AS PER F.I.R.M. MAP NO. D6059C0268J EFFECTIVE DATE 12/3/2009

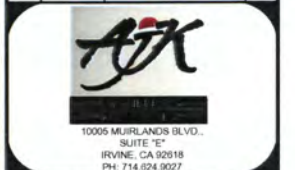
PROPOSED LEASE PREMISES

TO BE DETERMINED

BOUNDARY DETAIL

ISSUE STATUS

REV.	DATE	DESCRIPTION	BY
0	02/18/18	PRELIMINARY SURVEY	JP



PROPRIETARY INFORMATION
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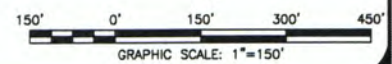
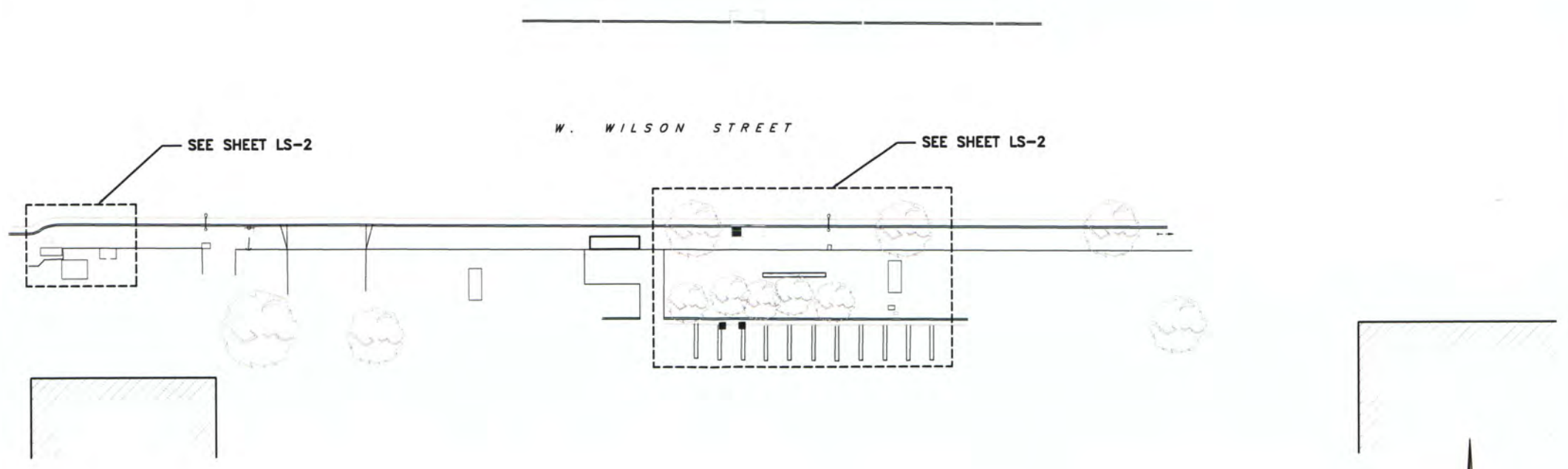
15505 SAND CANYON AVENUE, D1
 IRVINE, CA 92618



ESTANCIA ROW
 WILSON ST. & HARBOR BLVD.
 COSTA MESA, CA 92627

SHEET TITLE:
 TOPOGRAPHIC SURVEY

LS-1



NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 36" x 48". SCALE HERE IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES

ISSUE STATUS

REV.	DATE	DESCRIPTION	BY
0	02/18/18	PRELIMINARY SURVEY	JP



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ESTANCIA ROW
 WILSON ST. & HARBOR BLVD.
 COSTA MESA, CA 92627

SHEET TITLE:
 TOPOGRAPHIC SURVEY

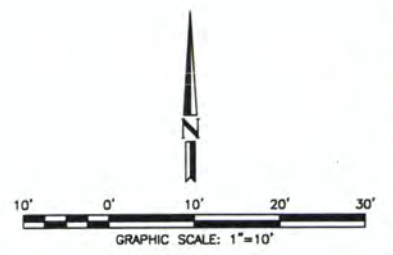
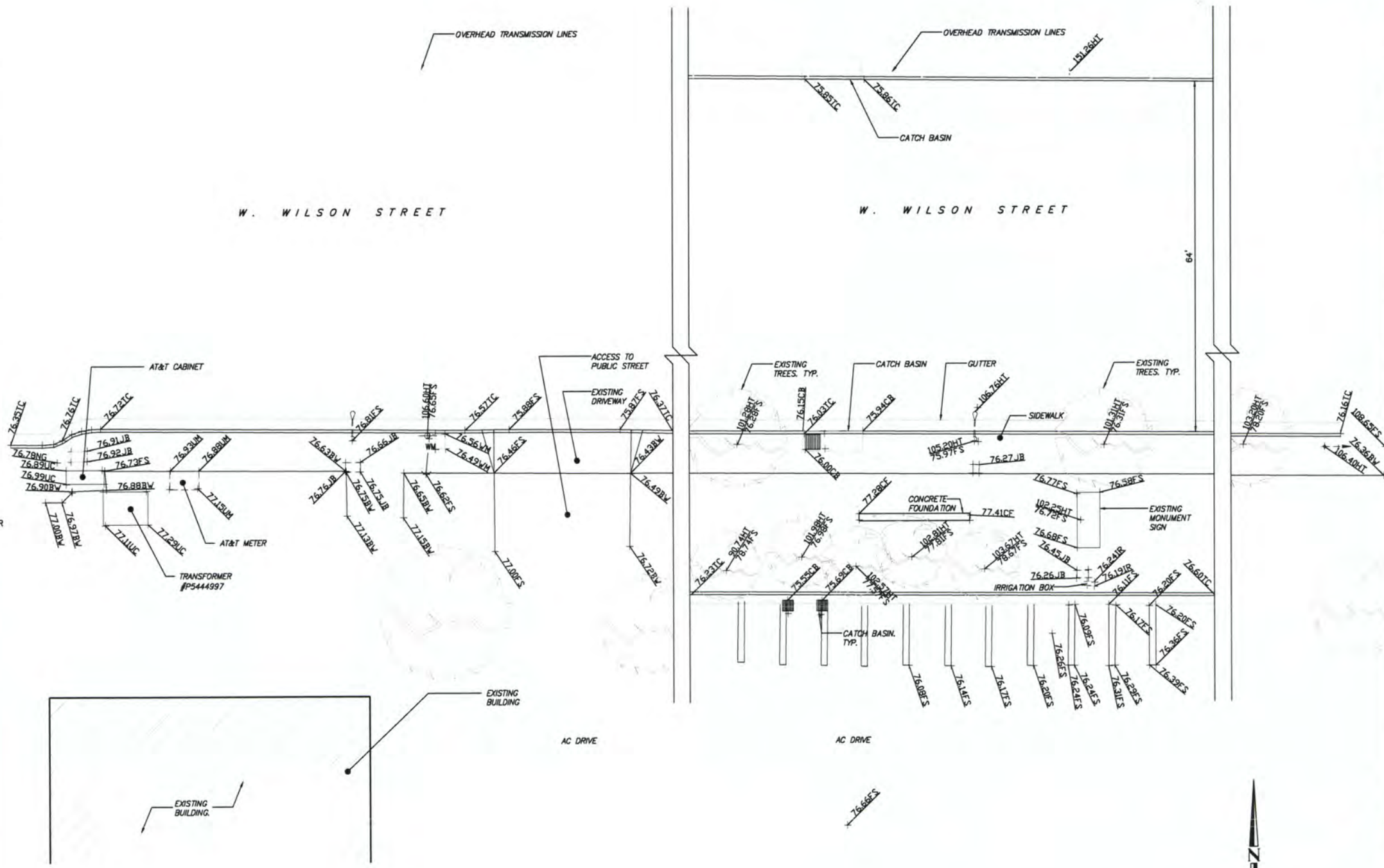
LS-2

LEGEND

- CENTER LINE
- PROPERTY LINE
- x-x- CHAIN-LINK FENCE
- v-v- WOOD FENCE
- - - EASEMENT LINE
- G- GAS LINE
- S- SEWER LINE
- W- WATER LINE
- T- TELEPHONE CABLE
- ||||| WOOD WALL
- ||||| CMU WALL
- EDGE OF PAV'T
- CF CONCRETE FOUNDATION
- EG EXISTING GROUND
- FD FOUND
- EP EDGE OF PAVEMENT
- FL FLOW LINE
- FS FINISH SURFACE
- HT HEIGHT
- IR IRRIGATION CONTROL BOX
- NG NATURAL GRADE
- RP RAISED PLATFORM
- PL PROPERTY LINE
- PP POWER POLE
- PB PULL BOX
- SSCO SANITARY SEWAGE CLEANOUT
- SS STREET SIGN/STOP SIGN
- SDMH STORM DRAIN MAN HOLE
- SGN SIGN
- TC TOP OF CURB
- TW TOP OF WALL
- TA TOP OF ANTENNA
- UC UTILITY CABINET
- UM UTILITY METER
- BFP BACK FLOW PREVENTER
- WM WATER METER
- WV WATER VALVE
- EXISTING LIGHT
- EXISTING ELECTRICAL MH
- EXISTING POLE
- EXISTING LIGHT STANDARD
- EXISTING SATELLITE DISH
- EXISTING CONDENSER
- ROOF DRAIN
- EXISTING TELE. MANHOLE
- EXISTING WATER METER
- EXISTING BACKFLOW PREVENTOR
- EXISTING SIGN
- EXISTING TRAFFIC SIGNAL
- EXISTING ANTENNA
- EXISTING MICROWAVE DISH
- EXISTING SEWER MANHOLE
- POWER POLE
- GUY WIRE ANCHOR
- CATCH BASIN
- FIRE HYDRANT
- VALVE (UTILITY)
- TREE
- PINE TREE
- BUSH
- PALM TREE
- EXISTING CONCRETE
- EXISTING GRASS/TURF

MONUMENTS

- MONUMENT FD. (AS NOTED)



THE ORIGINAL SIZE OF THIS DRAWING IS 36" x 48". SCALE SHOULD BE NOTED FOR EACH SHEET OF DRAWING SHEET 1002



CITY OF COSTA MESA

P.O. BOX 1200 • 77 FAIR DRIVE • CALIFORNIA 92628 - 1200

DEVELOPMENT SERVICES DEPARTMENT

October 5, 2017

Nancy Sheridan
200 Spectrum Center Drive
Suite 1800
Irvine, CA 92618

**RE: ZONING APPLICATION ZA-17-38
MINOR CONDITIONAL USE PERMIT TO INSTALL A SMALL CELL
FACILITY ON TOP OF A STREETLIGHT POLE
2196 HARBOR, COSTA MESA**

Dear Ms. Sheridan:

City staff's review of your zoning application for the above-referenced project has been completed. The application, as described in the attached project description, has been approved, based on the findings and subject to the conditions of approval and code requirements (attached). The decision will become final at 5:00 p.m. on October 12, 2017, unless appealed by an affected party, including filing of the necessary application and payment of the appropriate fee, or called up for review by a member of the Planning Commission or City Council.

If you have any questions regarding this letter, please feel free to contact the project planner, Johnwilly Aglupos, at either johnwilly.aglupos@costamesaca.gov or 714.754.5692.

Sincerely,

WILLA BOUWENS-KILLEEN, AICP
Zoning Administrator

Attachments: Project Description, Findings, Conditions of Approval, Code Requirements, Intent Letter, SCE consent letter, SCE Letter of Authorization, Disconnect Letter, SCE Streetlight Authorization Form, FCC, CPUC, Rendering, and Plans.

cc: Engineering
Transportation

PROJECT DESCRIPTION

The applicant requests approval of a minor conditional use permit (MCUP) to install a small cell facility on top of a Southern California Edison (SCE) streetlight pole adjacent to 2196 Harbor Boulevard. The facility will include two RRUs and antennas inside a radome that is 48 inches in height and 18 inches in diameter. The installation will require the removal and replacement of the existing pole and an underground utility pull box for fiber and power to the new pole. The site is surrounded by commercially-zoned and developed properties, with the exception of the property across Harbor Boulevard to the west which, although commercially zoned, is developed with a mobile home park.

The telecommunication industry is in constant growth and expansion. This includes an introduction of "Small Cell" facilities placed on light poles, traffic signals, or on new poles within the public right-of-way to support increased demand and capacity. "Small Cell" facilities (also referred to as "nodes" are a lower-power facility that will complement and supplement broader macro cell facilities, filling gaps in coverage from the macro facilities.

Pursuant to Municipal Code Title 19, Section 19-15(c)(2), a minor conditional use permit is required to establish and operate a wireless communication facility within the public right-of-way if: (1) the antenna is greater than 26 inches in length, (2) the volume of the radio box exceeds two cubic feet, (3) the facility requires an above ground cabinet/equipment, and (4) the facility is located within a 500-foot radius of a residentially zoned property. The applicant is requesting to deviate from the required antenna height by 22 inches (antenna is proposed at 48 inches in height) and to locate within a 500-foot radius of residentially zoned properties; remaining requirements are proposed to be satisfied.

ANALYSIS

Design and Location

The existing and replacement streetlight poles are owned by SCE. The SCE design criteria dictates the height and material of the replacement pole while the supporting small cell equipment varies in size and location in accordance to the carrier's technology (see Table 1 below). The applicant has provided an SCE letter of authorization regarding the approved Carrier's preliminary plans. Per U.S.C. 332(c)(7)(B)(i)(II), the city may not regulate the placement, construction or modification of wireless service facilities in a manner that prohibits the provision of personal wireless services; however, the law does not prohibit local government from asking the applicant to provide a design that allows for a compatible and harmonious relationship between the proposed facility and the surrounding area.

TABLE 1			
Comparison			
	Existing	Proposed	City Requirement
Top of Pole	29'-0"	29'-3"	N/A
Top of Light	30'-0"	29'-9"	N/A
Overall Height	30'-0"	33'-3"	35'-0"
Antenna Length	N/A	48"	26"
Diameter	Varies	11.8"	N/A
Color	Gray, lightly exposed aggregate	Gray, lightly exposed aggregate	N/A

The additional antenna height is proposed to allow the incorporation of the RRUs into the same shroud (radome) as the antenna itself, providing a more streamlined design. Although the actual antenna height exceeds the City's maximum requirement, the overall streetlight pole height will not exceed the City's maximum allowable height of 35 feet. The meter pedestal will be placed underground. In addition, the standard SCE pole will be in the same color and finish as the existing pole. The location, height, supporting small cell equipment, and color/finish of the replacement pole will be the least intrusive means of supporting coverage. Therefore, the design balances visual impact and coverage with adequate spacing of the facilities to effectively relay signal with minimum number of node locations, and utilizes existing vertical elements to minimize the net number of vertical intrusions in the public right-of-way.

The selected location maximizes the coverage of the small cell facility and minimizes the overlap with other facilities of the system which results in a lower overall number of proposed facilities within the public right-of-way. However, if necessary, this proposal allows for collocation by multiple carriers within the shroud to avoid proliferation of other small cell facilities in the immediate area.

To avoid any street light outage during the replacement process and to keep compatible spacing between the existing streetlight poles, the proposed pole will be installed three feet from the existing pole; the existing pole will be removed as soon as the new pole is activated.

Health and Safety

Pursuant to Mobile Services U.S.C 332(c)(7)(B)(iv), no state or local government may regulate the site of wireless telecommunication facilities on the basis of the perceived health effects of radio frequency (RF) emissions to the extent that the proposed facility complies with FCC regulations concerning such emissions. The applicant submitted a detailed report regarding the RF emission. Based on FCC Rules and Regulations, the applicant will be compliant provided recommendations(s) are implemented; conditions of approval requiring compliance are included.

General Plan Consistency

The City's 2015-2035 General Plan ensures that development decisions and improvements to public and private infrastructures are consistent with the goals, objectives, and policies of the City.

- Policy CD-1.5: *Encourage electric and communication lines to be placed underground and electrical substations and telephone facilities to be screened to minimize visual impacts from sidewalks, streets, and adjacent properties. Support utility undergrounding through conditions of project approval, preparation of undergrounding plans, and the formation of assessment districts.*
- Policy C-1.2: *Allow for flexible use of public rights-of-way to accommodate all users of the street system while maintaining safety standards.*

Approval of the facility will meet the growing demand of the City's telecommunication needs while ensuring that the facility will not hinder the City's aesthetic and circulation of the public right-of-way. The proposal is in keeping with the intent of the City ordinance in that:

- The facility and support equipment are designed, textured, and painted to match existing streetlight poles;
- The facility uses the latest technology to reduce the bulk of the equipment;
- The design screens any supporting electrical and communication lines; and
- Placing all utilities underground allows flexible use of the sidewalk while maintaining safety standards.

FINDINGS

- A. The information presented complies with Costa Mesa Municipal Code Section 13-29(e) in that:
 1. As proposed and conditioned, the small cell facility is compatible and harmonious to the surrounding existing facilities by locating the replacement pole as close as possible to the existing pole and using an approved SCE pole that is closely similar to the existing SCE poles.
 2. The proposed streetlight pole is engineered to withstand the weight of the equipment, the small cell will be compliant with FCC's radio frequency emissions, and the location of the replacement pole is close to the existing location which will not impede the pedestrian and automobile's path of travel. Therefore, granting the minor conditional use permit will not be detrimental to the health, safety and general welfare of the public or otherwise injurious to property or improvements within the immediate neighborhood.
 3. The proposed small cell facility complies with the maximum height of a telecommunication facility allowed within the public right-of-way.

4. The proposed small cell facility meets Policy CD-1.5 and Policy C-1.2 of the City's the General Plan.
- B. The information presented complies with Costa Mesa Municipal Code Section 13-29(g)(2) in that:
1. The proposed small cell facility is compatible and harmonious to the surrounding facilities that exist on site and will not be materially detrimental to other facilities within the area. The facility and support equipment will be designed, textured, and painted to match the existing streetlight poles.
 2. Granting the minor conditional use permit will not be materially detrimental to the health, safety and general welfare of the public within the immediate neighborhood because it will be compliant with FCC's radio frequency emissions and meets SCE's design and structural standards.
 3. Granting the minor conditional use permit will not allow a use, density, or intensity which is not in accordance with the General Plan designation since the facility will be of the smallest size possible while incorporating all equipment within a single shroud/radome.
- C. The project has been reviewed for compliance with the California Environmental Quality Act (CEQA), the CEQA Guidelines, and the City environmental procedures, and has been found to be exempt under Section 15303(d), New Construction or Conversion of Small Structures, of the CEQA Guidelines.

CONDITIONS OF APPROVAL

- Plng
1. The small cell mounted on SCE's streetlight pole shall be mounted as shown on the attached conceptual plan with appropriate treatments to minimize visual impacts to surrounding properties and uses. Any support cabinet(s) shall be installed underground.
 2. Any wireless device colocating on the facility shall fit within the proposed shroud; the shroud shall remain the same size as approved.
 3. All electrical and antenna wiring shall be encased within the street light pole itself.
 4. Any substantial modifications to the physical dimension of the equipment or antennas shall be done with the prior approval of Planning Staff and may require filing and approval of a minor conditional use permit to ensure compliance with applicable City codes.
 5. Applicant shall defend, indemnify and hold harmless the City, its officials and employees, against all legal actions filed challenging City's approval of the applicant's project and/or challenging any related City actions supporting the approval. City shall have the right to select the attorney defending it, if it elects to do so.
 6. If any section, division, sentence, clause, phrase or portion of this approval is for any reason held to be invalid or unconstitutional by a decision of any court of competent jurisdiction, such decision shall not affect the validity of the remaining provisions.
 7. The replacement pole will be placed as close as possible to the existing pole. The existing pole shall be immediately removed upon the activation of the new pole.
 8. The replacement pole shall be of the same materials and as close as possible to the same diameter as the existing street light poles in the vicinity.
 9. The Small Cell shall comply with Title 47 - FCC's rules and regulations, including those related to FCC Radio Frequency Safety Guidelines.

CODE REQUIREMENTS

The following list of federal, state, and local laws applicable to the project has been compiled by staff for the applicant's reference. Any reference to "City" pertains to the City of Costa Mesa.

- | | |
|--------------|--|
| Plng | <ol style="list-style-type: none">1. The approval of the zoning application shall be valid for a ten-year period from the date of approval (October 12, 2027), unless otherwise indicated in a condition imposed at the time of granting the application or unless otherwise exempted under federal or state law. Prior to the expiration of the permit, the applicant may apply for a ten-year extension of time. If notice was required for the original application, and a public hearing on the extension is allowed under federal and state law, notice of the public hearing for a time extension shall be given according to the procedures set forth in this section.2. The antenna and all support equipment shall comply with all requirements of CMMC 19-15. |
| Bldg | <ol style="list-style-type: none">3. Comply with the requirements of the following adopted codes: 2016 California Building Code, 2016 California Electrical code, 2016 California Mechanical code, 2016 California Plumbing code and 2016 California Energy Code (or the applicable adopted, California Building code California Electrical code, California Mechanical code California Plumbing Code and California Energy Code at the time of plan submittal or permit issuance) and California Code of Regulations also known as the California Building Standards Code, as amended by the City of Costa Mesa. Requirements for accessibility to sites, facilities, buildings and elements by individuals with disability shall comply with chapter 11B of the 2016 California Building Code. |
| Bus.
Lic. | <ol style="list-style-type: none">4. All contractors and subcontractors must have valid business licenses to do business in the City of Costa Mesa. Final inspections, final occupancy and utility releases will not be granted until all such licenses have been obtained. |
| Eng. | <ol style="list-style-type: none">5. Obtain an Encroachment Permit from the Engineering Division for work in the City public right-of-way. Pay required permit fee and cash deposit or surety bond to guarantee construction of off-site street improvements at time of permit per section 15-31 & 15-32, C.C.M.M.C. as approved by City Engineer. Cash deposit or surety bond amount to be determined by City Engineer. |



Crown Castle
200 Spectrum Center Drive
Suite 1800
Irvine, CA 92618

July 19, 2017

Willa Bouwens-Killeen
Zoning Administrator
City of Costa Mesa Planning Department
77 Fair Drive
Costa Mesa, CA 92626

Re: Minor Conditional Use Permit for Facilities within the Public Right of Way (SOC281)

Dear Ms. Bouwens-Killeen:

Crown Castle NG West LLC (“Crown Castle”) is submitting a Minor Conditional Use Permit application to place an antenna node on a streetlight in the Right of Way in accordance with your code, ordinances and regulations. Please be advised the Federal Communications Commission (FCC) has adopted Rules and Regulations that impact how you must process this application. In addition, state law also limits your regulation of Crown Castle’s access to the public rights of way.

Crown Castle’s Deployment:

Crown Castle provides telecommunications services to its wireless carrier customers. It does so via telecommunications networks installed in the public rights of way that integrate elements including fiber optic cables as well as personal wireless services facilities, such as antennas and related equipment. Crown Castle’s networks are sometimes referred to as distributed antenna systems (“DAS”) or Small Cell networks. The specific equipment sought to be installed by Crown Castle in this case is set forth in the accompanying permit application.

Pursuant to the California Public Utilities Commission, Crown Castle has been granted a Certificate of Public Convenience and Necessity (“CPCN”) to provide such services. As a result, Crown Castle must be granted access to the public rights of way in the same manner and on the same terms applicable to other certificated telecommunications providers and utilities.¹ (copy enclosed)

Federal and State Regulations Applicable To This Application:

¹ See CA Pub. Util. Code, §§ 7901 and 7901.1

Federal law and the FCC's rules implementing the law require that this permit application be processed to a final decision by this jurisdiction without undue delay. Specifically, this application proposes to attach new equipment on a replaced streetlight in the public rights of way, this application must be acted on within one hundred and fifty (150) days from its submission, today.² Further, pursuant to recently passed California AB 57, if the City "fails to approve or disapprove" this application within that timeframe, it "shall be deemed approved."³

Moreover, pursuant to FCC regulations, this application is deemed complete 30 days after today unless you provide written notice to Crown Castle.⁴ If you contend that the application is incomplete, within the next 30 days you must provide written notice specifying any items you claim are missing to make the application complete.⁵ For each item alleged to be missing, you must specify the code provision, ordinance, application instruction, or otherwise publicly-stated procedure that requires the submission of the information.⁶

Please send all written requests for additional information regarding this application to:

Nancy Sheridan
Network Real Estate
Crown Castle
200 Spectrum Center Drive, Suite 1800
Irvine, CA 92618

Sincerely,

CROWN CASTLE NG WEST LLC



Nancy Sheridan

² *In re Petition for Declaratory Ruling to Clarify Provisions of Section 332(c)(7)(B) to Ensure Timely Siting Review*, Declaratory Ruling, 24 FCC Rcd. 13994 ¶¶ 32, 45-46 (2009) ("FCC Shot Clock Order"); *In the matter of Acceleration of Broadband Deployment By Improving Wireless Facilities Siting Policies*, Report and Order, FCC 14-153, WT Docket No. 13-238, ¶272 (FCC Oct. 21, 2014) ("Wireless Infrastructure Order") (clarifying that DAS nodes that involve installation of new poles trigger the 150 day shot clock).

³ See CA Government Code Section 65964.1.

⁴ *Wireless Infrastructure Order* at ¶¶ 257, 259.

⁵ *Id.* ¶¶ 259-260.

⁶ *Id.*



Brian P. Ryan
Principle Manager
Telephone: 909-274-1949
Brian.Ryan@sce.com

June 30, 2017

To Whom It May Concern:

Since 1994, Southern California Edison (SCE) has assisted wireless service providers in expanding their networks to meet customers' needs for telecommunications service. SCE makes available existing structures that can be used to co-locate the wireless service providers' equipment, while lessening the visual impacts on the community and constituency that is served. This letter requests that you help us in this endeavor.

In an effort to minimize the potential clutter that new vertical structures would produce, many California cities have adopted ordinances and policies encouraging wireless facilities to be mounted on street light poles within the public rights of way.

As you are aware, SCE owns and maintains street light poles in your city pursuant to our LS-1 tariff. In order to accommodate the increasing demand for micro-cell site locations, SCE has agreed to allow wireless service providers to attach their antennas to some of these streetlight poles, and contractually requires the wireless service provider to comply with certain requirements, including a requirement that the facility will not impact SCE's ability to provide street lighting service.

Costa Mesa has and retains full control over the entitlement and permitting process for these and future sites. The wireless service providers also pay for electrical usage resulting from their sites. This electrical service is metered and billed separately, and the City is not impacted.

While SCE believes this approach benefits local governments as well as their constituency, we would not engage in this solution if doing so resulted in extra costs to SCE. We would therefore appreciate you confirming that Costa Mesa consents to use of its public rights of way for the purpose of licensing space on an SCE Streetlight Pole # 2193911E located at: 2196 Harbor Blvd. Crown Castle Site number: SOC0281.

Please sign this letter to indicate your consent and return it to me at the below address. If you have any questions, please feel free to call Scott Haney (909) 274-1961.

Regards,

Brian P. Ryan

Signature _____

Name _____

Title _____

Date: _____



Brian Ryan
Principal Manager Telecom Sales
Edison Carrier Solutions
e-mail: Brian.Ryan@sce.com

June 30, 2017

Costa Mesa Planning Department

To Whom It May Concern:

Re: Letter of Authorization

SCE streetlight identified as – SCE Streetlight Pole # 2193911E located adjacent: 2196 Harbor Blvd. Crown Castle Site Number: SOC0281.

Southern California Edison Company (SCE) is the owner of the Light Pole, located in Costa Mesa, CA. Crown Castle "Carrier" has requested that SCE replace the existing Light Pole so that it can be used for operating a wireless communications facility, ("Site").

SCE has reviewed Carrier's preliminary plans for this Site and believe these plans are compatible with SCE's use of this Light Pole. Thus, as a representative of SCE, I hereby authorize Carrier, and its representatives, to seek and secure all right(s), including any environmental review associated with granting such rights, that are needed from the Jurisdiction to use the Light Pole and other property for this purpose as long as there are no costs to SCE.

Notwithstanding this authorization, SCE reserves the right to reject Carrier's request for use of its Light Pole for any reason, including imposed conditions or required changes to the light pole by the Jurisdiction, are unacceptable to SCE.

All correspondence and/or notices regarding use of SCE's Light Pole by Carrier, or any later requests by the Carrier for authorizations or approvals needed for construction, operation or maintenance of an approved Site, should include a copy to SCE.

If you have any questions concerning this project, please contact Scott Haney @ 626-688-9344.

Sincerely,

A handwritten signature in black ink that reads "Brian P. Ryan".

Brian P. Ryan

PLEASE TRANSFER LETTER TO CITY LETTERHEAD

Date

Brian Ryan
Southern California Edison
Carrier Solutions Division
2 Innovation Way 1st Floor
Pomona, Ca 91768

Dear Mr. Ryan:

This letter authorizes Southern California Edison (SCE) to disconnect the SCE streetlight identified as – SCE Streetlight Pole #2193911E located adjacent: 2196 Harbor Blvd. Crown Castle Site number: SOC0281 so that work can be performed to replace the existing Streetlight.

Crown Castle (Wireless Carrier) has requested that SCE replace the Southern California Edison streetlight with a new streetlight that will be used for operating the wireless communications facility identified as SCE Light Pole #2193911E located adjacent: 2196 Harbor Blvd. Crown Castle Site number: SOC0281.

Please coordinate the disconnecting of the streetlight directly with Costa Mesa, (please provide County Contact, Name, Phone) so that the light will be out only for the above referenced work to be completed.

If you have any questions, please do not hesitate to call me.

Sincerely,

Name
Public Agency

SOUTHERN CALIFORNIA EDISON STREETLIGHT AUTHORIZATION

DEVELOPER/APPLICANT MUST PROVIDE THIS FORM
COMPLETED BY THE PUBLIC AUTHORITY
FOR ANY SCE-OWNED STREETLIGHT INSTALLATION, REMOVAL OR CHANGE REQUESTS
Incomplete forms will be returned and not processed

PUBLIC AUTHORITY NAME: _____

Builder/Developer Name: Crown Castle NG West Phone #: _____

Tract/Ref # SCE Pole No. 2193911E Streetlight Location 33.65418, -117.91892

Please Check one: Installation Removal Change

Number of Lamp(s)	Lamp Size	Lamp Type
_____	_____	_____
_____	_____	_____
_____	_____	_____

New Installations

Public Authority Responsibility for Streetlight Monthly Billing

Please Check one and fill out applicable dates:

___ Upon Energizing

If Public Authority is collecting Builder/Developer Advanced Energy Payment, indicate date collected. (_____)

Monthly Billing: ___ Establish new Service Account (SA) Use existing SA # _____

___ Commitment Date-

Date Agreed upon by SCE and Public Authority (_____) or no later than 36 months from first streetlight energized whichever is earlier.

Monthly Billing: ___ Establish new Service Account (SA) Use existing SA # _____

___ Public Authority is not responsible

HOA Area Name _____ Other Entity (please define) _____

Public Authority Notes:

Authorized Public Authority Agent

_____ Print name _____ Date _____ Signature _____

Phone # _____ Title _____

TO BE COMPLETED BY SCE

ACTION: ENTER TRACT/REF# ON DM PROGRAM NAME FIELD.

District _____ Planning AOR _____ PLANNER NAME (PRINT) _____

DM SR # _____ Product # _____ (one per SLA)

FORWARD COMPLETED COPIES OF THE SLA FORM, MAP AND CSD272 CONTRACT, IF APPLICABLE TO:
"Street & Outdoor Lighting Organization" Santa Ana Bldg. D

RADIO FREQUENCY ELECTROMAGNETIC FIELDS EXPOSURE REPORT

Prepared for Crown Castle

Site Name: Scenario
Site Type: 20.5' RC Light Pole
Report By: Christopher Stollar, P.E.
Report Date: 9/29/2016

Based on FCC Rules and Regulations, Crown Castle will be compliant provided recommendation(s) are implemented.

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1.0 EXECUTIVE SUMMARY

Dtech Communications, LLC (“Dtech”) has been retained by Crown Castle to determine whether its wireless communications facility complies with the Federal Communications Commission (“FCC”) Radio Frequency (“RF”) Safety Guidelines. This report contains a computer-simulated analysis of the Electromagnetic Fields (“EMF”) exposure resulting from a typical, 20.5-foot antenna radiation center (“RC”), light pole facility. The analysis also includes assessment of existing wireless carriers on site, where information is provided. The table below summarizes the result at a glance:

Table 1: EMF Summary

Crown Castle	Summary
Access Type	Walk-Up
Access to antennas locked	NA
RF Sign(s) @ access point(s)	None
RF Sign(s) @ antennas	Notice (Recommended)
Barrier(s) @ sectors	NA
Max EMF level for Crown Castle on Ground	10.0% General Population
Max EMF level for Crown Castle @ Antenna Level	188.1% General Population (37.6% Occupational)
General Population Exclusion Zone (At Antenna Elevation)	3 Feet
Occupational Exclusion Zone (At Antenna Elevation)	NA

2.0 SITE DESCRIPTION

The wireless telecommunication facility is located on the ground. The facility consists of 1 wireless carrier(s) or operator(s): Crown Castle – T-Mobile. The antennas are typically grouped into sectors pointing in different direction to achieve the desired areas of coverage. For this scenario, Crown Castle’s antenna is mounted on a light pole and connected to the equipment via cables (see Appendix E).

2.1 Antenna Inventory

Technical specifications in the table below are provided by our clients or gathered from physical field surveys where applicable and/or possible. Conservative estimates are used where information is not provided or available.

Table 2: Site Technical Specifications

Antenna ID	Operator	Antenna Mfg	Antenna Model	Type	Frequency (MHz)	Technology	Orientation (°T)	Horizontal BWdth (°)	Antenna Aperture (ft)	Antenna Gain (dBd)	Total ERP (Watts)	Bottom Tip Height Above Ground (Z) (ft)	Bottom Tip Height Ant Level (Z) (ft)
A1	T-Mobile	Ericsson	6503	Directional	1900	LTE	330	85	0.7	6.9	35.48	20.2	0.0
A1	T-Mobile	Ericsson	6503	Directional	2100	LTE	330	74	0.7	7.9	44.7	20.2	0.0

3.0 ANALYSIS

3.1 Emission Predictions

Figure 1: Plan (bird's eye) view map of results compared to FCC's General Population MPE (Maximum Permissible Exposure) Limits. Gray represents areas where exposure levels are calculated to be at or below 5%; Green- between 5% & 100% (below MPE limits); blue, yellow & red – greater than 100% (exceeds MPE limits).

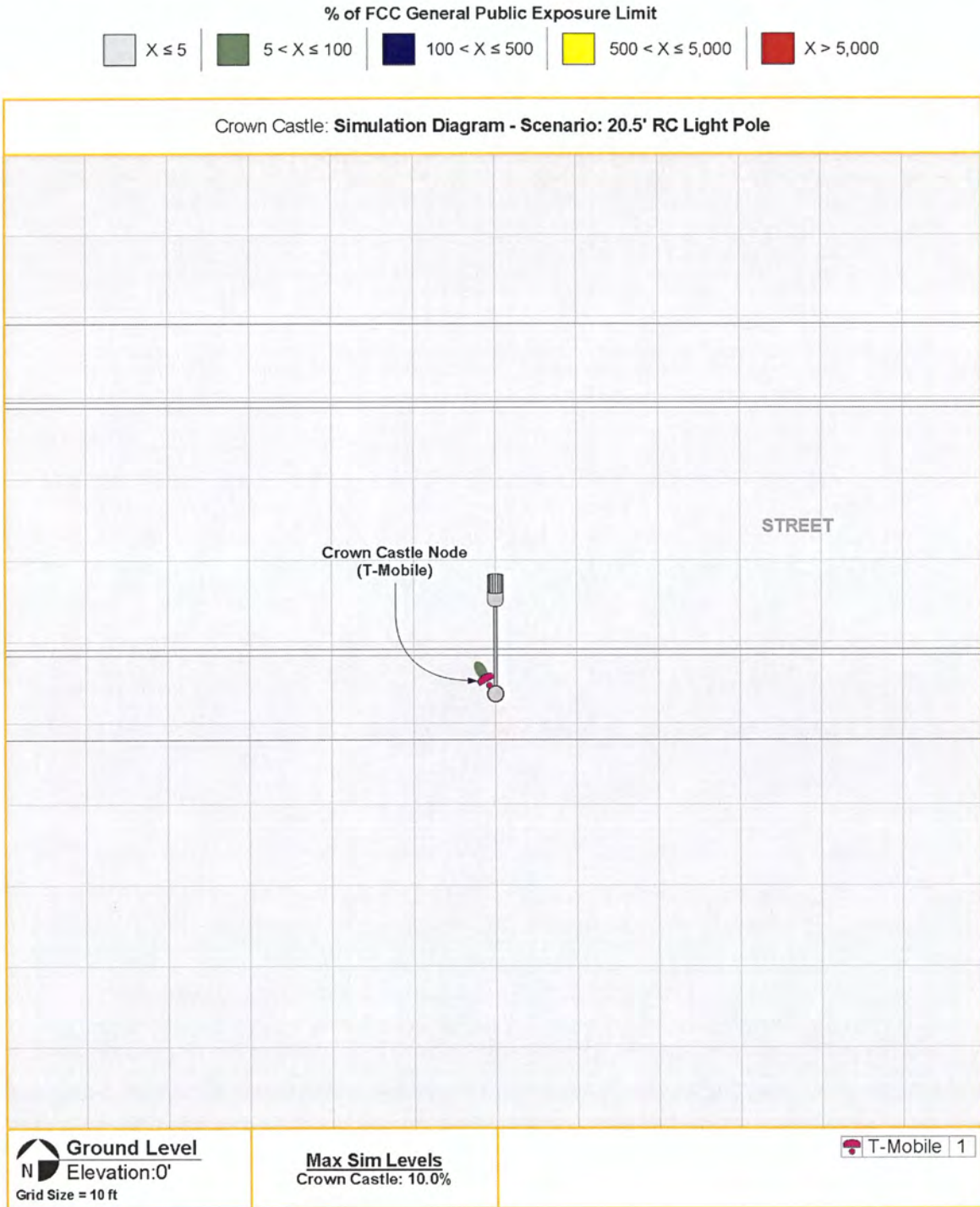
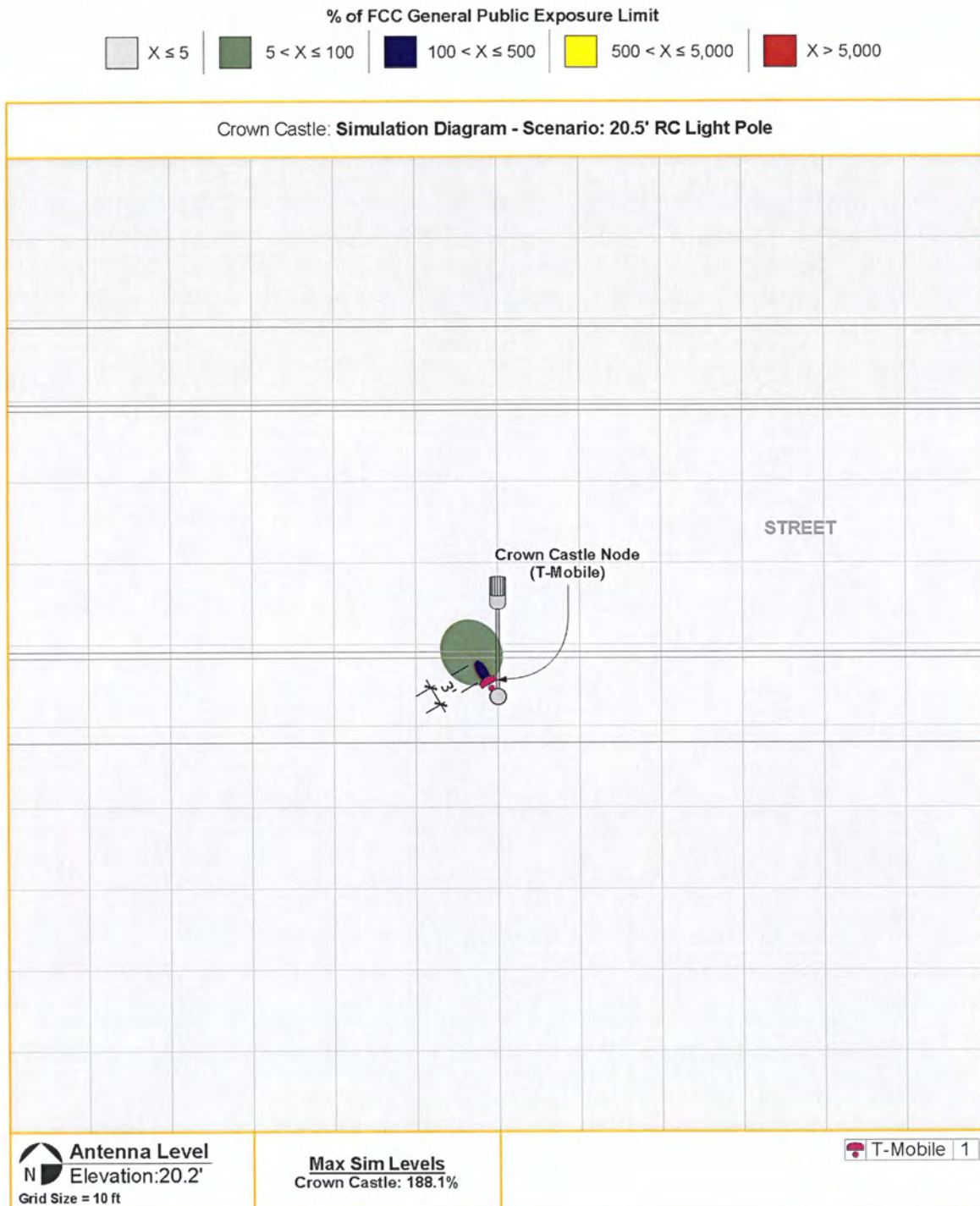


Figure 2: Plan (bird's eye) view map of results compared to FCC's General Population MPE (Maximum Permissible Exposure) Limits. Gray represents areas where exposure levels are calculated to be at or below 5%; Green- between 5% & 100% (below MPE limits); blue, yellow & red – greater than 100% (exceeds MPE limits).



4.0 CONCLUSION

4.1 Results

For a person standing on the ground, calculations for Crown Castle's site resulted in exposure levels below the applicable FCC's General Population MPE Limits (see figure 1).

At antenna elevation, the highest calculated exposure level is above the FCC's General Population MPE Limits near the Crown Castle antenna(s) (see figure 2). The overexposed (blue) areas extend 3-feet from the front face of the Crown Castle antenna(s). Beyond 3-feet, exposure levels are predicted to be below the FCC's most stringent General Population MPE Limits.

The antenna(s) are mounted on a tall pole and therefore not accessible by the general public. It is presumed that Crown Castle employees and contractors are aware of the transmitting antenna(s) and will take appropriate precautions when working near them. However, there may be situations where workers i.e. city and light personnel, etc. may find themselves directly in front of the antenna(s). Individuals working near/in front of the antenna(s) must receive appropriate RF safety training¹ and be made aware of the HotZones (areas where RF exposure may potentially exceed FCC safety limits). In addition, contact information should be made available in the event work is required within the HotZones.

*Note: The result of this analysis is only applicable to the specific antenna make/model, heights, line/cable losses, total power output, and frequencies. In addition, any adjacent buildings or surrounding structures within the General Population Exclusion Zone (3 feet) must also be considered for a specific site to be compliant.

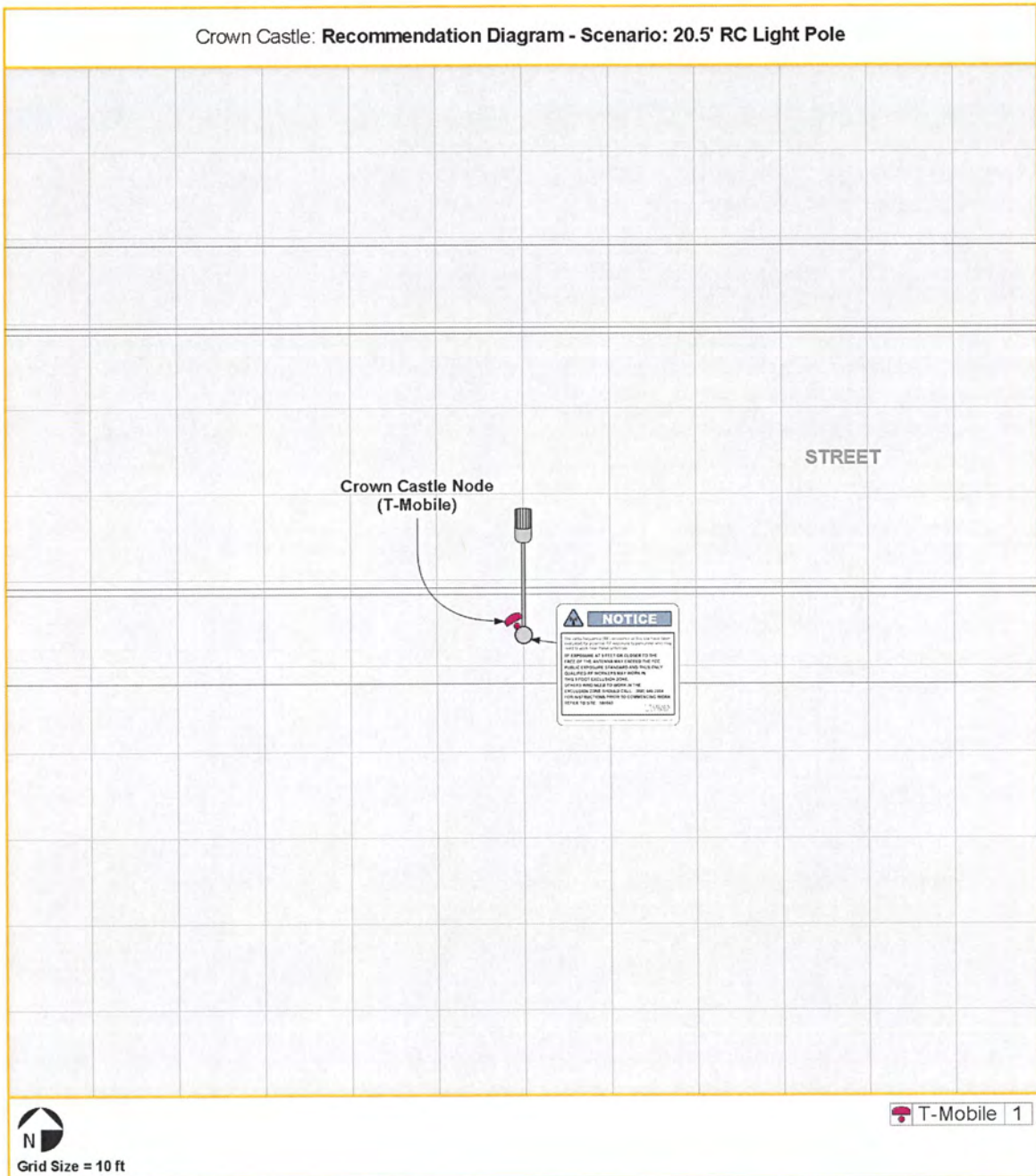
4.2 Recommendation(s)

For the facility to be classified as an Occupational/Controlled environment, the following action(s) are recommended in accordance with the FCC's RF Safety Guidelines (see figure 3):

- 1) Install NOTICE Sign(s) on or near the antenna(s). Signage should be placed high on the pole and away from public view.

¹ Dtech Communications' RF Safety training program - AntennaView.com[®]

Figure 3: Recommendation(s)



4.3 Statement of Compliance

Based on the above results, analysis and recommendation(s), it is the undersigned's professional opinion that Crown Castle's site will be compliant with the FCC's RF Safety Guidelines provided recommendation(s) are implemented.

4.4 Engineer Certification

This report has been prepared by or under the direction of the following Registered Professional Engineer: Darang Tech, holding California registration number 16000. I have reviewed this report and believe it to be both true and accurate to the best of my knowledge.


Darang Tech, P.E.



Appendix A: Background

Dtech uses the FCC's guidelines described in detail in Office of Engineering & Technology, Bulletin No. 65 ("OET-65") "Evaluating Compliance with FCC Guidelines for Human Exposure to Radiofrequency Electromagnetic Fields". The table below summarizes the current Maximum Permissible Exposure ("MPE") safety limits classified into two groups: General population and Occupational.

Table 3: FCC MPE Limits (from OET-65)

Frequency (Mhz)	General Population/ Uncontrolled MPE (mW/cm ²)	Averaging Time (minutes)	Occupational/ Controlled MPE (mW/cm ²)	Averaging Time (minutes)
30 - 300	0.2	30	1.0	6
300 - 1500	Frequency (Mhz)/1500 (0.2 - 1.0)	30	Frequency (Mhz)/300 (1.0 - 5.0)	6
1500 - 100,000	1.0	30	5.0	6

General population/uncontrolled limits apply in situations in which the general public may be exposed or in which persons who are exposed as a consequence of their employment, and may not be fully aware of the potential for exposure or cannot exercise control over their exposure. Therefore, members of the general public always fall under this category when exposure is not employment-related.

Occupational/controlled limits apply in situations in which persons are exposed as a consequence of their employment, and those persons have been made fully aware of the potential for exposure and can exercise control over their exposure. Occupational/controlled limits also apply where exposure is of a transient nature as a result of incidental passage through a location where exposure levels may be above general population/uncontrolled limits, as long as the exposed person has been made fully aware of the potential for exposure and can exercise control over his or her exposure by leaving the area or by some other appropriate means.

It is important to understand that the FCC guidelines specify *exposure* limits not *emission* limits. For a transmitting facility to be out of compliance with the FCC's RF safety guidelines an area or areas where levels exceed the MPE limits must, first of all, be in some way *accessible* to the public or to workers. When accessibility to an area where excessive levels is appropriately restricted, the facility or operation can certify that it complies with the FCC requirements.

Appendix B: Measurement and/or Computer Simulation Methods

Spatial averaging measurement technique is used. An area between 2 and 6 feet, approximately the size of an average human, is scanned in single passes from top to bottom in multiple planes. When possible, measurements were made at very close proximity to the antennas and inside the main beam where most of the energy is emitted. The spatial averaged values were recorded.

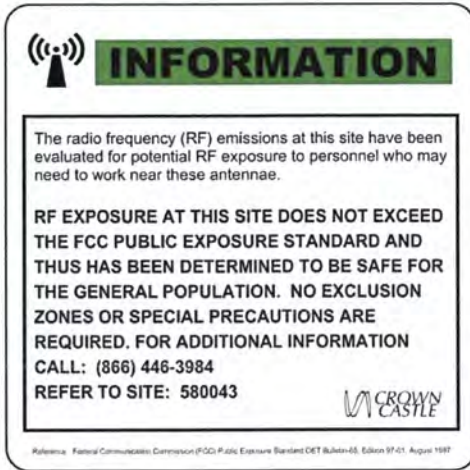
Dtech uses an industry standard power density prediction computer Model² to assess the worse-case, cumulative EMF impact of the surrounding areas of the subject site. The Model does not take into account losses due to buildings. Its methodologies are conservative enough to account for typical down-tilts deployed in wireless communications. In addition, the analysis is performed at 100% duty cycle-all transmitters are active at all times and transmitting at maximum power. For purposes of a cumulative study, nearby transmitters are included where possible. The result is a surrounding area map color-coded to percentages of the applicable FCC's MPE Limits. A result higher than 100% exceeds the Limits.

Appendix C: Limitations

Dtech performed this analysis based on data provided by our clients that Dtech believes to be true and correct. Estimates where noted, are based on common industry practices and our best interpretation of available information. As mobile technologies continuously change, these data and results may also change. Therefore, Dtech disclaims all other warranties either expressed or implied. Any use of this document constitutes an agreement to hold Dtech and its employees harmless and indemnify it for any and all liability, claims, demands, litigation expenses and attorneys fees arising from such use. This is a technical document and may contain minor grammatical and/or spelling errors.

² Roofview® Version 4.15, Richard Tell Associates, Inc. © 1996-2000.

Appendix D: Crown Castle RF Advisory Signs



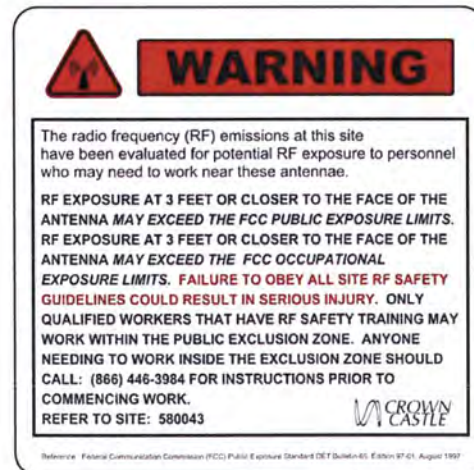
INFORMATION Sign



NOTICE Sign

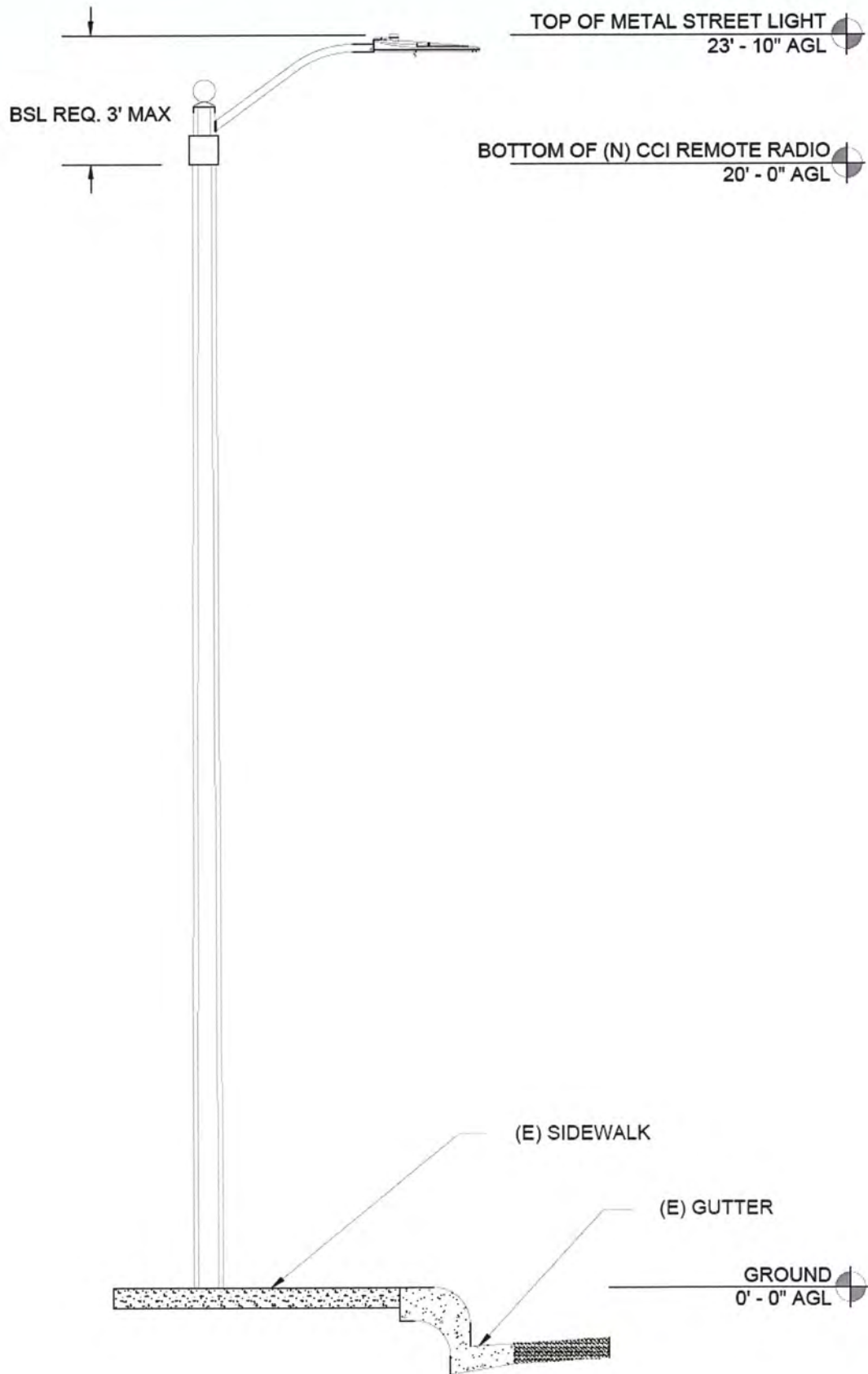


CAUTION Sign



WARNING Sign

Appendix E: Scenario - 20.5' RC Light Pole



CALIFORNIA PUBLIC UTILITIES COMMISSION Advice Letter Filing Summary Sheet (PAL)	(Date Filed / Received Stamp by CPUC Industry Division) <div style="text-align: center; color: red; font-weight: bold; font-size: 1.2em;">DATE - STAMP & RETURN</div> <div style="text-align: center; font-size: 1.2em;">5 PM 1:50</div> Date AL served on parties: _____
--	--

Company Name: Crown Castle NG West LLC	CPUC Utility Number U-6745-C
Address: 1220 Augusta Drive, Suite 500	<input type="checkbox"/> GRC-LEC <input checked="" type="checkbox"/> URF-Carrier <input type="checkbox"/> Other

City, State, ZIP: Houston, Texas 77075	<input type="checkbox"/> Commission Resolution Requested <input type="checkbox"/> Carrier of Last Resort (See D.96-10-066)
---	---

Filing AL #: <u>63</u> Requested Effective Date: <u>July 15, 2014</u>	AL Tier I <input checked="" type="checkbox"/> II <input type="checkbox"/> III <input type="checkbox"/>
---	---

	Name:	Email Address:	Phone No.:	Fax No.:
Filer	Brett P. Ferenchak Jean L. Kiddoo	brett.ferenchak@bingham.com jean.kiddoo@bingham.com	(202) 373-6000	202-373-6001
Certif.	Same as above	Same as above	Same as above	No. Tariff Sheets: <u>N/A</u>

(Name, email address & Phone and FAX numbers *are Required for "Filer"*)

Tariff Schedules: N/A **Keyword:** Carrier Information Changes (see keyword list on reverse)

For Contract Keyword, Type: Government Other Date Executed _____ Contract Total Rev (\$) _____

Subject of filing: Conversion and Associated Name Change

(Service(s) included)

Authorization for filing: G.O. 96-B and Telecommunications Industry Rule 7.1(1)

(Resolution #, Decision #, etc.)

Affected services: _____

(Other services affected, pending or replacement AL filings)

Rate Element(s) affected *and* % change: _____

(Non-recurring and / or recurring)

Customer Notice Required (if so, please attach)

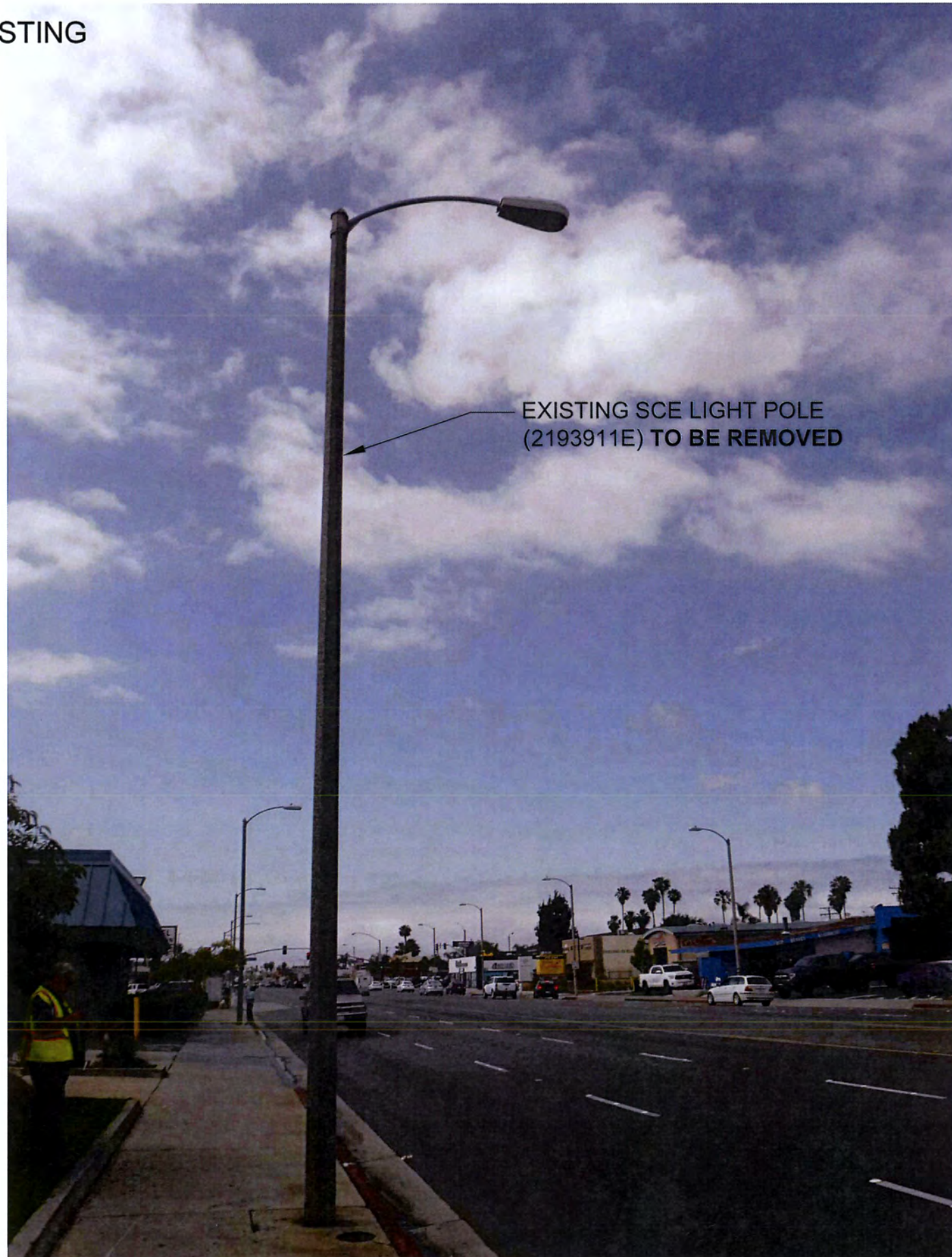
Notes/Comments: _____

(Other information & reference to advice letter, etc.)

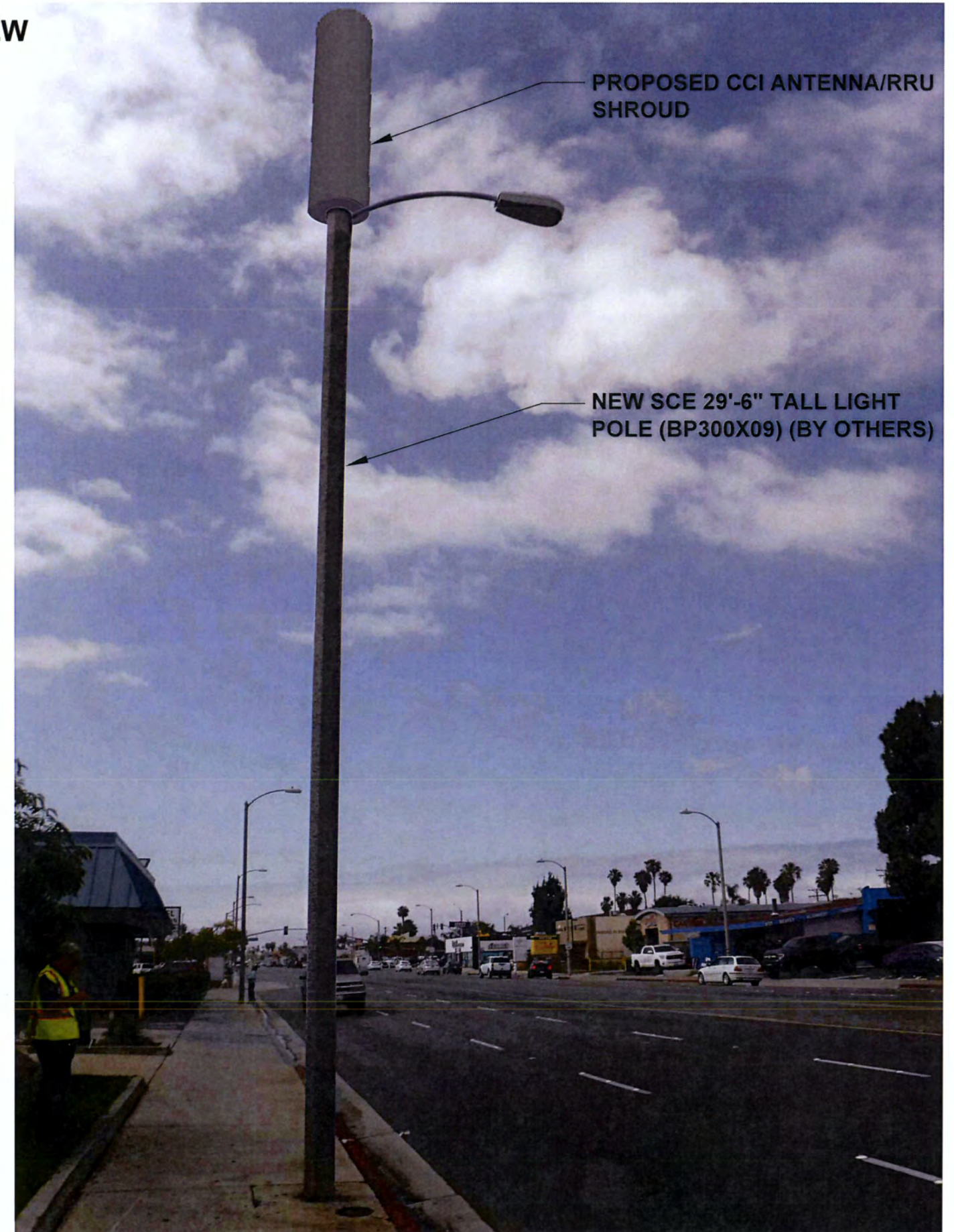
File Protest and/or Correspondence to: Director, Communications Division 505 Van Ness Ave., San Francisco, CA 94102 <i>and if you have email capability, ALSO email to:</i> TD_PAL@cpuc.ca.gov <i>Protest also must be served on utility:</i> (see utility advice letter for more information)	GRC-LEC = Cost of Service LEC Carrier URF-Carrier = Uniform Regulatory Framework Carrier (see D.06-08-030/D.07-09-019) OTHER = Wireless (CMRS) Carrier
--	--

(FOR CPUC USE ONLY)	
<input type="checkbox"/> Resolution Required <input type="checkbox"/> Executive Action Resolution Req'd. <input type="checkbox"/> TD Suspension on: ___ / ___ / ___ <input type="checkbox"/> Comm. Suspension on: ___ / ___ / ___ Resolution No.: T - _____ <i>Rev. 09/24/07</i>	Supv. / Analyst _____ / _____ Due Date to Supv.: _____ Analyst Completion Date: _____ Supervisor Approval Date: _____ AL / Tariff Effective Date: _____ Notes: _____

EXISTING



NEW



APPROVED

By A Martin at 1:55 pm, Jun 30, 2017

**Conceptually Approved
Zoning Drawings**

Streetlight design drawings conceptually approved
All ground base equipment to be approved by local jurisdiction.

Approved power route from IMS and district planner is also required for final CD approval.

COSTA MESA



CROWN CASTLE
CROWN CASTLE NG WEST
JURISDICTION: COSTA MESA

CLUSTER: IE10
PROPOSED SMALL CELL NODES
SOC0281 SCE POLE #2193911E

INDEX TO SHEETS:

- C-01. TITLE, LOCATION MAP, NODE PLACEMENT
- C-02. EQUIPMENT DETAILS
- C-03. EQUIPMENT DETAILS
- C-04. EQUIPMENT DETAILS
- C-05. LIGHT STANDARD DETAIL
- C-06. SITE PLAN & ELEVATION
- C-07. TRAFFIC CONTROL PLAN

HUB:

LA02429A

CROWN NODE ID IE10_011
T-MOBILE SITE ID SOC281
SCE POLE ID 2193911E

PROJECT TEAM:

CROWN CASTLE

PROJECT MANAGER:
CONTACT: MIKE PUHL
PHONE: (949) 344-7811

CONSTRUCTION MANAGER:
CONTACT: GARY HOLZER
PHONE: (949) 697-2011

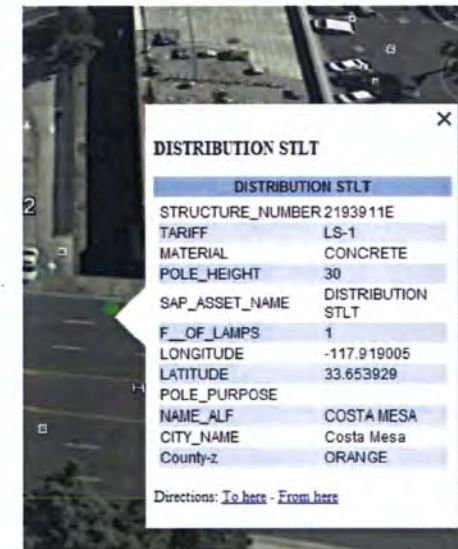
UTILITY CONTACT:
NETWORK OPERATION:
CONTACT: CROWN CASTLE
PHONE: 1-800-788-7011
POWER: SCE

NRE CONTACT:
CONTACT: NANCY SHERIDAN
PHONE: 1-714-362-5152



LOCATION MAP

NOT TO SCALE



SITE: SOC281 / IE10_011
COORDINATES: 33.65418°, -117.91892°
ADDRESS: 2196 HARBOR BLVD
COSTA MESA, CA 92627

LATITUDE & LONGITUDE:
33.65418°, -117.91892°

ADDRESS:
2196 HARBOR BLVD
COSTA MESA, CA 92627

ENGINEER:



OWNER/DEVELOPER:



TITLE:

CROWN CASTLE NG WEST
JOB# 365238
COSTA MESA

REVISIONS

REV	DATE	DESCRIPTION	BY
00	11/07/2016	PER CC COMMENTS	FR
01	12/15/2016	PER CC COMMENTS	SR
02	04/05/2017	PER CC COMMENTS	NB
03	05/15/2017	PER CC COMMENTS	NB
04	05/26/2017	PER CC COMMENTS	SR

DRAWN BY:	CHECKED BY:	APPROVED BY:
NB	NB	NB

PROJECT NUMBER:	
FILE NAME:	TITLE SHEET
DATE DRAWN:	05/26/2017
SCALE:	AS SHOWN

SHEET: C-01

PROJECT DESCRIPTION:

THIS PROJECT IS FOR THE INSTALLATION AND OPERATION OF A SMALL CELL NETWORK.

SCOPE OF WORK:

- BRING UG FIBER TO LIGHT POLE VIA ENCROACHMENT PERMIT
- INSTALL RRU (REMOTE RADIO UNIT) INSIDE NEW RADOME
- INSTALL FIBER AND POWER INSIDE LIGHT POLE TO RRUS



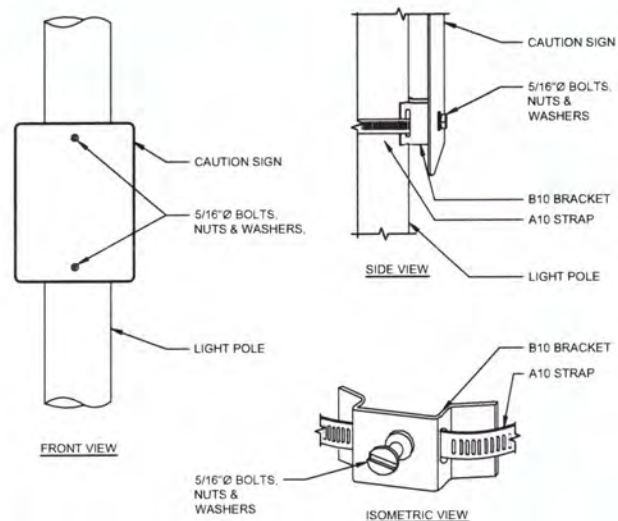
FACING SOUTH



FACING WEST



FACING NORTH



ADJUSTABLE BAND BRACKET



NOTE: SIGNAGE TO BE CONSISTENT WITH STREETLIGHT EME REPORT

INFORMATION SIGNAGE (TYP.)



Table 1 Radio 2203 Technical Data

Description	Value
Maximum nominal output power	2 x 5 W
Number of carriers	WCDMA: One to four carriers. LTE: One to three carriers Mixed mode: Two to five carriers
Description	Value
Frequency ⁽¹⁾	1920-1980 MHz uplink 2110-2170 MHz downlink B1 for WCDMA and LTE. 1710-1785 MHz uplink 1805-1880 MHz downlink B3 for WCDMA and LTE 1744.9-1784.9 MHz uplink 1839.9-1879.9 MHz downlink B3C for WCDMA and LTE 880-915 MHz uplink 925-960 MHz downlink B6 for WCDMA and LTE 1710-1780 MHz uplink 2110-2180 MHz downlink B6A for WCDMA and LTE.
Dimensions with Cover	
Height	200 mm (7-7/8" in)
Width	200 mm (7-7/8" in)
Depth	100 mm (3-15/16" in)
Dimensions with Antenna	
Height	200 mm (7-7/8" in)
Width	200 mm (7-7/8" in)
Depth of Radio 2203 B1, B3C	119 mm (4-11/16" in)
Depth of Radio 2203 B6	129 mm (5-1/16" in)
Weight with Cover	
Radio 2203	4.5 kg (9.9208 lbs.)
Weight with Antenna	
Radio 2203	4.9 kg (10.8027 lbs.)
Color	
Body	NCS S 1002-B

⁽¹⁾ Information about Instantaneous Bandwidth (IBW) can be found in RBS Configurations.

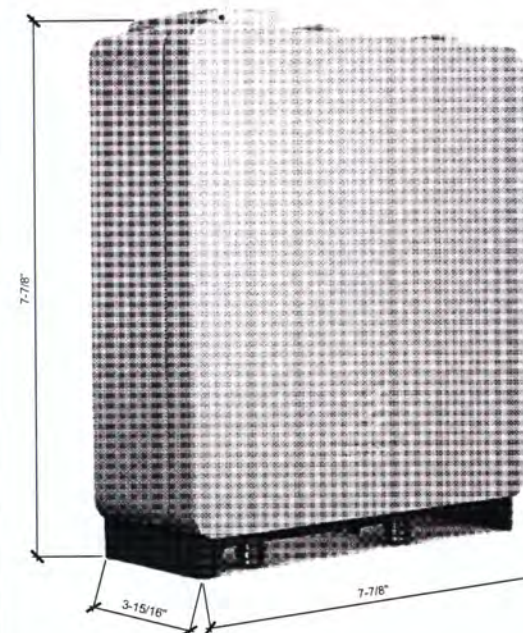


Product Overview

The radio expands coverage and performance in denser urban areas, where the use of small handheld devices demand high capacity on the operators networks. It is designed to be located in cities and in demanding radio environments.

The radio is part of a modular radio building concept that enables a variety of installation alternatives that is also easy to expand. Flexible mounting solutions are provided using rails and pole clamps. The small size of the radio together with the flexible mounting solutions reduces the site volume. The lower weight also improves the handling of the radio.

The radio can be connected in a star or cascade configuration using optical cable links. An optic cable connects the radio to the main unit, or to an expanded Radio System.



RADIO 2203 SPECS

SCALE N.T.S. 3

RADIO 2203 DESCRIPTION

SCALE N.T.S. 2

TITLE: CROWN CASTLE NG WEST
JOB# 365238
COSTA MESA

REVISIONS

REV	DATE	DESCRIPTION	BY
00	11/07/2016	PER CC COMMENTS	FR
01	12/15/2016	PER CC COMMENTS	SR
02	04/05/2017	PER CC COMMENTS	NB
03	05/15/2017	PER CC COMMENTS	NB
04	05/26/2017	PER CC COMMENTS	SR

DRAWN BY:	CHECKED BY:	APPROVED BY:
NB	NB	NB

PROJECT NUMBER:	
FILE NAME:	EQUIPMENT DETAILS
DATE DRAWN:	05/26/2017
SCALE:	AS SHOWN

CAUTION SIGNAGE

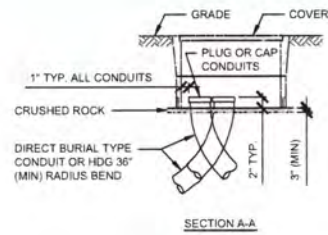
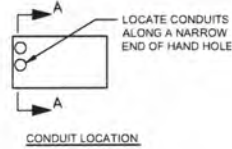
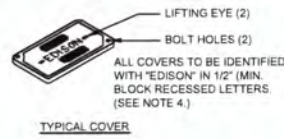
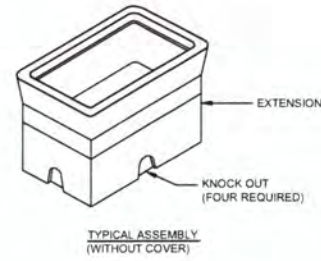
SCALE N.T.S. 4

NOT USED

SCALE N.T.S. 1

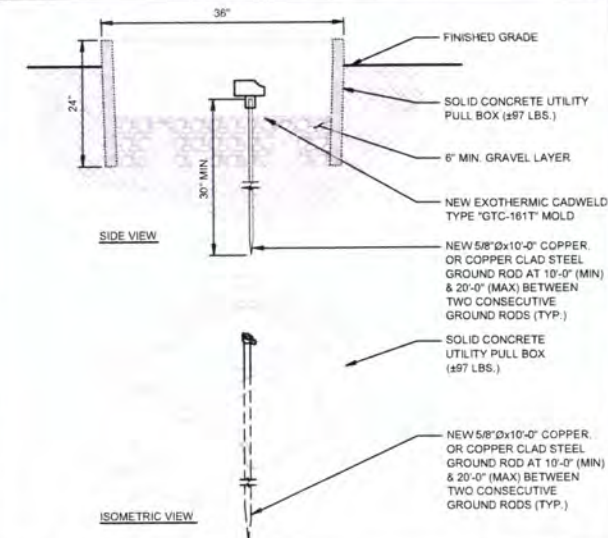
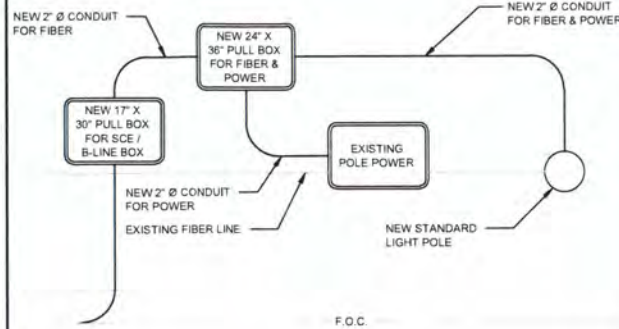
SHEET: C-02

CROWN NODE ID IE10_011
 T-MOBILE SITE ID SOC281
 SCE POLE ID 2193911E



- NOTES:
 1. GC TO REFER TO SCE DOCUMENT HP 200 FOR HAND HOLE REQUIREMENTS (UNDERGROUND STRUCTURES STANDARDS)
 2. RADIUS ANGLES MAY BE REDUCED TO LESS THAN 90° PROVIDING THE PROJECTED CENTER LINE OF THE CONDUIT CLEARS HAND HOLE OPENING.
 3. TWO HOLD DOWN DEVICES TO BE SUPPLIED WITH EACH HAND HOLE
 4. COVER SHALL BE IDENTIFIED WITH "EDISON" IN MINIMUM 2-INCH LETTERS OR LABELS PERMANENTLY SECURED TO THE LID.

NOTE: PULL BOX & LIGHT POLE LOCATION VARIES PER LOCATION



CONDUIT ROUTE

SCALE: N.T.S.

4

GROUNDING ROD

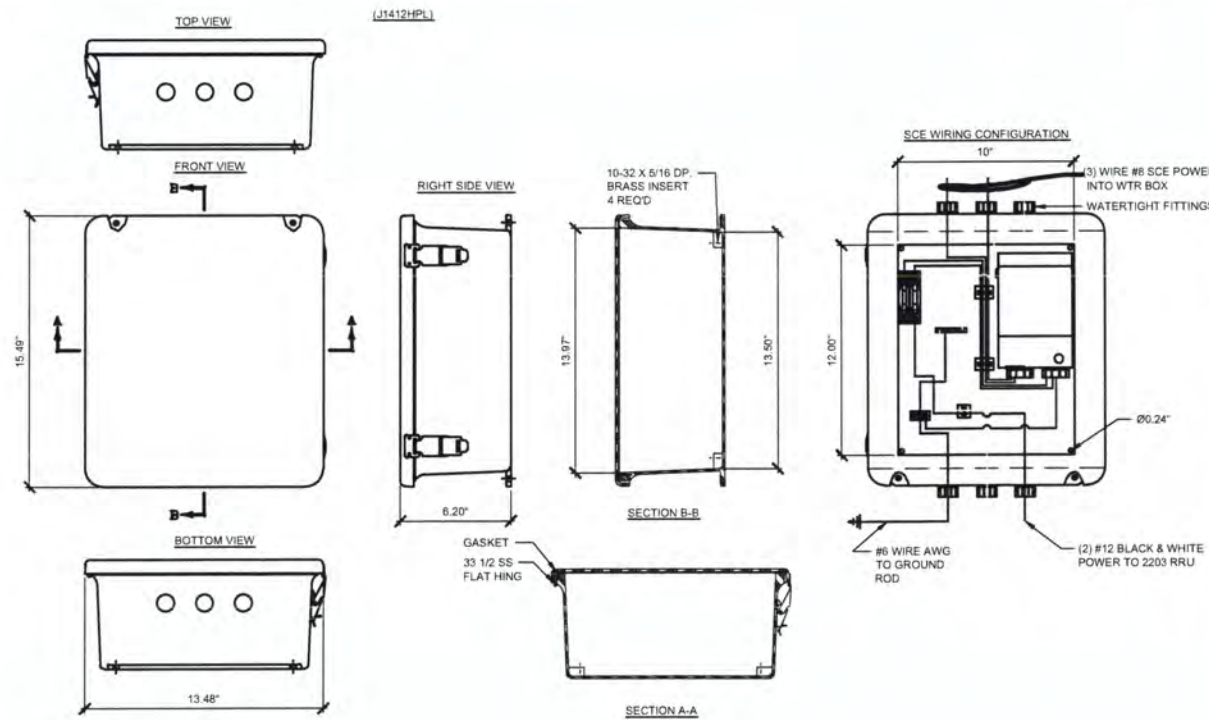
SCALE: N.T.S.

3

17" X 30" UTILITY PULL BOX DETAIL (HH-6)

SCALE: N.T.S.

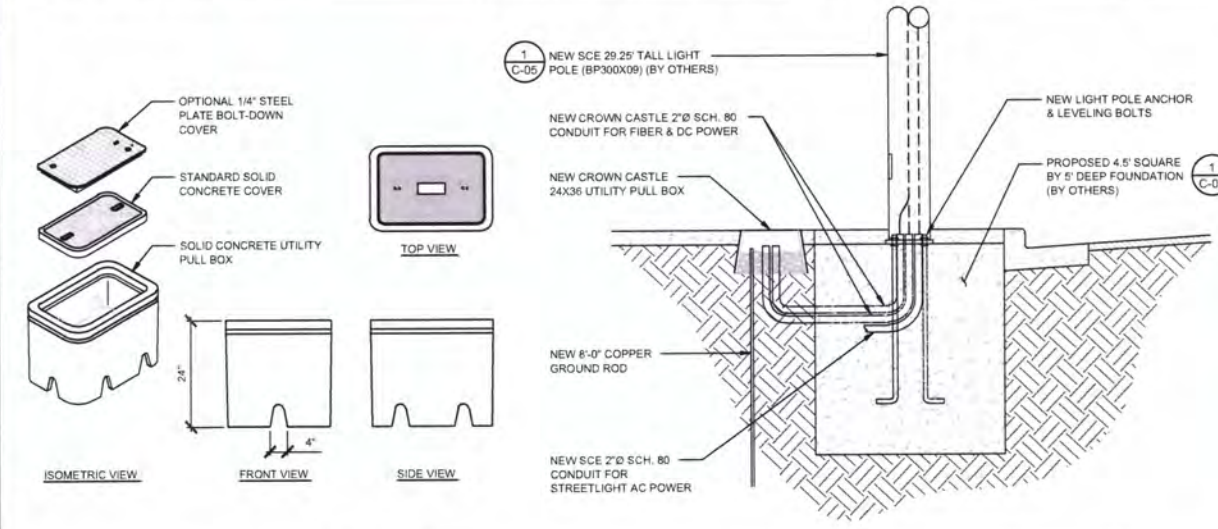
6



24" X 36" UTILITY PULL BOX DETAIL

SCALE: N.T.S.

2



LATITUDE & LONGITUDE:
 33.65418°, -117.91892°

ADDRESS:
 2196 HARBOR BLVD
 COSTA MESA, CA 92627

ENGINEER:

SAC AE DESIGN GROUP INC
 5015 SHOREHAM PLACE, SUITE 150
 SAN DIEGO, CA 92122
 www.sacw.com
 619.736.3766

OWNER/DEVELOPER:

200 SPECTRUM CENTER DRIVE, SUITE 1800
 IRVINE, CA 92618

TITLE:
 CROWN CASTLE NG WEST
 JOB# 365238
 COSTA MESA

REVISIONS			
REV	DATE	DESCRIPTION	BY
00	11/07/2016	PER CC COMMENTS	FR
01	12/15/2016	PER CC COMMENTS	SR
02	04/05/2017	PER CC COMMENTS	NB
03	05/15/2017	PER CC COMMENTS	NB
04	05/26/2017	PER CC COMMENTS	SR

DRAWN BY:	CHECKED BY:	APPROVED BY:
NB	NB	NB

PROJECT NUMBER:	
FILE NAME:	EQUIPMENT DETAILS
DATE DRAWN:	05/26/2017
SCALE:	AS SHOWN

SCE / B-LINE BOX DETAIL

SCALE: N.T.S.

5

NOT USED

SCALE: N.T.S.

1

SHEET: C-03

CROWN NODE ID IE10_011
 T-MOBILE SITE ID SOC281
 SCE POLE ID 2193911E

LATITUDE & LONGITUDE:
 33.65418°, -117.91892°

ADDRESS:
 2196 HARBOR BLVD
 COSTA MESA, CA 92627

ENGINEER:



OWNER/DEVELOPER:



TITLE:

CROWN CASTLE NG WEST
 JOB# 365238
 COSTA MESA

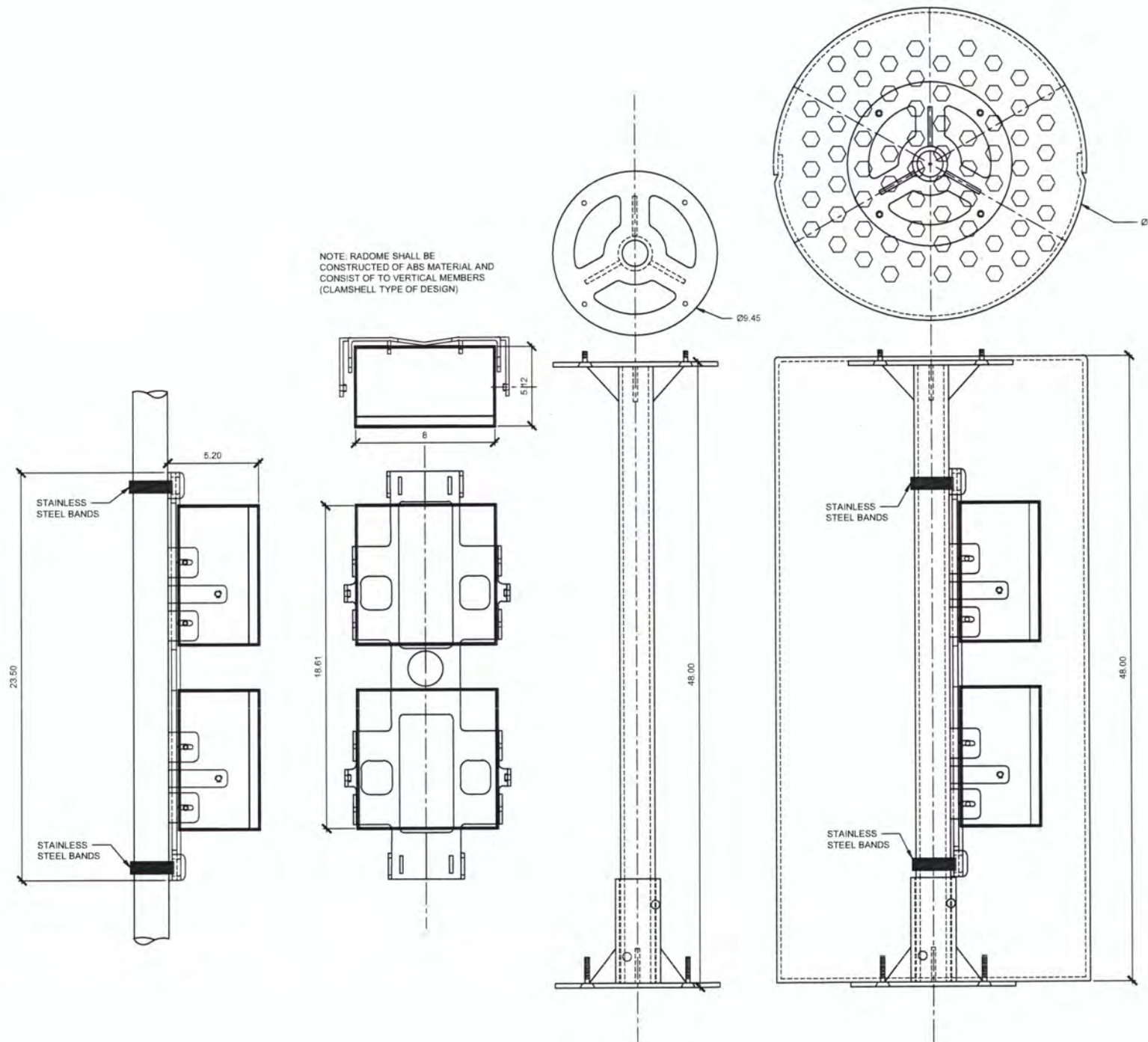
REVISIONS

REV	DATE	DESCRIPTION	BY
00	11/07/2016	PER CC COMMENTS	FR
01	12/15/2016	PER CC COMMENTS	SR
02	04/05/2017	PER CC COMMENTS	NB
03	05/15/2017	PER CC COMMENTS	NB
04	05/26/2017	PER CC COMMENTS	SR

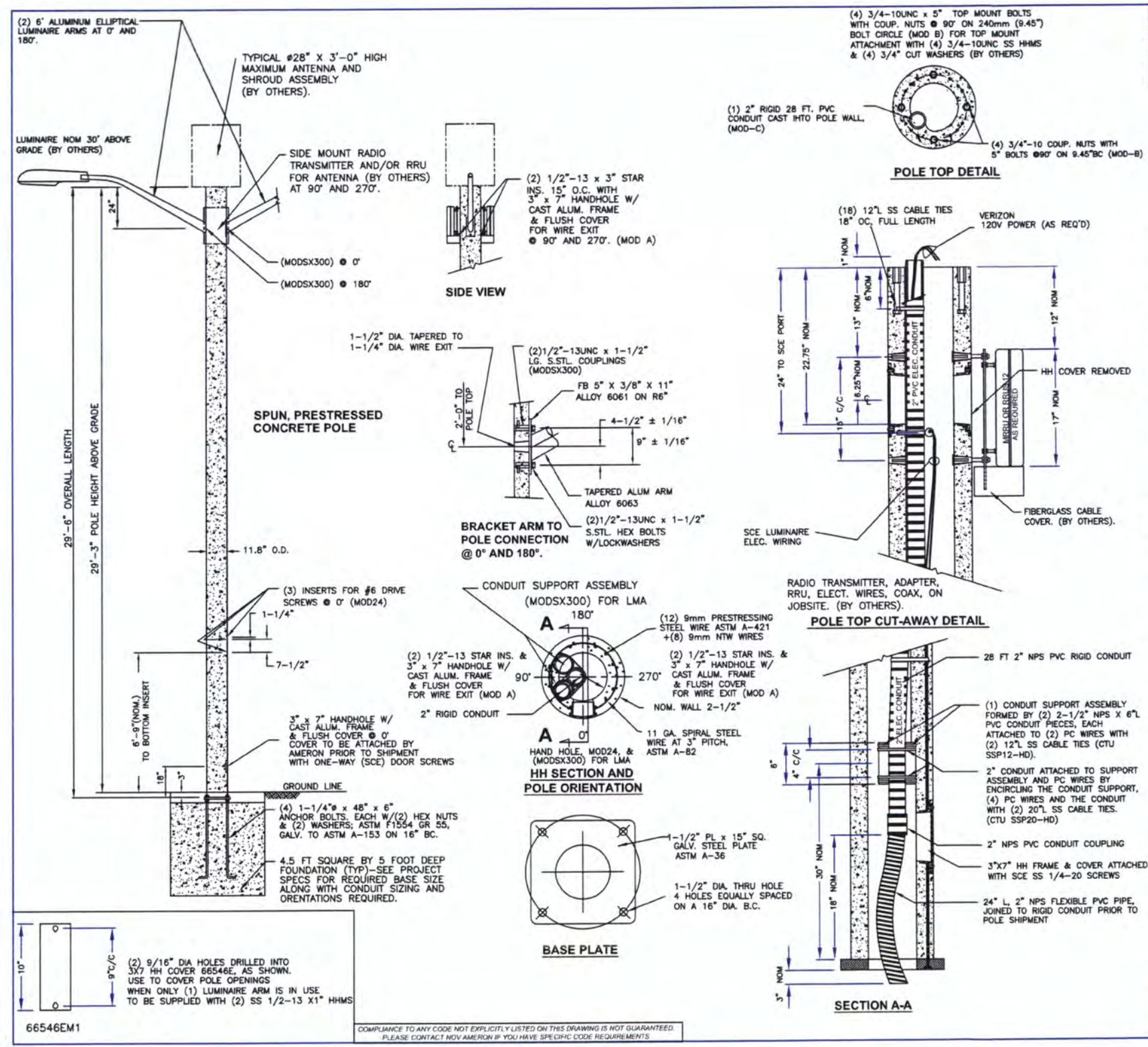
DRAWN BY:	CHECKED BY:	APPROVED BY:
NB	NB	NB

PROJECT NUMBER:	
FILE NAME:	EQUIPMENT DETAILS
DATE DRAWN:	05/26/2017
SCALE:	AS SHOWN

SHEET:	C-04
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CROWN NODE ID IE10_011
 T-MOBILE SITE ID SOC281
 SCE POLE ID 2193911E



REV.	DATE	DESCRIPTION	DRN.	APPR.
A	2/06/15	ADD DETAILS; LOWER INSERTS FOR XFMR, CHANGE XFMR ADAPTER DETAIL	SJB	
B	2/13/15	CHG. DETAILS; RAISE INSERTS FOR XFMR,	SJB	
C	2/17/15	ADD (B) NTW; INCREASE POLE CAPACITY	SJB	

"F" LEVEL CONFIG CODES			"P" LEVEL CONFIG CODES		
OPTION CLASS	ENTRY	INFO	OPTION CLASS	ENTRY	INFO
COATING	S		MIX	81	
HH COVER	66546E	(3 REQ'D)	FINISH	5	
HH COVER	66546EM1	(1 REQ'D)	POLE TOP CON.	(4) MOD-B	3/4"-10 COUPNUTS
HH PAINT	BARE		COLLAR SHAPE	NONE	
DOOR SCR	SCE	(2 REQ'D)	BASEPLATE	63250E	
DOOR SCR	1/4-20X.75	(4 REQ'D)	CAST IN MOD	(2) MODSX300	SIDE MT.
DOOR SCR	1/2-13X.75	(2 REQ'D)	CAST IN MOD	(2) MOD-A	HH + 1/2" STAR INS.
DRILL IN	MOD24		CAST IN MOD	(1) 2" CONDUIT MOD-C	TOP 28 FT
			CAST IN MOD	(1) SUPPORT	UP 30"

POLE DESIGNATION	POLE HEIGHT ABOVE GROUND	OVER-ALL LENGTH	ANCHOR BOLT CIRCLE	POLE DIA.	ULTIMATE G.L. MOMENT (ft. lbs.)	WEIGHT (lbs.)
BP300X09	29'-3"	29'-6"	16"	11-13/16"	79,900	2900

() POLES REQ'D (P/N: BP300X09-815S) INCL CONDUIT, EA WITH (2) 6' WALL BRACKET ALUM ELLIP. ARMS (P/N: LAEB6A); (1) ALUM COVER PLATE (66546EM1) FOR USE WHEN ONLY (1) LAEB6A ARM IS IN USE.

- NOTES:
- MIX (815S): SCE BLACK & WHITE, LIGHTLY EXPOSED AGGREGATE FINISH, WITH FLAT, WATER SEALER COATING.
 - ASTM C-150 TYPE III GRAY CEMENT.
 - f_c @ 28 DAYS = 7,000 PSI, USING SPUN CYLINDER TEST.
 - f_c @ 28 DAYS = 5,000 PSI, USING ASTM C-31 CYLINDER TEST.
 - POLES MANUFACTURED PER ASTM C-1089-13 SPECIFICATIONS.
 - PROTECTIVE COAT EXPOSED P.C. WIRES AT POLE ENDS.
 - SCE MAX ANTENNA: 200 POUNDS; CENTERED 2 FT ABOVE POLE TOP. -- MAXIMUM PROJECTED AREA - ROUND SHAPE IS 11 SQUARE FEET.
 - DUE TO THE NATURE & CHARACTERISTICS OF CONCRETE, SIDE MOUNT SPACING DIMENSIONS CAN ONLY BE TAKEN TO THE NEAREST 1/8 INCH.
 - INTERNAL SEPARATE ELECTRICAL CONDUIT FULL POLE LENGTH TO BE FURNISHED AND INSTALLED BY AMERON. INTERNAL ELEC. WIRES FOR ANTENNA AND RADIOS TO BE SEPARATED FROM SCE LUMINAIRE WIRES.

APPROVED BY: **Ameron** POLE PRODUCTS DIVISION

SOUTHERN CALIFORNIA EDISON
 BP300X09 POLE WITH DOUBLE 6' ARMS
 SPCL COVERED WIREWAYS FOR RADIOS

THIS DOCUMENT CONTAINS INFORMATION WHICH IS PROPRIETARY TO AMERON. IT SHALL NOT BE REPRODUCED, USED OR DISCLOSED TO ANYONE WITHOUT THE PRIOR WRITTEN PERMISSION OF AMERON.

DRAWN: SJB	2/15	SCALE: N.T.S.	DWG. NO. 1409-040	REV: C
CHK'D:				

LATITUDE & LONGITUDE:
 33.65418°, -117.91892°

ADDRESS:
 2196 HARBOR BLVD
 COSTA MESA, CA 92627

ENGINEER: **SOC WIRELESS**
 SAC AE DESIGN GROUP INC
 5015 SHOREHAM PLACE, SUITE 150
 SAN DIEGO, CA 92122
 www.socw.com
 619.736.3766

OWNER/DEVELOPER: **CROWN CASTLE**
 200 SPECTRUM CENTER DRIVE, SUITE 1800
 IRVINE, CA 92618

TITLE:
 CROWN CASTLE NG WEST
 JOB# 365238
 COSTA MESA

REV	DATE	DESCRIPTION	BY
00	11/07/2016	PER CC COMMENTS	FR
01	12/15/2016	PER CC COMMENTS	SR
02	04/05/2017	PER CC COMMENTS	NB
03	05/15/2017	PER CC COMMENTS	NB
04	05/26/2017	PER CC COMMENTS	SR

DRAWN BY: NB	CHECKED BY: NB	APPROVED BY: NB
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PROJECT NUMBER:	
FILE NAME:	LIGHT STANDARD DETAIL
DATE DRAWN:	05/26/2017
SCALE:	AS SHOWN

SHEET: C-05

CROWN NODE ID IE10_011
 T-MOBILE SITE ID SOC281
 SCE POLE ID 2193911E

LATITUDE & LONGITUDE:
 33.65418°, -117.91892°
 ADDRESS:
 2196 HARBOR BLVD
 COSTA MESA, CA 92627

ENGINEER:



OWNER/DEVELOPER:



TITLE:

CROWN CASTLE NG WEST
 JOB# 365238
 COSTA MESA

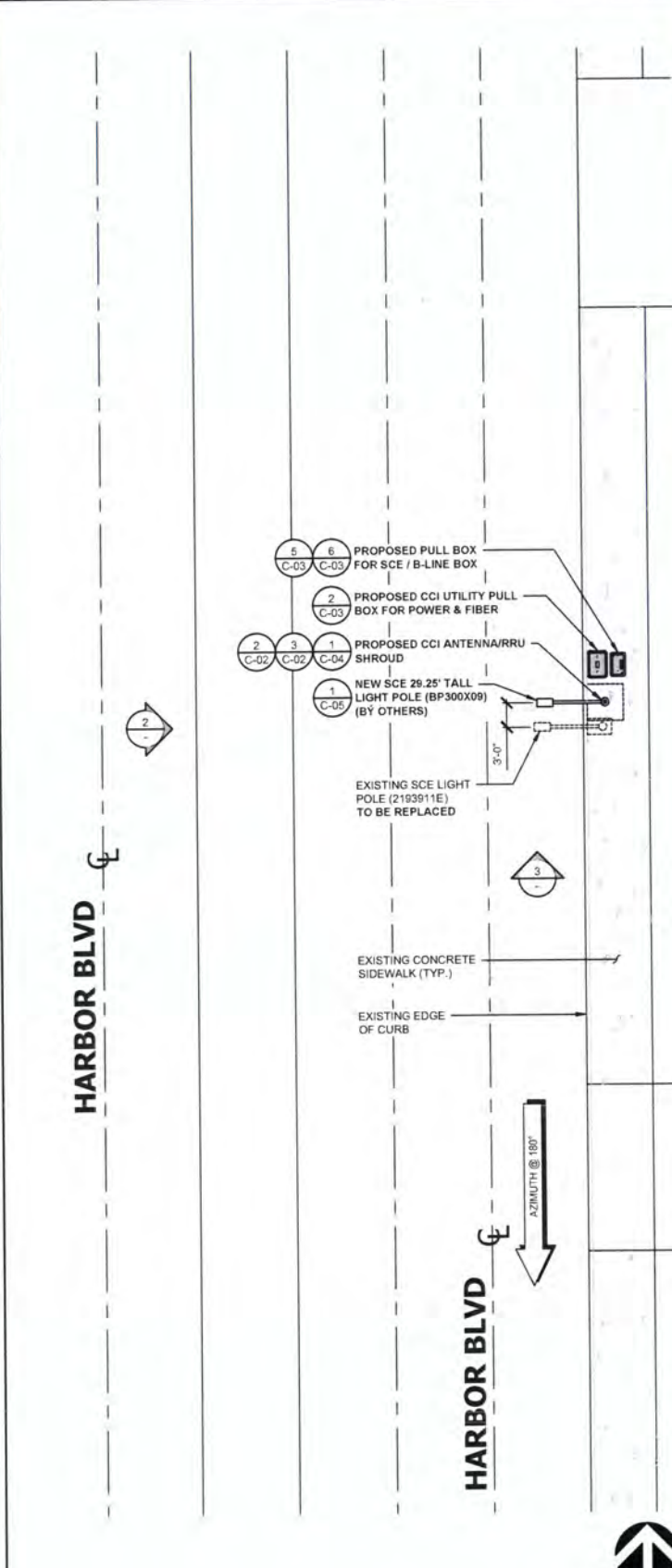
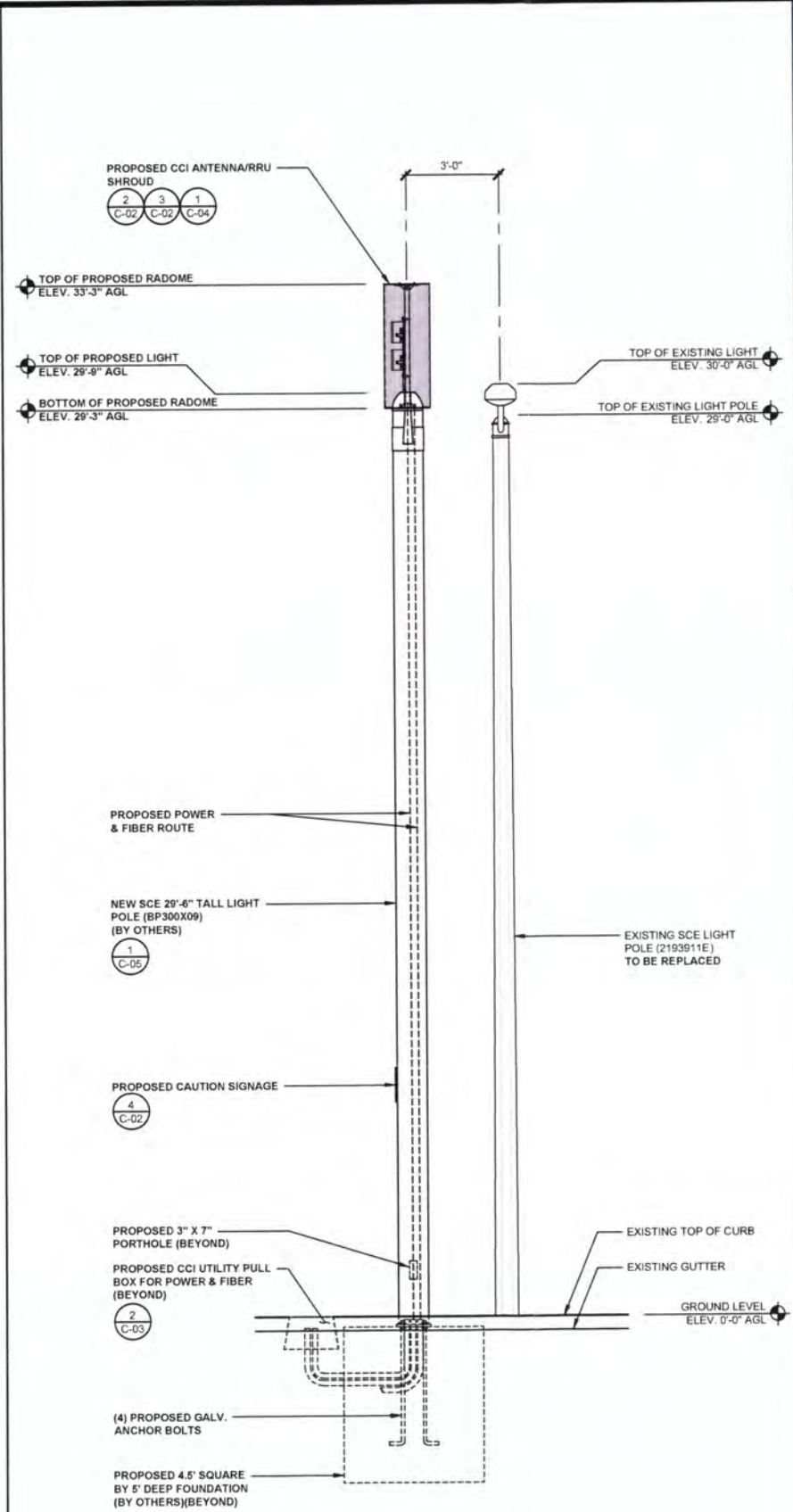
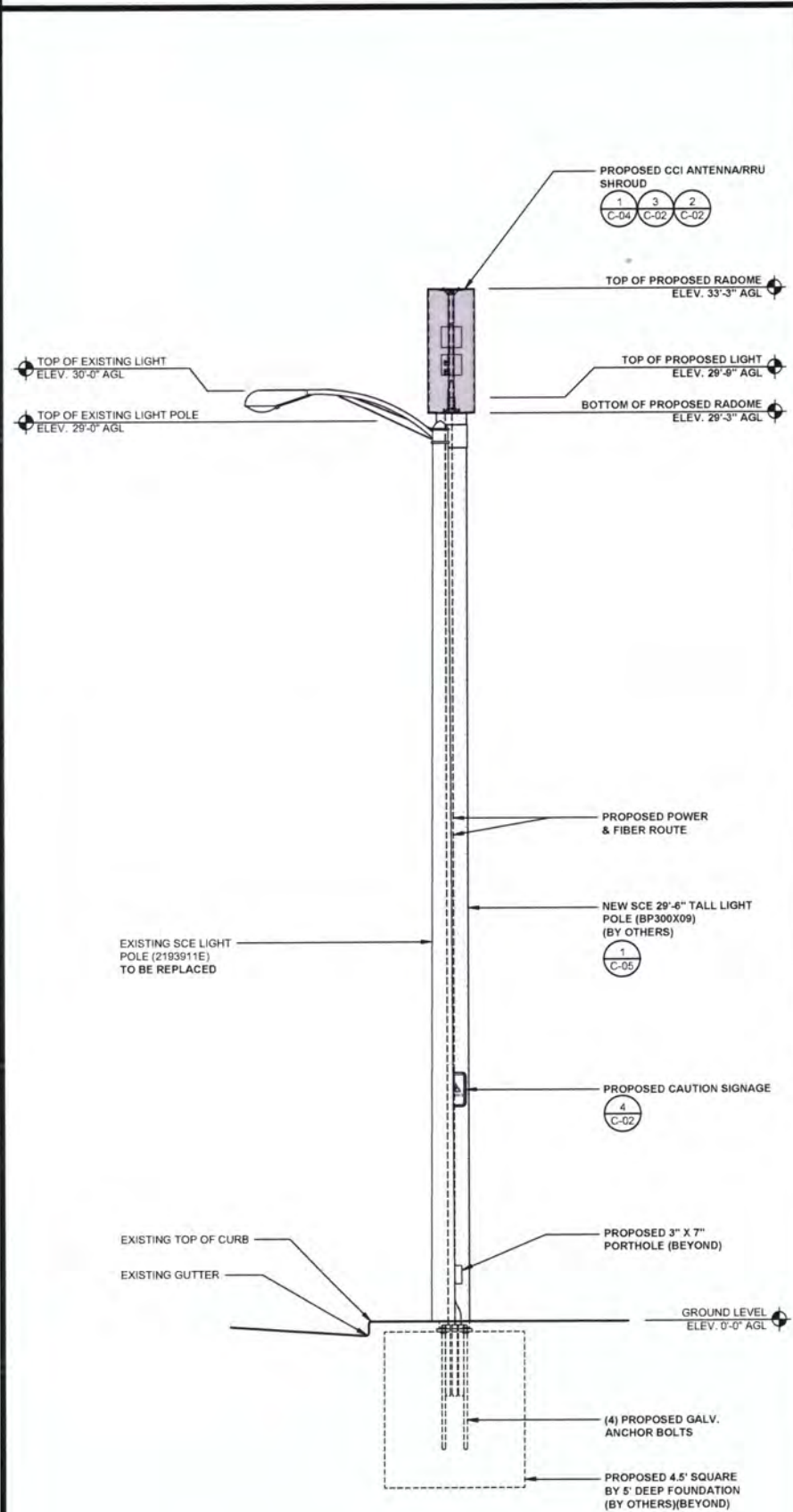
REVISIONS

REV	DATE	DESCRIPTION	BY
00	11/07/2016	PER CC COMMENTS	FR
01	12/15/2016	PER CC COMMENTS	SR
02	04/05/2017	PER CC COMMENTS	NB
03	05/15/2017	PER CC COMMENTS	NB
04	05/26/2017	PER CC COMMENTS	SR

DRAWN BY:	CHECKED BY:	APPROVED BY:
NB	NB	NB

PROJECT NUMBER:	
FILE NAME:	SITE PLAN & ELEVATION
DATE DRAWN:	05/26/2017
SCALE:	AS SHOWN

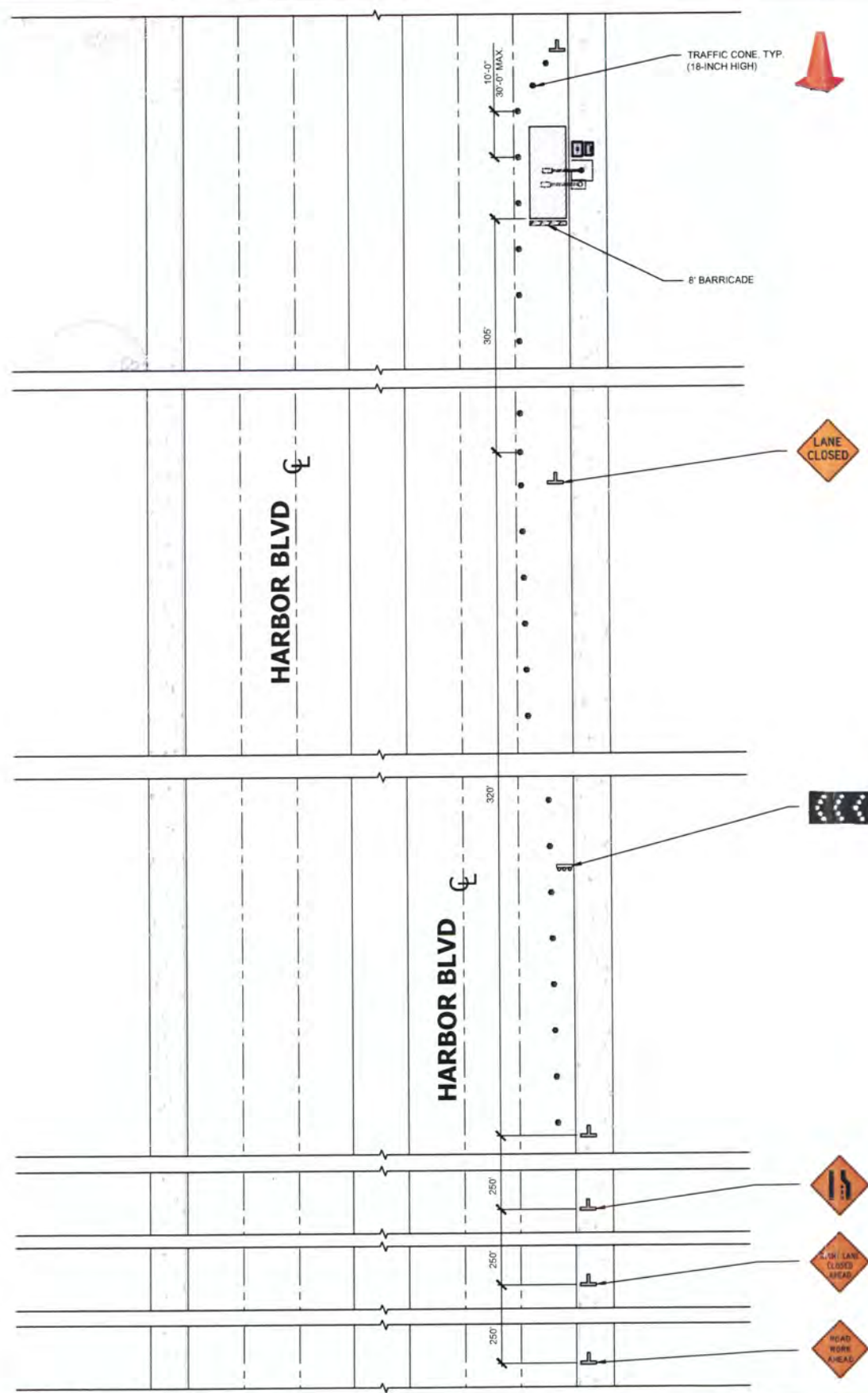
SHEET:	C-06
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PROPOSED SOUTH ELEVATION SCALE: 3/8" = 1'-0" (24x36) (OR) 3/16" = 1'-0" (11x17) **3**

PROPOSED WEST ELEVATION SCALE: 3/8" = 1'-0" (24x36) (OR) 3/16" = 1'-0" (11x17) **2**

SITE PLAN SCALE: 3/32" = 1'-0" (24x36) (OR) 3/64" = 1'-0" (11x17) **1**



LOW SPEED TTC ZONE NOTES:

1. WHEN THE POSTED OR OBSERVED SPEED IS 40 MPH OR LESS, THE TTC ZONE IS DEFINED AS "LOW SPEED". TTC SAFETY IN LOW SPEED TTC ZONES SHOULD NOT BE COMPROMISED BY USING FEWER DEVICES SIMPLY BECAUSE THE TRAFFIC IS SLOWER AND ACTIVITY OPERATIONS ARE FOR SHORT DURATIONS AND/OR FREQUENTLY CHANGE LOCATIONS. THE FOLLOWING TTC DEVICE GUIDELINES SHALL BE USED IN "LOW SPEED" ZONES:
 - A. FLASHING WARNING LIGHTS AND/OR FLAGS MAY BE USED TO CALL ATTENTION TO THE ADVANCE WARNING SIGNS.
 - B. A WORK VEHICLE WITH HIGH INTENSITY ROTATING, FLASHING, OSCILLATING, OR STROBE LIGHTS SHOULD BE USED. AN ARROW BOARD MAY BE USED FOR EACH LANE CLOSED.
 - C. THE MINIMUM HEIGHT OF CONES USED SHOULD BE 28 INCHES, 18-INCH HIGH TRAFFIC CONES MAY BE USED DURING DAYLIGHT HOURS.
 - D. WORKERS SHALL WEAR (MINIMUM) HIGH VISIBILITY CLASS 2 SAFETY APPAREL.
 - E. THE MINIMUM SIZE FOR ADVANCE WARNING SIGNS SHALL BE 36 INCHES BY 36 INCHES.
 - F. A MINIMUM OF TWO ADVANCED WARNING SIGNS SHALL BE POSTED FOR LANE CLOSURES.
2. ON LOW SPEED, LOW VOLUME STREETS DURING SHORT DURATION WORK, A REDUCTION IN THE NUMBER OF DEVICES MAY BE OFFSET BY THE USE OF MORE DOMINANT DEVICES SUCH AS "HIGH DENSITY" ROTATING, FLASHING, STROBE LIGHTS, OR ARROW BOARDS ON WORK VEHICLES UP TO ONE-HALF HOUR WORK DURATION.
 - A. FLAGGERS MAY BE USED FOR SHORT DURATION/MOBILE OPERATIONS WHICH OFTEN INVOLVE FREQUENT SHORT STOPS.
 - B. VEHICLE HAZARD WARNING SIGNALS SHALL NOT BE USED INSTEAD OF THE VEHICLE'S HIGH INTENSITY ROTATING, FLASHING, STROBE LIGHTS OR ARROW BOARDS.

CROWN NODE ID IE10_011
 T-MOBILE SITE ID SOC281
 SCE POLE ID 2193911E

LATITUDE & LONGITUDE:
 33.65418°, -117.91892°
 ADDRESS:
 2196 HARBOR BLVD
 COSTA MESA, CA 92627

ENGINEER:



SAC AE WIRELESS
 SAC AE DESIGN GROUP, INC.
 5015 SHOREHAM PLACE, SUITE 150
 SAN DIEGO, CA 92122
 WWW.SACAE.COM
 619.736.3766

OWNER/DEVELOPER:



CROWN CASTLE
 200 SPECTRUM CENTER DRIVE, SUITE 1800
 IRVINE, CA 92618

TITLE:
 CROWN CASTLE NG WEST
 JOB# 365238
 COSTA MESA

REVISIONS

REV	DATE	DESCRIPTION	BY
00	11/07/2016	PER CC COMMENTS	FR
01	12/15/2016	PER CC COMMENTS	SR
02	04/05/2017	PER CC COMMENTS	NB
03	05/15/2017	PER CC COMMENTS	NB
04	05/26/2017	PER CC COMMENTS	SR

DRAWN BY:	CHECKED BY:	APPROVED BY:
NB	NB	NB

PROJECT NUMBER:	
FILE NAME:	TRAFFIC CONTROL PLAN
DATE DRAWN:	05/26/2017
SCALE:	AS SHOWN

SHEET: **C-07**





CITY OF COSTA MESA

P.O. BOX 1200 • 77 FAIR DRIVE • CALIFORNIA 92628 - 1200

DEVELOPMENT SERVICES DEPARTMENT

October 5, 2017

Nancy Sheridan
200 Spectrum Center Drive
Suite 1800
Irvine, CA 92618

**RE: ZONING APPLICATION ZA-17-39
MINOR CONDITIONAL USE PERMIT TO INSTALL A SMALL CELL
FACILITY ON TOP OF A STREETLIGHT POLE
333 MERRIMAC WAY, COSTA MESA**

Dear Ms. Sheridan:

City staff's review of your zoning application for the above-referenced project has been completed. The application, as described in the attached project description, has been approved, based on the findings and subject to the conditions of approval and code requirements (attached). The decision will become final at 5:00 p.m. on October 12, 2017, unless appealed by an affected party, including filing of the necessary application and payment of the appropriate fee, or called up for review by a member of the Planning Commission or City Council.

If you have any questions regarding this letter, please feel free to contact the project planner, Johnwilly Aglupos, at either johnwilly.aglupos@costamesaca.gov or 714.754.5692.

Sincerely,

WILLA BOUWENS-KILLEEN, AICP
Zoning Administrator

Attachments: Project Description, Findings, Conditions of Approval, Code Requirements, Intent Letter, SCE consent letter, SCE Letter of Authorization, Disconnect Letter, SCE Streetlight Authorization Form, FCC, CPUC, Rendering, and Plans.

cc: Engineering
Transportation

PROJECT DESCRIPTION

The applicant requests approval of a minor conditional use permit (MCUP) to install a small cell facility on top of a Southern California Edison (SCE) streetlight pole adjacent to 333 Merrimac Way. The facility will include two RRUs and antennas inside a radome that is 48 inches in height and 18 inches in diameter. The installation will require the removal and replacement of the existing pole and an underground utility pull box for fiber and power to the new pole. The site is surrounded by institutional and recreational-zoned and developed properties with close proximity to residentially-zoned and developed properties.

The telecommunication industry is in constant growth and expansion. This includes an introduction of "Small Cell" facilities placed on light poles, traffic signals, or on new poles within the public right-of-way to support increased demand and capacity. "Small Cell" facilities (also referred to as "nodes") are a lower-power facility that will complement and supplement broader macro cell facilities, filling gaps in coverage from the macro facilities.

Pursuant to Municipal Code Title 19, Section 19-15(c)(2), a minor conditional use permit is required to establish and operate a wireless communication facility within the public right-of-way if: (1) the antenna is greater than 26 inches in length, (2) the volume of the radio box exceeds two cubic feet, (3) the facility requires an above ground cabinet/equipment, and (4) the facility is located within a 500-foot radius of a residentially zoned property. The applicant is requesting to deviate from the required antenna height by 22 inches (antenna is proposed at 48 inches in height) and to locate within a 500-foot radius of residentially zoned properties; remaining requirements are proposed to be satisfied.

ANALYSIS

Design and Location

The existing and replacement streetlight poles are owned by SCE. The SCE design criteria dictates the height and material of the replacement pole while the supporting small cell equipment varies in size and location in accordance to the carrier's technology (see Table 1 below). The applicant has provided an SCE letter of authorization regarding the approved Carrier's preliminary plans. Per U.S.C. 332(c)(7)(B)(i)(II), the city may not regulate the placement, construction or modification of wireless service facilities in a manner that prohibits the provision of personal wireless services; however, the law does not prohibit local government from asking the applicant to provide a design that allows for a compatible and harmonious relationship between the proposed facility and the surrounding area.

TABLE 1			
Comparison			
	Existing	Proposed	City Requirement
Top of Pole	29'-0"	29'-3"	N/A
Top of Light	30'-0"	29'-9"	N/A
Overall Height	30'-0"	33'-3"	35'-0"
Antenna Length	N/A	48"	26"
Diameter	Varies	11.8"	N/A
Color	Gray, lightly exposed aggregate	Gray, lightly exposed aggregate	N/A

The additional antenna height is proposed to allow the incorporation of the RRUs into the same shroud (radome) as the antenna itself, providing a more streamlined design. Although the actual antenna height exceeds the City's maximum requirement, the overall streetlight pole height will not exceed the City's maximum allowable height of 35 feet. The meter pedestal will be placed underground. In addition, the standard SCE pole will be in the same color and finish as the existing pole. The location, height, supporting small cell equipment, and color/finish of the replacement pole will be the least intrusive means of supporting coverage. Therefore, the design balances visual impact and coverage with adequate spacing of the facilities to effectively relay signal with minimum number of node locations, and utilizes existing vertical elements to minimize the net number of vertical intrusions in the public right-of-way.

The selected location maximizes the coverage of the small cell facility and minimizes the overlap with other facilities of the system, which results in a lower overall number of proposed facilities within the public right-of-way. However, if necessary, this proposal allows for collocation by multiple carriers within the shroud to avoid proliferation of other small cell facilities in the immediate area.

To avoid any street light outage during the replacement process and to keep compatible spacing between the existing streetlight poles, the proposed pole will be installed three feet from the existing pole; the existing pole will be removed as soon as the new pole is activated.

Health and Safety

Pursuant to Mobile Services U.S.C 332(c)(7)(B)(iv), no state or local government may regulate the site of wireless telecommunication facilities on the basis of the perceived health effects of radio frequency (RF) emissions to the extent that the proposed facility complies with FCC regulations concerning such emissions. The applicant submitted a detailed report regarding the RF emission. Based on FCC Rules and Regulations, the applicant will be compliant provided recommendations(s) are implemented; conditions of approval requiring compliance are included.

General Plan Consistency

The City's 2015-2035 General Plan ensures that development decisions and improvements to public and private infrastructures are consistent with the goals, objectives, and policies of the City.

- Policy CD-1.5: *Encourage electric and communication lines to be placed underground and electrical substations and telephone facilities to be screened to minimize visual impacts from sidewalks, streets, and adjacent properties. Support utility undergrounding through conditions of project approval, preparation of undergrounding plans, and the formation of assessment districts.*
- Policy C-1.2: *Allow for flexible use of public rights-of-way to accommodate all users of the street system while maintaining safety standards.*

Approval of the facility will meet the growing demand of the City's telecommunication needs while ensuring that the facility will not hinder the City's aesthetic and circulation of the public right-of-way. The proposal is in keeping with the intent of the City ordinance in that:

- The facility and support equipment are designed, textured, and painted to match existing streetlight poles;
- The facility uses the latest technology to reduce the bulk of the equipment;
- The design screens any supporting electrical and communication lines; and
- Placing all utilities underground allows flexible use of the sidewalk while maintaining safety standards.

FINDINGS

- A. The information presented complies with Costa Mesa Municipal Code Section 13-29(e) in that:
1. As proposed and conditioned, the small cell facility is compatible and harmonious to the surrounding existing facilities by locating the replacement pole as close as possible to the existing pole and using an approved SCE pole that is closely similar to the existing SCE poles.
 2. The proposed streetlight pole is engineered to withstand the weight of the equipment, the small cell will be compliant with FCC's radio frequency emissions, and the location of the replacement pole is close to the existing location which will not impede the pedestrian and automobile's path of travel. Therefore, granting the minor conditional use permit will not be detrimental to the health, safety and general welfare of the public or otherwise injurious to property or improvements within the immediate neighborhood.
 3. The proposed small cell facility complies with the maximum height of a telecommunication facility allowed within the public right-of-way.

4. The proposed small cell facility meets Policy CD-1.5 and Policy C-1.2 of the City's General Plan.
- B. The information presented complies with Costa Mesa Municipal Code Section 13-29(g)(2) in that:
1. The proposed small cell facility is compatible and harmonious to the surrounding facilities that exist on site and will not be materially detrimental to other facilities within the area. The facility and support equipment will be designed, textured, and painted to match the existing streetlight poles.
 2. Granting the minor conditional use permit will not be materially detrimental to the health, safety and general welfare of the public within the immediate neighborhood because it will be compliant with FCC's radio frequency emissions and meets SCE's design and structural standards.
 3. Granting the minor conditional use permit will not allow a use, density, or intensity which is not in accordance with the General Plan designation since the facility will be of the smallest size possible while incorporating all equipment within a single shroud/radome.
- C. The project has been reviewed for compliance with the California Environmental Quality Act (CEQA), the CEQA Guidelines, and the City environmental procedures, and has been found to be exempt under Section 15303(d), New Construction or Conversion of Small Structures, of the CEQA Guidelines.

CONDITIONS OF APPROVAL

- Plng
1. The small cell mounted on SCE's streetlight pole shall be mounted as shown on the attached conceptual plan with appropriate treatments to minimize visual impacts to surrounding properties and uses. Any support cabinet(s) shall be installed underground.
 2. Any wireless device colocating on the facility shall fit within the proposed shroud; the shroud shall remain the same size as approved.
 3. All electrical and antenna wiring shall be encased within the street light pole itself.
 4. Any substantial modifications to the physical dimension of the equipment or antennas shall be done with the prior approval of Planning Staff and may require filing and approval of a minor conditional use permit to ensure compliance with applicable City codes.
 5. Applicant shall defend, indemnify and hold harmless the City, its officials and employees, against all legal actions filed challenging City's approval of the applicant's project and/or challenging any related City actions supporting the approval. City shall have the right to select the attorney defending it, if it elects to do so.
 6. If any section, division, sentence, clause, phrase or portion of this approval is for any reason held to be invalid or unconstitutional by a decision of any court of competent jurisdiction, such decision shall not affect the validity of the remaining provisions.
 7. The replacement pole will be placed as close as possible to the existing pole. The existing pole shall be immediately removed upon the activation of the new pole.
 8. The replacement pole shall be of the same materials and as close as possible to the same diameter as the existing street light poles in the vicinity.
 9. The Small Cell shall comply with Title 47 - FCC's rules and regulations, including those related to FCC Radio Frequency Safety Guidelines.

CODE REQUIREMENTS

The following list of federal, state, and local laws applicable to the project has been compiled by staff for the applicant's reference. Any reference to "City" pertains to the City of Costa Mesa.

- Plng. 1. The approval of the zoning application shall be valid for a ten-year period from the date of approval (October 12, 2027), unless otherwise indicated in a condition imposed at the time of granting the application or unless otherwise exempted under federal or state law. Prior to the expiration of the permit, the applicant may apply for a ten-year extension of time. If notice was required for the original application, and a public hearing on the extension is allowed under federal and state law, notice of the public hearing for a time extension shall be given according to the procedures set forth in this section.
- 2. The antenna and all support equipment shall comply with all requirements of CMMC 19-15.
- Bldg 3. Comply with the requirements of the following adopted codes: 2016 California Building Code, 2016 California Electrical code, 2016 California Mechanical code, 2016 California Plumbing code and 2016 California Energy Code (or the applicable adopted, California Building code California Electrical code, California Mechanical code California Plumbing Code and California Energy Code at the time of plan submittal or permit issuance) and California Code of Regulations also known as the California Building Standards Code, as amended by the City of Costa Mesa. Requirements for accessibility to sites, facilities, buildings and elements by individuals with disability shall comply with chapter 11B of the 2016 California Building Code.
- Bus. 4. All contractors and subcontractors must have valid business licenses to do business in the City of Costa Mesa. Final inspections, final occupancy and utility releases will not be granted until all such licenses have been obtained.
- Lic.
- Eng. 5. Obtain an Encroachment Permit from the Engineering Division for work in the City public right-of-way. Pay required permit fee and cash deposit or surety bond to guarantee construction of off-site street improvements at time of permit per section 15-31 & 15-32, C.C.M.M.C. as approved by City Engineer. Cash deposit or surety bond amount to be determined by City Engineer.



Crown Castle
200 Spectrum Center Drive
Suite 1800
Irvine, CA 92618

July 19, 2017

Willa Bouwens-Killeen
Zoning Administrator
City of Costa Mesa Planning Department
77 Fair Drive
Costa Mesa, CA 92626

Re: Minor Conditional Use Permit for Facilities within the Public Right of Way (SOC277)

Dear Ms. Bouwens-Killeen:

Crown Castle NG West LLC (“Crown Castle”) is submitting a Minor Conditional Use Permit application to place an antenna node on a streetlight in the Right of Way in accordance with your code, ordinances and regulations. Please be advised the Federal Communications Commission (FCC) has adopted Rules and Regulations that impact how you must process this application. In addition, state law also limits your regulation of Crown Castle’s access to the public rights of way.

Crown Castle’s Deployment:

Crown Castle provides telecommunications services to its wireless carrier customers. It does so via telecommunications networks installed in the public rights of way that integrate elements including fiber optic cables as well as personal wireless services facilities, such as antennas and related equipment. Crown Castle’s networks are sometimes referred to as distributed antenna systems (“DAS”) or Small Cell networks. The specific equipment sought to be installed by Crown Castle in this case is set forth in the accompanying permit application.

Pursuant to the California Public Utilities Commission, Crown Castle has been granted a Certificate of Public Convenience and Necessity (“CPCN”) to provide such services. As a result, Crown Castle must be granted access to the public rights of way in the same manner and on the same terms applicable to other certificated telecommunications providers and utilities.¹ (copy enclosed)

Federal and State Regulations Applicable To This Application:

¹ See CA Pub. Util. Code, §§ 7901 and 7901.1

Federal law and the FCC's rules implementing the law require that this permit application be processed to a final decision by this jurisdiction without undue delay. Specifically, this application proposes to attach new equipment on a replaced streetlight in the public rights of way, this application must be acted on within one hundred and fifty (150) days from its submission, today.² Further, pursuant to recently passed California AB 57, if the City "fails to approve or disapprove" this application within that timeframe, it "shall be deemed approved."³

Moreover, pursuant to FCC regulations, this application is deemed complete 30 days after today unless you provide written notice to Crown Castle.⁴ If you contend that the application is incomplete, within the next 30 days you must provide written notice specifying any items you claim are missing to make the application complete.⁵ For each item alleged to be missing, you must specify the code provision, ordinance, application instruction, or otherwise publicly-stated procedure that requires the submission of the information.⁶

Please send all written requests for additional information regarding this application to:

Nancy Sheridan
Network Real Estate
Crown Castle
200 Spectrum Center Drive, Suite 1800
Irvine, CA 92618

Sincerely,

CROWN CASTLE NG WEST LLC



Nancy Sheridan

² *In re Petition for Declaratory Ruling to Clarify Provisions of Section 332(c)(7)(B) to Ensure Timely Siting Review*, Declaratory Ruling, 24 FCC Rcd. 13994 ¶¶ 32, 45-46 (2009) ("*FCC Shot Clock Order*"); *In the matter of Acceleration of Broadband Deployment By Improving Wireless Facilities Siting Policies*, Report and Order, FCC 14-153, WT Docket No. 13-238, ¶272 (FCC Oct. 21, 2014) ("*Wireless Infrastructure Order*") (clarifying that DAS nodes that involve installation of new poles trigger the 150 day shot clock).

³ See CA Government Code Section 65964.1.

⁴ *Wireless Infrastructure Order* at ¶¶ 257, 259.

⁵ *Id.* ¶¶ 259-260.

⁶ *Id.*



Brian P. Ryan
Principle Manager
Telephone: 909-274-1949
Brian.Ryan@sce.com

June 30, 2017

To Whom It May Concern:

Since 1994, Southern California Edison (SCE) has assisted wireless service providers in expanding their networks to meet customers' needs for telecommunications service. SCE makes available existing structures that can be used to co-locate the wireless service providers' equipment, while lessening the visual impacts on the community and constituency that is served. This letter requests that you help us in this endeavor.

In an effort to minimize the potential clutter that new vertical structures would produce, many California cities have adopted ordinances and policies encouraging wireless facilities to be mounted on street light poles within the public rights of way.

As you are aware, SCE owns and maintains street light poles in your city pursuant to our LS-1 tariff. In order to accommodate the increasing demand for micro-cell site locations, SCE has agreed to allow wireless service providers to attach their antennas to some of these streetlight poles, and contractually requires the wireless service provider to comply with certain requirements, including a requirement that the facility will not impact SCE's ability to provide street lighting service.

Costa Mesa has and retains full control over the entitlement and permitting process for these and future sites. The wireless service providers also pay for electrical usage resulting from their sites. This electrical service is metered and billed separately, and the City is not impacted.

While SCE believes this approach benefits local governments as well as their constituency, we would not engage in this solution if doing so resulted in extra costs to SCE. We would therefore appreciate you confirming that Costa Mesa consents to use of its public rights of way for the purpose of licensing space on an SCE Streetlight Pole # 1729110E located at: 323-355 Merrimac Way. Crown Castle Site number: SOC0277.

Please sign this letter to indicate your consent and return it to me at the below address. If you have any questions, please feel free to call Scott Haney (909) 274-1961.

Regards,

Brian P. Ryan

Signature _____
Name _____
Title _____
Date: _____



Brian Ryan
Principal Manager Telecom Sales
Edison Carrier Solutions
e-mail: Brian.Ryan@sce.com

June 30, 2017

Costa Mesa Planning Department

To Whom It May Concern:

Re: Letter of Authorization

SCE streetlight identified as – SCE Streetlight Pole # 1729110E located adjacent: 323-355 Merrimac Way. Crown Castle Site Number: SOC0277.

Southern California Edison Company (SCE) is the owner of the Light Pole, located in Costa Mesa, CA. Crown Castle "Carrier" has requested that SCE replace the existing Light Pole so that it can be used for operating a wireless communications facility, ("Site").

SCE has reviewed Carrier's preliminary plans for this Site and believe these plans are compatible with SCE's use of this Light Pole. Thus, as a representative of SCE, I hereby authorize Carrier, and its representatives, to seek and secure all right(s), including any environmental review associated with granting such rights, that are needed from the Jurisdiction to use the Light Pole and other property for this purpose as long as there are no costs to SCE.

Notwithstanding this authorization, SCE reserves the right to reject Carrier's request for use of its Light Pole for any reason, including imposed conditions or required changes to the light pole by the Jurisdiction, are unacceptable to SCE.

All correspondence and/or notices regarding use of SCE's Light Pole by Carrier, or any later requests by the Carrier for authorizations or approvals needed for construction, operation or maintenance of an approved Site, should include a copy to SCE.

If you have any questions concerning this project, please contact Scott Haney @ 626-688-9344.

Sincerely,

A handwritten signature in black ink that reads "Brian P. Ryan". The signature is written in a cursive style with a long horizontal stroke at the end.

Brian P. Ryan

PLEASE TRANSFER LETTER TO CITY LETTERHEAD

Date

Brian Ryan
Southern California Edison
Carrier Solutions Division
2 Innovation Way 1st Floor
Pomona, Ca 91768

Dear Mr. Ryan:

This letter authorizes Southern California Edison (SCE) to disconnect the SCE streetlight identified as – SCE Streetlight Pole #1729110E located adjacent: 323-355 Merrimac Way. Crown Castle Site number: SOC0277 so that work can be performed to replace the existing Streetlight.

Crown Castle (Wireless Carrier) has requested that SCE replace the Southern California Edison streetlight with a new streetlight that will be used for operating the wireless communications facility identified as SCE Light Pole #1729110E located adjacent: 323-355 Merrimac Way. Crown Castle Site number: SOC0277.

Please coordinate the disconnecting of the streetlight directly with Costa Mesa, (please provide County Contact, Name, Phone) so that the light will be out only for the above referenced work to be completed.

If you have any questions, please do not hesitate to call me.

Sincerely,

Name
Public Agency

SOUTHERN CALIFORNIA EDISON STREETLIGHT AUTHORIZATION

**DEVELOPER/APPLICANT MUST PROVIDE THIS FORM
COMPLETED BY THE PUBLIC AUTHORITY
FOR ANY SCE-OWNED STREETLIGHT INSTALLATION, REMOVAL OR CHANGE REQUESTS**
Incomplete forms will be returned and not processed

PUBLIC AUTHORITY NAME: _____

Builder/Developer Name: <u>Crown Castle NG West</u>	Phone #: _____
Tract/Ref # <u>SCE Pole No. 1729110E</u>	Streetlight Location <u>33.66734, -117.91471</u>

Please Check one: <input type="checkbox"/> Installation <input type="checkbox"/> Removal <input type="checkbox"/> Change		
Number of Lamp(s)	Lamp Size	Lamp Type
_____	_____	_____
_____	_____	_____
_____	_____	_____

New Installations	
Public Authority Responsibility for Streetlight Monthly Billing	
Please Check one and fill out applicable dates:	
<input type="checkbox"/> Upon Energizing <input type="checkbox"/> If Public Authority is collecting Builder/Developer Advanced Energy Payment, indicate date collected. (_____)	
Monthly Billing: <input type="checkbox"/> Establish new Service Account (SA) Use existing SA # _____	
<input type="checkbox"/> Commitment Date- Date Agreed upon by SCE and Public Authority (_____) or no later than 36 months from first streetlight energized whichever is earlier.	
Monthly Billing: <input type="checkbox"/> Establish new Service Account (SA) Use existing SA # _____	
<input type="checkbox"/> Public Authority is not responsible <input type="checkbox"/> HOA Area Name _____ Other Entity (please define) _____	
Public Authority Notes:	

Authorized Public Authority Agent

_____	_____	_____
Print name	Date	Signature
Phone # _____		_____
		Title

TO BE COMPLETED BY SCE		
ACTION: ENTER TRACT/REF# ON DM PROGRAM NAME FIELD.		
District _____	Planning AOR _____	PLANNER NAME (PRINT) _____

DM SR # _____ Product # _____ (one per SLA)

RADIO FREQUENCY ELECTROMAGNETIC FIELDS EXPOSURE REPORT

Prepared for Crown Castle

Site Name: Scenario
Site Type: Min. Height AGL of 18' or Greater - Light Pole
Report By: Christopher Stollar, P.E.
Report Date: 1/24/2017

Based on FCC Rules and Regulations, Crown Castle is compliant.

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1.0 EXECUTIVE SUMMARY

Dtech Communications, LLC (“Dtech”) has been retained by Crown Castle to determine whether its wireless communications facility complies with the Federal Communications Commission (“FCC”) Radio Frequency (“RF”) Safety Guidelines. This report contains a computer-simulated analysis of the Electromagnetic Fields (“EMF”) exposure resulting from a typical, minimum antenna height above ground level (“AGL”) of 18-feet, light pole facility. The analysis also includes assessment of existing wireless carriers on site, where information is provided. The table below summarizes the result at a glance:

Table 1: EMF Summary

Crown Castle	Summary
Access Type	Walk-Up
Access to antennas locked	NA
RF Sign(s) @ access point(s)	None
RF Sign(s) @ antennas	Information (Optional)
Barrier(s) @ sectors	NA
Max Cumulative EMF level for Crown Castle on Ground	7.2% General Population
Max Cumulative EMF level for Crown Castle @ Antenna Level	80.1% General Population (16.0% Occupational)
General Population Exclusion Zone (At Antenna Elevation)	NA
Occupational Exclusion Zone (At Antenna Elevation)	NA

2.0 SITE DESCRIPTION

The wireless telecommunication facility is located on the ground. The facility consists of 1 wireless carrier(s) or operator(s): Crown Castle – T-Mobile. For this scenario, Crown Castle’s antennas are mounted on a light pole and connected to the equipment via cables (see Appendix E).

2.1 Antenna Inventory

Technical specifications in the table below are provided by our clients or gathered from physical field surveys where applicable and/or possible. Conservative estimates are used where information is not provided or available.

Table 2: Site Technical Specifications

Antenna ID	Operator	Antenna Mfg	Antenna Model	Type	Frequency (MHz)	Technology	Orientation (°T)	Horizontal BWdth (°)	Antenna Aperture (ft)	Antenna Gain (dBd)	Total ERP (Watts)	Bottom Tip Height Above Ground (Z) (ft)	Bottom Tip Height Ant Level (Z) (ft)
A1	T-Mobile	Ericsson	6503	Directional	1900	LTE	330	85	0.7	6.9	21.6	19.3	1.3
A2	T-Mobile	Ericsson	6503	Directional	2100	LTE	330	74	0.7	7.9	27.2	18.0	0.0
Total											48.8		

3.0 ANALYSIS

3.1 Emission Predictions

Figure 1: Plan (bird's eye) view map of results compared to FCC's General Population MPE (Maximum Permissible Exposure) Limits. Gray represents areas where exposure levels are calculated to be at or below 5%; Green- between 5% & 100% (below MPE limits); blue, yellow & red – greater than 100% (exceeds MPE limits).

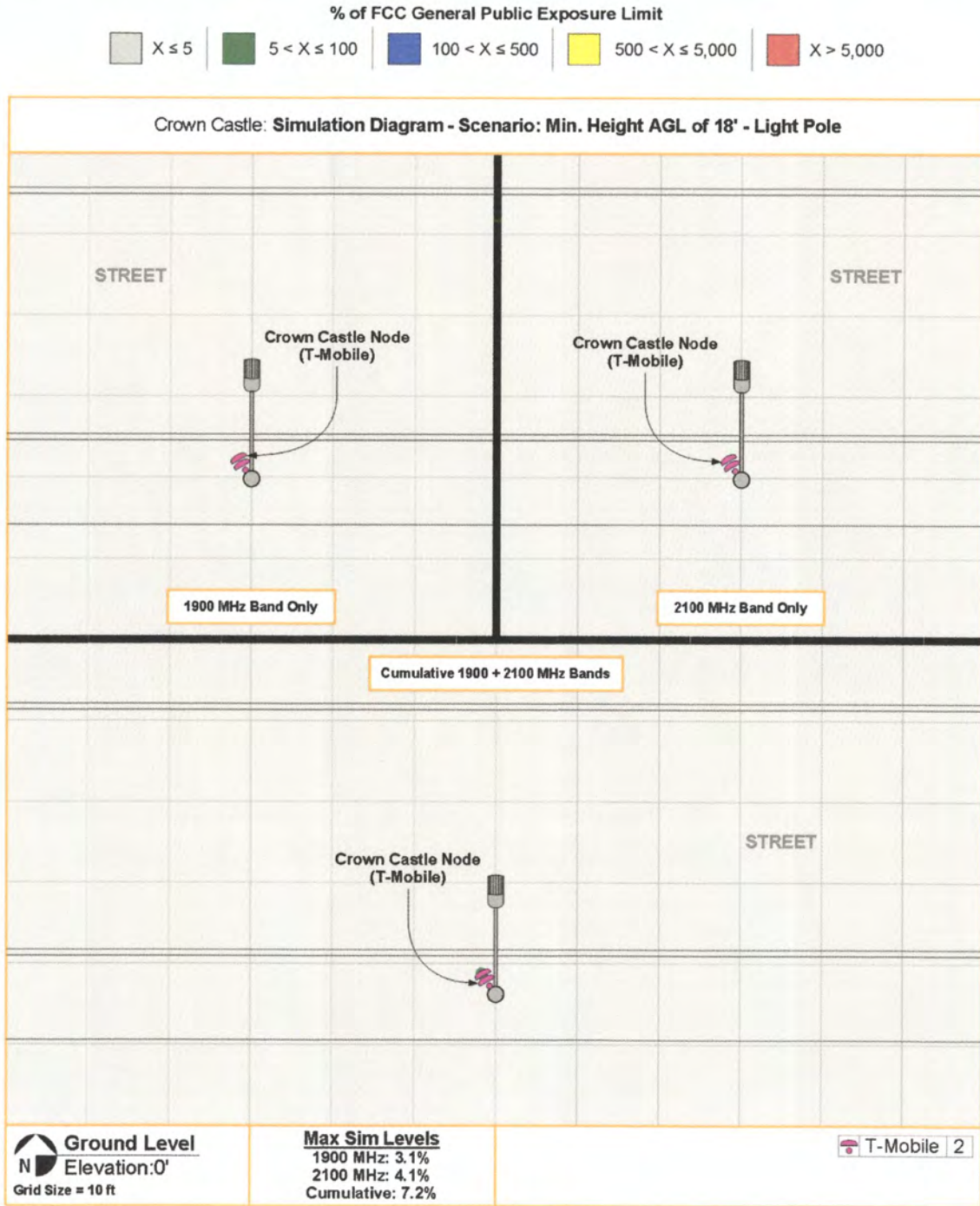
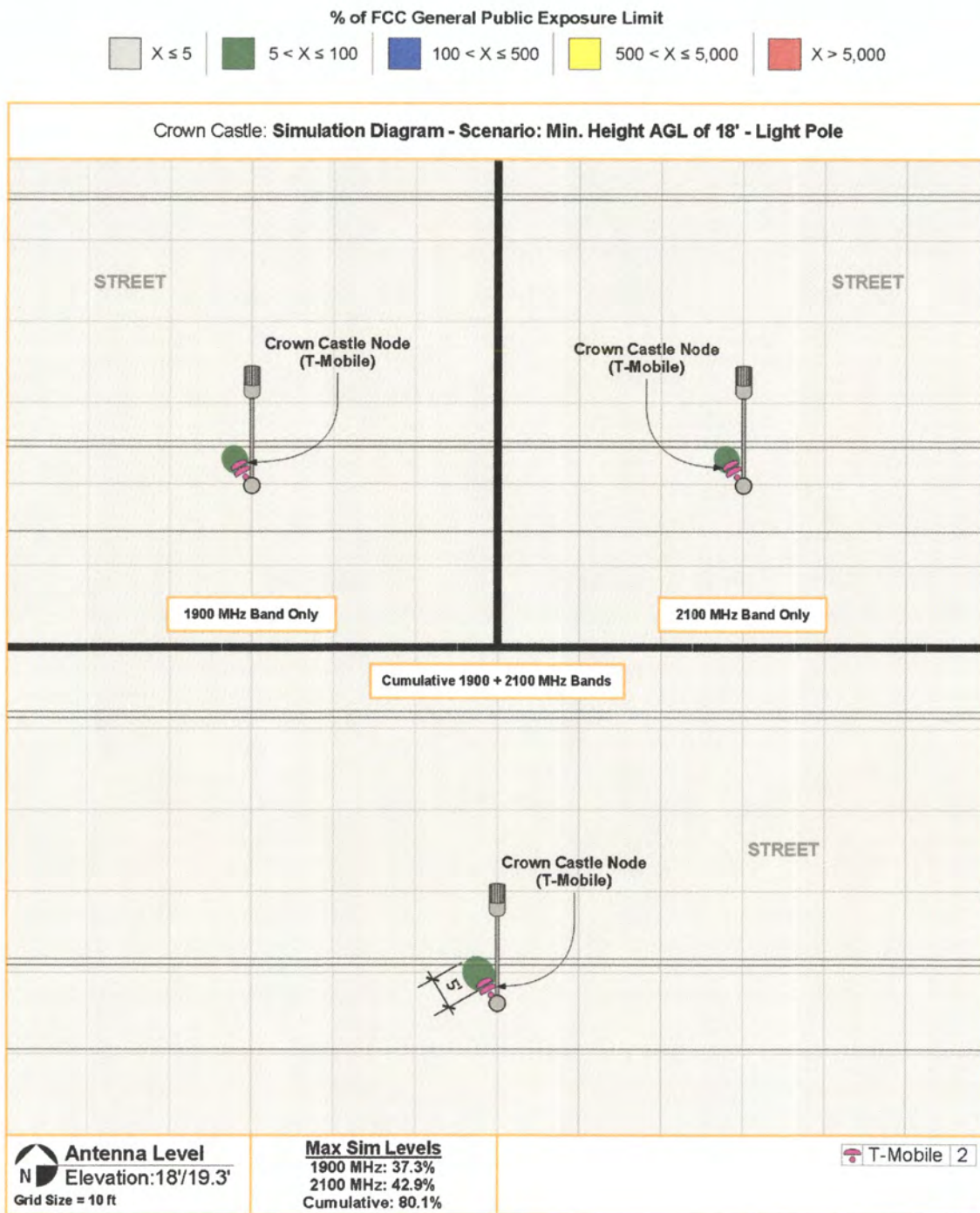


Figure 2: Plan (bird's eye) view map of results compared to FCC's General Population MPE (Maximum Permissible Exposure) Limits. Gray represents areas where exposure levels are calculated to be at or below 5%; Green- between 5% & 100% (below MPE limits); blue, yellow & red – greater than 100% (exceeds MPE limits).



4.0 CONCLUSION

4.1 Results

For a person standing on the ground, calculations for Crown Castle's site (at a minimum height AGL of 18-feet) resulted in exposure levels no higher than 7.2% of the applicable FCC's General Population MPE Limits (see figure 1). If the antennas are located higher than the minimum height AGL of 18-feet, the exposure levels on the ground would consequently be lower. The results on the ground are well below the applicable FCC's General Population MPE Limits, and members of the general public can safely occupy all areas on the ground for an indefinite amount of time.

At antenna elevation, the highest calculated exposure level is also below the FCC's General Population MPE Limits near the Crown Castle antennas (see figure 2). If the antennas are located higher than the minimum height AGL of 18-feet, the exposure levels at antenna elevation would be the same. The green areas represent exposure levels that are calculated to be between 5% and 100%, which is below the FCC's General Population MPE Limits. The green exposure area extends 5-feet from the front face of the Crown Castle antenna(s). Beyond 5-feet (areas represented in gray), exposure calculations would be at or below 5%, which are considered ambient levels. Individuals can safely occupy any areas in gray and green for an indefinite amount of time.

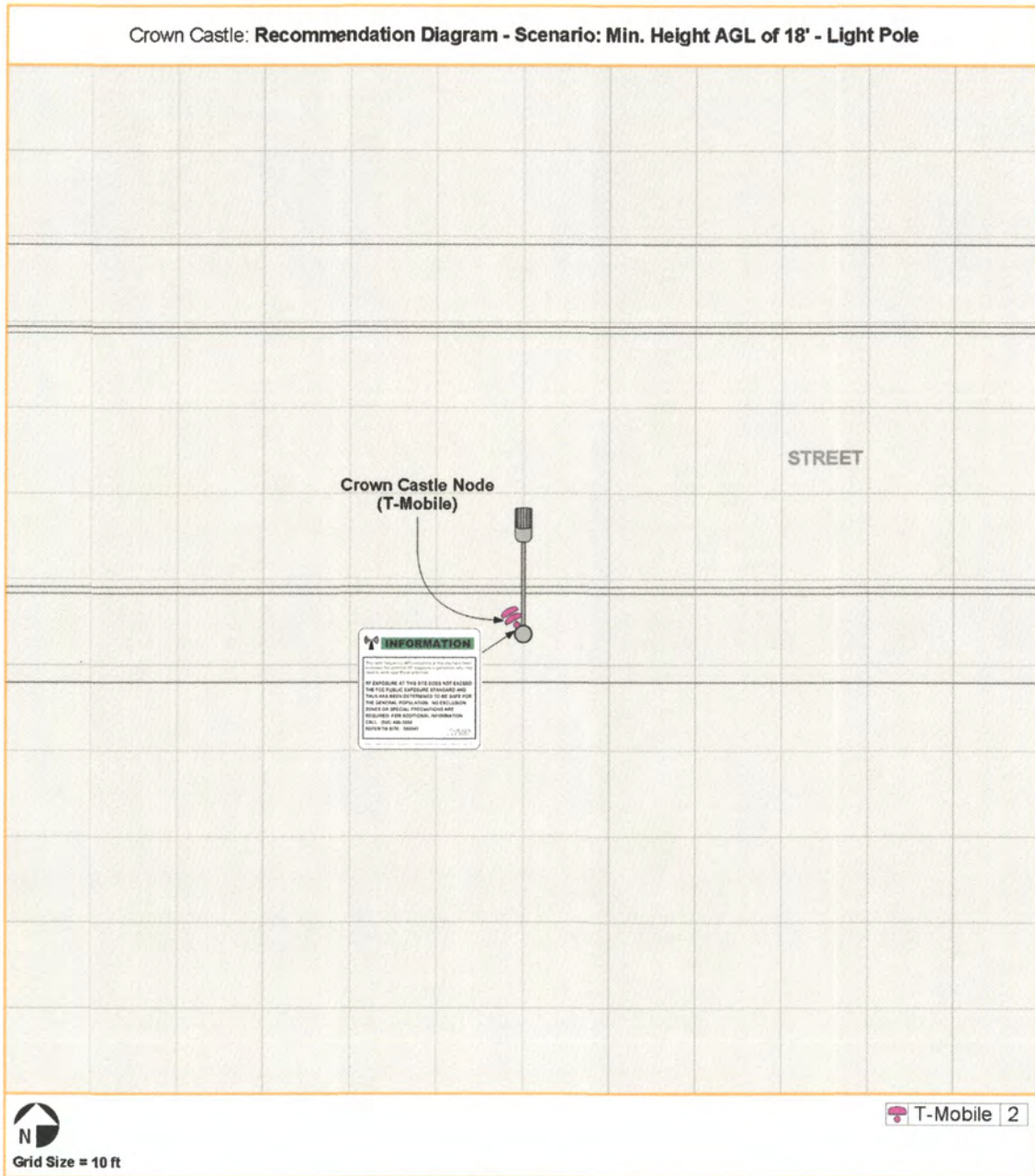
*Note: The actual MPE results of this analysis are only applicable to the specific antenna make/model, minimum heights, line/cable losses, total power output, and frequencies. Compliance is the same even if the antennas are raised above the minimum height AGL of 18-feet.

4.2 Recommendation(s)

The following conservative action(s) are recommended in accordance with the FCC's RF Safety Guidelines (see figure 3):

- 1) As a courtesy, install INFORMATION Sign(s) on or near the antenna(s). Signage should be placed high on the pole and away from public view.

Figure 3: Recommendation(s)



4.3 Statement of Compliance

Based on the above results, analysis and recommendation(s), it is the undersigned's professional opinion that Crown Castle's site is compliant with the FCC's RF Safety Guidelines.

4.4 Engineer Certification

This report has been prepared by or under the direction of the following Registered Professional Engineer: Darang Tech, holding California registration number 16000. I have reviewed this report and believe it to be both true and accurate to the best of my knowledge.


Darang Tech, P.E.



Appendix A: Background

Dtech uses the FCC's guidelines described in detail in Office of Engineering & Technology, Bulletin No. 65 ("OET-65") "Evaluating Compliance with FCC Guidelines for Human Exposure to Radiofrequency Electromagnetic Fields". The table below summarizes the current Maximum Permissible Exposure ("MPE") safety limits classified into two groups: General population and Occupational.

Table 3: FCC MPE Limits (from OET-65)

Frequency (Mhz)	General Population/ Uncontrolled MPE (mW/cm ²)	Averaging Time (minutes)	Occupational/ Controlled MPE (mW/cm ²)	Averaging Time (minutes)
30 - 300	0.2	30	1.0	6
300 - 1500	Frequency (Mhz)/1500 (0.2 - 1.0)	30	Frequency (Mhz)/300 (1.0 - 5.0)	6
1500 - 100,000	1.0	30	5.0	6

General population/uncontrolled limits apply in situations in which the general public may be exposed or in which persons who are exposed as a consequence of their employment, and may not be fully aware of the potential for exposure or cannot exercise control over their exposure. Therefore, members of the general public always fall under this category when exposure is not employment-related.

Occupational/controlled limits apply in situations in which persons are exposed as a consequence of their employment, and those persons have been made fully aware of the potential for exposure and can exercise control over their exposure. Occupational/controlled limits also apply where exposure is of a transient nature as a result of incidental passage through a location where exposure levels may be above general population/uncontrolled limits, as long as the exposed person has been made fully aware of the potential for exposure and can exercise control over his or her exposure by leaving the area or by some other appropriate means.

It is important to understand that the FCC guidelines specify *exposure* limits not *emission* limits. For a transmitting facility to be out of compliance with the FCC's RF safety guidelines an area or areas where levels exceed the MPE limits must, first of all, be in some way *accessible* to the public or to workers. When accessibility to an area where excessive levels is appropriately restricted, the facility or operation can certify that it complies with the FCC requirements.

Appendix B: Measurement and/or Computer Simulation Methods

Spatial averaging measurement technique is used. An area between 2 and 6 feet, approximately the size of an average human, is scanned in single passes from top to bottom in multiple planes. When possible, measurements were made at very close proximity to the antennas and inside the main beam where most of the energy is emitted. The spatial averaged values were recorded.

Dtech uses an industry standard power density prediction computer Model¹ to assess the worse-case, cumulative EMF impact of the surrounding areas of the subject site. The Model does not take into account losses due to buildings. Its methodologies are conservative enough to account for typical down-tilts deployed in wireless communications. In addition, the analysis is performed at 100% duty cycle-all transmitters are active at all times and transmitting at maximum power. For purposes of a cumulative study, nearby transmitters are included where possible. The result is a surrounding area map color-coded to percentages of the applicable FCC's MPE Limits. A result higher than 100% exceeds the Limits.

Appendix C: Limitations

Dtech performed this analysis based on data provided by our clients that Dtech believes to be true and correct. Estimates where noted, are based on common industry practices and our best interpretation of available information. As mobile technologies continuously change, these data and results may also change. Therefore, Dtech disclaims all other warranties either expressed or implied. Any use of this document constitutes an agreement to hold Dtech and its employees harmless and indemnify it for any and all liability, claims, demands, litigation expenses and attorneys fees arising from such use. This is a technical document and may contain minor grammatical and/or spelling errors.

¹ Roofview® Version 4.15, Richard Tell Associates, Inc. © 1996-2000.

Appendix D: Crown Castle RF Advisory Signs



INFORMATION Sign



NOTICE Sign

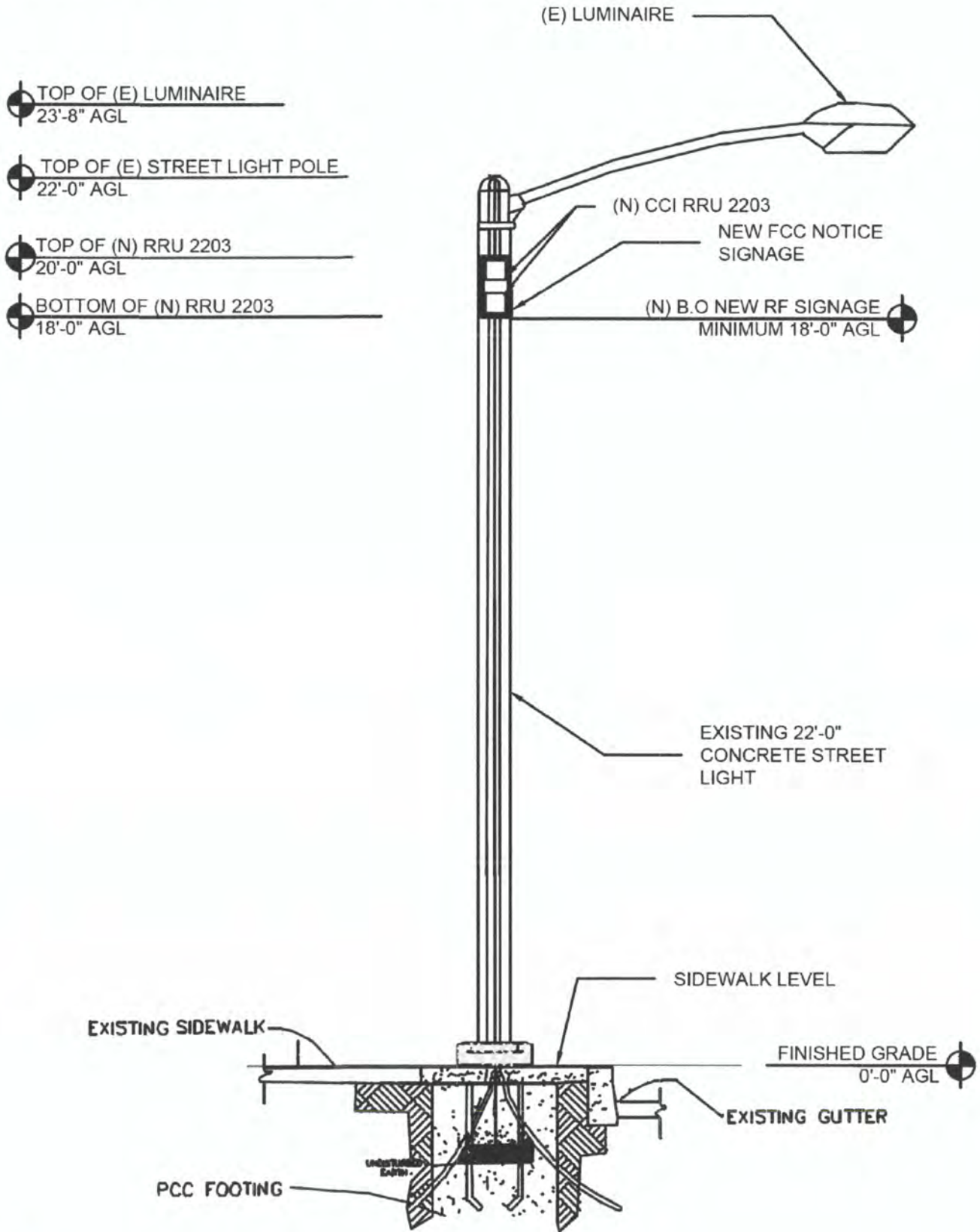


CAUTION Sign



WARNING Sign

Appendix E: Scenario - Min. Height AGL of 18' or Greater - Light Pole



CALIFORNIA PUBLIC UTILITIES COMMISSION
Advice Letter Filing Summary Sheet (PAL)

(Date Filed / Received Stamp by CPUC Industry Division)
DATE - STAMP & RETURN
 5 PM 1:50
 Date AL served on parties: _____

Company Name: Crown Castle NG West LLC **CPUC Utility Number** U-6745-C

Address: 1220 Augusta Drive, Suite 500 GRC-LEC URF-Carrier Other

City, State, ZIP: Houston, Texas 77075 Commission Resolution Requested
 Carrier of Last Resort (See D.96-10-066)

Filing AL #: 63 **Requested Effective Date:** July 15, 2014 **AL Tier** I II III

	Name:	Email Address:	Phone No.:	Fax No.:
Filer	Brett P. Ferenchak Jean L. Kiddoo	brett.ferenchak@bingham.com jean.kiddoo@bingham.com	(202) 373-6000	202-373-6001
Certif.	Same as above	Same as above	Same as above	No. Tariff Sheets: <u>N/A</u>

(Name, email address & Phone and FAX numbers *are Required for "Filer"*)

Tariff Schedules: N/A **Keyword:** Carrier Information Changes (see keyword list on reverse)

For Contract Keyword, Type: Government Other Date Executed _____ Contract Total Rev (\$) _____

Subject of filing: Conversion and Associated Name Change
 (Service(s) included)

Authorization for filing: G.O. 96-B and Telecommunications Industry Rule 7.1(1)
 (Resolution #, Decision #, etc.)

Affected services:
 (Other services affected, pending or replacement AL filings)

Rate Element(s) affected and % change: _____
 (Non-recurring and / or recurring)

Customer Notice Required (if so, please attach)

Notes/Comments: _____
 (Other information & reference to advice letter, etc.)

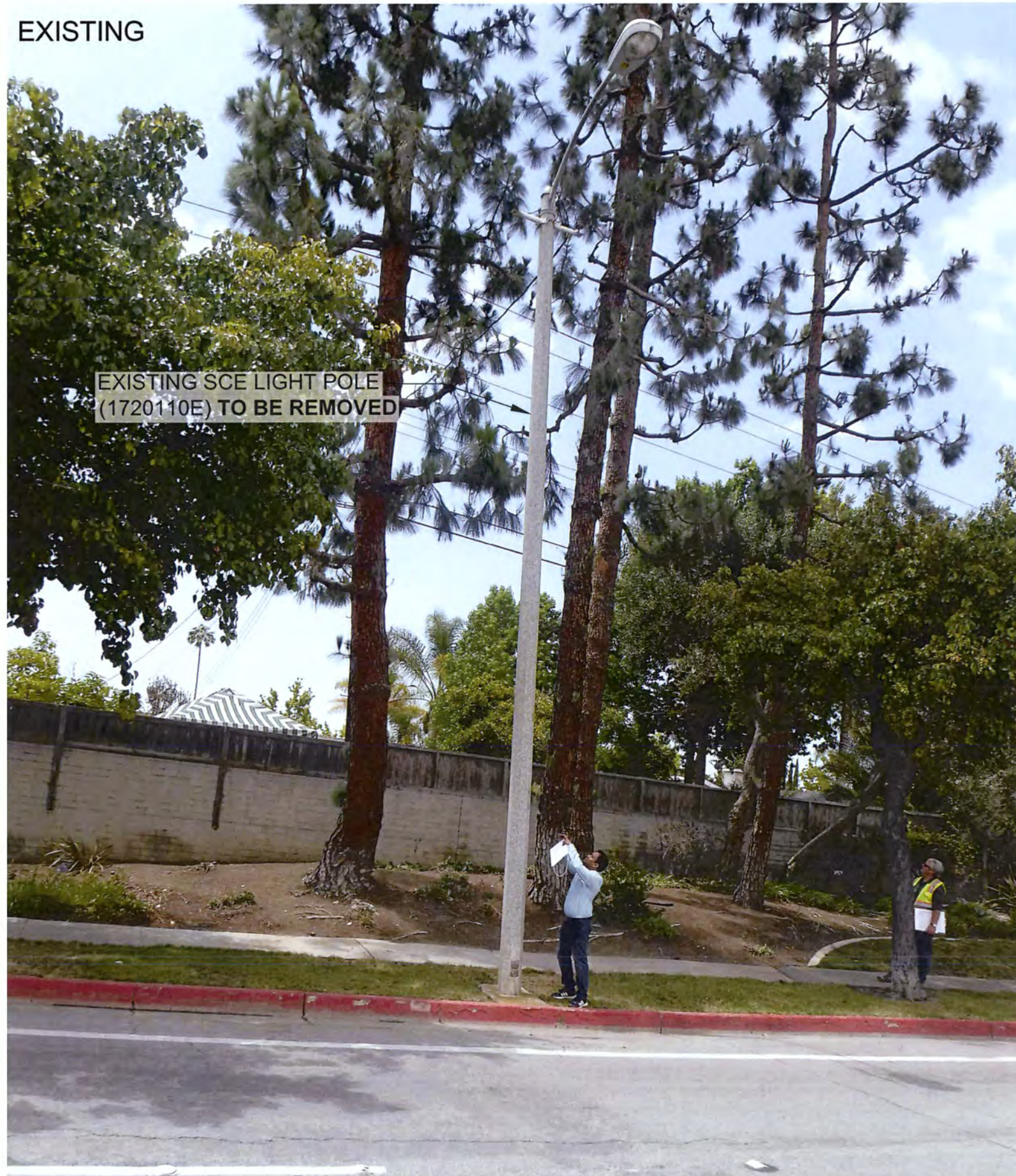
File Protest and/or Correspondence to:
 Director, Communications Division
 505 Van Ness Ave., San Francisco, CA 94102
and if you have email capability, ALSO email to:
TD_PAL@cpuc.ca.gov
Protest also must be served on utility:
 (see utility advice letter for more information)

GRC-LEC = Cost of Service LEC Carrier
URF-Carrier = Uniform Regulatory Framework Carrier
 (see D.06-08-030/D.07-09-019)
OTHER = Wireless (CMRS) Carrier

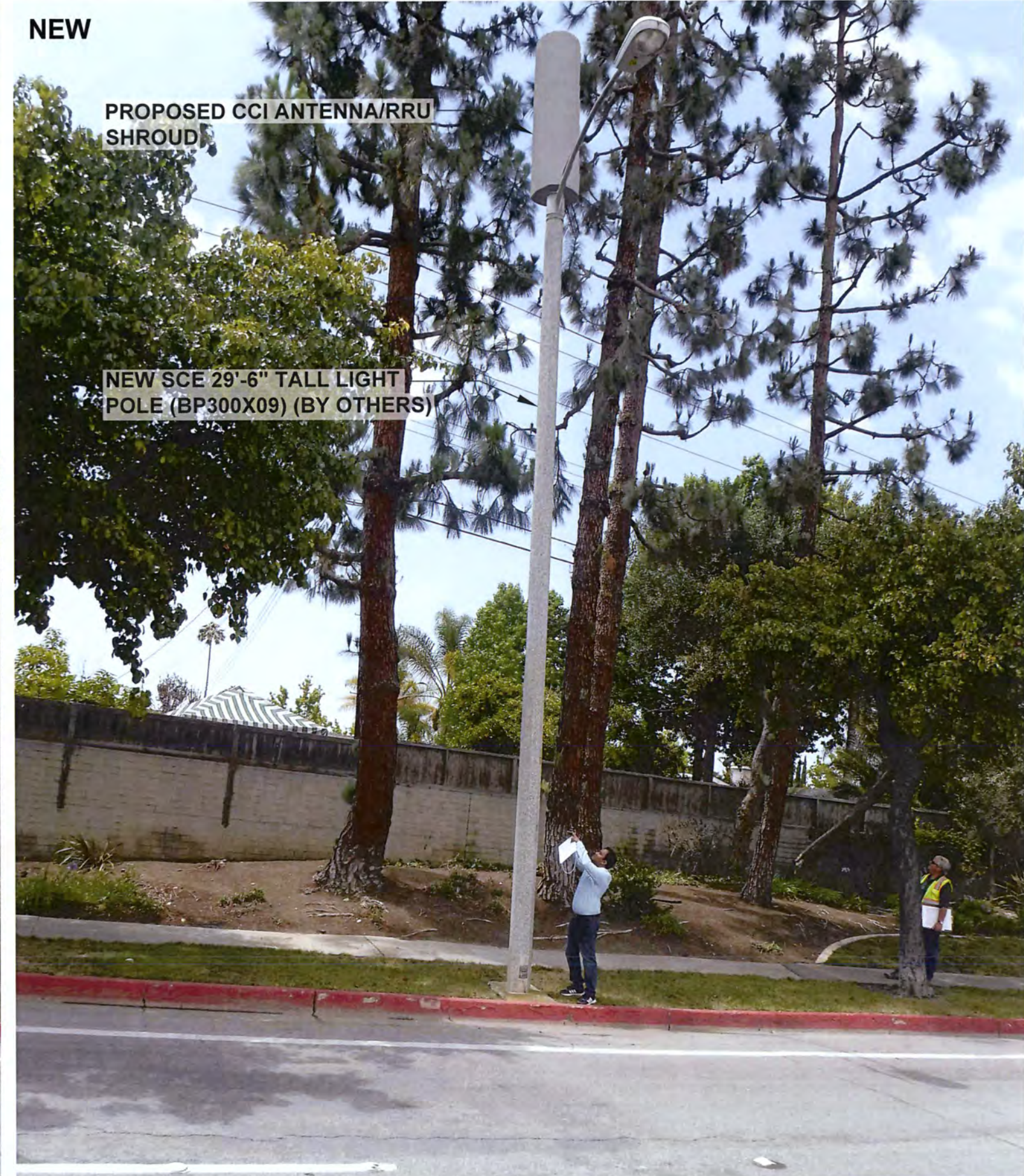
(FOR CPUC USE ONLY)

<input type="checkbox"/> Resolution Required <input type="checkbox"/> Executive Action Resolution Req'd. <input type="checkbox"/> TD Suspension on: ___ / ___ / ___ <input type="checkbox"/> Comm. Suspension on: ___ / ___ / ___ Resolution No.: T - _____ Rev. 09/24/07	Supv. / Analyst _____ / _____ Due Date to Supv.: _____ Analyst Completion Date: _____ Supervisor Approval Date: _____ AL / Tariff Effective Date: _____ Notes: _____
--	---

EXISTING



NEW



COSTA MESA

HUB: LA02429A

APPROVED
By A Martin at 1:50 pm, Jun 30, 2017

Conceptually Approved
Zoning Drawings

Streetlight design drawings conceptually approved
All ground base equipment to be approved by local jurisdiction.

Approved power route from IMS and district planner is also required for final CD approval.



CROWN CASTLE
CROWN CASTLE NG WEST
JURISDICTION: COSTA MESA
CLUSTER: IE10
PROPOSED SMALL CELL NODES
SOC0277 SCE POLE #1729110E

INDEX TO SHEETS:

- C-01. TITLE, LOCATION MAP, NODE PLACEMENT
- C-02. EQUIPMENT DETAILS
- C-03. EQUIPMENT DETAILS
- C-04. EQUIPMENT DETAILS
- C-05. LIGHT STANDARD DETAIL
- C-06. SITE PLAN & ELEVATION
- C-07. TRAFFIC CONTROL PLAN

CROWN NODE ID SOC277
T-MOBILE SITE ID IE10_007
SCE POLE ID 1729110E

PROJECT TEAM:

CROWN CASTLE

PROJECT MANAGER:
CONTACT: MIKE PUHL
PHONE: (949) 344-7811

CONSTRUCTION MANAGER:
CONTACT: GARY HOLZER
PHONE: (949) 697-2011

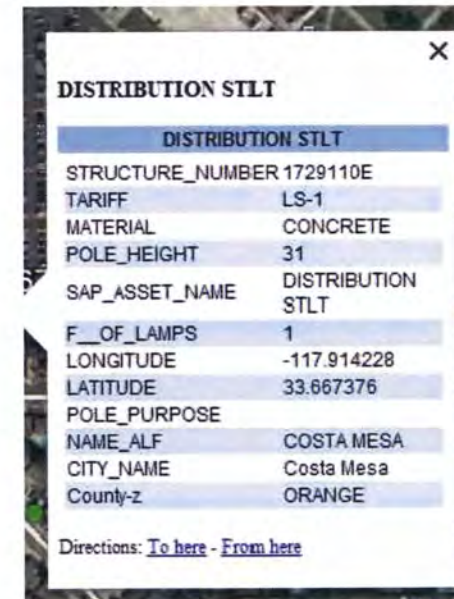
UTILITY CONTACT:
NETWORK OPERATION:
CONTACT: CROWN CASTLE
PHONE: 1-800-788-7011
POWER: SCE

NRE CONTACT:
CONTACT: NANCY SHERIDAN
PHONE: 1-714-362-5152



LOCATION MAP

NOT TO SCALE



SITE: SOC277 / IE10_007
COORDINATES: 33.66734°, -117.91471°
ADDRESS: 323-355 MERRIMAC WAY
COSTA MESA, CA 92626

LATITUDE & LONGITUDE:
33.66734°, -117.91471°

ADDRESS:
323-355 MERRIMAC WAY
COSTA MESA, CA 92626

ENGINEER:

SAC AE DESIGN GROUP, INC.
5015 SHOREHAM PLACE, SUITE 150
SAN DIEGO, CA 92122
www.sacw.com
619.736.3766

OWNER/DEVELOPER:

200 SPECTRUM CENTER DRIVE, SUITE 1800
IRVINE, CA 92618

TITLE:
CROWN CASTLE NG WEST
JOB# 365238
COSTA MESA

REVISIONS

REV	DATE	DESCRIPTION	BY
00	11/07/2016	100% CD	FR
01	12/15/2016	PER CC COMMENTS	SR
02	04/05/2017	PER CC COMMENTS	NB
03	05/15/2017	PER CC COMMENTS	NB
04	05/26/2017	PER CC COMMENTS	SR

DRAWN BY:	CHECKED BY:	APPROVED BY:
NB	NB	NB

PROJECT NUMBER:	
FILE NAME:	TITLE SHEET
DATE DRAWN:	05/26/2017
SCALE:	AS SHOWN

SHEET: C-01

PROJECT DESCRIPTION:

THIS PROJECT IS FOR THE INSTALLATION AND OPERATION OF A SMALL CELL NETWORK.

SCOPE OF WORK:

- BRING UG FIBER TO LIGHT POLE VIA ENCROACHMENT PERMIT
- INSTALL RRU (REMOTE RADIO UNIT) INSIDE NEW RADOME
- INSTALL FIBER AND POWER INSIDE LIGHT POLE TO RRUs



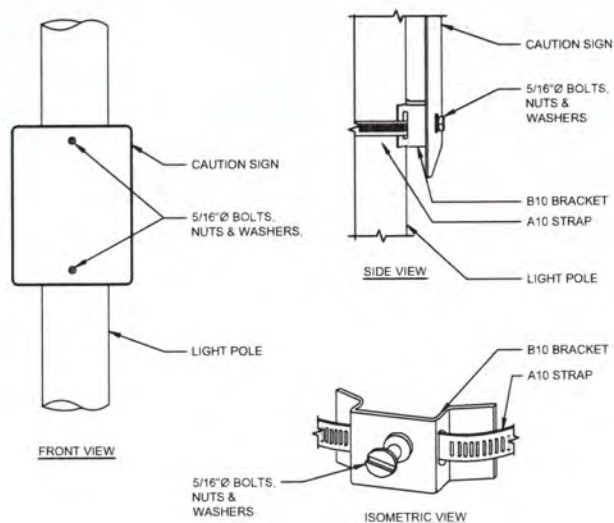
FACING SOUTHEAST



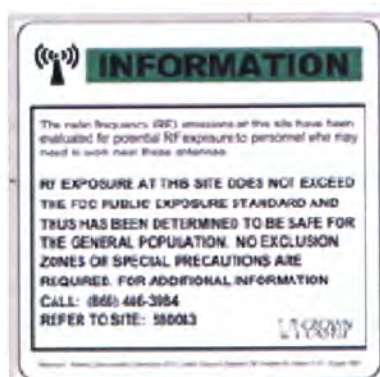
FACING NORTHEAST



FACING SOUTHWEST



ADJUSTABLE BAND BRACKET



NOTE: SIGNAGE TO BE CONSISTENT WITH STREETLIGHT EME REPORT

INFORMATION SIGNAGE (TYP.)



Table 1 Radio 2203 Technical Data

Description	Value
Maximum nominal output power	2 x 5 W
Number of carriers	WCDMA: One to four carriers. LTE: One to three carriers Mixed mode: Two to five carriers
Description	Value
Frequency ⁽¹⁾	1920-1980 MHz uplink 2110-2170 MHz downlink B1 for WCDMA and LTE. 1710-1785 MHz uplink 1805-1880 MHz downlink B3 for WCDMA and LTE 1744.9-1784.9 MHz uplink 1839.9-1879.9 MHz downlink B3C for WCDMA and LTE 880-915 MHz uplink 925-960 MHz downlink B6 for WCDMA and LTE 1710-1780 MHz uplink 2110-2180 MHz downlink B66A for WCDMA and LTE.
Dimensions with Cover	
Height	200 mm (7-7/8" in)
Width	200 mm (7-7/8" in)
Depth	100 mm (3-15/16" in)
Dimensions with Antenna	
Height	200 mm (7-7/8" in)
Width	200 mm (7-7/8" in)
Depth of Radio 2203 B1, B3C	119 mm (4-11/16" in)
Depth of Radio 2203 B6	129 mm (5-1/16" in)
Weight with Cover	
Radio 2203	4.5 kg (9.9208 lbs.)
Weight with Antenna	
Radio 2203	4.9 kg (10.8027 lbs.)
Color	
Body	NCS S 1002-B

⁽¹⁾ Information about Instantaneous Bandwidth (IBW) can be found in RBS Configurations.

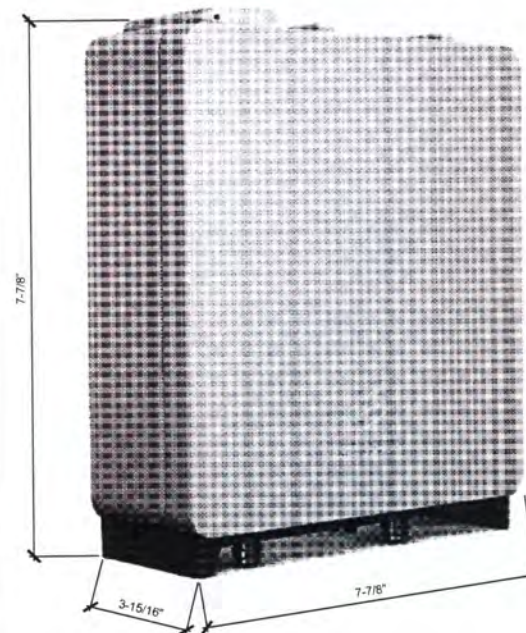


Product Overview

The radio expands coverage and performance in denser urban areas, where the use of small handheld devices demand high capacity on the operators networks. It is designed to be located in cities and in demanding radio environments.

The radio is part of a modular radio building concept that enables a variety of installation alternatives that is also easy to expand. Flexible mounting solutions are provided using rails and pole clamps. The small size of the radio together with the flexible mounting solutions reduces the site volume. The lower weight also improves the handling of the radio.

The radio can be connected in a star or cascade configuration using optical cable links. An optic cable connects the radio to the main unit, or to an expanded Radio System.



RADIO 2203 SPECS

SCALE N.T.S. **3**

RADIO 2203 DESCRIPTION

SCALE N.T.S. **2**

NOT USED

SCALE N.T.S. **4**

SCALE N.T.S. **1**

CROWN NODE ID SOC277
T-MOBILE SITE ID IE10_007
SCE POLE ID 1729110E

LATITUDE & LONGITUDE:
33.66734°, -117.91471°

ADDRESS:
323-355 MERRIMAC WAY
COSTA MESA, CA 92626

ENGINEER:

SAC AE DESIGN GROUP, INC.
5015 SHOREHAM PLACE, SUITE 150
SAN DIEGO, CA 92122
www.sacw.com
619.736.3768

OWNER/DEVELOPER:

200 SPECTRUM CENTER DRIVE, SUITE 1800
IRVINE, CA 92618

TITLE:
CROWN CASTLE NG WEST
JOB# 365238
COSTA MESA

REVISIONS			
REV	DATE	DESCRIPTION	BY
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02	04/05/2017	PER CC COMMENTS	NB
03	05/15/2017	PER CC COMMENTS	NB
04	05/26/2017	PER CC COMMENTS	SR

DRAWN BY:	CHECKED BY:	APPROVED BY:
NB	NB	NB

PROJECT NUMBER:	
FILE NAME:	EQUIPMENT DETAILS
DATE DRAWN:	05/26/2017
SCALE:	AS SHOWN

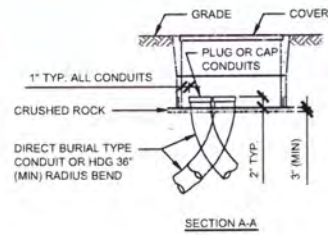
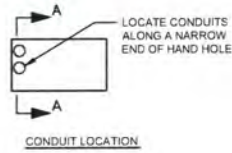
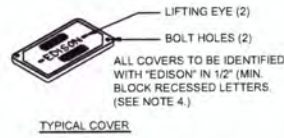
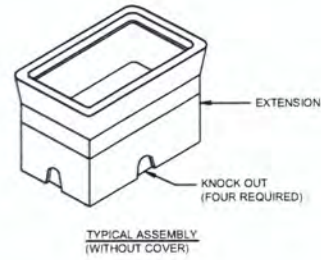
SHEET: **C-02**

CAUTION SIGNAGE

SCALE N.T.S. **4**

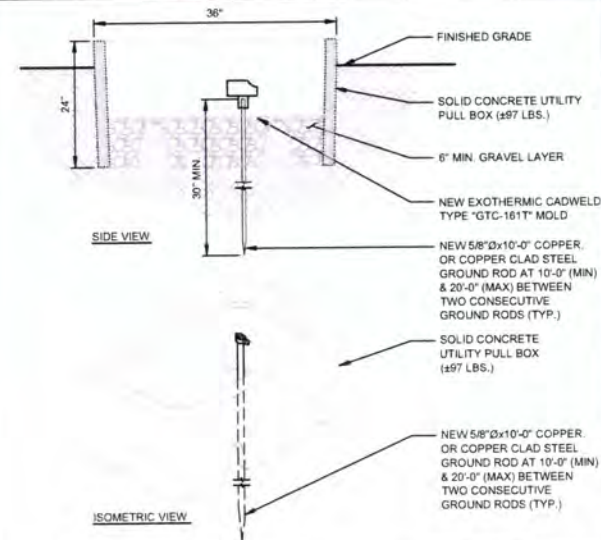
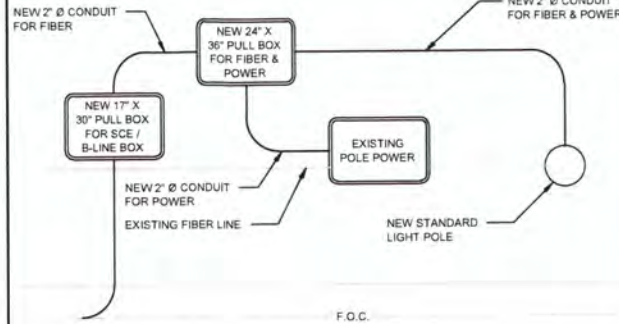
SCALE N.T.S. **1**

CROWN NODE ID SOC277
 T-MOBILE SITE ID IE10_007
 SCE POLE ID 1729110E



- NOTES:
 1. GC TO REFER TO SCE DOCUMENT HP 200 FOR HAND HOLE REQUIREMENTS (UNDERGROUND STRUCTURES STANDARDS)
 2. RADIUS ANGLES MAY BE REDUCED TO LESS THAN 90° PROVIDING THE PROJECTED CENTER LINE OF THE CONDUIT CLEARS HAND HOLE OPENING
 3. TWO HOLD DOWN DEVICES TO BE SUPPLIED WITH EACH HAND HOLE
 4. COVER SHALL BE IDENTIFIED WITH "EDISON" IN MINIMUM 2-INCH LETTERS OR LABELS PERMANENTLY SECURED TO THE LID.

NOTE:
 PULL BOX & LIGHT POLE LOCATION VARIES PER LOCATION



CONDUIT ROUTE

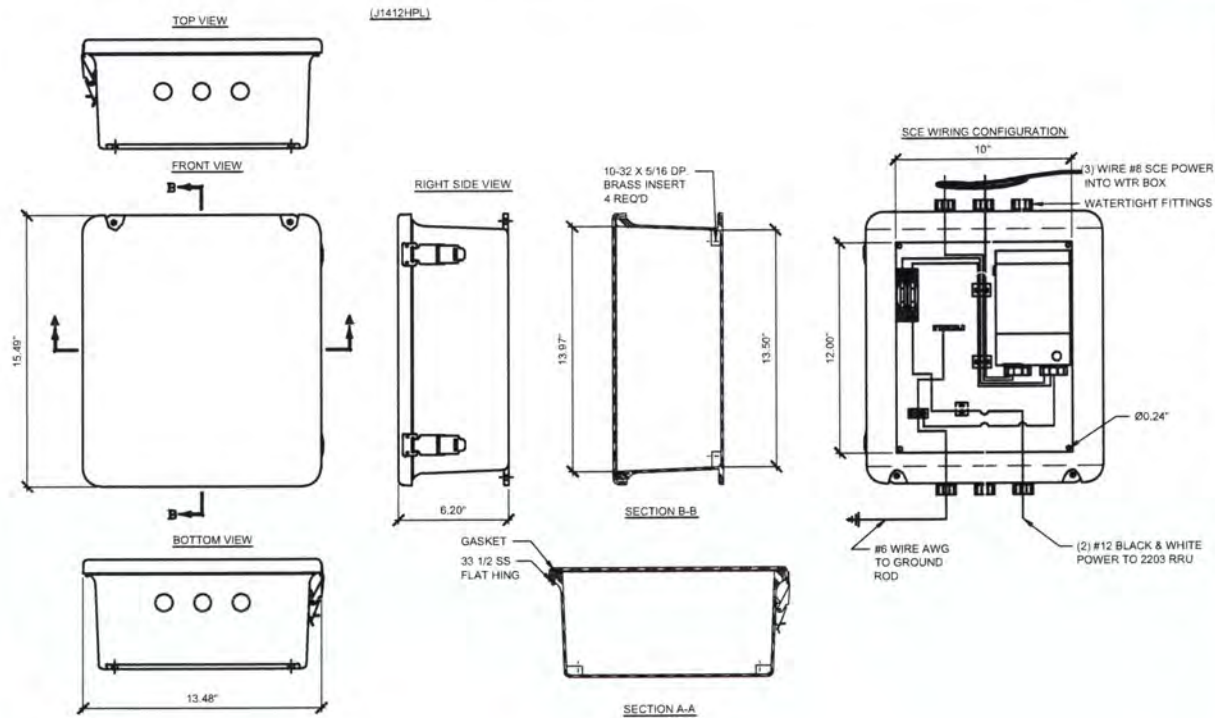
SCALE: 4
 N.T.S.

GROUNDING ROD

SCALE: 3
 N.T.S.

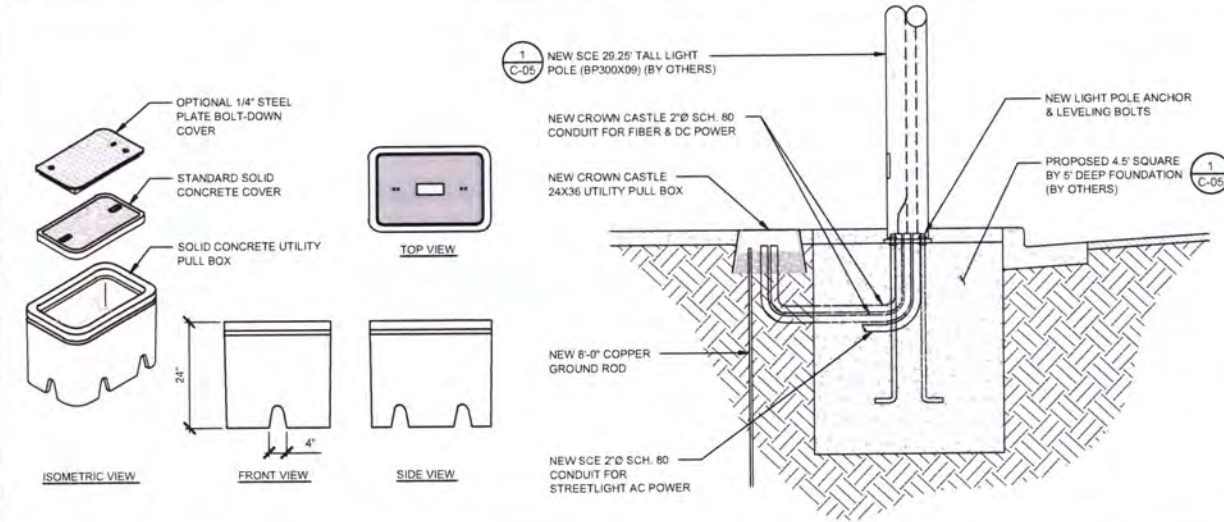
17" X 30" UTILITY PULL BOX DETAIL (HH-6)

SCALE: 6
 N.T.S.



24" X 36" UTILITY PULL BOX DETAIL

SCALE: 2
 N.T.S.



LATITUDE & LONGITUDE:
 33.66734°, -117.91471°

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ENGINEER: SAC WIRELESS
 SAC AE DESIGN GROUP INC
 5015 SHOREHAM PLACE, SUITE 150
 SAN DIEGO, CA 92122
 www.sacw.com
 619.736.3766

OWNER/DEVELOPER: CROWN CASTLE
 200 SPECTRUM CENTER DRIVE, SUITE 1800
 IRVINE, CA 92618

TITLE:
 CROWN CASTLE NG WEST
 JOB# 365238
 COSTA MESA

REVISIONS			
REV	DATE	DESCRIPTION	BY
00	11/07/2016	100% CD	FR
01	12/15/2016	PER CC COMMENTS	SR
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03	05/15/2017	PER CC COMMENTS	NB
04	05/26/2017	PER CC COMMENTS	SR

DRAWN BY:	CHECKED BY:	APPROVED BY:
NB	NB	NB

PROJECT NUMBER:	
FILE NAME:	EQUIPMENT DETAILS
DATE DRAWN:	05/26/2017
SCALE:	AS SHOWN

SHEET: C-03

SCE / B-LINE BOX DETAIL

SCALE: 5
 N.T.S.

NOT USED

SCALE: 1
 N.T.S.

COSTA MESA

HUB:
LA02429A

CROWN NODE ID SOC277
T-MOBILE SITE ID IE10_007
SCE POLE ID 1729110E

LATITUDE & LONGITUDE:
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WWW.SACW.COM
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OWNER/DEVELOPER:

200 SPECTRUM CENTER DRIVE, SUITE 1800
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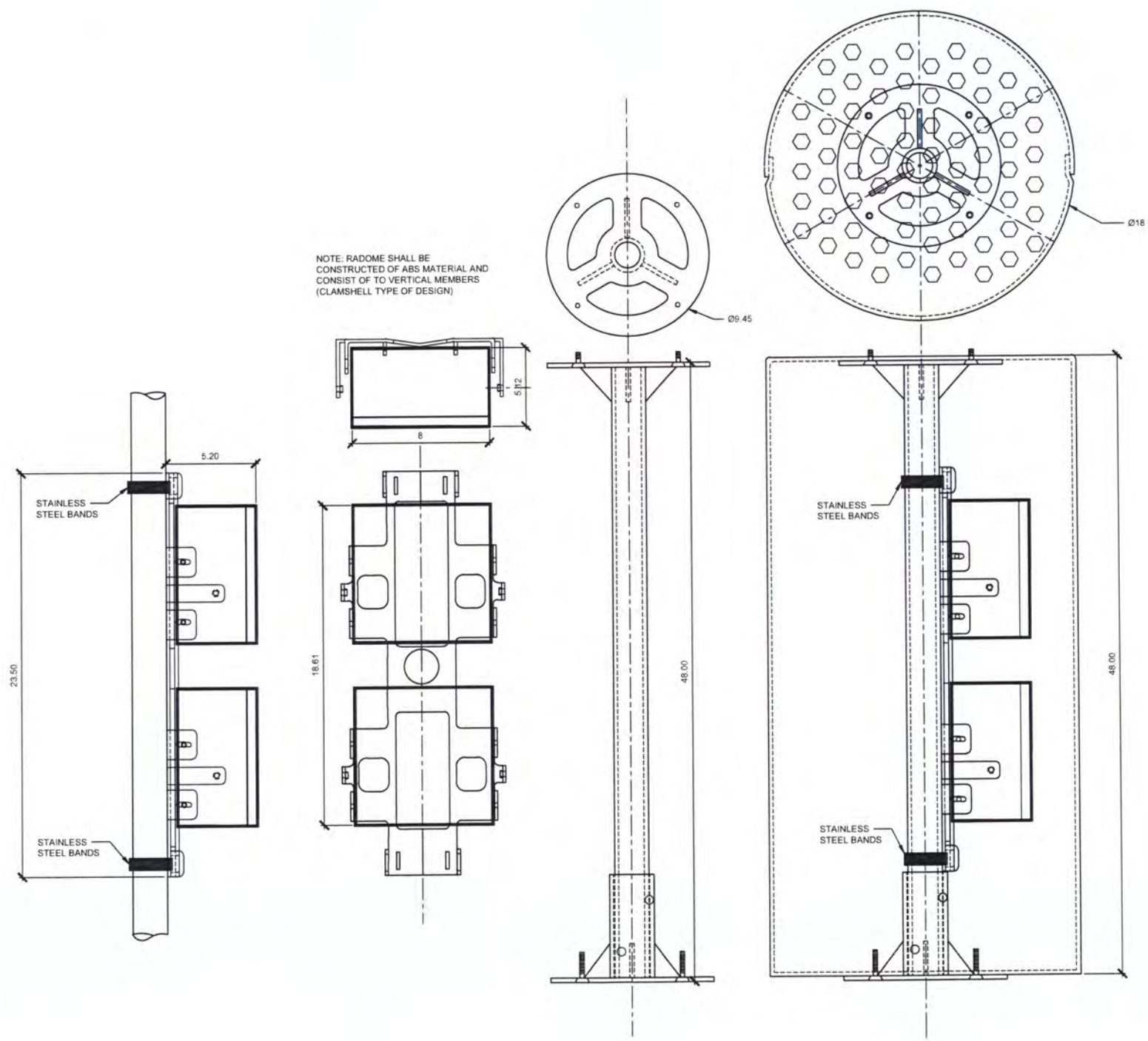
TITLE:
CROWN CASTLE NG WEST
JOB# 365238
COSTA MESA

REVISIONS			
REV	DATE	DESCRIPTION	BY
00	11/07/2016	100% CD	FR
01	12/15/2016	PER CC COMMENTS	SR
02	04/05/2017	PER CC COMMENTS	NB
03	05/15/2017	PER CC COMMENTS	NB
04	05/26/2017	PER CC COMMENTS	SR

DRAWN BY:	CHECKED BY:	APPROVED BY:
NB	NB	NB

PROJECT NUMBER	
FILE NAME:	EQUIPMENT DETAILS
DATE DRAWN:	05/26/2017
SCALE:	AS SHOWN

SHEET: **C-04**



CROWN NODE ID SOC277
 T-MOBILE SITE ID IE10_007
 SCE POLE ID 1729110E


REV.	DATE	DESCRIPTION	DRN.	APPR.
A	2/06/15	ADD DETAILS; LOWER INSERTS FOR XFMR, CHANGE XFMR ADAPTER DETAIL	SJB	
B	2/13/15	CHG. DETAILS; RAISE INSERTS FOR XFMR	SJB	
C	2/17/15	ADD (B) NTW; INCREASE POLE CAPACITY	SJB	

"F" LEVEL CONFIG CODES			"P" LEVEL CONFIG CODES		
OPTION CLASS	ENTRY	INFO	OPTION CLASS	ENTRY	INFO
COATING	S		MIX	81	
HH COVER	66546E	(3 REQ'D)	FINISH	5	
HH COVER	66546EM1	(1 REQ'D)	POLE TOP CON.	(4) MOD-B	3/4"-10 COLUPNUTS
HH PAINT	BARE		COLLAR SHAPE	NONE	
DOOR SCR	SCE	(2 REQ'D)	BASEPLATE	63250E	
DOOR SCR	1/4"-20X.75	(4 REQ'D)	CAST IN MOD	(2) MODSX300	SIDE MT.
DOOR SCR	1/2"-13X.75	(2 REQ'D)	CAST IN MOD	(2) MOD-A	HH + 1/2" STAR INS.
DRILL IN	MOD24		CAST IN MOD	(1) 2" CONDUIT MOD-C	TOP 28 FT
			CAST IN MOD	(1) SUPPORT	UP 30"

300MM NON-TAPERED BASE PLATE ROUND POLE						
POLE DESIGNATION	POLE HEIGHT ABOVE GROUND	OVER-ALL LENGTH	ANCHOR BOLT CIRCLE	POLE DIA.	ULTIMATE G.L. MOMENT (ft. lbs.)	WEIGHT (lbs.)
BP300X09	29'-3"	29'-6"	16"	11-13/16"	79,900	2900

() POLES REQ'D (P/N: BP300X09-815S) INCL CONDUIT, EA WITH (2) 6" WALL BRACKET ALUM ELLIP. ARMS (P/N: LAEB6A); (1) ALUM COVER PLATE (66546EM1) FOR USE WHEN ONLY (1) LAEB6A ARM IS IN USE.

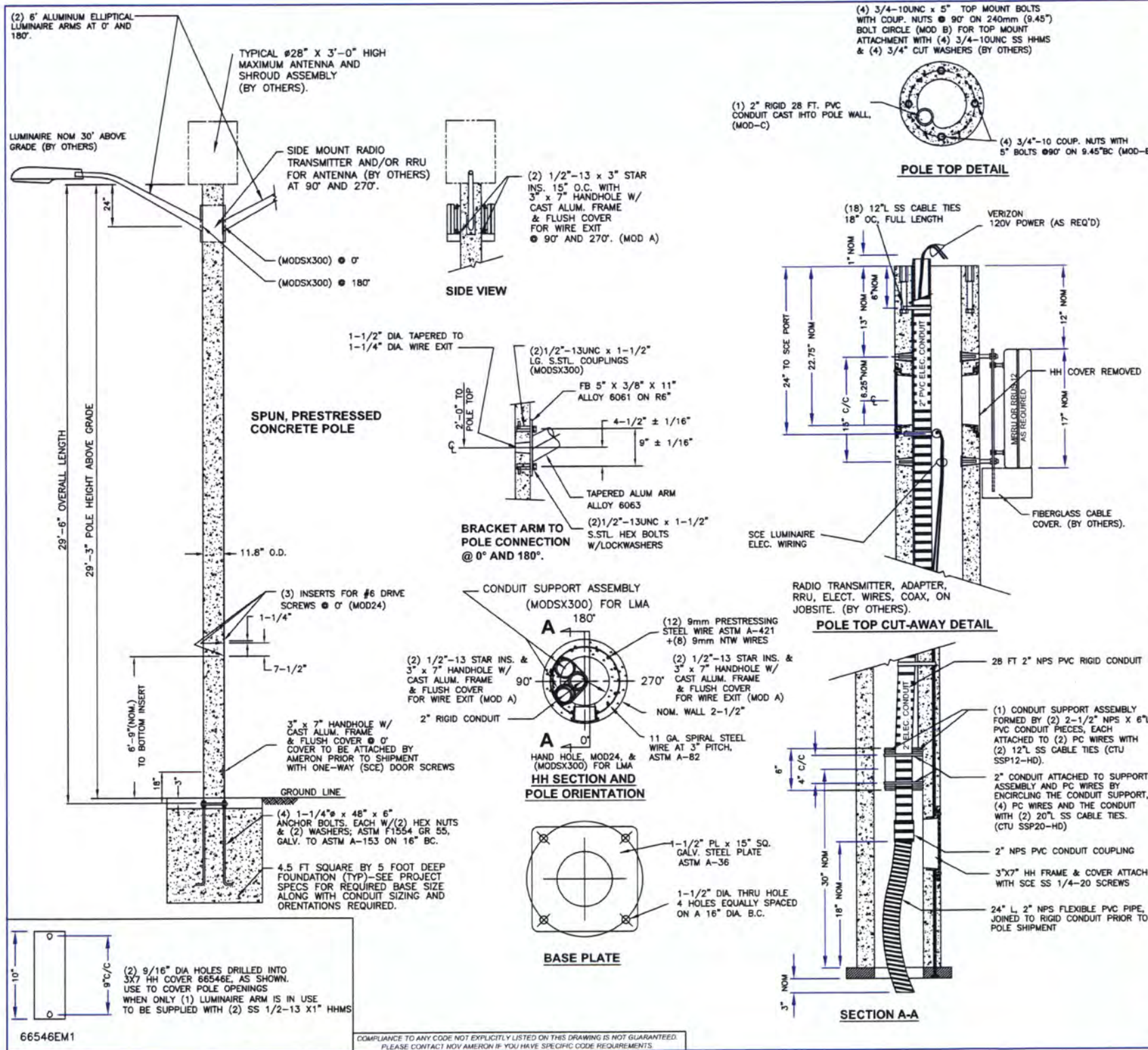
- NOTES:**
- MIX (815S): SCE BLACK & WHITE, LIGHTLY EXPOSED AGGREGATE FINISH, WITH FLAT, WATER SEALER COATING.
 - ASTM C-150 TYPE III GRAY CEMENT.
 - f_c @ 28 DAYS = 7,000 PSI, USING SPUN CYLINDER TEST.
 - f_c @ 28 DAYS = 5,000 PSI, USING ASTM C-31 CYLINDER TEST.
 - POLES MANUFACTURED PER ASTM C-1089-13 SPECIFICATIONS.
 - PROTECTIVE COAT EXPOSED P.C. WIRES AT POLE ENDS.
 - SCE MAX ANTENNA: 200 POUNDS; CENTERED 2 FT ABOVE POLE TOP. -- MAXIMUM PROJECTED AREA - ROUND SHAPE IS 11 SQUARE FEET.
 - DUE TO THE NATURE & CHARACTERISTICS OF CONCRETE, SIDE MOUNT SPACING DIMENSIONS CAN ONLY BE TAKEN TO THE NEAREST 1/8 INCH.
 - INTERNAL SEPARATE ELECTRICAL CONDUIT FULL POLE LENGTH TO BE FURNISHED AND INSTALLED BY AMERON. INTERNAL ELEC. WIRES FOR ANTENNA AND RADIOS TO BE SEPERATED FROM SCE LUMINAIRE WIRES.

APPROVED BY  POLE PRODUCTS DIVISION

SOUTHERN CALIFORNIA EDISON
BP300X09 POLE WITH DOUBLE 6' ARMS
SPCL COVERED WIREWAYS FOR RADIOS

THIS DOCUMENT CONTAINS INFORMATION WHICH IS PROPRIETARY TO AMERON. IT SHALL NOT BE REPRODUCED, USED OR DISCLOSED TO ANYONE WITHOUT THE PRIOR WRITTEN PERMISSION OF AMERON.

DRAWN: SJB	2/15	SCALE	DWG. NO.	REV
CHK'D:		N.T.S.	1409-040	C



LATITUDE & LONGITUDE:
 33.66734°, -117.91471°

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 323-355 MERRIMAC WAY
 COSTA MESA, CA 92626

ENGINEER: 
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 5015 SHOREHAM PLACE, SUITE 150
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 619.736.3766

OWNER/DEVELOPER: 
 200 SPECTRUM CENTER DRIVE, SUITE 1800
 IRVINE, CA 92618

TITLE:
 CROWN CASTLE NG WEST
 JOB# 365238
 COSTA MESA

REVISIONS			
REV	DATE	DESCRIPTION	BY
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03	05/15/2017	PER CC COMMENTS	NB
04	05/26/2017	PER CC COMMENTS	SR

DRAWN BY:	CHECKED BY:	APPROVED BY:
NB	NB	NB

PROJECT NUMBER:
 FILE NAME: LIGHT STANDARD DETAIL
 DATE DRAWN: 05/26/2017
 SCALE: AS SHOWN

SHEET: **C-05**

CROWN NODE ID SOC277
 T-MOBILE SITE ID IE10_007
 SCE POLE ID 1729110E

LATITUDE & LONGITUDE:
 33.66734°, -117.91471°

ADDRESS:
 323-355 MERRIMAC WAY
 COSTA MESA, CA 92626

ENGINEER:



OWNER/DEVELOPER:



TITLE:

CROWN CASTLE NG WEST
 JOB# 365238
 COSTA MESA

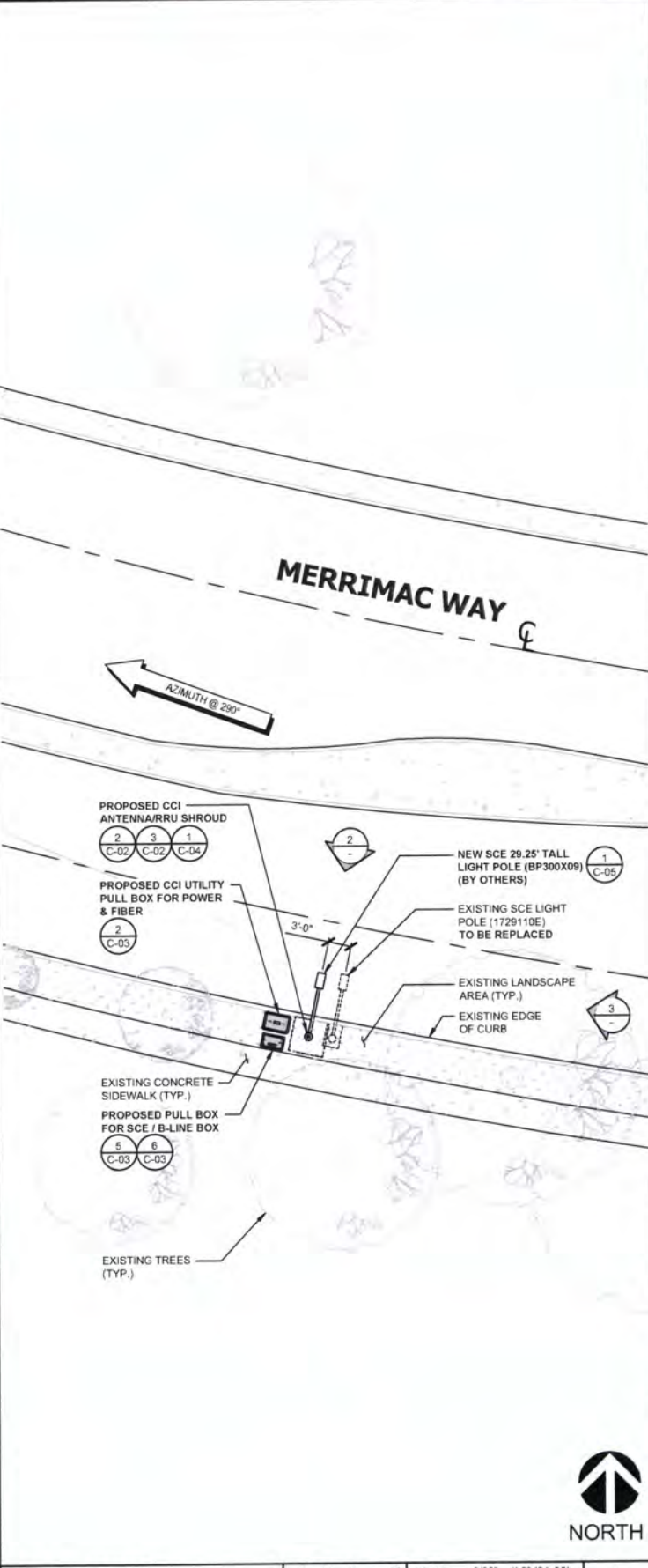
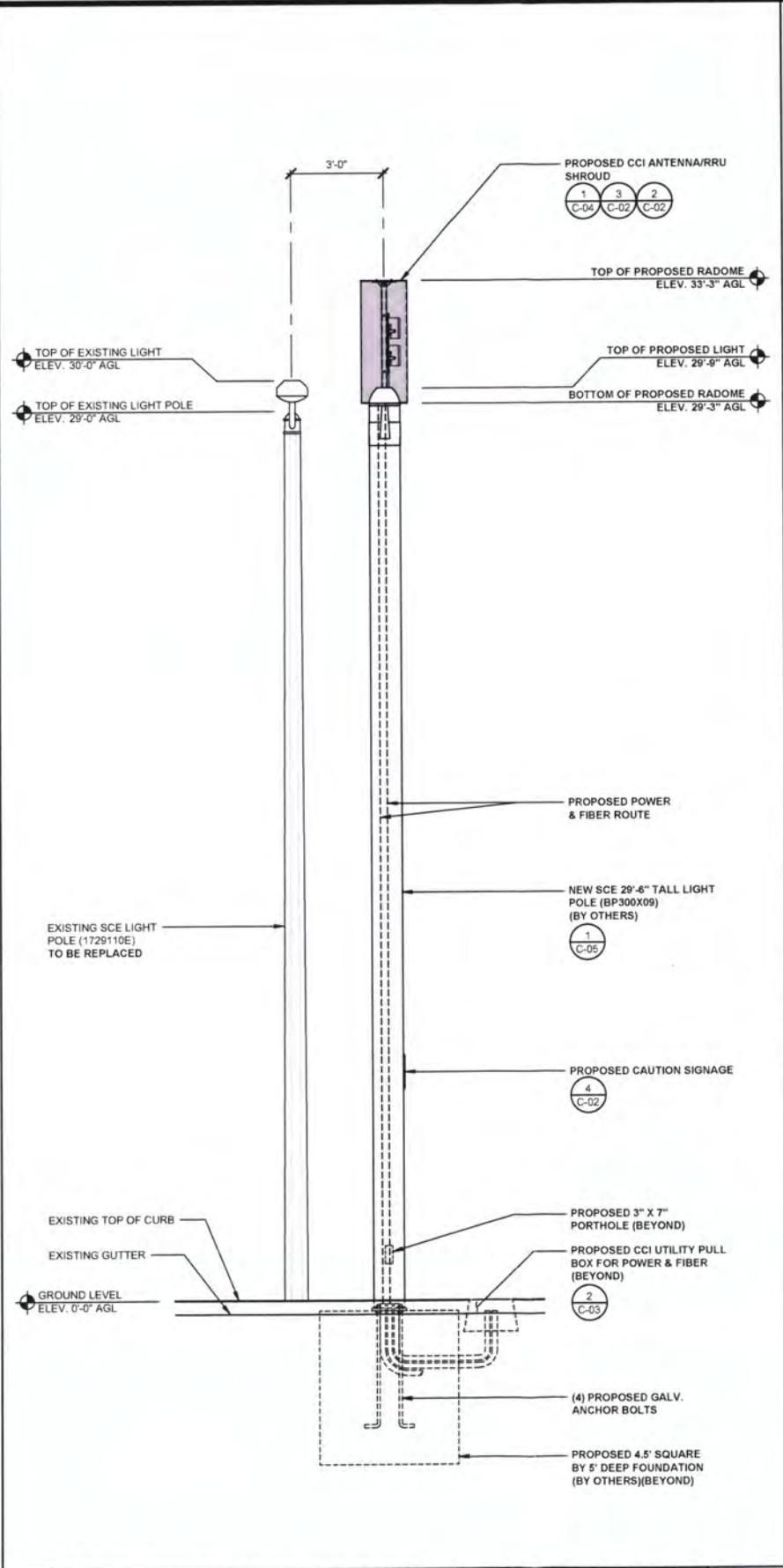
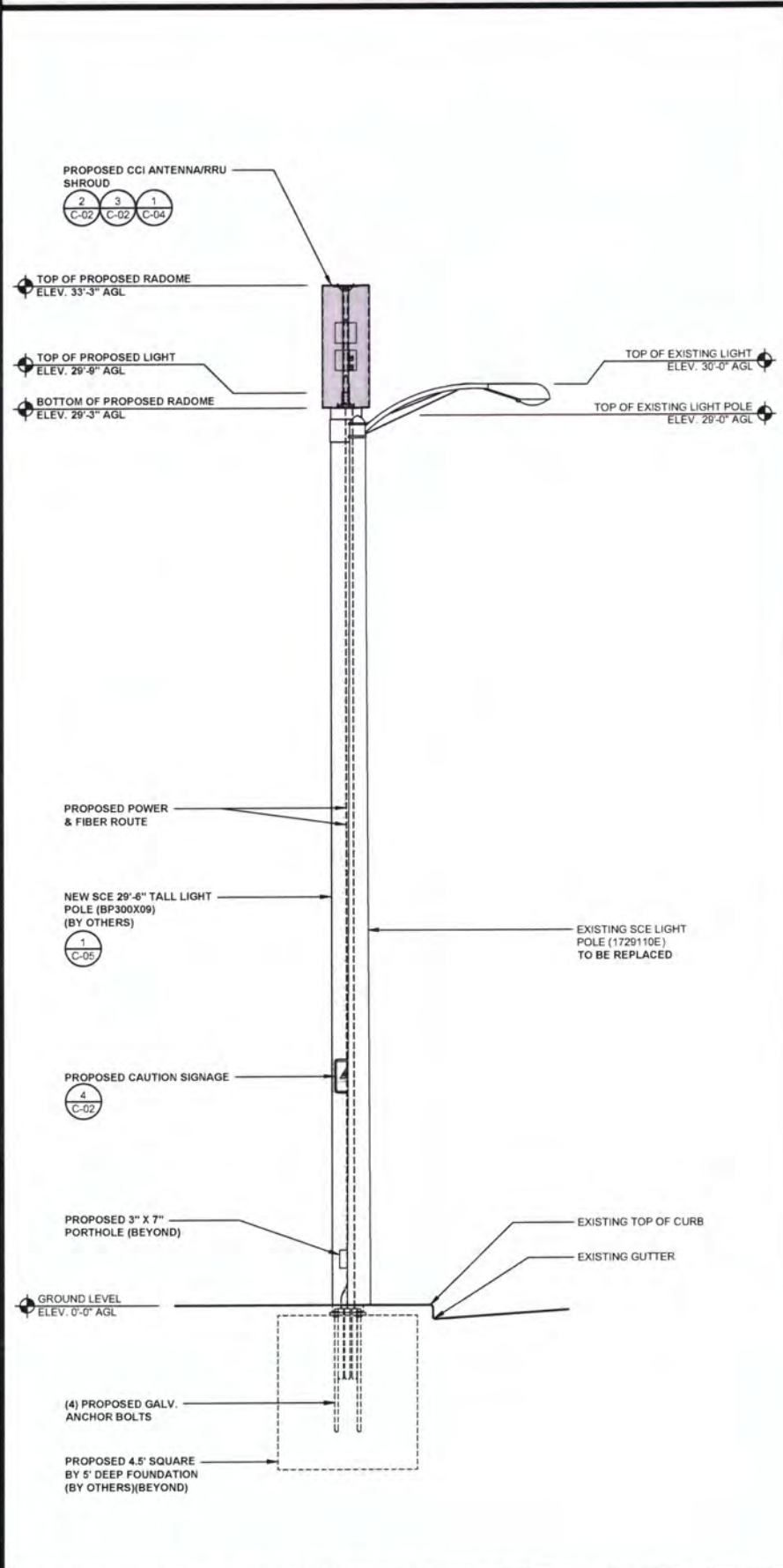
REVISIONS

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02	04/05/2017	PER CC COMMENTS	NB
03	05/15/2017	PER CC COMMENTS	NB
04	05/26/2017	PER CC COMMENTS	SR

DRAWN BY:	CHECKED BY:	APPROVED BY:
NB	NB	NB

PROJECT NUMBER:	
FILE NAME:	SITE PLAN & ELEVATION
DATE DRAWN:	05/26/2017
SCALE:	AS SHOWN

SHEET: **C-06**



PROPOSED EAST ELEVATION SCALE: 3/8" = 1'-0" (24x36) (OR) 3/16" = 1'-0" (11x17) **3**

PROPOSED NORTH ELEVATION SCALE: 3/8" = 1'-0" (24x36) (OR) 3/16" = 1'-0" (11x17) **2**

SITE PLAN SCALE: 3/32" = 1'-0" (24x36) (OR) 3/64" = 1'-0" (11x17) **1**



CROWN NODE ID SOC277
 T-MOBILE SITE ID IE10_007
 SCE POLE ID 1729110E

LOW SPEED TTC ZONE NOTES:

1. WHEN THE POSTED OR OBSERVED SPEED IS 40 MPH OR LESS, THE TTC ZONE IS DEFINED AS "LOW SPEED". TTC SAFETY IN LOW SPEED TTC ZONES SHOULD NOT BE COMPROMISED BY USING FEWER DEVICES SIMPLY BECAUSE THE TRAFFIC IS SLOWER AND ACTIVITY OPERATIONS ARE FOR SHORT DURATIONS AND/OR FREQUENTLY CHANGE LOCATIONS. THE FOLLOWING TTC DEVICE GUIDELINES SHALL BE USED IN "LOW SPEED" ZONES:
 - A. FLASHING WARNING LIGHTS AND/OR FLAGS MAY BE USED TO CALL ATTENTION TO THE ADVANCE WARNING SIGNS.
 - B. A WORK VEHICLE WITH HIGH INTENSITY ROTATING, FLASHING, OSCILLATING, OR STROBE LIGHTS SHOULD BE USED. AN ARROW BOARD MAY BE USED FOR EACH LANE CLOSED.
 - C. THE MINIMUM HEIGHT OF CONES USED SHOULD BE 28 INCHES. 18-INCH HIGH TRAFFIC CONES MAY BE USED DURING DAYLIGHT HOURS.
 - D. WORKERS SHALL WEAR (MINIMUM) HIGH VISIBILITY CLASS 2 SAFETY APPAREL.
 - E. THE MINIMUM SIZE FOR ADVANCE WARNING SIGNS SHALL BE 36 INCHES BY 36 INCHES.
 - F. A MINIMUM OF TWO ADVANCED WARNING SIGNS SHALL BE POSTED FOR LANE CLOSURES.
2. ON LOW SPEED, LOW VOLUME STREETS DURING SHORT DURATION WORK, A REDUCTION IN THE NUMBER OF DEVICES MAY BE OFFSET BY THE USE OF MORE DOMINANT DEVICES SUCH AS "HIGH DENSITY" ROTATING, FLASHING, STROBE LIGHTS, OR ARROW BOARDS ON WORK VEHICLES UP TO ONE-HALF HOUR WORK DURATION.
 - A. FLAGGERS MAY BE USED FOR SHORT DURATION/MOBILE OPERATIONS WHICH OFTEN INVOLVE FREQUENT SHORT STOPS.
 - B. VEHICLE HAZARD WARNING SIGNALS SHALL NOT BE USED INSTEAD OF THE VEHICLE'S HIGH INTENSITY ROTATING, FLASHING, STROBE LIGHTS OR ARROW BOARDS.

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 ADDRESS:
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 COSTA MESA, CA 92626

ENGINEER:



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OWNER/DEVELOPER:



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 200 SPECTRUM CENTER DRIVE, SUITE 1800
 IRVINE, CA 92618

TITLE:
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 JOB# 365238
 COSTA MESA

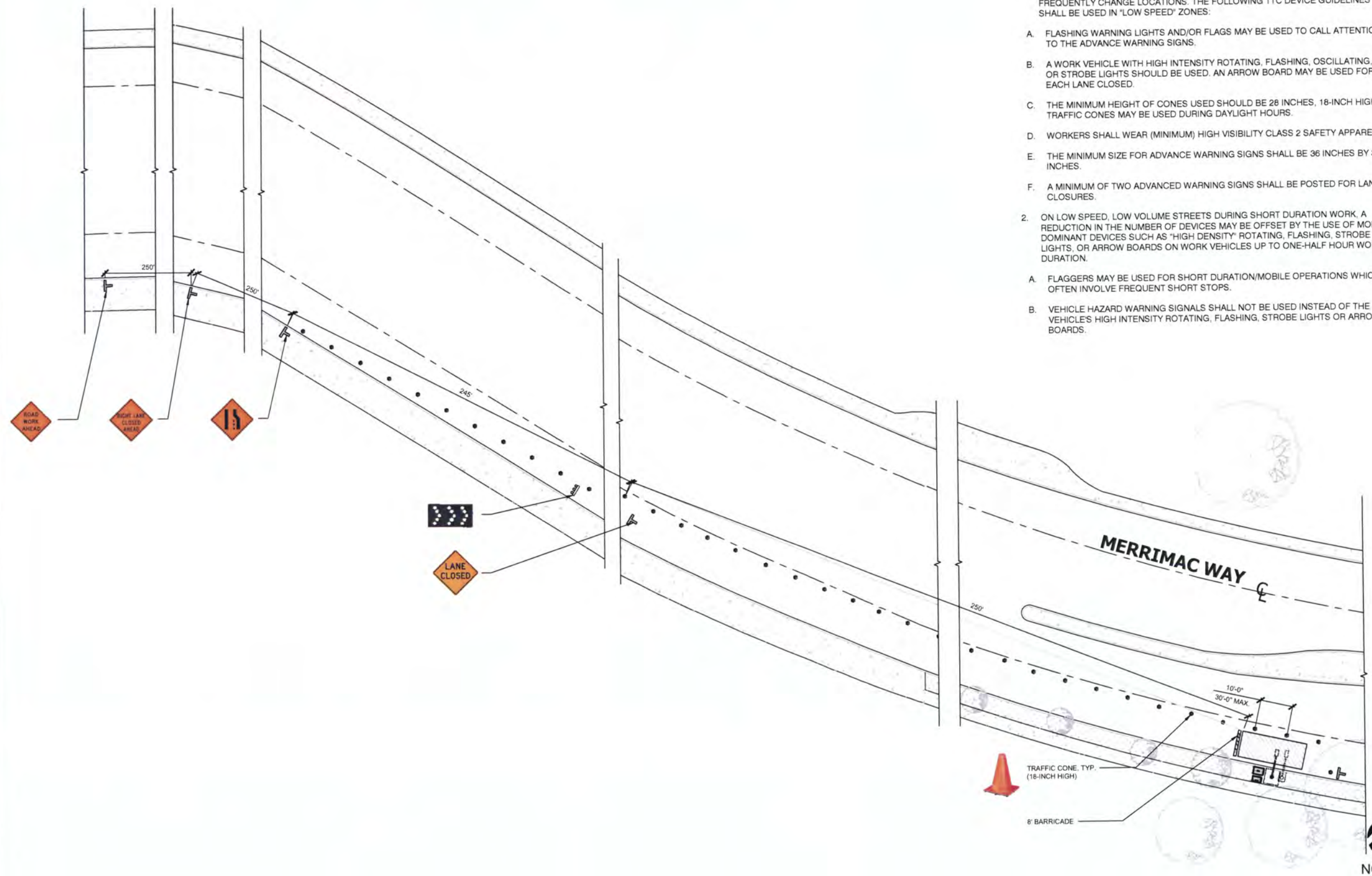
REVISIONS

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04	05/26/2017	PER CC COMMENTS	SR

DRAWN BY:	CHECKED BY:	APPROVED BY:
NB	NB	NB

PROJECT NUMBER	
FILE NAME:	TRAFFIC CONTROL PLAN
DATE DRAWN:	05/26/2017
SCALE:	AS SHOWN

SHEET: C-07





CITY OF COSTA MESA

P.O. BOX 1200 • 77 FAIR DRIVE • CALIFORNIA 92628 - 1200

DEVELOPMENT SERVICES DEPARTMENT

October 5, 2017

State Department of Alcoholic Beverage Control
Attn: Darlinda Michael
605 W Santa Ana Blvd., Bld. 28, Ste. 369
Santa Ana, CA 92701

**RE: PUBLIC CONVENIENCE OR NECESSITY (PCN) FINDING
TYPE 48 ABC LICENSE FOR KEYS ON MAIN
1875 NEWPORT BOULEVARD, SUITE L1-108, COSTA MESA**

Dear Ms. Michael:

The request for a finding of public convenience or necessity (PCN) for a Type 48 (On-Sale General Public Premises) State Alcoholic Beverage Control (ABC) license for the above establishment has been completed. The PCN finding has been made, as stated in the attached description.

If you have any questions regarding this letter, please feel free to contact the project planner, Mel Lee, at 714-754-5611 or via email at mel.lee@costamesaca.gov

Sincerely,

WILLA BOUWENS-KILLEEN, AICP
Zoning Administrator

Attachments: PCN Finding, Request, and Planning Commission Resolution

cc: Kelly Entertainment, DBA Keys on Main
Attn: George Hasenohri, President
242 S. Main Street
Salt Lake City, UT 84101

Greenlaw Partners
18301 Von Karman, Suite 250
Irvine, CA 92612

REQUEST FOR ON-SALE GENERAL ABC LICENSE:

On October 3, 2017, State Alcoholic Beverage Control (ABC) requested the City make a finding of Public Convenience or Necessity (PCN) for the Type 48 (On-Sale General Public Premises) State Alcoholic Beverage Control (ABC) license Keys on Main, an entertainment venue featuring dueling pianos located at the Triangle. Master Plan Amendment PA-12-02 A3, the third amendment to the Triangle Master Plan, was approved by the Planning Commission specifically for the proposed entertainment venue on May 22, 2017 (see resolution attached).

FINDING OF PUBLIC CONVENIENCE OR NECESSITY (PCN):

Pursuant to Section 23958.4 of the Business and Professions Code, the governing body of a local jurisdiction has the authority to determine PCN findings within ninety days of notification by the Department of Alcoholic Beverage Control.

In accordance with City Council Policy number 500-8, the Zoning Administrator may make a finding of public convenience or necessity as required before the State can issue an on-sale license for the establishment.

Staff believes that a finding of public convenience or necessity can be made because the use is consistent with the requirements of the City's Zoning Code and the conditions of approval for PA-12-02 A3. Furthermore, the license provides a convenience to customers without negatively impacting surrounding uses. The Type 48 license will have little or no adverse effect on the operation of the business.

The Police Department has also reviewed the request and has no objections to issuance of the license. The finding of public convenience allows ABC to issue a Type 48 license to Keys on Main.

LEE, MEL

Subject: FW: 40 paces Inc - Da: Keys on Main - pending 48-584218 - 1875 Newport Blvd., L1-108, Costa Mesa, CA 92627

From: Michael, Darlinda@ABC [<mailto:Darlinda.Michael@abc.ca.gov>]
Sent: Tuesday, October 03, 2017 1:58 PM
To: LEE, MEL <MEL.LEE@costamesaca.gov>
Subject: RE: 40 paces Inc - Da: Keys on Main - pending 48-584218 - 1875 Newport Blvd., L1-108, Costa Mesa, CA 92627

Hello Mel:

I don't find a public convenience or necessity determination within the CUP. Was a determination separate? This location needs one.

Sincerely,

Darlinda Michael

605 W Santa Ana Blvd., Bld. 28, Ste. 369
Santa Ana, CA 92701
(714)558-4960
(714)683-4935 fax



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From: Michael, Darlinda@ABC [<mailto:Darlinda.Michael@abc.ca.gov>]
Sent: Thursday, August 17, 2017 9:17 AM
To: LEE, MEL <MEL.LEE@costamesaca.gov>
Subject: 40 paces Inc - Da: Keys on Main - pending 48-584218 - 1875 Newport Blvd., L1-108, Costa Mesa, CA 92627

Good Morning Mel:

The above-named applicant has applied for a type 48, On-Sale General Public Premises for the above-mentioned location.

They intend to operate a public premises Thursday, Friday, and Saturday, from 7:00 pm. Until 2:00 a.m. with live entertainment (dueling pianos).

I have a copy of Resolution No. PC-17-21. May I please obtain a copy (via email) of planning application PA-12-02 A3, which is a 3rd amendment to the Master Plan for The Triangle?

Does the city have any objections, issues, or concerns with regards to the issuance of the ABC license?

Please advise,

Sincerely,

Darlinda Michael

605 W Santa Ana Blvd., Bld. 28, Ste. 369

Santa Ana, CA 92701

(714)558-4960

(714)683-4935 fax



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RESOLUTION NO. PC-17-21

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF COSTA MESA APPROVING PLANNING APPLICATION PA-12-02 A3, A THIRD AMENDMENT TO THE MASTER PLAN FOR THE TRIANGLE AT 1870 HARBOR BOULEVARD AND 1875 NEWPORT BOULEVARD

THE PLANNING COMMISSION OF THE CITY OF COSTA MESA HEREBY RESOLVES AS FOLLOWS:

WHEREAS, on March 12, 2012, the Planning Commission approved PA-12-02, a Master Plan for a comprehensive update to The Triangle, including the following for property located at 1870 Harbor Boulevard, and 1875 Newport Boulevard, in a PDC zone;

WHEREAS, an application to amend the Master Plan was filed Kelly Entertainment/dba Keys on Main, representing Greenlaw Partners, the property owner, requesting approval of the following:

Third Amendment to Planning Application PA-12-02 (The Triangle Master Plan), which involves the following:

1. Request to establish a live entertainment venue (Keys on Main) in the vacant 8,554 square-foot space formerly occupied by The Gap (Space L1-108). The live entertainment will consist of a "Dueling Piano" - style lounge with two performers (piano players) playing music from opposite pianos on a raised stage. The sale and service of alcoholic beverages for on-site consumption is proposed. A food menu will also be provided. Proposed hours of operation are 7:00 PM to 2:00 AM, Thursday through Sunday (closed Monday through Wednesday).
2. Amendment to the existing conditions of approval for eating and drinking establishments within the Triangle as they pertain to the following:
 - a. Designated passenger pick-up and drop-off areas on public streets;
 - b. Designate patron queuing/waiting areas for Time Nightclub (formerly Sutra Lounge/Era Lounge) in space L1-245; and
 - c. Modifications to the valet parking plan and on-site security plan as requested by the Costa Mesa Police Department.

WHEREAS, pursuant to the California Environmental Quality Act (CEQA), the project is exempt from the provisions of the California Environmental Quality Act (CEQA) under Section 15301 for Existing Facilities.

WHEREAS, the CEQA determination for this project reflects the independent judgment of the City of Costa Mesa.

WHEREAS, a duly noticed public hearing was held by the Planning Commission on May 22, 2017 with all persons having the opportunity to speak for and against the proposal.

BE IT RESOLVED that, based on the evidence in the record and the findings contained in Exhibit A, and subject to the conditions of approval contained within Exhibits B1 thru B5, the Planning Commission hereby **APPROVES** Master Plan Amendment PA-12-02 A3.

BE IT FURTHER RESOLVED that the Costa Mesa Planning Commission does hereby find and determine that adoption of this Resolution is expressly predicated upon the activity as described in the staff report for Planning Application PA-12-02 A3 and upon the applicant's compliance with each and all of the conditions in Exhibits B1 thru B5, and compliance of all applicable federal, state, and local laws. Any approval granted by this resolution shall be subject to review, modification or revocation if there is a material change that occurs in the operation, or if the applicant fails to comply with any of the conditions of approval and/or mitigation measures.

BE IT FURTHER RESOLVED that if any section, division, sentence, clause, phrase or portion of this resolution, or the documents in the record in support of this resolution, are for any reason held to be invalid or unconstitutional by a decision of any court of competent jurisdiction, such decision shall not affect the validity of the remaining provisions.

PASSED AND ADOPTED this 22nd day of May, 2017.



Stephan Andranian, Chair
Costa Mesa Planning Commission

STATE OF CALIFORNIA)
COUNTY OF ORANGE) ss
CITY OF COSTA MESA)

I, Jay Trevino, Acting Secretary to the Planning Commission of the City of Costa Mesa, do hereby certify that the foregoing Resolution No. PC-17-21 was passed and adopted at a regular meeting of the City of Costa Mesa Planning Commission held on May 22, 2017 by the following votes:

AYES: Andranian, de Arakal, Harlan, Kerins, Navarro Woods

NOES: None

ABSENT: None

ABSTAIN: None



Jay Trevino, Acting Secretary
Costa Mesa Planning Commission

EXHIBIT A

FINDINGS (APPROVAL)

- A. The proposed project complies with Title 13, Section 13-29(g)(5), Master Plan, of the Municipal Code due to the following:

Finding: The master plan meets the broader goals of the General Plan and the Zoning Code by exhibiting excellence in design, site planning, integration of uses and structures and protection of the integrity of neighboring development.

Facts in Support of Findings: The project is consistent with the following policies and objectives of the General Plan, Land Use Element.

Objective LU-1A: *Establish and maintain a balance of land uses throughout the community to preserve the residential character of the City at a level no greater than can be supported by the infrastructure.*

Consistency: The use, as conditioned, will minimize the impacts and therefore preserve the residential character of the Eastside neighborhood. Therefore, the project is consistent with this General Plan objective.

Policy LU-1.1: Provide for the development of a mix and balance of housing opportunities, commercial goods and services, and employment opportunities in consideration of the needs of the business and residential segments of the community.

Consistency: The use provides for the development of a mix and balance of commercial goods and services and employment opportunities. Therefore, the project is consistent with this General Plan policy.

Objective LU-3A: *Establish policies, standards, and procedures to minimize blighting influences, and maintain the integrity of stable neighborhoods.*

Consistency: The use, as conditioned, will minimize adverse impacts to adjacent residential areas. Therefore, the project is consistent with this General Plan objective.

Policy LU-3.1: Protect existing stabilized residential neighborhoods, including mobile home parks (and manufactured housing parks), from the encroachment of incompatible or potentially disruptive land uses and/or activities.

Consistency: As indicated earlier in this report, additional conditions of approval as recommended by the Police Department and the Transportation Services Division will minimize the encroachment of incompatible or potentially disruptive land uses and/or activities. Therefore, the project is consistent with this General Plan policy.

Objective LU-6A: *Ensure the long-term productivity and viability of the community's economic base.*

Consistency: The proposed use will extend the economic viability of the Triangle and is therefore consistent with this General Plan objective.

Policy LU-6.2: Continue to promote and support the vitality of commercial uses to meet the needs of local residents and that support regional-serving commercial centers.

Consistency: The use, as conditioned, will continue to promote and support the vitality of commercial uses to meet the needs of local residents and that support regional-serving commercial centers. Therefore, the project is consistent with this General Plan goal.

Master Plan

- *The proposed use, as conditioned, is substantially compatible with developments in the same general area and would not be materially detrimental to other properties within the area.* The use, as conditioned, is consistent with the PDC zoning of the property and the other commercially-zoned properties in the vicinity. Compliance with the applicable Building and Fire Safety Codes will ensure that the project is not materially detrimental to the health, safety and general welfare of the public or otherwise injurious to property or improvements within the immediate neighborhood.
- B. The project is exempt from the provisions of the California Environmental Quality Act (CEQA) under Section 15301 for Existing Facilities. This project site contains an existing building with no increase in total floor area for the use proposed. The use, as conditioned, is consistent with the applicable General Plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations.
- C. The project is exempt from Chapter XII, Article 3, Transportation System Management, of Title 13 of the Costa Mesa Municipal Code.

EXHIBIT B1

The Following Uses Are Permitted Within the Triangle As of 5/22/2017

PLAZA LEVEL

<u>Uses</u>	<u>Max. Allowable</u>
Movie Theater	1,200 Seats
Restaurants	25,715 sq. ft.
Former Lounge/New Restaurant	8,850 sq. ft.
Retail	9,132 sq. ft.

STREET LEVEL

Health Club	20,989 sq. ft.
Bowling Alley	14,239 sq. ft., including 10 bowling lanes and a 4,000 sq. ft. restaurant
Retail Space	7,000 sq. ft.
Night Club	11,804 sq. ft.
Restaurants	15,040 sq. ft.
Retail	12,743 sq. ft.

BASEMENT LEVEL

Health Club	34,400 sq. ft.
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1. In addition to the above uses, all uses permitted in the Planned Development Commercial (PDC) Zone shall be permitted in the Triangle. Conditional uses that may be allowed in the PDC Zone shall require an amendment to the Master Plan, with the exception of the following uses that shall be permitted in the Master Plan subject to an updated shared parking analysis:

- Amusement Center (i.e. Comedy Club, Video Gaming)
- Museum/Gallery
- Recording Studio

EXHIBIT B2

The Following Conditions of Approval Shall Apply To All Uses in the Triangle

1. The uses shall be limited to the type of operation as described in the staff report and conditions of approval. Any change in the operational characteristics of any use including, but not limited to, the hours of operation and additional services provided, shall require review by the Planning Division and may require an amendment to the master plan, subject to approval by either the Development Services Director, Zoning Administrator, or Planning Commission, depending on the nature of the proposed change. Code allows the Planning Commission to modify or revoke any use within the center based on findings related to public nuisance and/or noncompliance with the conditions of approval herein [Title 13, Section 13-29(o)]. Any changes to the conditions of approval due to the future amendment to the Triangle Master Plan shall be limited in those conditions that are applicable to the proposed amendment. Future amendments shall be limited to the applicable component(s) of the Triangle Master Plan and shall not involve reconsideration of the overall Master Plan and/or conditions of approval that relate to other areas of the Triangle Master Plan.
2. These conditions of approval shall supersede previously adopted conditions for the Triangle Square Master Plan (PA-89-31/RA-89-05).
3. The uses shall be conducted, at all times, in a manner that will allow the quiet enjoyment of the surrounding neighborhood. The business owner shall institute whatever security and operational measures are necessary to comply with this requirement.
4. Parking for patrons and employees of the center shall occur on-site. If it is discovered that either patrons or employees of The Triangle are parking in front of a residence on residential streets east of Newport Boulevard, the applicant shall work with the Costa Mesa Police Department to impose remedies should any such public street parking create a nuisance or disturbance to property owners. Additionally, the applicant shall identify which business employees are parking on residential streets, notify the business owner that offsite employee parking is not allowed, and therefore, require that owner enforce all employee parking onsite unless approved by the City for offsite parking.
5. If parking shortages or other parking-related problems arise, the applicant shall institute whatever operational measures are necessary to minimize or eliminate the problem.
6. All exterior lighting shall be shielded and/or directed away from residential areas.
7. The conditions of approval and ordinance or code provisions shall be blueprinted on the face of the site plan as part of any plan check submittal package.
8. The project is subject to compliance with all applicable Federal, State, and local laws. A copy of the applicable Costa Mesa Municipal Code requirements has been forwarded to the Applicant and, where applicable, the Authorized Agent, for reference.
9. On-site security shall be provided if requested by the Police Department.
10. The provisions of the approved traffic management plan for grand openings as well as long-term usage within the center dated April 29, 2015, shall continue to be complied with, including, but not limited to, the provisions for valet parking during evening peak hours on an as-needed basis.
11. Deleted.

EXHIBIT B3

The Following Conditions of Approval Shall Apply To Eating and Drinking Establishments in the Triangle

1. A copy of these conditions of approval shall be kept on premises and presented to any authorized City official upon request. New business operators shall be notified of conditions of approval upon transfer of business or ownership of land.
2. The operator shall not employ or use the services of any full- or part-time active or reserve peace officer currently employed by the City of Costa Mesa or any contiguous agency for security purposes.
3. Live entertainment, amplified music and/or dancing shall be subject to review and approval by the Development Services Director or his/her designee, and shall be subject to the operational conditions contained herein. City issuance of a public entertainment permit shall also be required.
4. Music or other entertainment sound generated at the Triangle shall not be audible at the property line on the easterly side of Newport Boulevard.
5. The maximum occupancy, as determined by provisions of the Uniform Building Code or other applicable codes, shall be posted in public view within the premises, and it shall be the responsibility of the management to ensure that this limit is not exceeded at any time. Occupant loads for open patio areas and enclosed building areas shall be calculated separately.
6. The business shall be conducted, at all times, in a manner that will allow the quiet enjoyment of the surrounding neighborhood. The applicant and/or operator shall institute whatever security and operational measures are necessary to comply with this requirement.
7. There shall be no sales of alcoholic beverages for off-site consumption.
8. Operator shall secure the premises with appropriate security lighting and employee scrutiny of adjacent areas over which the operator controls, to prevent trash, graffiti, and loitering. Operator shall further provide adequate lighting above the entrances to the premises sufficient in intensity to make visible the identity and actions of all persons entering or leaving the premises.
9. For new restaurants, the operator shall contact the Planning Division to arrange a Planning inspection of the site prior to occupancy. This inspection is to confirm that the conditions of approval and code requirements have been satisfied.
10. Any business occupying a "restaurant" suite in The Triangle shall provide a full meal service selection at all hours of restaurant operation, including, but not limited to, multiple entrees (not just appetizers) full wait service, and sit down dining. This includes establishments occupying a "restaurant" suite in The Triangle that either do not have a State Alcoholic Beverage Control (ABC) License or do not have an ABC license for a bona fide public eating place. Establishments that do not have an ABC license for a bona fide public eating place shall be required to obtain or transfer a license from an existing establishment within the City. Any transfer of a Type 48 ABC license shall require approval by the Development Services Director to ensure that the proposed floor plan has limited bar area and that the proposed use functions as a bona fide public eating place and not exclusively as a bar.
11. For establishments with a State Alcoholic Beverage Control (ABC) License, all sales and service staff (within 90 days of hire) shall complete Responsible Beverage Service (RBS) training with a provider approved by the California Department of Alcoholic

Beverage Control. A copy of the training certificates shall be kept on premises and presented to any authorized City official upon request.

12. For establishments with a State Alcoholic Beverage Control (ABC) License, a Finding of Public Convenience and Necessity are hereby made by the Planning Commission in accordance with City Council Policy No. 500-8 prior to the issuance of the license by ABC.
13. The operator shall be required to provide on-site security if requested by the Police Department.
14. The following conditions of approval shall apply specifically to the dueling piano entertainment use at 1870 Harbor Boulevard, Suite L1-108:
 - a. Hours of operation shall be limited to 7:00 PM to 2:00 AM, Thursday through Sunday (closed Monday through Wednesday).
 - b. Additional on-site security shall be provided for crowd control purposes during the nights both Keys on Main and Time Nightclub are in operation, if directed to do so by the Police Department.
 - c. Passenger pick-up and drop-off areas on Harbor Boulevard may be allowed if approved through a City-issued encroachment permit and shall be reviewed 6-months after the opening of the business.

EXHIBIT B4

The Following Conditions of Approval Shall Apply To Time Nightclub in the Triangle (Formerly Sutra Lounge)

1. Hours of operation shall be between the hours of 9:00 p.m. and 2:00 a.m., seven days a week. Any change to the operational characteristics including, but not limited to, hours of operation, etc., shall require approval by the Development Services Director or his/her designee.
2. The business shall be conducted, at all times, in a manner that will allow the quiet enjoyment of the surrounding neighborhood. The applicant and/or business owner shall institute whatever security and operational measures are necessary to comply with this requirement.
3. There shall be no sales of alcoholic beverages for off-site consumption.
4. Music or other entertainment shall not be audible beyond the area under the control of the licensee.
5. A copy of the conditions of approval shall be kept on the premises and presented to any authorized City Official upon request. New business/property owners shall be notified of conditions of approval upon transfer of business or ownership of land.
6. All sales and service staff, within 90 days of hire, shall complete Responsible Beverage Service (RBS) training with a provider approved by the California Department of Alcoholic Beverage Control. A copy of the training certificates shall be kept on premises and presented to any authorized City official upon request.
7. Bottle service shall only be provided in conjunction with a bottle cap locking mechanism. The Police Department may evaluate whether or not the locking cap mechanism is effectively being provided for the bottle service on a periodic basis.
8. Live entertainment, amplified music and/or dancing may only be permitted subject to City issuance of a public entertainment permit.
9. Parking for patrons and employees of the business shall occur on-site. Employee or patron parking on public streets or adjacent properties shall be considered a violation of the terms of approval of the master plan.
10. The outdoor patio shall have no seating since it primarily serves as a patio for smokers and provides the necessary emergency exits from the lounge. The patio shall be screened by a decorative full height wall, subject to approval by the Planning Division. Patrons on the patio shall not be served food or beverages.
11. A designated patron queuing/waiting area for Time Nightclub with physical barriers shall be provided, as well as barriers to discourage patrons from jaywalking across Newport Boulevard, subject to final approval from the Police Department.
12. Additional on-site security shall be provided for crowd control purposes during the nights both Keys on Main and Time Nightclub are in operation, if directed to do so by the Police Department.

EXHIBIT B5

The Following Conditions Of Approval Shall Apply To The Signage In The Triangle (No Change)

1. Tenant signage shall comply with the City's Sign Code and the approved Triangle Square Planned Sign Program.
2. The total site signage, shall not exceed the total sign area allowed under the Planned Sign Program (3,445 sq. ft. for the entire center).
3. Permanent window signs shall not exceed 20% of the contiguous window area per the City's Sign Code.
4. All newly installed signs shall be in conformance to the requirements and intent of this Planned Signing Program, as well as other applicable Codes and regulations. Any sign not meeting the specific criteria outlined in the planned signing program shall not be permitted.
5. The City's Sign Ordinance shall apply to signs not specifically covered by this Planned Signing Program.
6. Any modification, addition, or deletion to the approved Planned Signing Program shall be reviewed by the Zoning Administrator to determine if an amendment to the Planned Signing Program is necessary.
7. The allowable dome sign area shall be restricted to a maximum 9 feet in height and 600 square feet in total sign area. The sign copy contained in the maximum allowable sign area may be dispersed throughout the dome band, with a maximum of 400 square feet of sign copy concentrated in the main dome band area that is prominently visible from the SR-55.
8. Images not related to the above described elements of signage, such as lifestyle graphics and text, shall not be included in the dome sign area calculation.
9. Lifestyle graphics with no sign copy related to business name, product, service, activity, or location may continue to be allowed in the Planned Signing Program. However, the use of the eight recessed alcoves at the street-level base of the dome for lifestyle graphics shall not occur in conjunction with any graphic display in the dome band area. The Development Services Director may make exceptions to this condition on a limited basis if she/he determines that the concurrent displays do not result in a negative aesthetic impact.
10. The changeable vinyl dome signage shall be constructed of a high quality vinyl material to avoid ripping or fading. Additionally, the banners shall be attached to the building by an adhesive backing, rendering the vinyl signage flush with the building surface, rather than by ropes or wires.
11. The changeable vinyl dome signage shall not extend beyond the limits of the total height and length of the existing dome band area. The acceptable dimensions for the changeable vinyl signage are approximately 10.5' high x 120' wide.
12. No additional illumination of the changeable vinyl dome signage shall be permitted unless approved by the Development Services Director.
13. Third party (i.e., off-site) advertising on the changeable vinyl signage is expressly prohibited.
14. Unallocated sign area (that is, sign area not utilized by tenants) may be re-allocated to major tenants in the plaza level, subject to approval by the Development Services Director, on a case-by-case basis.
15. Advertising or signage on the Niketown Dome area or the recessed panels along West 19th Street for the lounge use is expressly prohibited. This includes any and all advertising associated with the lounge use, including, but not limited to, the name of Sutra Lounge (or any subsequent name change for the lounge use), special

events, entertainment, bands, product advertising, etc. Building wall signage for Sutra Lounge (or any subsequent name change for the lounge use) shall not exceed the current number and sign area of the existing Sutra Lounge signs.

CODE REQUIREMENTS

The following list of federal, state and local laws applicable to the project has been compiled by staff for the applicant's reference. Any reference to "City" pertains to the City of Costa Mesa.

- Plng.
1. All contractors and subcontractors must have valid business licenses to do business in the City of Costa Mesa. Final inspections, final occupancy and utility releases will not be granted until all such licenses have been obtained.
 2. Approval of this amendment to the planning application is valid for one (1) year from the effective date of this approval and will expire at the end of that period unless applicant establishes the use by one of the following actions: 1) obtains building permit(s) for the authorized construction and initiates construction; and/or 2) obtains a business license and/or legally establishes the business. If the applicant is unable to establish the use/obtain building permits within the one-year time period, the applicant may request an extension of time. The Planning Division must receive a written request for the time extension prior to the expiration of the planning application.
 3. The conditions of approval, code requirements, and special district requirements shall be blueprinted on the face of the site plan as part of the plan check submittal package.
 4. Address assignment shall be requested from the Planning Division prior to submittal of working drawings for plan check. The approved address of individual units, suites, buildings, etc., shall be blueprinted on the site plan and on all floor plans in the working drawings.
 5. Prior to issuance of building permits, applicant shall contact the US Postal Service with regard to location and design of mail delivery facilities. Such facilities shall be shown on the site plan, landscape plan, and/or floor plan.
 6. Hours of construction shall comply with Section 13-279, Title 13, of the Costa Mesa Municipal Code.
- Bldg.
7. Comply with the requirements of the adopted 2016 California Building Code, 2016 California Electrical Code, 2016 California Mechanical Code, 2016 California Plumbing Code, 2016 California Green Building Standards Code, and 2016 California Energy Code (or the applicable adopted, California Building Code, California Electrical Code, California Mechanical Code, California Plumbing Code, California Green Building Standards and California Energy Code at the time of plan submittal or permit issuance) and California Code of Regulations, also known as the California Building Standards Code, as amended by the City of Costa Mesa.
 8. Provide a plan to the County of Orange Health Dept. for review and approval.

SPECIAL DISTRICT REQUIREMENTS

The requirements of the following special districts are hereby forwarded to the applicant:

- | | |
|--------|---|
| Sani. | <ol style="list-style-type: none">1. County Sanitation District fees, fixture fees, inspection fees, and sewer permit are required prior to installation of sewer.2. Applicant shall submit a plan showing sewer improvements that meets the District Engineer's approval to the Building Division as part of the plans submitted for plan check.3. The applicant is required to contact the Costa Mesa Sanitary District at 949-645-8400 to arrange final sign-off prior to certificate of occupancy being released.4. Applicant shall contact Costa Mesa Sanitary District at (949) 654-8400 for any additional district requirements. |
| AQMD | <ol style="list-style-type: none">5. Applicant shall contact the Air Quality Management District (AQMD) at (800) 288-7664 for potential additional conditions of development or for additional permits required by AQMD. |
| Water | <ol style="list-style-type: none">6. Customer shall contact the Mesa Water District – Engineering Desk and submit an application and plans for project review. Customer must obtain a letter of approval and a letter of project completion from Mesa Water District. |
| School | <ol style="list-style-type: none">7. Pay applicable Newport Mesa Unified School District fees to the Building Division prior is issuance of building permits. |