



City of Costa Mesa

Inter Office Memorandum

TO: CITY COUNCIL, PLANNING COMMISSION
CC: TOM HATCH, BARRY CURTIS, AND JENNIFER LE
FROM: WILLA BOUWENS-KILLEEN, ZONING ADMINISTRATOR *WBK*
DATE: APRIL 5, 2018
SUBJECT: ZONING ADMINISTRATOR DECISION(S)

This is to advise you of the following decision(s) made by the Zoning Administrator within the last week. Project descriptions have been kept brief for this notice. Please feel free to contact me by e-mail at willa.bouwens-killeen@costamesaca.gov if you have any questions or would like further details.

ZA-18-09
(PA-94-38 A2) 300 FISCHER AVENUE

A request to modify previously approved Conditional Use Permit PA-94-38 to allow a 13,076 square-foot addition to Mariner's Christian School. The proposed project involves the following interior and exterior modifications: (1) 13,076 square feet of additional building area and remodel of classrooms, offices, labs, and restrooms; (2) addition of roof deck and uncovered outdoor area at the second floor level; (3) two new atriums and an exterior courtyard; (4) addition of 14 parking spaces; and (5) a remodel of the exterior façade. As part of this application, a floor area ratio (FAR) deviation from 0.297 to 0.344 (0.35 maximum allowed) is also proposed. The proposed project will result in the addition of eight classrooms but maximum student enrollment will remain at 750 students; no increase to student enrollment being proposed. Approved, subject to conditions of approval.

Comments received: One in support.



March 26, 2108

REC'D MAR 29 2018

The Costa Mesa Zoning Administrator
City of Costa Mesa
P.O. Box 1200
Costa Mesa, CA 92628-1200

RE: ZA-18-09: (PA-94-38 A2) to modify a previously approved conditional use permit for Mariner's Christian School at 300 Fischer Avenue

Dear Zoning Administrator:

Our company owns and manages properties throughout Orange County including those at the Redhill-Fischer Business Park at 3000 to 3050 Redhill Avenue and the freestanding building at 3095 Redhill Avenue in Costa Mesa. These properties are in the vicinity Mariner's Christian School at 300 Fischer Avenue.

We maintain our properties in excellent condition. The organizations doing business in them are credits to the City of Costa Mesa and employ many local residents. They are well suited to being located in an MP zone.

I am writing to advise you that we supported the Mariner's Christian School Conditional Use Permit PA-94-38 in 1994 and will continue to support their successful operation. The school has been an excellent neighbor since it opened. Staff and parents at the school have respected the parking needs of our tenants and have not parked in our business parks during business hours.

We therefore wish to advise you that we are in **support of and request that you approve ZA-18-09**. Thank you.

Sincerely,

JOE ERICKSON
President

Copy: Troy Moore - Head of School, Mariner's Christian School
Kevin Koehler - Director of School Operations, Mariner's Christian School

OWNERS • MANAGERS • DEVELOPERS



CITY OF COSTA MESA

P.O. BOX 1200 • 77 FAIR DRIVE • CALIFORNIA 92628-1200

DEVELOPMENT SERVICES DEPARTMENT

April 5, 2018

Anthony Massaro
2533 Greenbriar Lane
Costa Mesa, CA 92626

**RE: ZONING APPLICATION ZA-18-09
MINOR CONDITIONAL USE PERMIT TO AMEND CONDITIONAL USE
PERMIT PA-94-38 TO ALLOW A 13,076 SQUARE FOOT ADDITION WITH A
FLOOR AREA RATIO DEVIATION FOR MARINERS CHRISTIAN SCHOOL
300 FISCHER AVENUE, COSTA MESA**

Dear Mr. Massaro:

City staff's review of your zoning application for the above-referenced project has been completed. The application, as described in the attached project description, has been approved, based on the findings and subject to the conditions of approval and code requirements (attached). The decision will become final at 5:00 p.m. on April 12, 2018, unless appealed by an affected party, including filing of the necessary application and payment of the appropriate fee, or called up for review by a member of the Planning Commission or City Council.

If you have any questions regarding this letter, please feel free to contact the project planner, Katelyn Walsh, at either katelyn.walsh@costamesaca.gov or 714.754.5276.

Sincerely,

WILLA BOUWENS-KILLEEN, AICP
Zoning Administrator

Attachments: Project Description and Analysis
 Findings
 Conditions of Approval and Code Requirements
 Planning Application Summary
 Applicant Letter
 Approved Conceptual Plans

cc: Engineering Mariners Christian School
 Fire Protection Analyst 300 Fischer Avenue
 Building Safety Division Costa Mesa, Ca 92626

BACKGROUND

Project Site

The project site is located on the northeast corner of Fischer Avenue and Red Hill Avenue and contains a private school (Mariners Christian School) on a 6.30-acre site. The subject property is zoned (MP) Industrial Park, and has a General Plan land use designation of Industrial Park. The site abuts properties containing industrial uses. Physical on-site improvements include an 81,424 square foot building with 70 onsite parking spaces; there are three points of ingress/egress off Fischer Avenue.

Prior Land Use Approvals

A summary of the previous entitlements granted for the property is described below:

Planning Application PA-94-38

Conditional use permit to operate a private school on the property with a maximum student enrollment of 648 students; Planning Commission approved the project on June 25, 1994.

Zoning Application ZA-00-11

The Zoning Administrator approved a minor conditional use permit for interior alterations to the school's gymnasium area as well as a 5,558 square foot second floor addition on May 4, 2000.

Planning Application PA-03-48

A conditional use permit for Rock Harbor Church at 345 Fischer Avenue to allow the use of the school parking off-site overflow parking for the church was approved by Planning Commission on January 12, 2004.

Zoning Application ZA-10-26

Minor conditional use permit to allow a minor increase in floor area ratio for a 3,108 square foot addition, which was approved by the Zoning Administrator on June 10, 2010. ZA-10-26 included a deviation to allow an increase in floor area ratio (FAR) from 0.297 to 0.31 (0.30 maximum permitted without deviation) for a total building area of 84,568 square feet. However, the school did not construct the additional square footage and the approval expired.

Amendment to Planning Application PA-94-38

A minor conditional use permit to amend the original conditional use permit to increase the maximum student enrollment from 648 to 750 was approved by the Zoning Administrator on April 17, 2014.

PROJECT DESCRIPTION

The applicant requests approval of a minor conditional use permit (MCUP) to amend the previously approved conditional use permit to allow an increase in floor area by 13,076 square feet for a total building area of 94,500 square feet. Because this will result in an increase in the FAR from 0.297 to 0.344 – in excess of the 0.30 maximum allowable FAR -- a deviation from the 0.30 FAR is also requested. The General Plan permits FAR deviations up to a maximum of 0.05 for moderate traffic generating uses; Municipal Code Section 13-29(p) allows minor amendments to conditional use permits to be processed as a minor conditional use permit.

ANALYSIS

Second Amendment to Planning Application PA-94-38

As noted earlier, the applicant is proposing to increase the total building area by 13,076 square feet, from 81,424 square feet (59,252 sq. ft. on the first floor and 22,172 sq. ft. on the second floor). Because this use was originally approved under a CUP, this request requires modification of the CUP through a MCUP process. Additionally, because the request results in excess FAR (0.30 FAR permitted; 0.344 FAR proposed), a deviation to exceed the maximum allowable FAR is also requested. The proposed project involves the following interior and exterior modifications: (1) 13,076 square feet of additional building area and remodel of classrooms, offices, labs, and restrooms; (2) addition of roof deck and uncovered outdoor area on the second floor; (3) two new atriums and an exterior courtyard; (4) 14 additional parking spaces; and (5) a remodel of the exterior façade.

Proposed Classrooms and Staff

The proposed remodel and addition will provide additional classrooms, labs, and common areas for the existing students. Interior alterations are also proposed for multiple existing classrooms on both levels. The existing classroom count for the school is 37; there are 21 classrooms on the first floor and 16 classrooms on the second floor. The proposed floor plan reflects 23 classrooms on the first-floor and 22 classrooms on the second-floor, for a total of 45 classrooms (including laboratories). Therefore, the proposed project will result in the addition of eight classrooms to the existing building. The net increase of eight classrooms will not impact parking at the subject property, because it will not intensify the use at the property since no change in student enrollment is proposed.

Per the applicant letter, there are currently 77 full-time staff and 8 part-time staff who work at the school. With the 13,076 square-foot building addition, the school anticipates the introduction of no more than four additional staff members in the areas of Special Education, Admissions, and Art. To accommodate the additional staff, the applicant proposes to add 14 additional parking spaces south of the building, resulting in a 20 percent increase in available onsite parking.

Design

The design of the proposed building, as conditioned, will be developed with appropriate building mass and form, and will provide consistent architectural features and materials. For example, the proposed exterior courtyard and addition of the covered area and second-floor roof deck adds depth and human scale to the building form while providing enhanced and functional student common areas. The introduction of the atriums will provide natural light into the interior of the building. In addition, the proposed project includes landscape modifications to include new sand set pavers and drought tolerant landscaping located near the east side of the building and the new parking lot. The proposed addition will satisfy all applicable development standards and, therefore, is compatible and harmonious to the surrounding buildings and site developments.

FAR Deviation

General Plan Policy LU-5.10(a) allows discretionary approval of increases in FAR for nonresidential land uses provided the deviation does not exceed a 0.05 increase in FAR for the moderate traffic category, and the deviation will not cause the daily trip generation for the property to be exceeded. The request to allow a FAR deviation from 0.297 to 0.344 for a 13,076 square-foot addition to Mariner's Christian School does not exceed the maximum floor area ratio of 0.35 for moderate traffic uses allowed under the General Plan. Additionally, since the trip generation for schools is based on student enrollment, and no increase to the maximum student enrollment (750) is proposed as a result of the project, the proposed increase in FAR is consistent with the General Plan.

Since trip generation rates are higher for most traditional industrial uses that would be permitted at this site, proof of recordation of a Land Use Restriction prepared by staff will be required prior to issuance of building permits requiring removal of the additional square footage permitted under this minor conditional use permit should the private school use be discontinued.

Nonconforming Signage

During a site visit, staff noticed prohibited banners — on poles, fences, and the face of the building — which do not comply with the provisions of the Costa Mesa Sign Ordinance. A condition has been included to remove illegal signage which does not comply with Code, and obtain permits for all signs according to the provisions of the Costa Mesa Sign Ordinance within 30 days of the effective approval of this minor conditional use permit. Banner signs shall be subject to review and approval by the

Planning Division/Development Services Director to ensure compatibility in terms of display time, size, and location with the proposed/existing development.

ENVIRONMENTAL DETERMINATION

If the request is approved, it would be exempt from the provisions of the California Environmental Quality Act under Section 15314 for Minor Additions to Schools. The project site is an existing school where the proposed expansion will not result in an increase of more than ten classrooms (the existing classroom count is 37; the proposed classroom count is 45, or an increase of 8 classrooms).

GENERAL PLAN CONSISTENCY

Approval of this project will allow a use, density, and intensity, which is in accordance with the General Plan designation for the property. Specifically, the General Plan designation for the property is Industrial Park, which allows moderate traffic uses at a FAR of 0.30. General Plan Policy LU-5.10(a) allows discretionary approval of increases in FAR for nonresidential land uses provided the deviation does not exceed a 0.05 increase in FAR for the moderate traffic category, and the deviation will not cause the daily trip generation for the property to be exceeded. The proposed addition to the school will result in a FAR of 0.344, which does not exceed the 0.05 increase in FAR for the moderate traffic use. Further, since trip generation rates for schools are based on student enrollment, and no increase to the maximum student enrollment (750) is proposed as a result of the project, the proposed FAR deviation is consistent with the General Plan.

FINDINGS

- A. The information presented complies with Costa Mesa Municipal Code Section 13-29(e) in that:
1. There is a compatible and harmonious relationship between the proposed building and site development, and use(s), and the building and site developments, and uses that exist or have been approved for the general neighborhood.
 2. Safety and compatibility of the design of buildings, parking area, landscaping, luminaries and other site features which may include functional aspects of the site development such as automobile and pedestrian circulation have been considered and are not impacted by the proposed use.
 3. The proposed addition complies with any performance standards as described elsewhere in the Zoning Code. The use complies with the City's Zoning Code as it pertains to building height and setbacks, and complies with the intent of the Zoning Code as it pertains to on-site parking spaces and overall project floor area ratio (FAR).

4. The proposed development is consistent with the General Plan land use designation of Industrial Park and the maximum allowable floor area ratio (FAR). Specifically, the General Plan designation for the property is Industrial Park, which allows moderate traffic uses at an FAR of 0.30 and increases in FAR for nonresidential land uses provided the deviation does not exceed a 0.05 increase in FAR for the moderate traffic category, and the deviation will not cause the daily trip generation for the property to be exceeded. The proposed addition to the school will result in a FAR of 0.344, which does not exceed the 0.05 increase in FAR for the moderate traffic use. Further, since trip generation rates for schools are based on student enrollment, and no increase to the maximum student enrollment (750) is proposed as a result of the project. Therefore, the FAR deviation and, ultimately, the project is consistent with the General Plan.
 5. The zoning application is for a project-specific case and is not to be construed to be setting a precedent for future development.
- B. The information presented complies with Costa Mesa Municipal Code Section 13-29(g)(2) in that:
1. The proposed development is compatible and harmonious with developments in the same general area and would not be materially detrimental to other properties within the area.
 2. Granting the minor conditional use permit will not be detrimental to the health, safety and general welfare of the public or otherwise injurious to property or improvements within the immediate vicinity.
 3. Granting the minor conditional use permit will not allow a use, density or intensity that is not in accordance with the General Plan designation for the property. Specifically, the General Plan designation for the property is Industrial Park, which allows moderate traffic uses at an FAR of 0.30. General Plan Policy LU-5.10(a) allows discretionary approval of increases in FAR for nonresidential land uses provided the deviation does not exceed a 0.05 increase in FAR for the moderate traffic category, and the deviation will not cause the daily trip generation for the property to be exceeded. The proposed addition to the school will result in a FAR of 0.344, which does not exceed a 0.05 increase in FAR. Further, since the trip generation for schools is based on student enrollment, and no increase to the maximum student enrollment (750) is proposed as a result of the project, the proposed increase in FAR – and resulting project – is consistent with the General Plan.
- C. The project has been reviewed for compliance with the California Environmental Quality Act (CEQA), the CEQA Guidelines, and the City environmental procedures, and has been found to be exempt under Section 15314 for Minor Additions to Schools.

- D. The project is exempt from Chapter IX, Article 12, Transportation Demand Management, of Title 13 of the Costa Mesa Municipal Code.

CONDITIONS OF APPROVAL

- Plng.
1. Unless otherwise indicated, all conditions of approval for Conditional Use Permit PA-94-38 and Minor Conditional Use Permit ZA-00-11 shall apply.
 2. No increase in student enrollment (current maximum enrollment, 750 maximum) shall be permitted.
 3. The previous land use restriction executed by the by and between the property owner, the applicant, and the City of Costa Mesa shall be released and a new land use restriction shall be recorded prior to the issuance of building permits to reflect this change. This land use restriction shall require that the additional square footage permitted under this minor conditional use permit be removed if the private school use is discontinued on the property. The applicant shall submit to the Planning Division a copy of the legal description for the property, and either a lot book report or current title report identifying the current legal property owner so that the document may be prepared.
 4. No modification(s) of the approved building elevations including, but not limited to, changes that increase the building height, removal of building articulation, or a change of the finish material(s), shall be made during construction without prior Planning Division written approval. Failure to obtain prior Planning Division approval of the modification could result in the requirement of the applicant to (re)process the modification through a discretionary review process such as a minor design review or a variance, or in the requirement to modify the construction to reflect the approved plans.
 5. The conditions of approval, Code provisions, and special district requirements of Zoning Application ZA-18-09 shall be blueprinted on the face of the site plan as part of the building plan check submittal package.
 6. A copy of the conditions of approval for the minor conditional use permit shall be kept on premises and presented to any authorized City official upon request. New business/property owners shall be notified of conditions of approval upon transfer of business or ownership of land.
 7. The use shall be conducted, at all times, in a manner that will allow the quiet enjoyment of the surrounding neighborhood. The applicant and/or operator shall institute whatever security and operational measures are necessary to comply with this requirement.
 8. The applicant shall contact the Planning Division to arrange a Planning inspection of the site. This inspection is to confirm that the conditions of approval and code requirements have been satisfied.
 9. Applicant shall defend, indemnify and hold harmless the City, its officials and employees, against all legal actions filed challenging City's approval of the applicant's project and/or challenging any related City actions supporting the approval. City shall have the right to select the attorney

- defending it, if it elects to do so.
10. If any section, division, sentence, clause, phrase or portion of this approval is for any reason held to be invalid or unconstitutional by a decision of any court of competent jurisdiction, such decision shall not affect the validity of the remaining provisions.
 11. Prior to issuance of Certificate of Occupancy (C of O) the applicant shall provide a scaled and dimensioned digital site plan(s) for the project site, on wither a CD or thumb drive, to the Planning Division. All site plans shall include an accurate and precise drawing of all building footprints and property line locations for the entire project site. All buildings shall be annotated with its corresponding address and suites if applicable.
 12. All utilities servicing irrigation, project lighting, security gates and other commonly serving improvements, shall be provided by (a) common meter(s) that is the shared responsibility for all property owners in the development project. The CC&Rs or other organizational documents shall include verbiage requiring the common meters for the life of the development project.

CODE REQUIREMENTS

The following list of federal, state, and local laws applicable to the project has been compiled by staff for the applicant's reference. Any reference to "City" pertains to the City of Costa Mesa.

- Plng.
1. Approval of the zoning application is valid for two years from the effective date of this approval (April 12, 2018) and will expire at the end of that period (April 12, 2020) unless applicant establishes the use by one of the following actions: 1) a building permit has been issued and construction has commenced, and a valid building permit has been maintained by making satisfactory progress as determined by the Building Official; 2) a certificate of occupancy has been issued; or 3) the use has been established and a business license has been issued. A time extension can be requested no less than thirty (30) days or more than sixty (60) days before the expiration date of the permit and submitted with the appropriate fee for review to the Planning Division. The Director of Development Services may extend the time for an approved permit or approval to be exercised up to 180 days subject to specific findings listed in Title 13, Section 13-29 (k) (6). Only one request for an extension of 180 days may be approved by the Director. Any subsequent extension requests shall be considered by the original approval authority.
 2. Permits shall be obtained for all signs according to the provisions of the Costa Mesa Sign Ordinance within 30 days of the effective approval of this minor conditional use permit. Banner signs shall be subject to review and approval by the Planning Division/Development Services Director to ensure compatibility in terms of display time, size, and location with the proposed/existing development.

- Bldg.
3. All noise-generating construction activities shall be limited to 7 a.m. to 7 p.m. Monday through Friday and 9 a.m. to 6 p.m. Saturday. Noise-generating construction activities shall be prohibited on Sunday and the following Federal holidays: New Years Day, Memorial Day, Independence Day, Labor Day, Thanksgiving Day and Christmas Day.
 4. Two sets of detailed landscape and irrigation plans, which meet the requirements set forth in Costa Mesa Municipal Code Sections 13-101 through 13-108 and the City's Water Efficient Landscape Guidelines, shall be required as part of the project plan check review and approval process. Plans shall be forwarded to the Planning Division for final approval prior to issuance of building permits.
 5. Two sets of landscape and irrigation plans, approved by the Planning Division, shall be attached to two of the final building plan sets.
 6. Landscaping and irrigation shall be installed in accordance with the approved plans prior to final inspection or occupancy clearance.
 7. Parking stalls shall be double-striped in accordance with City standards.
 8. Comply with the requirements of the following adopted codes: 2016 California Residential Code, 2016 California Building Code, 2016 California Electrical Code, 2016 California Mechanical Code, 2016 California Plumbing Code, 2016 California Green Building Standards Code and 2016 California Energy Code (or the applicable adopted, California Residential Code, California Building Code, California Electrical Code, California Mechanical Code, California Plumbing Code, California Green Building Standards and California Energy Code at the time of plan submittal or permit issuance) and California Code of Regulations also known as the California Building Standards Code, as amended by the City of Costa Mesa. Requirements for accessibility to sites, facilities, buildings and elements by individuals with disability shall comply with chapter 11B of the 2016 California Building Code.
 9. The added area shall comply with 2016 California Building Code Chapter five.
 10. Prior to issuing the Building permit the conditions of approval shall be required to be incorporated on the approved Architectural plans.
 11. The Building Division will not issue a demolition permit until an Identification no. is provided By AQMD.
 12. Submit precise grading plans, an erosion control plan and a hydrology study.
 13. Submit a soils report for this project. Soil's Report recommendations shall be blueprinted on both the architectural and the precise grading plans.
 14.
 - i - The ground adjacent immediately to the foundation shall be slopes away from the building at a slope of not less than 5% for a minimum distance of 10 feet measured perpendicular to the face of the wall CBC sec. 1804.3. See also exception.
 - ii - On graded sites the top of exterior foundation shall extend above the elevation of the street gutter at point of discharge or the inlet of an

- approved discharge devise a minimum of 12 inches plus 2 percent 2013 California Building Code sec. 1808.7.4
- Bus. 15. All contractors and subcontractors must have valid business licenses to
Lic. do business in the City of Costa Mesa. Final inspections, final occupancy and utility releases will not be granted until all such licenses have been obtained.
- Fire 16. Comply with the requirements of the 2016 California Fire Code and referenced standards as amended by the City of Costa Mesa.

SPECIAL DISTRICT REQUIREMENTS

The requirements of the following special districts are hereby forwarded to the applicant:

- AQMD 1. Prior to the Building Division (AQMD) issuing a demolition permit, contact South Coast Air Quality Management District located at:
21865 Copley Dr.
Diamond Bar, CA 91765-4178
Tel: 909-396-2000
OR
Visit their web site:
<http://www.costamesaca.gov/modules/showdocument.aspx?documentid=23381>
The Building Division will not issue a demolition permit until an identification number is provided by AQMD.
- CDFA 2. Comply with the requirements of the California Department of Food and Agriculture (CDFA) to determine if red imported fire ants exist on the property prior to any soil movement or excavation. Call CDFA at (714) 708-1910 for information.

PLANNING APPLICATION SUMMARY

Location:	300 Fischer Avenue	Application No:	ZA-18-09 (PA-94-38 A2)
Request:	Amend Conditional Use Permit PA-94-38 to allow a 13,076 sq.ft. addition to Mariner's Church with a floor area ratio (FAR) deviation from 0.297 to 0.344.		

SUBJECT PROPERTY:

SURROUNDING PROPERTY:

Zone:	MP; Industrial Park	North:	MP; Industrial Park
General Plan:	Industrial Park	South:	MP; Industrial Park
Lot Dimensions:	Irregular (corner lot)	East:	MP; Industrial Park
Lot Area:	274,555 sq. ft.	West:	MP; Industrial Park
Existing Development:	81,424 square-foot building containing a private school.		

DEVELOPMENT STANDARD COMPARISON

Development Standard	Required/Allowed	Proposed/Provided
Lot Size:		
Lot Width	120 ft.	520 ft.
Lot Area	30,000 sq. ft.	274,555 sq. ft.
FAR:		
(Moderate Traffic)	0.30/0.35 with deviation (82,367 sq. ft./96,094 sq.ft.)	0.344 ¹ (94,500 sq. ft.)
Building Height	3 stories/45 ft.	2 stories/30 ft.
Building Setback		
Front	20 ft.	20 ft.
Left Side	20 ft.	20 ft.
Right Side	10 ft.	300 ft.
Rear	0 ft.	60 ft.
Parking:		
Total	N/A	84 (70 plus 14 proposed) & playground (overflow) ²
¹ Request includes a deviation to allow an increase in FAR ² Overflow parking for Rock Harbor Church approved under PA-03-48. Since no increase in student enrollment is proposed, the parking requirement remains unchanged; however, 14 additional spaces are proposed.		
Final Action	Zoning Administrator	
CEQA Review	Exempt Class 14	



City of Costa Mesa
Planning Department
77 Fair Drive
Costa Mesa, CA 92628

April 4, 2018

Subject: Minor Conditional Use Permit Application
Mariners Christian School
300 Fischer Ave, Costa Mesa, CA
Previous Use Permits PA-94-38 A1, ZA-10-26 and ZA-00-11

Project Overview:

The applicant, Mariners Christian School is seeking to make interior and exterior modifications to their existing facility. The proposed improvements will include the following:

1. Create two new atriums to provide natural light into the interior of the school.
2. Addition of new entry lobby, stairs, classroom and elevator at first floor.
3. Addition of covered area at southeast corner of building.
4. Addition of exterior courtyard at north and east side of building.
5. Interior alterations to classrooms at multiple locations on both levels.
6. Addition of new classrooms, offices and labs, plus roof deck at second floor.
7. Remodel to restrooms at east side of first and second floors.
8. Addition of new single occupancy toilets at first and second floors.
9. Exterior façade remodel and enhancements.
10. Fourteen Additional Parking spaces added. (Increase of 20% of existing 70 spaces.)
11. Eight new classrooms added.
12. Minimal landscape work is required.

The lot is 274,555 square feet and is zoned for a maximum FAR of .300 with the ability to increase the FAR up to .350 with discretionary approval under General Plan Policy No. 255(b).

In 2000 the school applied for and received the discretionary approval (Minor Conditional Use Permit ZA-00-11) to increase the FAR above .300. In 2010 the school applied for an increase of an additional 3,108 square feet and was granted the request (Zoning Application ZA-10-26 which was granted on June 10, 2010.) The school did not construct the 3,108 square feet and allowed the approval to expire.

The current FAR is .297. (81,424 square feet of floor area divided by lot size of 274,555 square feet.) The proposed increase is by 13,076 square feet which would increase the FAR up to .344 (94,500 square feet divided by lot size of 274,555 square feet.)

The maximum student enrollment is 750, which was provided for in Planning Application Amendment PA-94-38 A1 on April 10, 2014. There is no increase to student enrollment being proposed.

MARS HILL STUDIO, INC.
2533 Greenbriar Lane, Costa Mesa, CA 92626 (714)556-8299 fax (714)556-8351

The current classroom count is as follows:

1st floor existing classroom count: 21

1st floor proposed classroom count: 23

2nd floor existing classroom count: 16

2nd floor proposed classroom count: 22

The result is a net increase of 8 classrooms.

The purpose of the proposed remodel and addition to the school are for the following reasons:

1. Provide and enhanced abilities for student configurations by having additional classrooms, labs, commons areas, etc.
2. Provide more natural light to the interior of the building to provide more desirable learning spaces.
3. Provide increased student security by having secured upper and lower level entrances.
4. Bring the building up to current Title 24 accessibility codes.
5. Create an aesthetically pleasing exterior façade to enhance the school's presence from the street.

Please review the information above and call me if you have any questions or comments at (714) 556-8299.

Best Regards,

A handwritten signature in black ink, appearing to read 'A. Massaro', with a stylized, cursive script.

Anthony P. Massaro
Architect



To: City of Costa Mesa

From: Mariners Christian School
Troy Moore, Head of School

Re: Current Staffing at Mariners Christian School/Parking Needs

Date: 3/7/2018

Memo:

It is with great excitement that the Mariners Christian School Board of Trustees and Staff presents our Capital Improvement Plan "MCS: Bright Future" to you for review. Our school has been embedded in the Costa Mesa community for 31 years and we have hundreds of Alumni living in our Orange County Community as productive and compassionate citizens. We are grateful for the City of Costa Mesa and the support that has been given to our various projects over the years.

As we look to increase our square footage based on the current CUP for our property, we do not plan to add a significant number of staff. Currently, we have several teachers who are sharing classrooms as we are already facilitating progressive and innovative instructional models in all disciplines within the space we have. During the 2017-18 school year we have approximately 81 FTE's with 77 full time staff and 8 part time staff. Relating that to parking needs:

Of the 77 full time staff 3 are afterschool program.

With the 8 part time 1 is afternoon, 1 is afterschool, 3 are morning, and 3 are alternating days

So for parking we have:

- 74 parked all day
- 3 parked in the morning
- 1 parked in the afternoon
- 4 park for afterschool program
- 2 parking spots for 3 alternating day part time staff
- 79 parking spots maximum on any given day in the morning

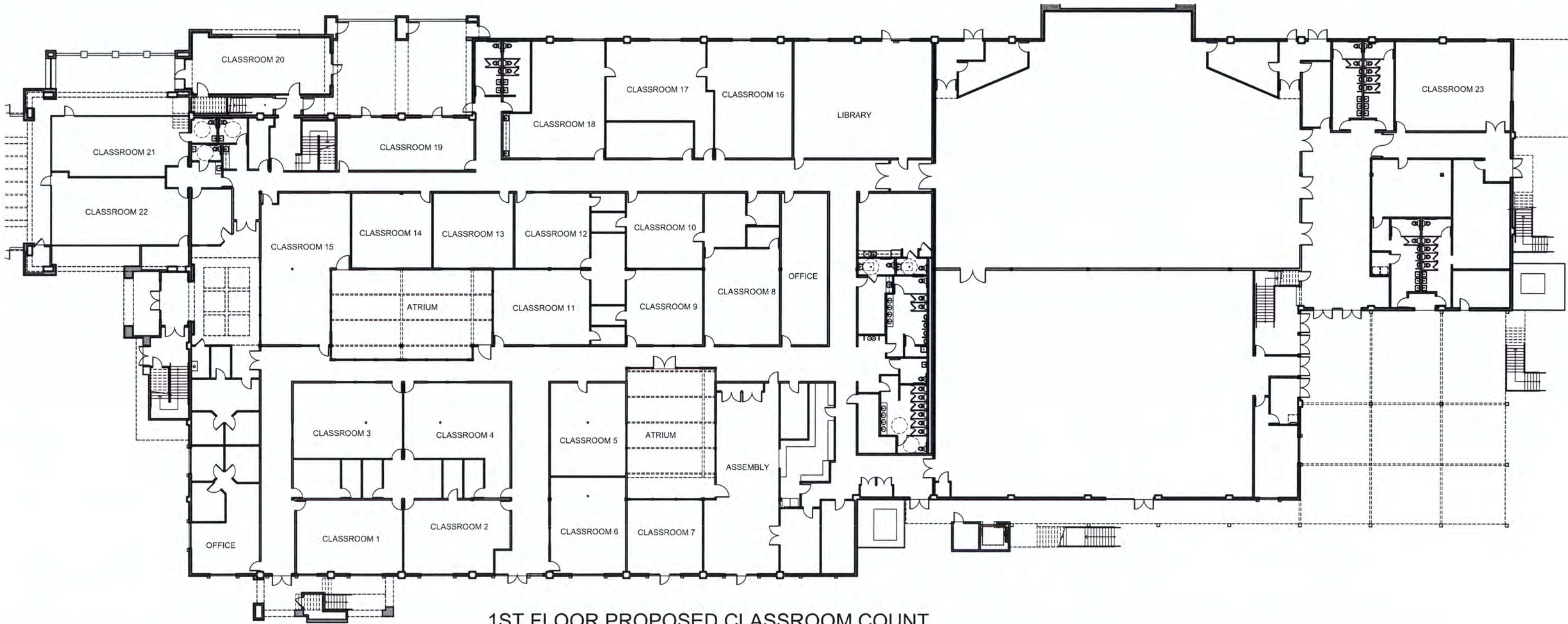
With the remodel we anticipate the addition of no more than 4 additional staff in the areas of Student Services (Special Education), Admissions, and the Arts. These additional positions would bring the parking need to no more than 83 spaces.

I am hopeful that you will find this information useful in approving the project presented. We are grateful for your engagement in our dreams for Mariners Christian School!



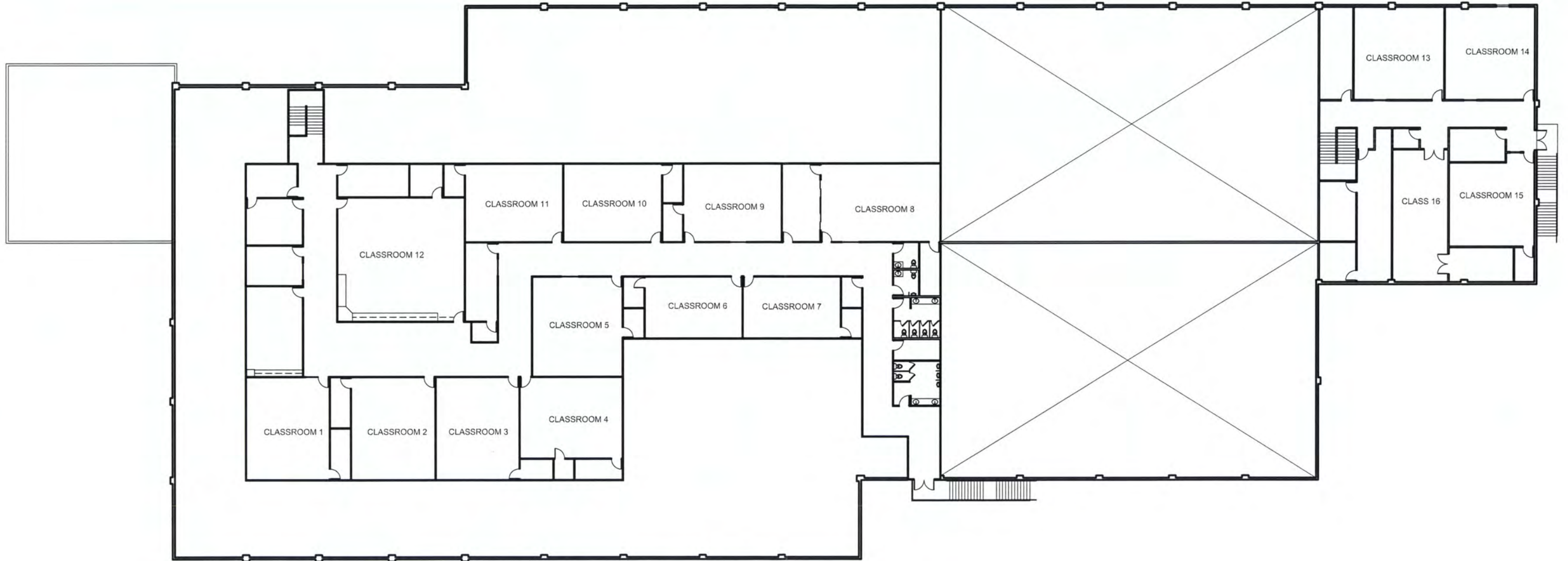
1ST FLOOR EXISTING CLASSROOM COUNT

EXISTING 1ST FLOOR CLASSROOM COUNT: 21
PROPOSED 1ST FLOOR CLASSROOM COUNT: 23



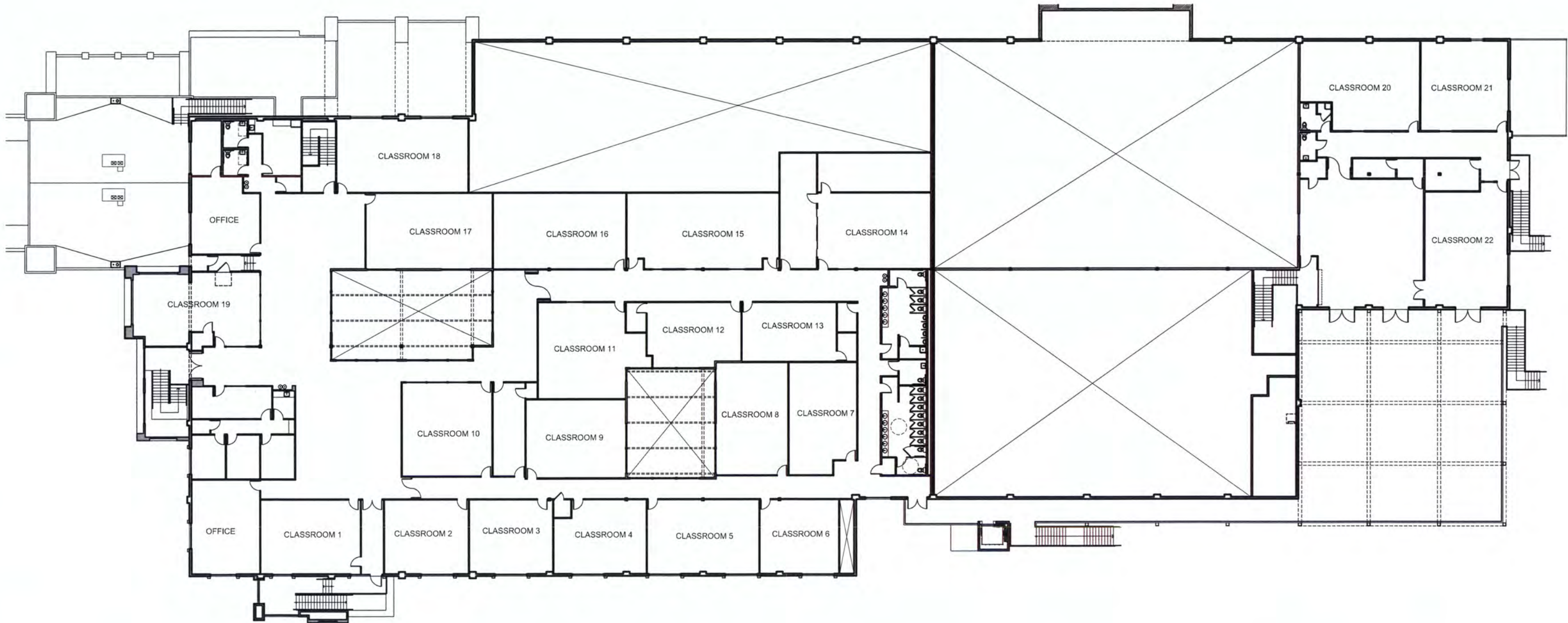
1ST FLOOR PROPOSED CLASSROOM COUNT

EXISTING 1ST FLOOR CLASSROOM COUNT: 21
 PROPOSED 1ST FLOOR CLASSROOM COUNT: 23



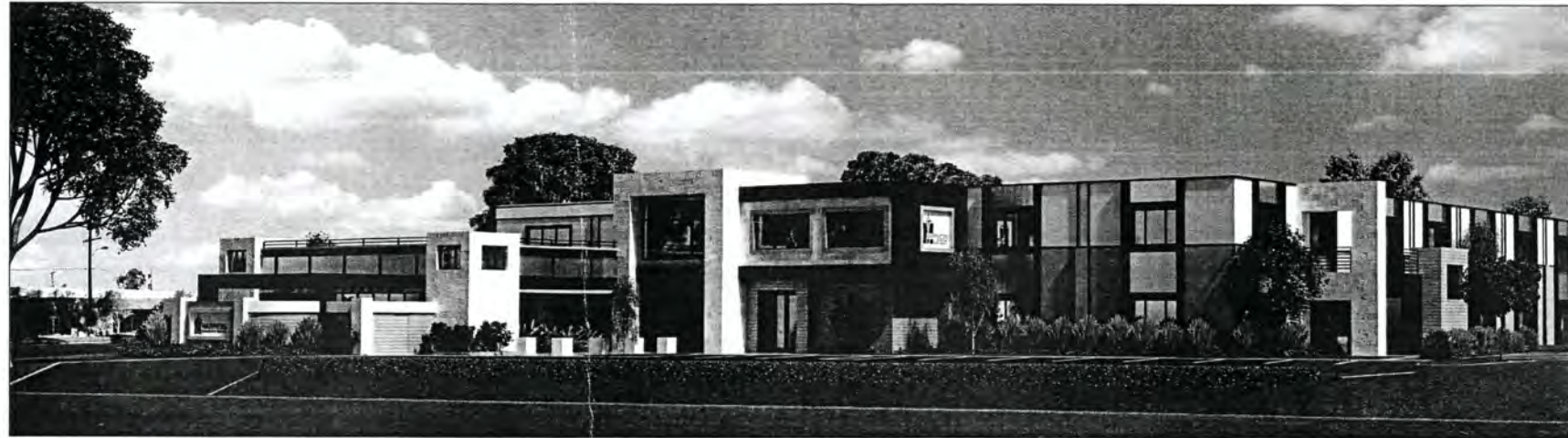
2ND FLOOR EXISTING CLASSROOM COUNT

EXISTING CLASSROOM COUNT: 16
PROPOSED CLASSROOM COUNT: 22



2ND FLOOR PROPOSED CLASSROOM COUNT

EXISTING 2ND FLOOR CLASSROOM COUNT: 16
 PROPOSED 2ND FLOOR CLASSROOM COUNT: 22



MARINERS CHRISTIAN SCHOOL

300 FISCHER AVE

COSTA MESA, CALIFORNIA



Revisions

MARINERS CHRISTIAN SCHOOL
 300 FISCHER AVE, COSTA MESA, CA

GENERAL NOTES

- GENERAL CONTRACTOR SHALL VISIT THE BUILDING SITE AND SHALL FIELD VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO STATING ANY WORK AND SHALL BE RESPONSIBLE FOR COORDINATION OF ALL WORK AND MATERIALS. THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES FOUND. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SHOWING, EXCAVATING, TEMPORARY STRUCTURES AND PARTIALLY COMPLETED PORTIONS OF WORK TO ASSURE SAFE WORKING CONDITIONS.
- ALL MATERIALS AND WORKMANSHIP SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL STANDARDS AND TO APPLICABLE PROVISIONS IN THE CODES LISTED IN THE PROJECT DATA ON THIS SHEET. GENERAL CONTRACTOR SHALL VERIFY ALL CODE REQUIREMENTS BEFORE COMMENCEMENT OF CONSTRUCTION AND BRING ANY CODE DISCREPANCIES TO THE IMMEDIATE ATTENTION OF THE ARCHITECT.
- GENERAL CONTRACTOR SHALL PROVIDE SAFE AND ADEQUATE TEMPORARY BRACING ON ALL BEAMS, WALLS, ETC. TO PROVIDE FULL STRUCTURAL STABILITY. TEMPORARY BRACING SHALL NOT BE REMOVED UNTIL THE PERMANENT BRACING HAS BEEN COMPLETELY INSTALLED AND SECURED AND THE ELEMENT SUPPORTED IS CAPABLE OF SUPPORTING THE DESIGN LOADS. THE CONTRACT DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE. UNLESS OTHERWISE SHOWN THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE GENERAL CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES.
- ASBESTOS REMOVAL AND DISPOSAL, WHERE REQUIRED SHALL BE PERFORMED BY FIRMS DULY LICENSED FOR SUCH WORK AND SHALL COMPLY WITH ALL APPLICABLE AGENCY REQUIREMENTS.
- ALL SHEET METAL AND FLASHING REQUIREMENTS SHALL CONFORM WITH THE LATEST EDITIONS OF SMACNA AND NRCA MANUALS. GLAZING & HARDWARE SHALL BE DESIGN-BUILD AND SHALL CONFORM WITH THE SECURITY REQUIREMENTS OF THE CBC. WALLBOARD AND PLASTERING SHALL CONFORM WITH THE LATEST EDITION OF THE LATHING AND PLASTERING SPECIFICATIONS OF THE CALIFORNIA LATHING AND PLASTERING CONTRACTORS ASSOCIATION, INC. CARBONWORK SHALL CONFORM WITH THE LATEST EDITION OF THE W.I.C. MANUAL, CUSTOM GRADE UNLESS HIGHER GRADE IS SELECTED BY OWNER.
- THE BUILDER SHALL PROVIDE THE ORIGINAL OCCUPANT WITH A LIST OF THE HEATING, COOLING, WATER HEATING, AND LIGHTING SYSTEMS, AND CONSERVATION OR SOLAR DEVICES INSTALLED IN THE BUILDING AND INSTRUCTIONS ON HOW TO USE THEM SPECIFICALLY.
- AFTER INSTALLING THE INSULATION, THE INSTALLER SHALL COMPLETE CERTEN-50 FORM. SEE SHEET A-0.2.
- SUBMITTAL DOCUMENTS FOR DEFERRED SUBMITTALS SHALL BE SUBMITTED TO THE ARCHITECT OR ENGINEER OF RECORD WHO SHALL REVIEW THEM AND FORWARD THEM TO THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND THAT THEY HAVE BEEN FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING. THE DEFERRED SUBMITTAL SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.
- THERE SHALL BE NO TRENCHES OR EXCAVATIONS 4 FEET OR MORE IN DEPTH INTO WHICH A PERSON IS REQUIRED TO DESCEND, OR OBTAIN PERMIT FROM STATE OF CALIFORNIA, DIVISION OF OCCUPATIONAL SAFETY AND HEALTH (CAL/OSHA). THE PERMIT AND ANY OTHER SAFETY PERMIT SHALL BE OBTAINED PRIOR TO COMMENCEMENT OF ANY WORK. CONTACT CAL/OSHA AT (714)568-4441 FOR ADDITIONAL INFORMATION.
- IRRIGATION CONTROLLERS MUST BE WEATHER (RAIN SENSITIV) OR SOIL MOISTURE BASED CONTROLLERS.
- A CONSTRUCTION WASTE MANAGEMENT PLAN SHALL BE SUBMITTED AT PLAN CHECK AND COMPLY WITH THE ORANGE COUNTY MANDATORY CONSTRUCTION AND DEMOLITION RECYCLING POLICY AND PROGRAM.
- AN OPERATION AND MAINTENANCE MANUAL, INCLUDING, AT A MINIMUM, THE ITEMS LISTED IN GREEN CODE SECTION 4.4.1.1 SHALL BE COMPLETED AND PLACED IN THE BUILDING AT THE TIME OF FINAL INSPECTION.
- THE SPRINKLER SYSTEM SHALL BE APPROVED BY PLUMBING DIVISION PRIOR TO INSTALLATION.
- MATERIALS DELIVERED TO THE CONSTRUCTION SITE SHALL BE PROTECTED FROM RAIN OR OTHER SOURCES OF MOISTURE.
- CONSTRUCTION WASTE SHALL BE REDUCED BY 95% BY A CITY OF LOS ANGELES CERTIFIED HAULER.
- THE VOC CONTENT VERIFICATION CHECK LIST FORM GR24 SHALL BE COMPLETED AND VERIFIED PRIOR TO FINAL INSPECTION APPROVAL. THE MANUFACTURER'S SPECIFICATIONS SHOWING VOC CONTENT FOR ALL APPLICABLE PRODUCTS SHALL BE READY AVAILABLE AT THE JOB SITE AND BE PROVIDED TO THE FIELD INSPECTOR FOR VERIFICATION.

PROJECT DATA

APPLICANT: MARINERS CHRISTIAN SCHOOL
 300 FISCHER AVE
 COSTA MESA, CA 92626
 (714) 432-1700

PROJECT ADDRESS: 300 FISCHER AVE
 APN: 427-060-12
 GENERAL PLAN DESIGNATION: INDUSTRIAL PARK
 ZONE: MP
 TOTAL SITE AREA: 274,368 S.F. - 6.34 ACRES

NOTICABLE CODES:
 2016 CALIFORNIA BUILDING CODE
 2016 CALIFORNIA ELECTRICAL CODE
 2016 CALIFORNIA MECHANICAL CODE
 2016 CALIFORNIA PLUMBING CODE
 2016 CALIFORNIA FIRE CODE
 2016 CALIFORNIA UNIFORM ADMINISTRATIVE CODE
 2016 CALIFORNIA FIRE CODE

EXISTING BUILDING AREAS:
 (E) FIRST FLOOR CONDITIONED SPACE 58,232 S.F.
 (R) SECOND FLOOR UNCONDITIONED SPACE 22,172 S.F.
 EXISTING TOTAL AREA 80,404 S.F.

PROPOSED BUILDING AREAS:
 (E) FIRST FLOOR UNCONDITIONED SPACE 98,777 S.F.
 (R) FIRST FLOOR NON-CONDITIONED SPACE (ATTACHED) 2,475 S.F.
 (R) FIRST FLOOR UNCONDITIONED SPACE 2,104 S.F.
 (R) FIRST FLOOR NON-CONDITIONED SPACE 393 S.F.
 (E) SECOND FLOOR UNCONDITIONED SPACE 26,808 S.F.
 (R) SECOND FLOOR UNCONDITIONED SPACE 12,808 S.F.
 PROPOSED TOTAL AREA 143,068 S.F.

ADDITIONAL AREAS:
 (R) FIRST FLOOR OUTDOOR COVERED DECK 8,296 S.F.
 (R) SECOND FLOOR UNCOVERED DECK 8,296 S.F.
 FIRST FLOOR WEST ATRIUM 1,263 S.F.
 FIRST FLOOR EAST ATRIUM 1,112 S.F.
 SECOND FLOOR ROOF GRADER 2,104 S.F.

F.A.R. ANALYSIS:
 TOTAL LOT AREA: 274,368 S.F. (6.34 ACRES)
 EXISTING F.A.R.: 41.43 S.F. / 274,368 S.F. = .149 F.A.R.
 PROPOSED F.A.R.: 143,068 S.F. / 274,368 S.F. = .519 F.A.R.

CONSTRUCTION TYPE: TYPE S-8, SPRINKLERED
 CBC OCCUPANCY: E (EDUCATIONAL) A.3 (ASSEMBLY)
 GROUP CLASSIFICATION: E (EDUCATIONAL) A.3 (ASSEMBLY)

SCOPE OF WORK:
 1. CREATE TWO INTERIOR ATRIUMS.
 2. ADDITION OF NEW ENTRY LOBBY, STAIRS, CLASSROOMS & ELEVATOR AT FIRST FLOOR.
 3. ADDITION OF COVERED AREA AT SOUTHEAST CORNER OF BUILDING.
 4. ADDITION OF EXTERIOR COURTYARDS AT NORTH AND EAST SIDE OF BUILDING.
 5. INTERIOR RE-TREATING TO CLASSROOMS AT MULTIPLE LOCATIONS AT BOTH LEVELS.
 6. ADDITION OF NEW CLASSROOMS, OFFICES & LABS PLUS ROOF DECK SECOND FLOOR.
 7. ADDITION OF 14 PARKING SPACES.
 8. ADDITION OF NEW SINGLE OCCUPANCY TOILETS AT BOTH LEVELS.
 9. EXTERIOR FACADE RENOVEL & IMPROVEMENTS.
 10. RENOVEL TO RESTROOMS AT EAST SIDE OF FIRST AND SECOND FLOORS.

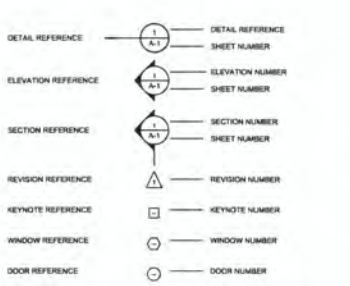
ON SITE PARKING ANALYSIS:
 EXISTING PARKING SPACES: 16
 NEW PARKING SPACES: 14

SHEET INDEX

- ARCHITECTURAL**
 A-0.1 TITLE SHEET
 A-0.2 AREA KEY PLANS
 A-0.3 LANDSCAPE AREA PLANS
 A-0.4 EXISTING AREA PLANS
 A-1.1 ARCHITECTURAL SITE PLAN
 A-2.1A PARTIAL FIRST FLOOR PLAN
 A-2.1B PARTIAL FIRST FLOOR PLAN
 A-2.2A PARTIAL SECOND FLOOR PLAN
 A-2.2B PARTIAL SECOND FLOOR PLAN
 A-3.1A PARTIAL ROOF PLAN
 A-3.1B PARTIAL ROOF PLAN
 A-4.1 EXTERIOR ELEVATIONS
 A-4.2 EXTERIOR ELEVATIONS
 A-4.3 COLORED RENDERINGS

**MINOR CONDITIONAL USE PERMIT/
 ADMINISTRATIVE ADJUSTMENT NO. ~~20-18-019~~**
Approval in Concept
 SUBJECT TO CONDITIONS
 CITY OF COSTA MESA
 PLANNING DEPT.
BY: Katlynn Walsh DATE 4/15/18

SYMBOLS



ABBREVIATIONS:

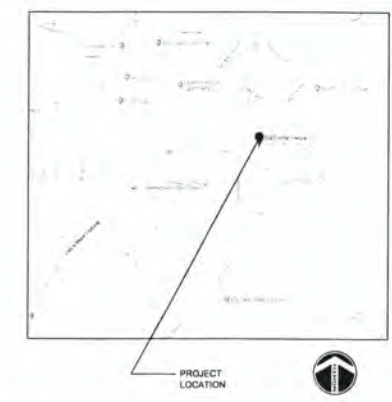
ACRUS	ACROUSTICAL	F.F.	FLOOR FINISH	PRECST	PRECAST
ADJL	ADJUSTABLE	FT.	FOOT/FEET	PRN	PARTITION
ADJ	ADJUSTABLE	FT.	FOOT/FEET	Q.T.	QUARRY TILE
ALUM	ALUMINUM	GA.	GALVANIZED	RAD.	RADIUS
APPROX	APPROXIMATE	GL.	GLASS	REQ.	REQUIRED
BLDG	BUILDING	GL.	GLASS	REQ.	REQUIRED
BLOCK	BLOCKING	GYP	GYP/FORM	R.O.	ROUGH OPENING
BLDG	BLOCKING	H.B.	HOLE BOSS	R.W.	REDWOOD
BOT	BOTTOM	H.C.	HOLLOW CORE	R.W.L.	RAIN WATER LEADER
CBM	CABINET	H.W.D.	HARDWOOD	S.C.	SOIL CODE
CER	CERAMIC	H.W.	HARDWARE	SCHS	SCHEDULE
CL	CLEAR	HOT	HOT	SMT	SHEET
CLR	CLEAR	H.M.	HOLLOW METAL	SM	SIMLAR
CLB	CLB	HORIZ	HORIZONTAL	SQ.	SQUARE
CONC	CONCRETE	I.D.	INSIDE DIAMETER	SET	STAINLESS STEEL
CONC	CONCRETE	INCAND	INCANDESCENT	STL	STEEL
CONTR	CONTRIBUTORS	INSAL	INSULATION	STOR	STORAGE
CONT	COUNTERTOP	INT	INTERIOR	STRUC	STRUCTURAL
C.T.	CERAMIC TILE	JAN.	JANITOR	SUSP	SUSPENDED
CTSK	COUNTER/SINK	JNT	JOINT	SYN.	SYMMETRICAL
DECOR	DECORATIVE	LAM	LAMINATE	T.C.	TOP OF CURB
DET	DETAIL	LOC	LOCATION	T.C.	TOP OF CHIMNEY
D.F.	DIAGRAM	LAV	LABATORY	T.D.	TOP OF FINISHING
DN	DOWN	LOC	LOCATION	T.D.	TOP OF LOGGERS
D.S.	DOWNPOUT	LOC	LOCATION	T.D.	TOP OF PARAPET
DWG	DRAWING	LOC	LOCATION	T.D.	TOP OF PLATE </td
EA	EACH	LOC	LOCATION	TYP.	TYPICAL
EL	ELEVATION	MAX	MAXIMUM	U.O.N.	UNLESS OTHERWISE NOTED
EL	ELEVATION	MET	METAL	VERT	VERTICAL
EL	ELEVATION	MFR	MANUFACTURER	VEST	VESTIBULE
EQ	EQUAL	MIS	MISCELLANEOUS	V.D.P.	VERTICAL DRAIN
EQ	EQUAL	MIS	MISCELLANEOUS	W	WITH
EXP	EXPANSION	MIS	MISCELLANEOUS	W/O	WITHOUT
EXT	EXTENSION	MIS	MISCELLANEOUS	W/O	WITHOUT CLOSET
EXT	EXTENSION	MIS	MISCELLANEOUS	W/O	WITHOUT
EXIST	EXISTING	MIS	MISCELLANEOUS	W/H	WATER HEATER
F.A.R.	FLOOR AREA RATIO	MIS	MISCELLANEOUS	W/H	WATER HEATER
F.D.	FLOOR DRAIN	MIS	MISCELLANEOUS	W/H	WATER HEATER
F.H.C.	FIRE HOSE CABINET	MIS	MISCELLANEOUS	W/H	WATER HEATER
FIN	FINISH	MIS	MISCELLANEOUS	W/H	WATER HEATER
FLASH	FLASHING	MIS	MISCELLANEOUS	W/H	WATER HEATER
FLSH	FLASHING	MIS	MISCELLANEOUS	W/H	WATER HEATER
F.O.C.	FACE OF CONCRETE	MIS	MISCELLANEOUS	W/H	WATER HEATER
F.O.F.	FACE OF FINISH	MIS	MISCELLANEOUS	W/H	WATER HEATER
F.O.M.	FACE OF MASONRY	MIS	MISCELLANEOUS	W/H	WATER HEATER
F.O.S.	FACE OF STUD	MIS	MISCELLANEOUS	W/H	WATER HEATER

DEFERRED SUBMITTALS

NOTE:
 DEFERRED SUBMITTALS TO BE REVIEWED BY PROJECT ARCHITECT OR ENGINEER OF RECORD AND CERTIFIED PRIOR TO SUBMITTAL FOR PLAN CHECK OR APPROVAL BY THE BUILDING DEPARTMENT.

- FIRE SPRINKLER SUBMITTAL TO BE DEFERRED. CONTRACTOR TO OBTAIN FIRE SPRINKLER PERMIT PRIOR TO CALLING FOR ROOF SHEATHING INSPECTION. DEFERRED SUBMITTALS TO BE REVIEWED BY PROJECT ARCHITECT OR ENGINEER OF RECORD AND CERTIFIED PRIOR TO SUBMITTAL FOR PLAN CHECK OR APPROVAL BY THE CITY.
- ELEVATOR

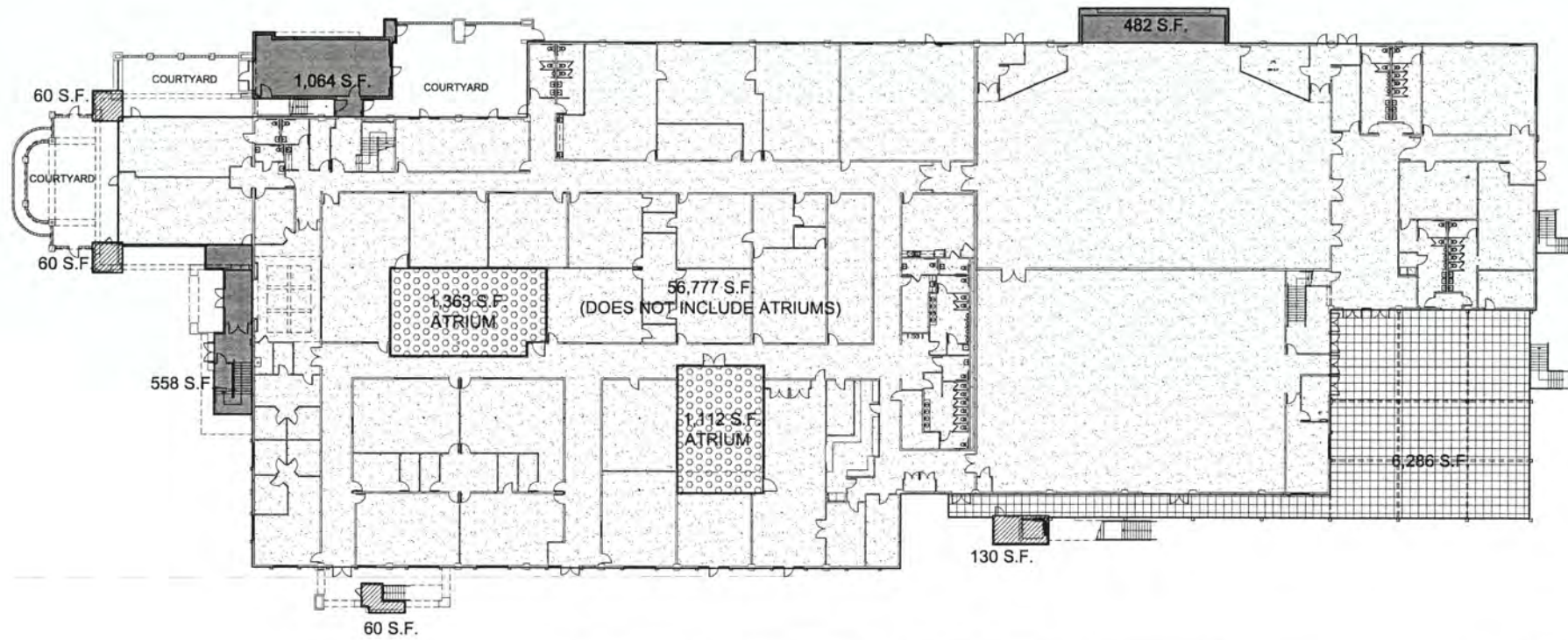
VICINITY MAP



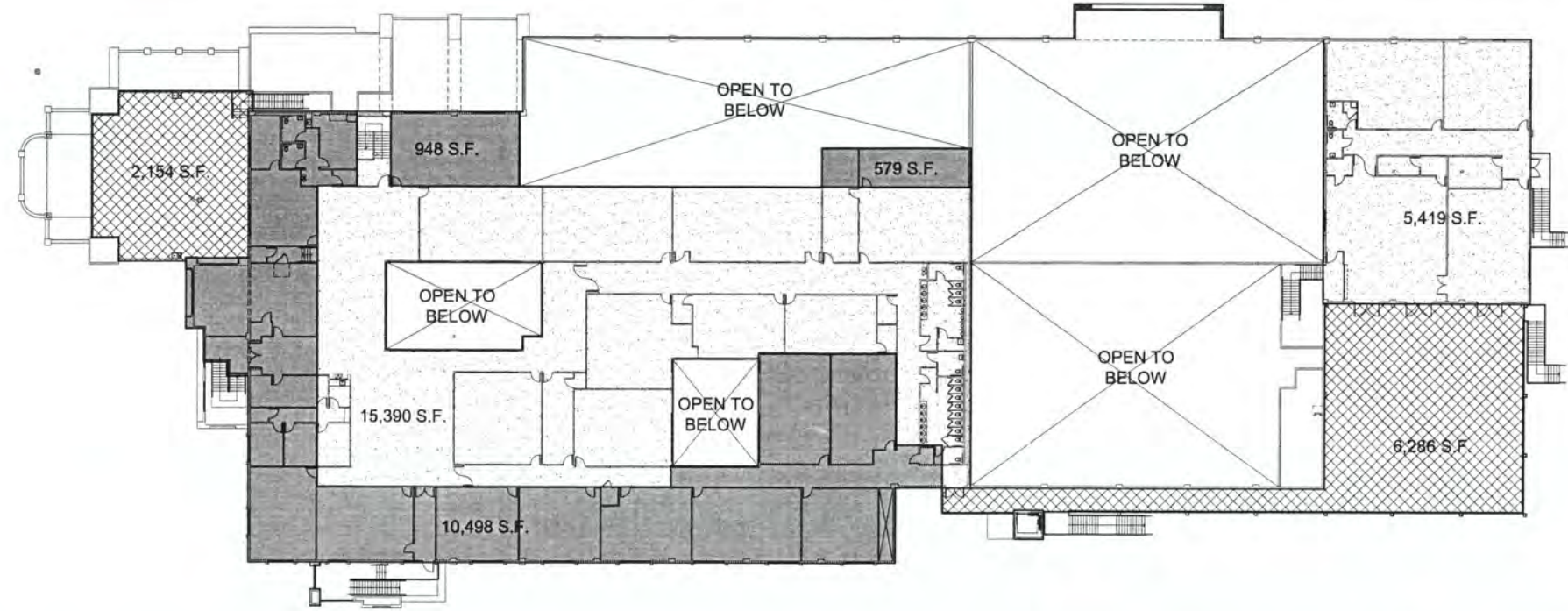
PROJECT TEAM

PROJECT ARCHITECT:
 WARS HILL STUDIO, INC.
 ANTHONY P. MASSARD
 2533 GREENBRIAR LANE
 COSTA MESA, CA 92626
 P: (714) 558-8299
 F: (714) 558-6351

CUP
SUBMITTAL 2
 Issue Date 03/19/18
 Title
TITLE SHEET
 Sheet No.
A-0.1



FIRST FLOOR KEY PLAN
SCALE: 1/16" = 1'-0"



SECOND FLOOR KEY PLAN
SCALE: 1/16" = 1'-0"

PROJECT DATA:

APPLICANT: MARINERS CHRISTIAN SCHOOL
300 FISCHER AVENUE
COSTA MESA, CA 92626
(714) 437-1700

PROJECT ADDRESS: 300 FISCHER AVENUE
APN: 427 085-12
GENERAL PLAN DESIGNATION: INDUSTRIAL PARK
ZONE: M
TOTAL SITE AREA: 274,585 S.F. = 6.30 ACRES

APPLICABLE CODES:
2018 CALIFORNIA BUILDING CODE
2018 CALIFORNIA ELECTRICAL CODE
2018 CALIFORNIA MECHANICAL CODE
2018 CALIFORNIA PLUMBING CODE
2018 CALIFORNIA ENERGY CODE
2018 CALIFORNIA UNIFORM ADMINISTRATIVE CODE
2018 CALIFORNIA FIRE CODE

EXISTING BUILDING AREAS:
(E) FIRST FLOOR CONDITIONED SPACE 56,232 S.F.
(E) SECOND FLOOR CONDITIONED SPACE 55,172 S.F.
EXISTING TOTAL AREA 111,424 S.F.

PROPOSED BUILDING AREAS:
(P) FIRST FLOOR CONDITIONED SPACE 56,777 S.F.
(P) FIRST FLOOR NON-CONDITIONED SPACE (ATRIUMS) 2,471 S.F.
(P) FIRST FLOOR CONDITIONED SPACE 2,154 S.F.
(P) FIRST FLOOR NON-CONDITIONED SPACE 310 S.F.
(E) SECOND FLOOR CONDITIONED SPACE 35,808 S.F.
(E) SECOND FLOOR NON-CONDITIONED SPACE 12,695 S.F.
PROPOSED TOTAL AREA 94,500 S.F.

ADDITIONAL AREAS:
(N) FIRST FLOOR OUTDOOR COVERED DECK 4,288 S.F.
(N) SECOND FLOOR UNCOVERED DECK 4,288 S.F.
FIRST FLOOR WEST ATRIUM 1,369 S.F.
FIRST FLOOR EAST ATRIUM 1,412 S.F.
SECOND FLOOR ROOF GARDEN 2,154 S.F.

F.A.R. ANALYSIS
TOTAL LOT AREA: 274,585 S.F. (6.30 ACRES)
EXISTING F.A.R.: 81,424 S.F. / 274,585 S.F. = .297 F.A.R.
PROPOSED F.A.R.: 94,500 S.F. / 274,585 S.F. = .344 F.A.R.

CODE ANALYSIS:
CONSTRUCTION TYPE: TYPE III-B, SPRINKLERED
OCCUPANCY: E (EDUCATIONAL) A-3 (ASSEMBLY)
GROUP CLASSIFICATION:

- SCOPE OF WORK
1. CREATE TWO INTERIOR ATRIUMS.
 2. ADDITION OF NEW ENTRY LOBBY, STAIRS, CLASSROOMS & ELEVATOR AT FIRST FLOOR.
 3. ADDITION OF COVERED AREA AT SOUTHEAST CORNER OF BUILDING.
 4. ADDITION OF EXTERIOR COURTYARDS AT NORTH AND EAST SIDE OF BUILDING.
 5. INTERIOR ALTERATIONS TO CLASSROOMS AT MULTIPLE LOCATIONS AT BOTH LEVELS.
 6. ADDITION OF NEW CLASSROOMS, OFFICES & LABS PLUS ROOF DECK SECOND FLOOR.
 7. ADDITION OF 14 PARKING SPACES.
 8. ADDITION OF NEW SINGLE OCCUPANCY TOILETS AT BOTH LEVELS.
 9. EXTERIOR FACADE REMODEL & ENHANCEMENTS.
 10. REMODEL TO RESTROOMS AT EAST SIDE OF FIRST AND SECOND FLOORS.

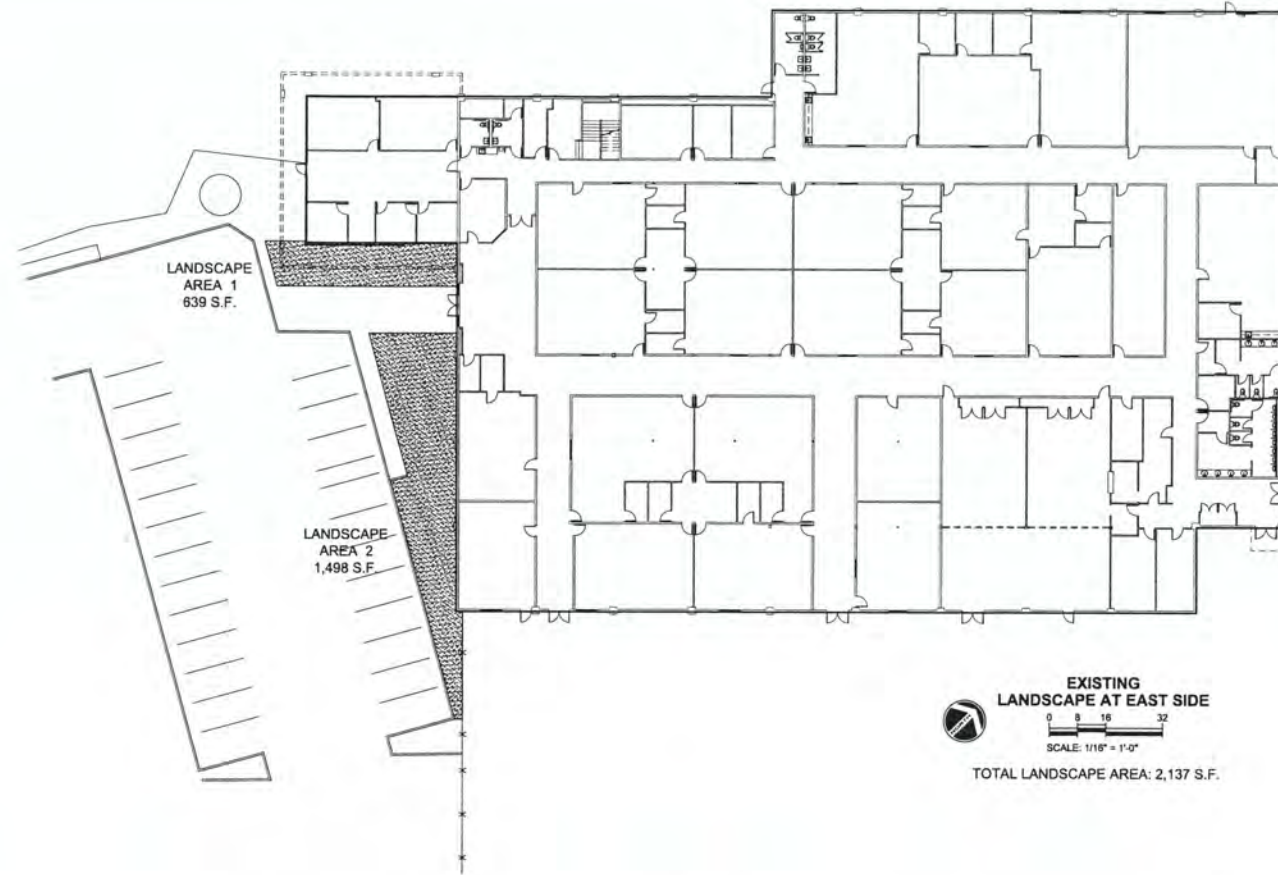
MARSHALL studio
ARCHITECTURE studio
3000 E. 17th Ave., Suite 100
Denver, CO 80202
303.733.8800
www.marshallstudio.com

REGISTERED ARCHITECT
STATE OF CALIFORNIA
DATE OF BOARD: *
DATE OF EXPIRES: *

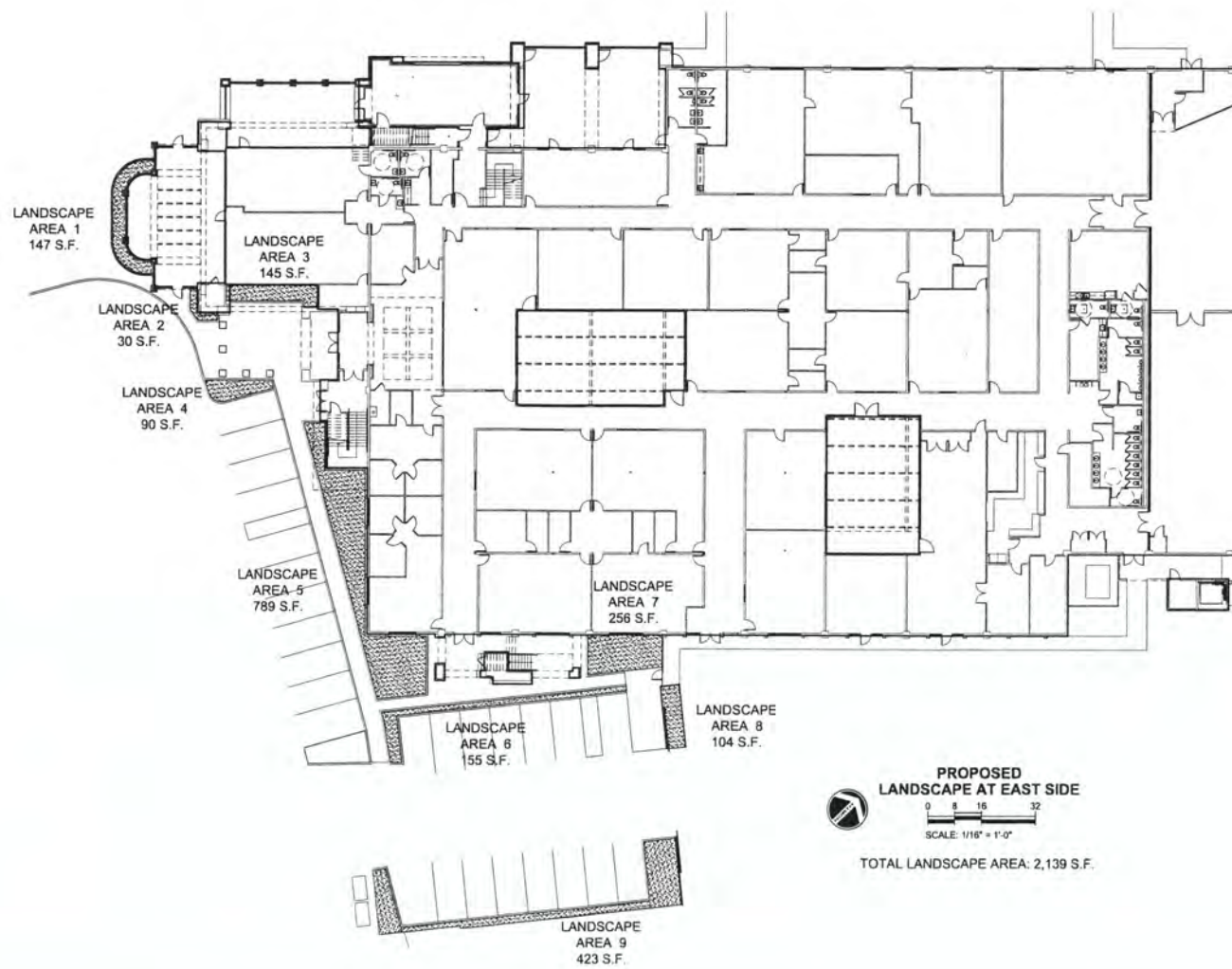
Revisions

MARINERS CHRISTIAN SCHOOL
300 FISCHER AVE, COSTA MESA, CA

CUP SUBMITTAL 2
Issue Date: 03/19/15
Title: AREA KEY PLANS
Sheet No.: A-0.2



EXISTING
LANDSCAPE AT EAST SIDE
SCALE: 1/16" = 1'-0"
TOTAL LANDSCAPE AREA: 2,137 S.F.



PROPOSED
LANDSCAPE AT EAST SIDE
SCALE: 1/16" = 1'-0"
TOTAL LANDSCAPE AREA: 2,139 S.F.

MARSHILL
STUDIO

LANDSCAPE ARCHITECT
STATE OF CALIFORNIA

DATE OF WORK: _____

Revisions

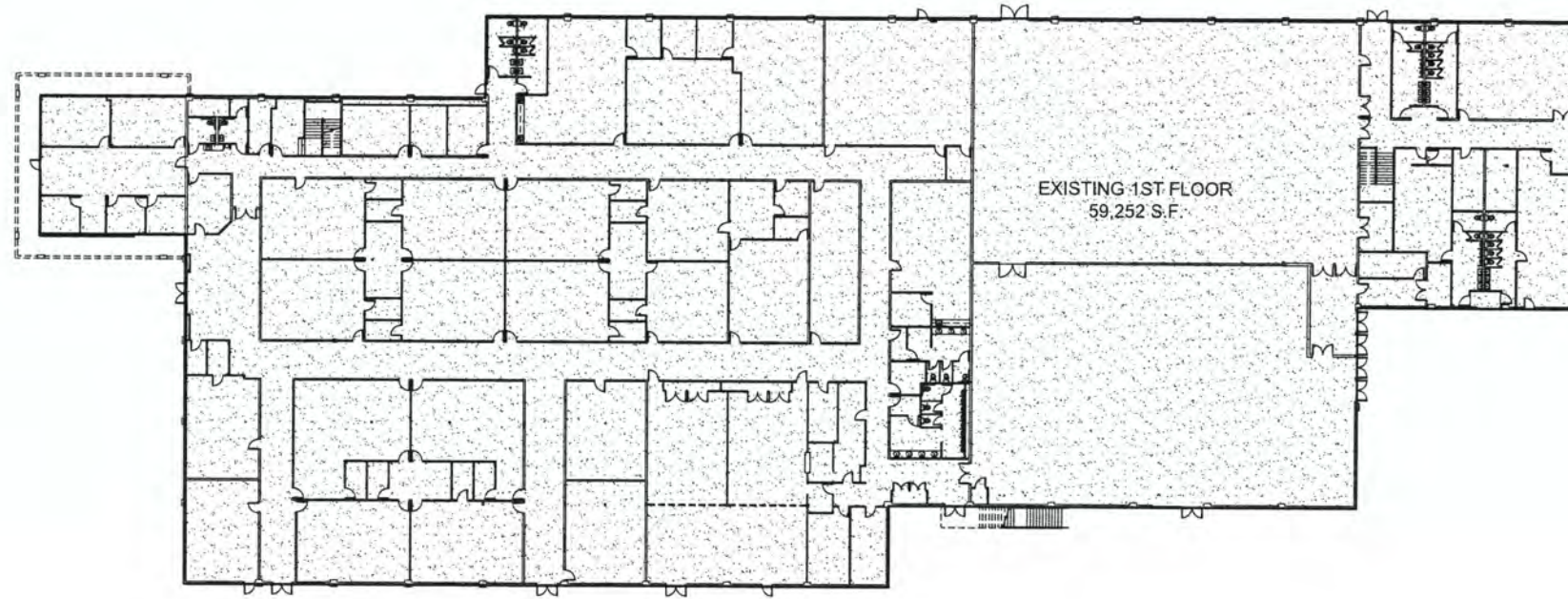
MARINERS CHRISTIAN SCHOOL
300 FISCHER AVE, COSTA MESA, CA

CUP
SUBMITTAL 2

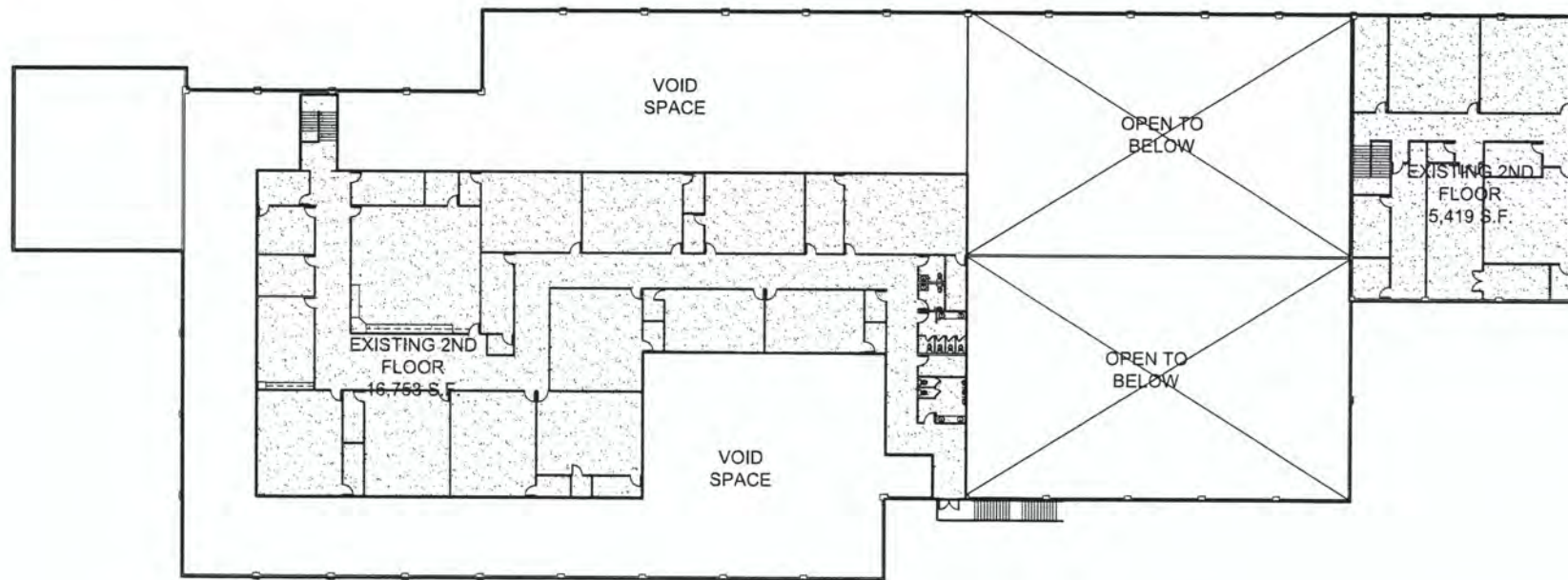
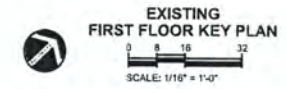
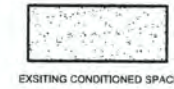
Issue Date: 03/19/16

Title:
LANDSCAPE
AREA
EXHIBITS

Sheet No.
A-0.3

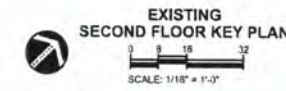


EXISTING 1ST FLOOR
59,252 S.F.



EXISTING 2ND FLOOR
16,753 S.F.

EXISTING 2ND FLOOR
5,419 S.F.



PROJECT DATA:

APPLICANT: MARINERS CHRISTIAN SCHOOL
300 FISCHER AVENUE
COSTA MESA, CA 92626
(714) 441-1100

PROJECT ADDRESS: 300 FISCHER AVENUE

APN: 427-062-12

GENERAL PLAN DESIGNATION: INDUSTRIAL PARK

ZONE: MP

TOTAL SITE AREA: 274,885 S.F. - 6.30 ACRES

APPLICABLE CODES:

2018 CALIFORNIA BUILDING CODE
2018 CALIFORNIA ELECTRICAL CODE
2018 CALIFORNIA MECHANICAL CODE
2018 CALIFORNIA PLUMBING CODE
2018 CALIFORNIA ENERGY CODE
2018 CALIFORNIA LANDMARK ADMINSTRATIVE CODE
2018 CALIFORNIA FIRE CODE

EXISTING BUILDING AREAS:

(E) FIRST FLOOR CONDITIONED SPACE	59,252 S.F.
(E) SECOND FLOOR CONDITIONED SPACE	22,173 S.F.
EXISTING TOTAL AREA:	81,424 S.F.

PROPOSED BUILDING AREAS:

(P) FIRST FLOOR CONDITIONED SPACE	58,777 S.F.
(P) FIRST FLOOR NON-CONDITIONED SPACE (ATHLETIC)	2,471 S.F.
(P) FIRST FLOOR CONDITIONED SPACE	2,104 S.F.
(P) FIRST FLOOR NON-CONDITIONED SPACE	519 S.F.
(P) SECOND FLOOR CONDITIONED SPACE	20,804 S.F.
(P) SECOND FLOOR NON-CONDITIONED SPACE	12,025 S.F.
PROPOSED TOTAL AREA:	94,300 S.F.

ADDITIONAL AREAS:

(A) FIRST FLOOR OUTDOOR COVERED DECK	8,298 S.F.
(A) SECOND FLOOR UNCOVERED DECK	8,298 S.F.
FIRST FLOOR WEST ATRIUM	1,303 S.F.
FIRST FLOOR EAST ATRIUM	1,112 S.F.
SECOND FLOOR ROOF GARDEN	2,154 S.F.

F.A.R. ANALYSIS

TOTAL LOT AREA:	274,885 S.F. (6.30 ACRES)
EXISTING F.A.R.:	81,424 S.F. / 274,885 S.F. = 29% F.A.R.
PROPOSED F.A.R.:	94,300 S.F. / 274,885 S.F. = 34% F.A.R.

CODE ANALYSIS:

CONSTRUCTION TYPE:	TYPE III-B, SPRINKLERED
CBC OCCUPANCY:	E (EDUCATIONAL) A-1 (ASSEMBLY)
GROUP CLASSIFICATION:	

- SCOPE OF WORK**
1. CREATE TWO INTERIOR ATRIUMS.
 2. ADDITION OF NEW ENTRY LOBBY, STAIRS, CLASSROOM & ELEVATOR AT FIRST FLOOR.
 3. ADDITION OF COVERED AREA AT SOUTHEAST CORNER OF BUILDING.
 4. ADDITION OF EXTERIOR COURTYARDS AT NORTH AND EAST SIDE OF BUILDING.
 5. INTERIOR ALTERATIONS TO CLASSROOMS AT MULTIPLE LOCATIONS AT BOTH LEVELS.
 6. ADDITION OF NEW CLASSROOMS, OFFICES & LABS PLUS ROOF DECK SECOND FLOOR.
 7. ADDITION OF 14 PARKING SPACES.
 8. ADDITION OF NEW SINGLE OCCUPANCY TOILETS AT BOTH LEVELS.
 9. EXTERIOR FACADE REMODEL & ENHANCEMENTS.
 10. REMODEL TO RESTROOMS AT EAST SIDE OF FIRST AND SECOND FLOORS.

ON SITE PARKING ANALYSIS:

EXISTING PARKING SPACES:	70
NEW PARKING SPACES:	14



MARINERS CHRISTIAN SCHOOL
300 FISCHER AVE, COSTA MESA, CA

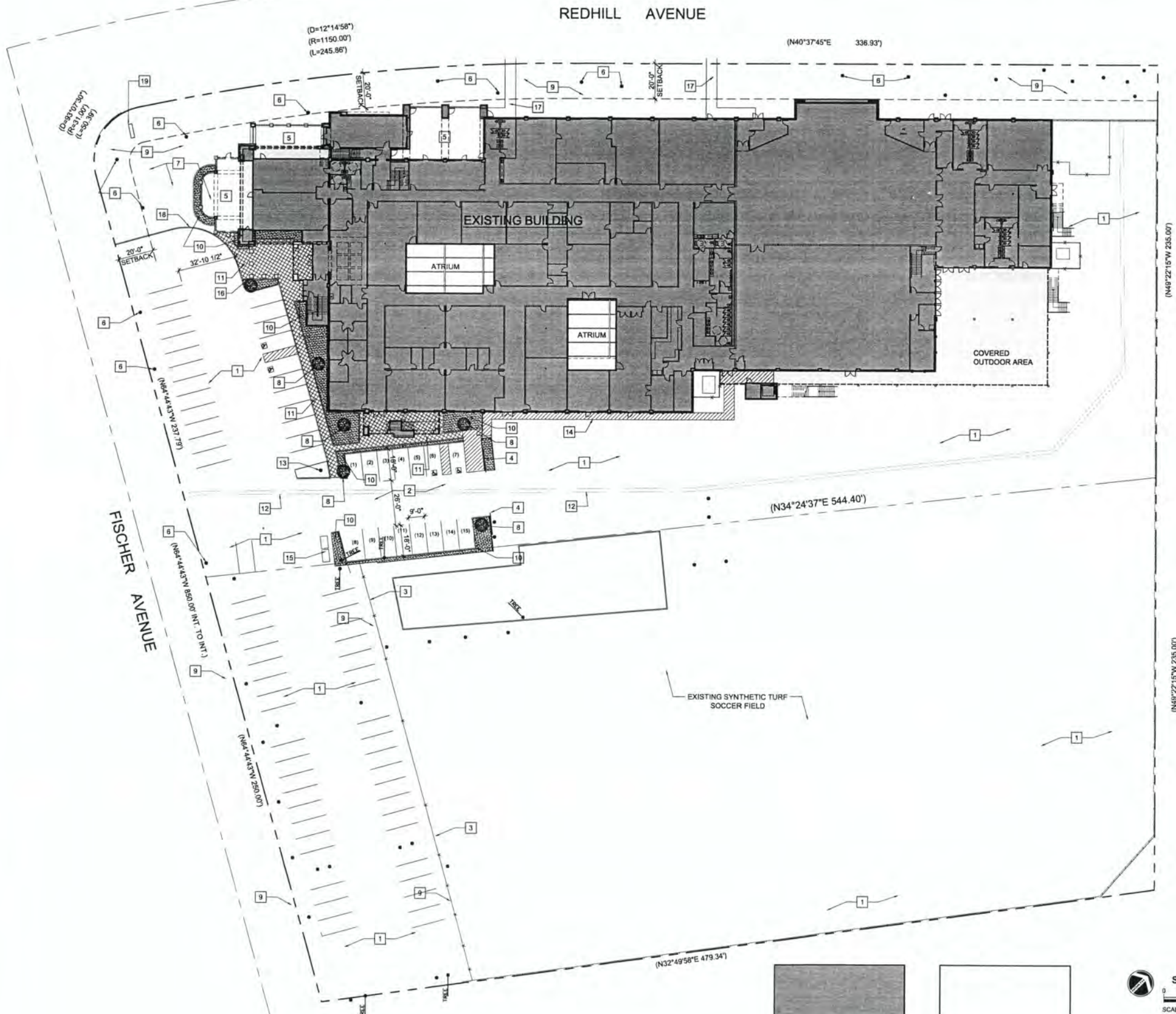
PLAN CHECK
SUBMITTAL 1

Issue Date: 03/25/15

Title:
AREA KEY
PLANS
EXISTING

Sheet No.

A-0.4



PROJECT DATA:

APPLICANT: MARINERS CHRISTIAN SCHOOL
 300 FISCHER AVENUE
 COSTA MESA, CA 92626
 (714) 437-1300

PROJECT ADDRESS: 300 FISCHER AVENUE
 APN: 427-040-12
 GENERAL PLAN DESIGNATION: INDUSTRIAL PARK
 ZONE: MP
 TOTAL SITE AREA: 274,555 S.F. - 6.30 ACRES

APPLICABLE CODES:
 2018 CALIFORNIA BUILDING CODE
 2018 CALIFORNIA ELECTRICAL CODE
 2018 CALIFORNIA MECHANICAL CODE
 2018 CALIFORNIA PLUMBING CODE
 2018 CALIFORNIA ENERGY CODE
 2018 CALIFORNIA UNIFORM ADMINISTRATIVE CODE
 2018 CALIFORNIA FIRE CODE

EXISTING BUILDING AREAS:
 (E) FIRST FLOOR CONDITIONED SPACE 18,252 S.F.
 (E) SECOND FLOOR CONDITIONED SPACE 32,172 S.F.
 EXISTING TOTAL AREA 50,424 S.F.

PROPOSED BUILDING AREAS:
 (P) FIRST FLOOR CONDITIONED SPACE 18,777 S.F.
 (P) FIRST FLOOR NON-CONDITIONED SPACE (ATRIUM) 2,475 S.F.
 (P) FIRST FLOOR NON-CONDITIONED SPACE 2,154 S.F.
 (P) FIRST FLOOR NON-CONDITIONED SPACE 310 S.F.
 (P) SECOND FLOOR CONDITIONED SPACE 35,808 S.F.
 (P) SECOND FLOOR NON-CONDITIONED SPACE 12,825 S.F.
 PROPOSED TOTAL AREA 69,500 S.F.

ADDITIONAL AREAS:
 (A) FIRST FLOOR OUTDOOR COVERED DECK 8,298 S.F.
 (A) SECOND FLOOR UNCOVERED DECK 8,298 S.F.
 FIRST FLOOR WEST ATRIUM 1,363 S.F.
 FIRST FLOOR EAST ATRIUM 1,112 S.F.
 SECOND FLOOR ROOF GARDEN 2,154 S.F.

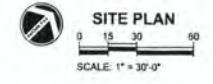
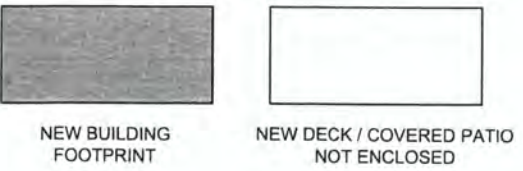
F.A.R. ANALYSIS
 TOTAL LOT AREA: 274,555 S.F. (6.30 ACRES)
 EXISTING F.A.R.: 81,428 S.F. / 274,555 S.F. = .297 F.A.R.
 PROPOSED F.A.R.: 69,500 S.F. / 274,555 S.F. = .253 F.A.R.

CODE ANALYSIS
 CONSTRUCTION TYPE: TYPE III-B, SPRINKLERED
 CIRC OCCUPANCY: E (EDUCATIONAL) A-3 (ASSEMBLY)
 GROUP CLASSIFICATION:

- SCOPE OF WORK
1. CREATE TWO INTERIOR ATRIUMS
 2. ADDITION OF NEW ENTRY LOBBY, STAIRS, CLASSROOMS & ELEVATOR AT FIRST FLOOR
 3. ADDITION OF COVERED AREA AT SOUTHWEST CORNER OF BUILDING
 4. ADDITION OF EXTERIOR COURTYARDS AT NORTH AND EAST SIDE OF BUILDING
 5. INTERIOR ALTERATIONS TO CLASSROOMS AT MULTIPLE LOCATIONS AT BOTH LEVELS
 6. ADDITION OF NEW CLASSROOMS, OFFICES & LABS PLUS ROOF DECK SECOND FLOOR
 7. ADDITION OF 14 PARKING SPACES
 8. ADDITION OF NEW SINGLE OCCUPANCY TOILETS AT BOTH LEVELS
 9. EXTERIOR FACADE REMODEL & ENHANCEMENTS
 10. REMODEL TO RESTROOMS AT EAST SIDE OF FIRST

KEY NOTES:

- NOTE:
 THIS KEY NOTE LIST APPLIES TO SHEET A-1.1 ONLY
- 1 EXISTING ASPHALT PAVING
 - 2 STRIPING FOR NEW PARKING
 - 3 EXISTING WROUGHT-IRON FENCE
 - 4 NEW WROUGHT-IRON FENCE AND GATE
 - 5 NEW COURTYARD
 - 6 EXISTING TREE TO REMAIN
 - 7 EXISTING TREE TO BE DEMOLISHED
 - 8 NEW TREE
 - 9 EXISTING LANDSCAPING TO REMAIN
 - 10 NEW DROUGHT-TOLERANT LANDSCAPING
 - 11 NEW SAND SET PAVERS
 - 12 EXISTING CONCRETE DRAINAGE RIBBON GUTTER
 - 13 EXISTING FLAGPOLE
 - 14 NEW PATH OF TRAVEL
 - 15 EXISTING TRASH ENCLOSURE
 - 16 CONCRETE BOLLARDS
 - 17 NEW CONCRETE WALK
 - 18 REMODEL CONCRETE CURB THIS AREA
 - 19 (E) MONUMENT SIGN



MARINERS CHRISTIAN SCHOOL
 300 FISCHER AVE, COSTA MESA, CA

CLIP SUBMITTAL 2
 Issue Date: 03/19/18
 Title: SITE PLAN
 Sheet No.: A-1.1

MARSH HILL STUDIOS
 MADE HILL STUDIOS, INC.
 2000 W. WILSON AVENUE
 COSTA MESA, CA 92626
 (714) 437-1300
 www.marshhillstudios.com

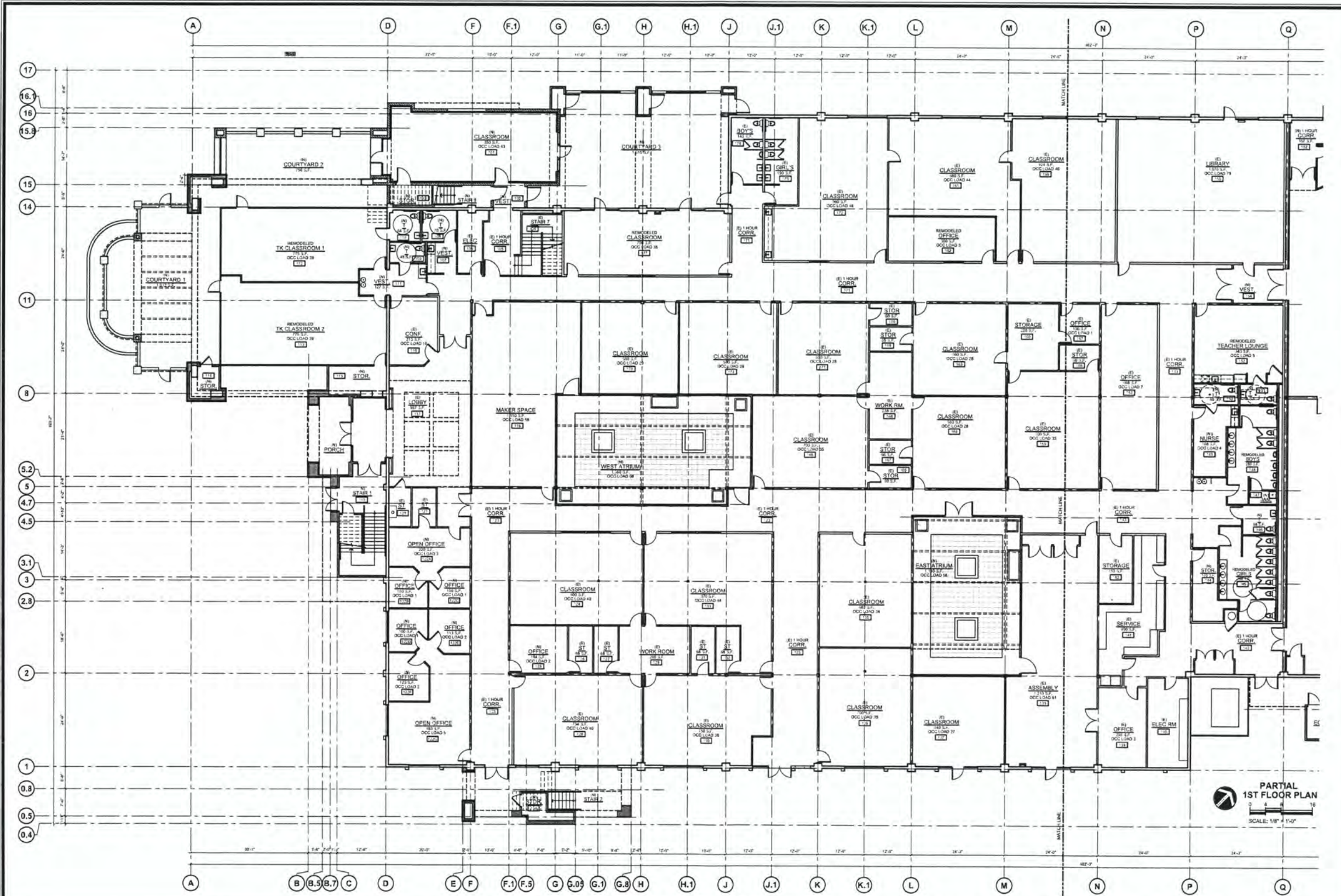
REGISTERED ARCHITECT
 STATE OF CALIFORNIA
 DATE OF EXPIRY:

Revisions



Revisions

MARINERS CHRISTIAN SCHOOL
300 FISCHER AVE, COSTA MESA, CA



PARTIAL 1ST FLOOR PLAN
SCALE: 1/8" = 1'-0"

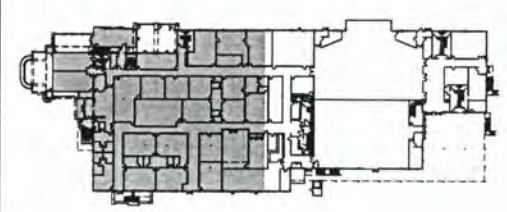
KEY NOTES

GENERAL NOTES

WALL LEGEND

KEY PLAN

- (1) EXTERIOR CONCRETE WALL
 - (2) EXTERIOR METAL STUD WALL TO REMAIN
 - NEW METAL STUD WALL
 - NEW CMU WALL
- NOTE:
SEE STRUCTURAL DRAWINGS FOR WALL FRAMING DETAILS & SPECIFICATIONS

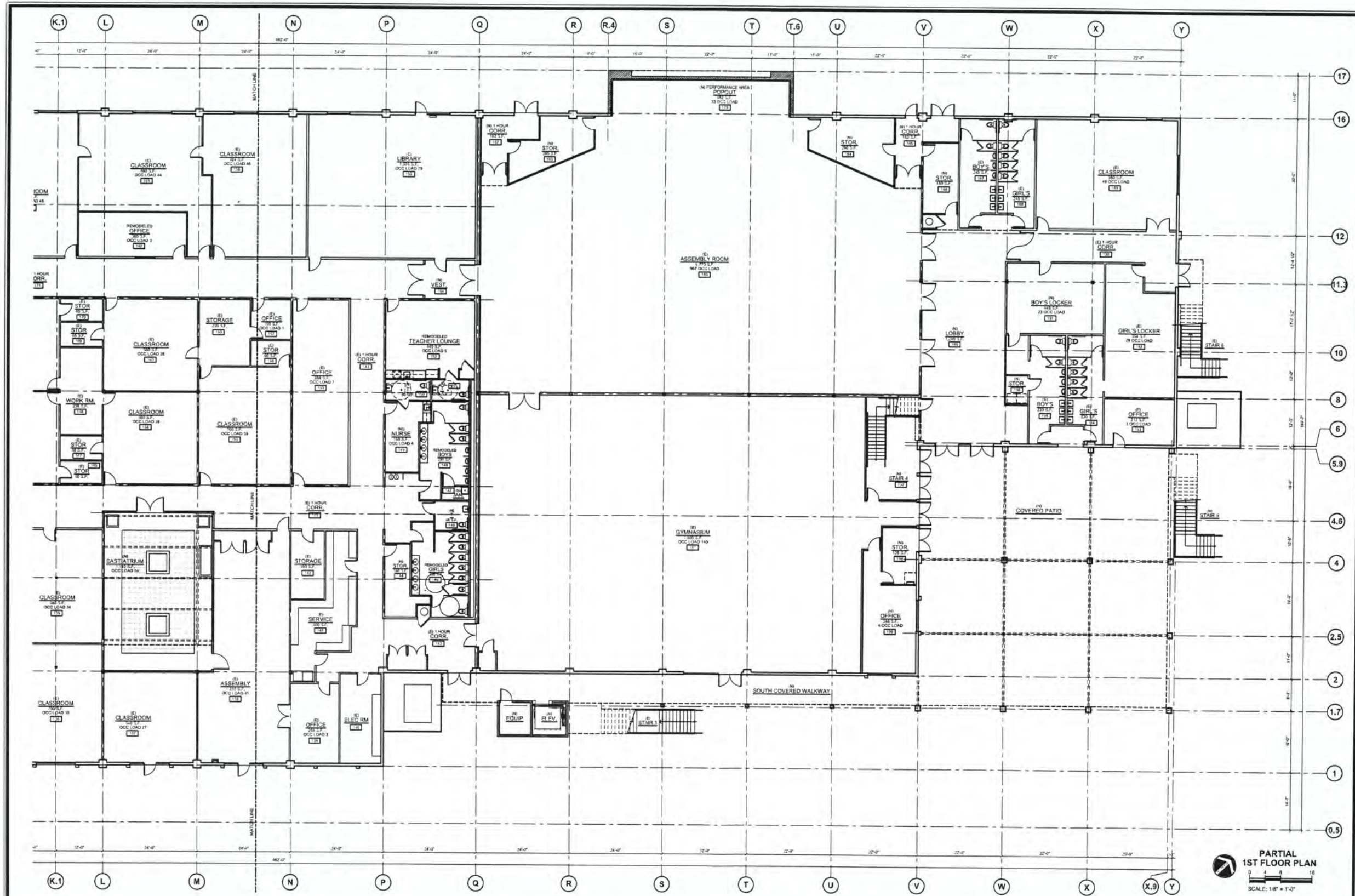


CUP SUBMITTAL 2

Issue Date: 03/19/16

Partial 1st Floor Plan

Sheet No. A-2.1A



PARTIAL 1ST FLOOR PLAN
 SCALE: 1/8" = 1'-0"

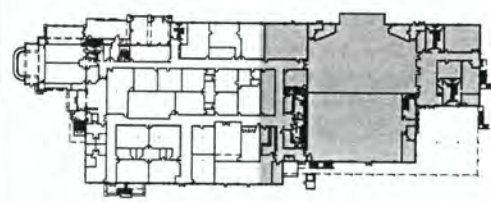
KEY NOTES

GENERAL NOTES

WALL LEGEND

- EXTERIOR CONCRETE WALL
 - EXTERIOR METAL STUD WALL TO REMAIN
 - NEW METAL STUD WALL
 - NEW CMU WALL
- NOTE:
 SEE STRUCTURAL DRAWINGS FOR WALL FRAMING DETAILS & SPECIFICATIONS

KEY PLAN



MARINERS CHRISTIAN SCHOOL
 300 FISCHER AVE., COSTA MESA, CA

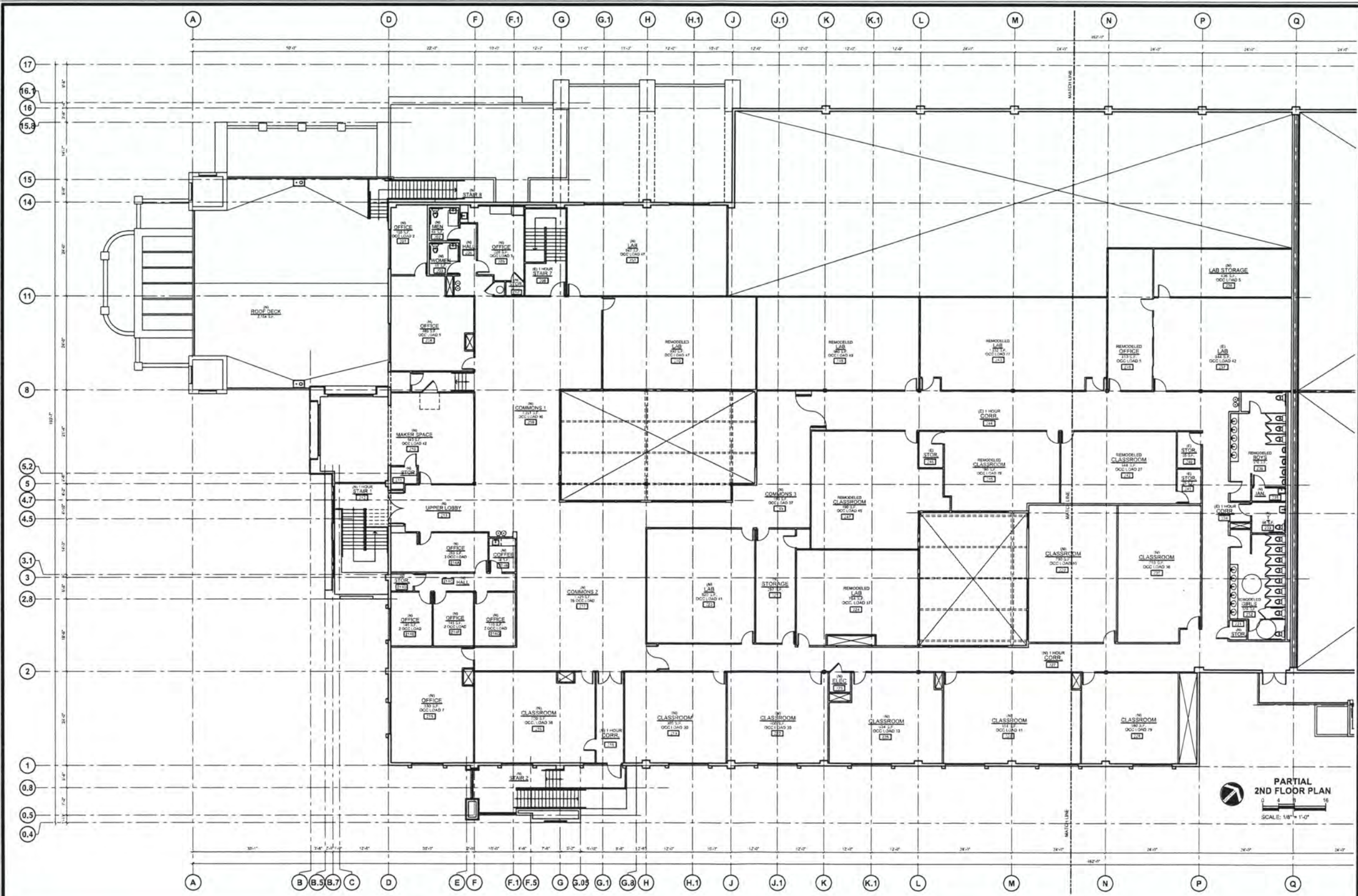


CUP SUBMITTAL 2
 Issue Date: 03/19/15
 Title: PARTIAL 1ST FLOOR PLAN
 Sheet No.: **A-2.1B**



Revisions

MARINERS CHRISTIAN SCHOOL
300 FISCHER AVE, COSTA MESA, CA



PARTIAL 2ND FLOOR PLAN
SCALE: 1/8" = 1'-0"

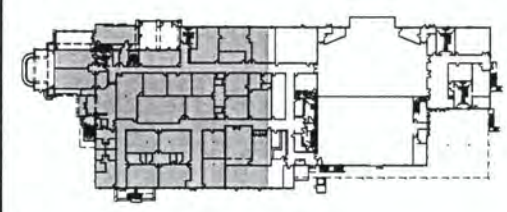
KEY NOTES

GENERAL NOTES

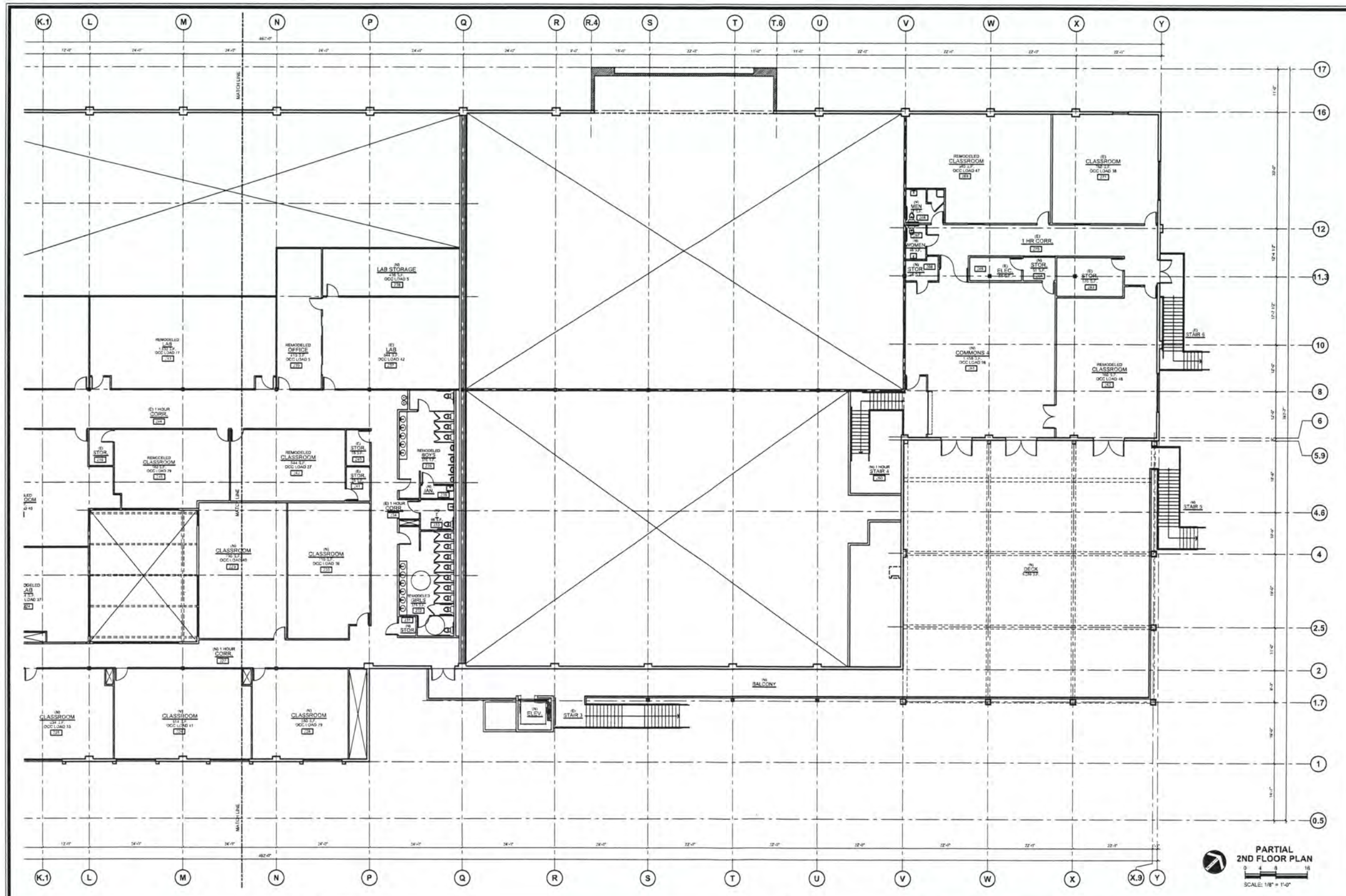
WALL LEGEND

KEY PLAN

- EXTERIOR CONCRETE WALL
 - INTERIOR METAL STUD WALL TO REMAIN
 - NEW METAL STUD WALL
 - NEW CMU WALL
- NOTE:
SEE STRUCTURAL DRAWINGS FOR WALL FRAMING DETAILS & SPECIFICATIONS



CUP
SUBMITTAL 2
Issue Date 03/19/18
Title
PARTIAL 2ND FLOOR PLAN
Sheet No.
A-2.2A



Revisions

No.	Description

MARINERS CHRISTIAN SCHOOL
300 FISCHER AVE, COSTA MESA, CA

PARTIAL 2ND FLOOR PLAN
SCALE: 1/8" = 1'-0"

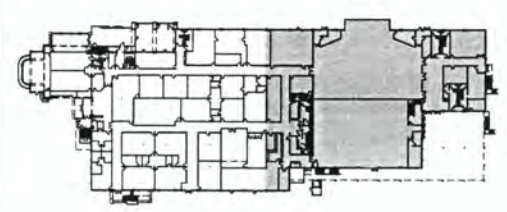
KEY NOTES

GENERAL NOTES

WALL LEGEND

- (3) EXTERIOR CONCRETE WALL
 - EXTERIOR METAL STUD WALL TO REMAIN
 - NEW METAL STUD WALL
 - NEW CMU WALL
- NOTE:
SEE STRUCTURAL DRAWINGS FOR WALL FRAMING DETAILS & SPECIFICATIONS

KEY PLAN

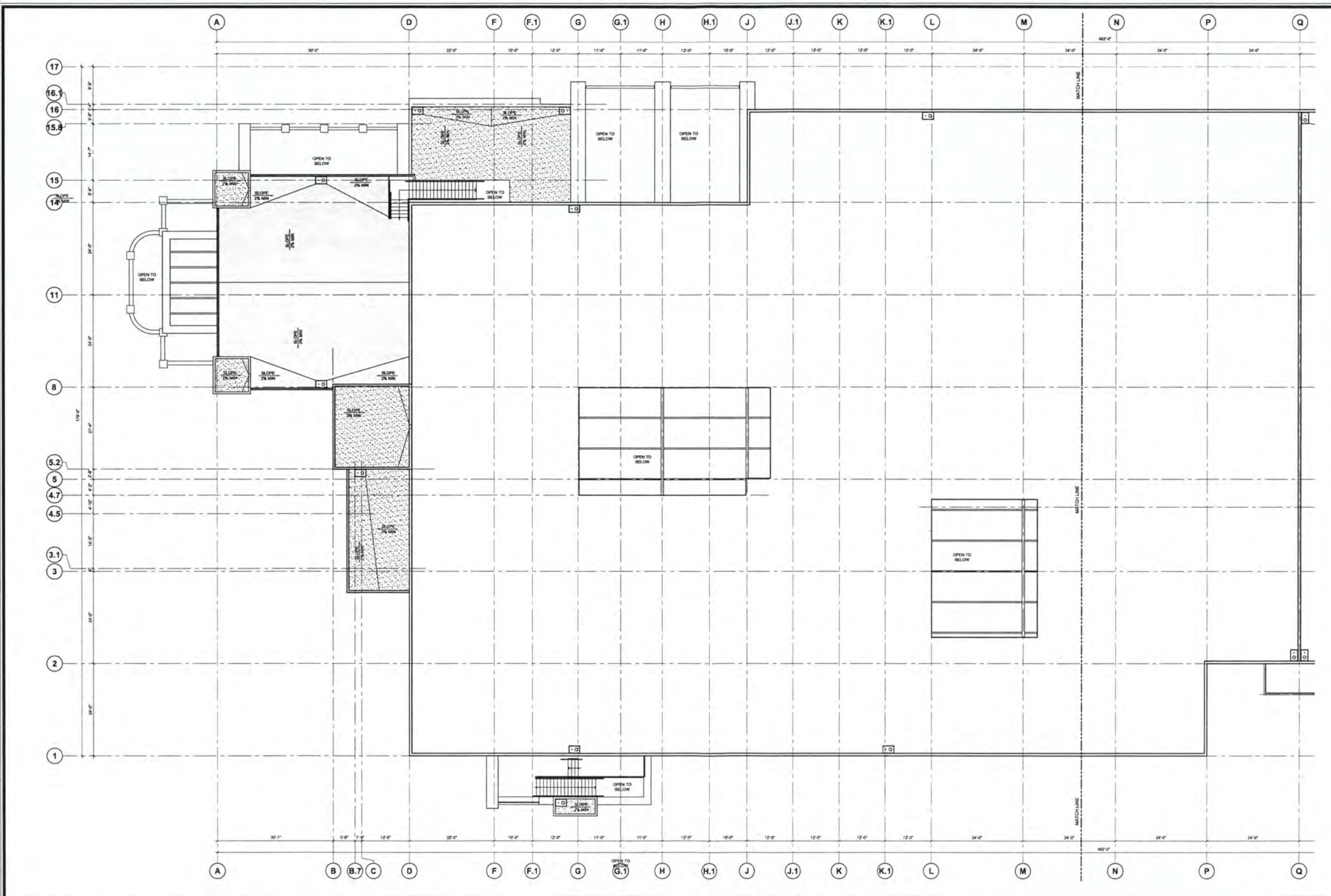


CUP SUBMITTAL 2
Issue Date: 03/19/18
Title: PARTIAL 2ND FLOOR PLAN
Sheet No.: A-2.2B



Revisions

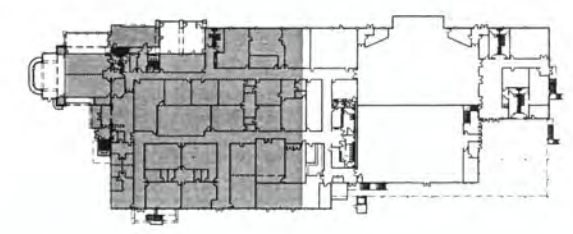
MARINERS CHRISTIAN SCHOOL
 300 FISCHER AVE, COSTA MESA, CA



KEY NOTES

GENERAL NOTES

KEY PLAN

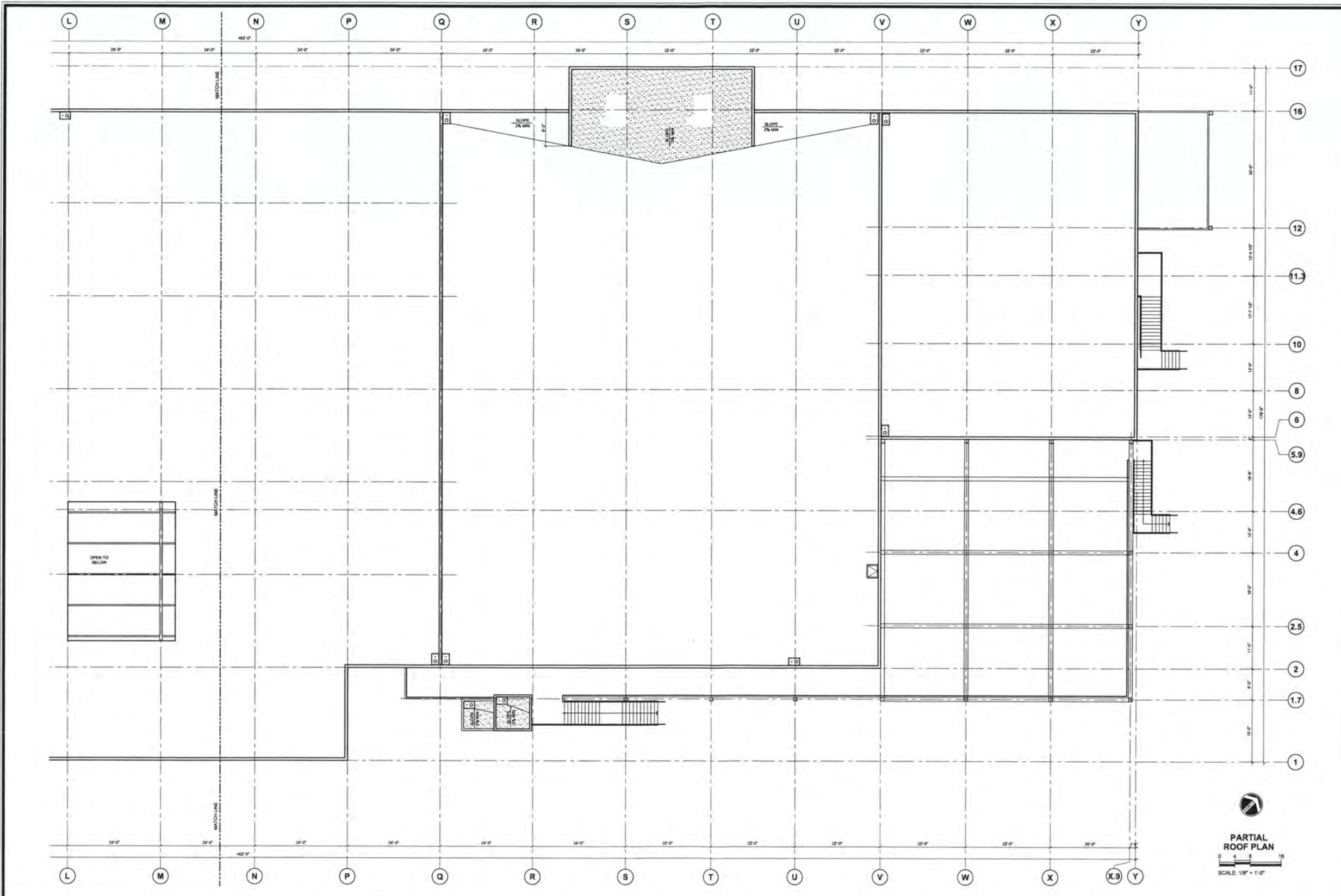


CUP SUBMITTAL 2
Issue Date 03/19/18
Title ROOF PLAN
Sheet No. A-3.1A



Revisions

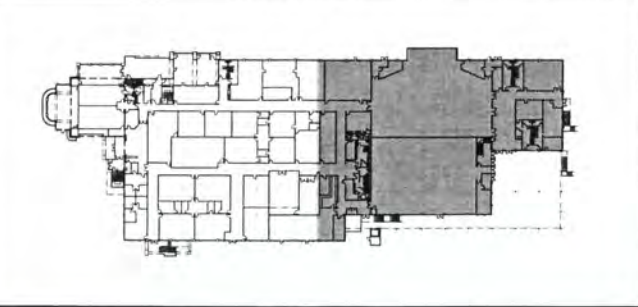
MARINERS CHRISTIAN SCHOOL
 300 FISCHER AVE, COSTA MESA, CA



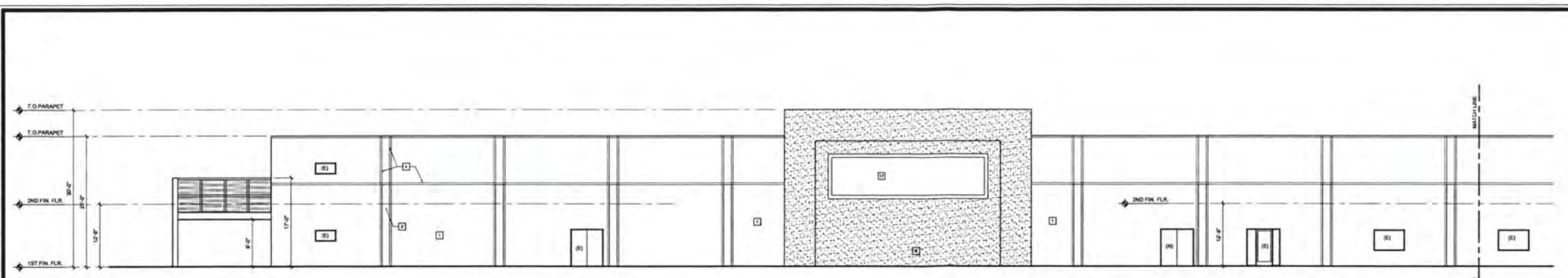
KEY NOTES

GENERAL NOTES

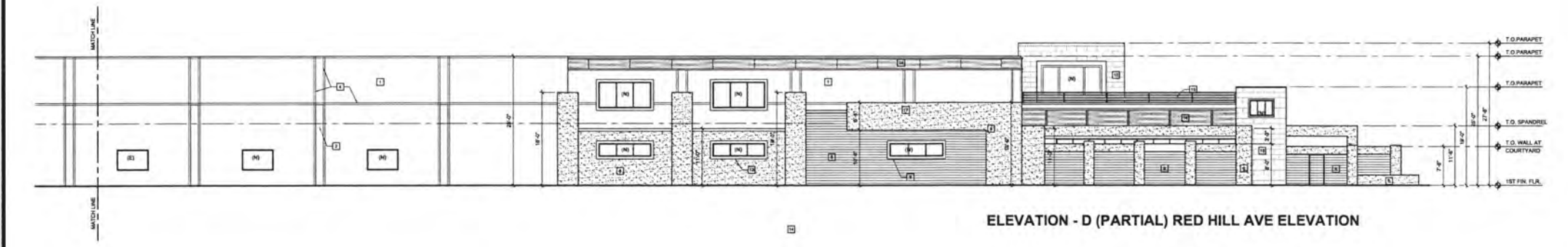
KEY PLAN



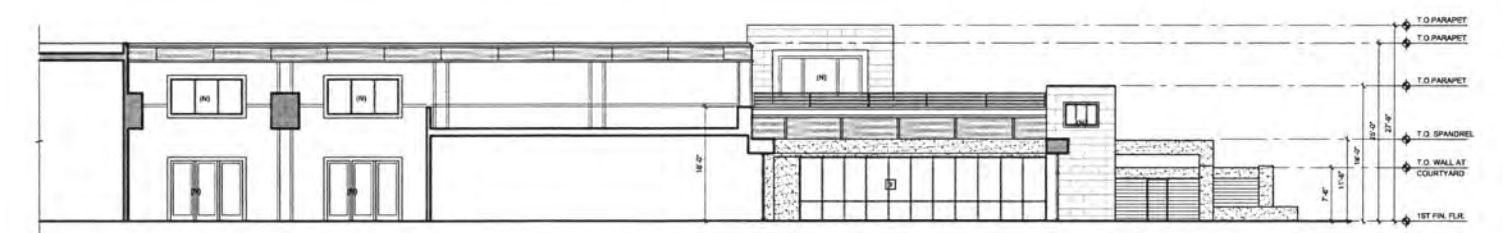
CUP
 SUBMITTAL 2
 Issue Date: 03/19/18
 Title: ROOF PLAN
 Sheet No.: A-3.1B



ELEVATION - D (PARTIAL) RED HILL AVE ELEVATION



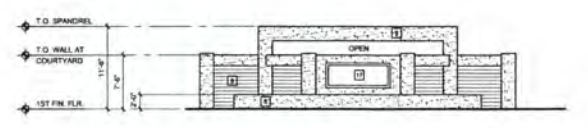
ELEVATION - D (PARTIAL) RED HILL AVE ELEVATION



ELEVATION - C (PARTIAL) RED HILL AVE SECTION / ELEVATION



ELEVATION - B (FISCHER AVE ELEVATION)



ELEVATION - A (FISCHER AVE ELEVATION)

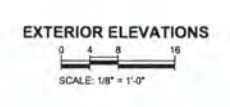
- KEY NOTES:**
- NOTE:
THIS KEY NOTE LIST APPLIES TO SHEETS A-4.1 & A-4.2 ONLY
- 1 EXISTING CONCRETE WALL
 - 2 EXISTING CONCRETE PLASTER
 - 3 EXISTING STOREFRONT
 - 4 EXISTING REVEAL IN CONCRETE PANEL
 - 5 EXISTING METAL STAIR
 - 6 NEW EXTERIOR PLASTER WITH SMOOTH FINISH & INTEGRAL COLOR
 - 7 DECORATIVE ALUMINUM EXTERIOR PLASTER SCREED BY BRAND & METALS (1 1/2 IN. MIN. OR APPROVED EQUAL) STREAMLINE CHANNEL SCREED - 2" WIDE - PAINT IS TO BE COLOR NATURAL ALUMINUM
 - 8 CEMENT BOARD SOING W/ 6" EXPOSURE
 - 9 CEMENT BOARD TRIM
 - 10 ADHERED STONE VENEER
 - 11 STEEL FLOOR ASSEMBLY
 - 12 1" THICK X 6" WIDE FOAM TRIM W/ SMOOTH COAT EXTERIOR PLASTER FINISH WITH INTEGRAL COLOR
 - 13 EXPOSED STEEL CHANNEL PAINTED
 - 14 STAINLESS STEEL DIAMOND PLATE
 - 15 NEW METAL GUARD ASSEMBLY
 - 16 STEEL TUBE COLUMN
 - 17 STORAGE
 - 18 NEW METAL STAIR ASSEMBLY



Revisions

MARINERS CHRISTIAN SCHOOL
300 FISCHER AVE, COSTA MESA, CA

CUP SUBMITTAL 2
Issue Date: 03/19/18
Title: EXTERIOR ELEVATIONS
Sheet No.: A-4.1





MARS HILL
PROFESSIONAL STUDIOS



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MARINERS CHRISTIAN SCHOOL
300 FISCHER AVE, COSTA MESA, CA

CUP
SUBMITTAL 2

Issue Date 03/19/16

Title
COLORED
EXTERIOR
RENDERINGS

Sheet No.

A-4.3