



# CITY OF COSTA MESA

P.O. BOX 1200 • 77 FAIR DRIVE • CALIFORNIA 92628-1200

DEVELOPMENT SERVICES DEPARTMENT

August 24, 2021

Rost Architects  
16530 Bake Parkway, Suite 104  
Irvine, CA 92618

**RE: DEVELOPMENT REVIEW DR-19-04  
CONSTRUCTION OF TWO NEW TWO-STORY 2,400-SQUARE-FOOT-  
RESIDENCES  
1008 WEST WILSON, COSTA MESA**

Dear Mitchell Rocheleau:

The Development Review for the above-referenced project has been completed. The Development Review, as described in the attached project description, has been approved, based on the findings and subject to the conditions of approval (attached). The decision will become final at 5 PM on August 31, 2021 unless appealed by an affected party (including filing of the necessary application and payment of the appropriate fee) or is called up for review by a member of the City Council.

This report also serves as an official public notice for the adjacent property owners of the pending approval of the proposed project, which includes two new two-story residences.

If you have any questions regarding the above items, please do not hesitate to contact Minoo Ashabi at 714.754.5610, or at [minoo.ashabi@costamesaca.gov](mailto:minoo.ashabi@costamesaca.gov).

Sincerely,

Jennifer Le  
Director of Economic and Development Services

cc: Jeff Cefalia  
145 23<sup>rd</sup> St.  
Costa Mesa, CA 92627

Engineering  
Fire Marshal  
Building Division

Rost Architects  
16530 Bake Parkway, Suite 104  
Irvine, CA 92618

## **PROJECT DESCRIPTION**

### *Location*

The subject property is located at 1008 West Wilson Street in a multiple-family residential neighborhood. The site is located at the north-west corner of the intersection of West Wilson Street and Canyon Drive. The property was developed with an 888-square-foot, single-story, single family residence with a two-car garage. The property is zoned R2-MD (Multiple-Family Residential District, Medium Density) and has a General Plan Land Use Designation of Medium Density Residential. The property is surrounded by similar R2-MD-zoned properties with abutting properties consisting of two-story residences.

### *Proposed Project*

The applicant requests approval of a development review (DR) for the construction of two new two-story 2,400-square-foot residences each with an attached two-car garage. The construction of two or more units in the R2-MD zone is subject to approval of a Development Review.

Each residence is proposed with four bedrooms and four bathrooms. The floor plans are not identical but both plans consist of the living areas (living room, kitchen, and a single bedroom) on the first floor with the second floor containing three bedrooms, three bathrooms, and a laundry room. Parking for the residences will be provided in the form of an attached two-car garage per unit and two open parking spaces in the driveways accessed from West Wilson and Canyon Drive, as well as one open guest parking space. The project includes a total of nine parking spaces.

Although, the proposed architectural style for the development is contemporary, the height and bulk and massing of the project is compatible with the structures in the surrounding neighborhood. The subtractive and additive forms within the building mass—perceptual and functional—create spaces for the entryway and decks, which produce depth and add variation in mass and scale to the building. The primary exterior material will be plaster with wood accents that are strategically allocated on the façade to enliven the vertical and horizontal surfaces of the proposed architecture.

As a separate matter, the applicant has indicated to the City that it intends to construct two accessory dwelling units within the same development in the future. These ADU's are shown on the plans for reference purposes; however, construction of ADU's are not subject to Development Review and, when proposed, would be reviewed as a ministerial matter subject to issuance of building permits only. Per Section 13-35(A)(3)(e) of ADU Ordinance 2021-03, detached single-family homes where there is more than one (1) primary dwelling unit on a lot is considered a multi-family use. Under Ordinance 2021-03, the proposal would allow for two detached ADUs (Subsection (B)(4)(b)(ii)).

## **ANALYSIS**

### *Design Guidelines*

The design of the new, two-story residences, as proposed and conditioned, will comply with the City's Residential Design Guidelines because the dwellings will incorporate appropriate geometrical and asymmetrical massing representative of the architectural style; will provide distinct features and materials on all four sides of the building; have varied roof forms; takes into account window placement; and follows appropriate site planning practices that would be consistent in the contemporary architectural design of the units.

- Second Story Design: Second-story floor areas should not exceed 100% of the first-story floor area. The intent of this guideline is to provide architectural articulation and offsets to avoid a boxy appearance from the street and neighboring views. Unit 1 and unit 2 propose a 93% and 72% second-floor to first-floor ratio.
- Building Mass, Roof Forms and Form Considerations: Building mass and form were considered through building offsets, projections, and recesses that provide identifiable visual relief to the front facade. Differing vertical placements and orientations of the roofs create variation in building height and form. The proposal meets the 22-foot maximum height for flat roofs and provides consistency with the bulk and scale of the structures in the surrounding neighborhood.
- Elevation Treatments: The proposed project provides variation to elevations in order to reduce visual prominence, produce visual interest and relieve monotonous facades. The building facade is enhanced with variation of plaster and wood siding, window and door trims, and entry details to create a pedestrian oriented street-facing facade along West Wilson Street and Canyon Drive. In general, the materials, finishes, and related architectural features wrap around on all four sides of the building to create a cohesive residential unit and development.
- Second Story Side Setbacks: The Residential Design Guidelines allow for a minimum five-foot side setback for two-story new construction with less than 2,700 square feet of living area (not including the garage). The proposed units (Unit 1 and 2) contain less than 2,700 square feet of living area, 2,524 and 2,356 square feet respectively. Therefore, the residential structure is subject to – and complies with -- the minimum five-foot side setbacks.
- Window Placement: The setbacks of existing neighboring structures and visual impacts from second story windows were considered. With the extensive setbacks on the north and west and the off-set position of the windows, there will not be direct views into the widows of neighboring structures, as shown on Sheet A-6 of the applicant's project plans.

## **GENERAL PLAN CONFORMITY**

The project is consistent with the General Plan land use designation of Medium Density Residential (MDR) and the R2-MD zone that would allow a maximum of two units on the property (one dwelling unit per 3,630 square feet of lot area). The existing lot size is 0.24 acres (10,608 square feet), which would allow a maximum of two units on the property.

## **FINDINGS**

The information presented complies with Costa Mesa Municipal Code Section 13-29(e) in that:

1. The proposed development is compatible and harmonious with developments and uses on surrounding properties because the residence conforms to all applicable development standards, including the Residential Design Guidelines.
2. Safety and compatibility of the design of buildings, parking area, landscaping, luminaries and other site features which may include functional aspects of the site development such as automobile and pedestrian circulation have been considered for the proposed project.
3. The project, as proposed and conditioned, will comply with any performance standards prescribed elsewhere in the Zoning Code.
4. The project is consistent with the Medium Density Residential (MDR) General Plan land use designation of the site.
5. The development review application is for a project-specific case and is not to be construed to be setting a precedent for future development.

## **CONDITIONS OF APPROVAL**

- Plng. 1. The applicant shall defend, indemnify, and hold harmless the City, its elected and appointed officials, agents, officers and employees from any claim, legal action, or proceeding (collectively referred to as "proceeding") brought against the City, its elected and appointed officials, agents, officers or employees arising out of (1) City's approval of the project, including but not limited to any proceeding under the California Environmental Quality Act. The indemnification shall include, but not be limited to, damages, fees and/or costs awarded against the City, if any, and cost of suit, attorney's fees, and other costs, liabilities and expenses incurred in connection with such proceeding whether incurred by the applicant, the City and/or the parties initiating or bringing such proceeding. This indemnity provision shall include the applicant's obligation to indemnify the City for all the City's costs, fees, and damages that the City incurs in enforcing the indemnification provisions set forth in this section.
2. The conditions of approval, code requirements, and special district requirements for DR-19-04 shall be blueprinted on the face of the site plan as part of the plan check submittal package.
  3. The applicant shall contact the Planning Division to arrange Planning inspection of the site prior to the Building Division's final inspections. This inspection is to confirm that the conditions of approval and Code requirements have been satisfied.
  4. Address assignment shall be requested from the Planning Division prior to submittal of working drawings for plan check. The approved address of individual units, suites, buildings, etc., shall be blueprinted on the site plan and on all floor plans in the working drawings.
  5. No modification(s) of the approved building elevations including, but not limited to, changes that increase the building height, additional second story windows, removal of building articulation, or a change of the finish material(s), shall be made during construction without prior Planning Division written approval. Failure to obtain prior Planning Division approval of the modification could result in the requirement of the applicant to (re)process the modification through a discretionary review process such as a design review or a variance, or in the requirement to modify the construction to reflect the approved plans.
  6. Prior to issuance of final building inspections, the applicant shall provide a scaled and dimensioned digital site plan(s) for the project site, on either a CD or thumb drive, to the Planning Division. All site plans shall include an accurate and precise drawing of all building footprints and property line locations for the entire project site. All buildings shall be annotated with its corresponding address and suites if applicable.
  7. The subject property's ultimate finished grade level shall substantially conform to the plans and may not be filled/raised unless necessary to provide proper drainage, and in no case shall it be raised in excess of 30 inches above the finished grade of any abutting property. If additional fill dirt is needed to provide acceptable on-site storm water flow to a public street, an alternative means of accommodating that drainage shall be approved by the City's Building Official prior to issuance of any

grading or building permits. Such alternatives may include subsurface tie-in to public storm water facilities, subsurface drainage collection systems and/or sumps with mechanical pump discharge in-lieu of gravity flow. If mechanical pump method is determined appropriate, said mechanical pump(s) shall continuously be maintained in working order. In any case, development of subject property shall preserve or improve the existing pattern of drainage on abutting properties.

8. Demolition permits for existing structure(s) shall be obtained and all work and inspections completed prior to final building inspections. Applicant is notified that written notice to the Air Quality Management District may be required ten (10) days prior to demolition.
9. The applicant shall contact the current cable company prior to issuance of building permits to arrange for pre-wiring for future cable communication service.

### **CODE REQUIREMENTS**

The following list of federal, state, and local laws applicable to the project has been compiled by staff for the applicant's reference. Any reference to "City" pertains to the City of Costa Mesa.

- Plng.
1. Approval of the development review application is valid for two years from the effective date of this approval and will expire at the end of that period unless a building permit has been issued and construction has commenced, and a valid building permit has been maintained by making satisfactory progress as determined by the Building Official. A time extension can be requested no less than 30 days or more than 60 days before the expiration date of the permit and submitted with the appropriate fee for review to the Planning Division. The Director of Development Services may extend the time for an approved permit or approval to be exercised up to 180-days subject to specific findings listed in Title 13, Section 13-29 (k) (6). Only one request for an extension of 180 days may be approved by the Director. Any subsequent extension requests shall be considered by the original approval authority.
  2. Development shall comply with all requirements of Article 1, Chapter 5, Title 13, of the Costa Mesa Municipal Code relating to development standards for residential projects.
  3. All noise-generating construction activities shall be limited to 7 a.m. to 7 p.m. Monday through Friday and 9 a.m. to 6 p.m. Saturday. Noise-generating construction activities shall be prohibited on Sunday and the following Federal holidays: New Years Day, Memorial Day, Independence Day, Labor Day, Thanksgiving Day and Christmas Day.
  4. All garages shall be provided with automatic garage door openers.
  5. Prior to the issuance of building permits, the applicant shall contact the U.S. Postal Service with regard to location and design of mail delivery facilities. Such facilities shall be shown on the site plan, floor plan, and/or landscape plan.

6. Street addresses shall be displayed in a manner visible to the street. Street address numerals shall be a minimum of 6 inches in height with not less than 1/2-inch stroke and shall contrast sharply with the background.
7. Installation of all utility meters shall be performed in a manner so as to obscure the installation from view from any place on or off the property. The installation vault, wall cabinet, or wall box under the direction of the Planning Division.
8. Fencing shall comply with the requirements set forth in the Costa Mesa Municipal Code Section 13-75, as well as the City's Walls, Fences and Landscaping Standards.
9. The landscaping of this project shall comply with the City's landscaping requirements and any applicable guidelines (i.e. Water Efficient Landscape Guidelines). The final landscape plan shall meet tree count, tree selection, shrub count, ground cover and turf requirements per the City's Zoning Code requirements.
10. Two sets of detailed landscape and irrigation plans, which meet the requirements set forth in the Costa Mesa Municipal Code Sections 13-101 through 13-108 and the City's Water Efficient Landscape Guidelines, shall be required as part of the project plan check review and approval process. Plans shall be forwarded to the Planning Division for final approval prior to the issuance of building permits.
11. Landscaping and irrigation shall be installed in accordance with the approved plans prior to final inspection or occupancy clearance.
12. All unpaved areas visible from public right-of-ways shall be landscaped and the landscaping shall be maintained in a healthy condition, free of dying, dead, diseased, decayed, discarded, and/or overgrown vegetation.
13. Trash facilities shall be screened from view, and designed and located appropriately to minimize potential noise and odor impacts to neighbors.
14. Installation of all new utility meters shall be performed in a manner so as to obscure the installation from view from any place on or off the property. The installation shall be in a manner acceptable to the public utility and shall be in the form of a vault, wall cabinet, or wall box, under the direction of the Planning Division.
15. Any mechanical equipment such as air-conditioning equipment and duct work shall be screened from view in a manner approved by the Planning Division.
16. Transformers, backflow preventers, and any other approved above-ground utility improvements shall be located outside of the required street setback area and shall be screened from view, under direction of Planning staff. Any deviation from this requirement shall be subject to review and approval of the Development Services Director.

- Bldg. 17. Comply with the requirements of the adopted, 2019 California Residential Code, the 2019 California Building Code, 2019 California Electrical Code, 2019 California Mechanical Code, 2019 California Plumbing Code, 2019 California Green Building Standards Code and 2019 California Energy Code (or the applicable adopted, California Residential Code, California Building Code, California Electrical Code, California Mechanical Code, California Plumbing Code, California Green Building Standards and California Energy Code at the time of plan submittal or permit issuance) and California Code of Regulations also known as the California Building Standards Code, as amended by the City of Costa Mesa.
18. Prior to the Building Div. (AQMD) issuing a demolition permit contact South Coast Air Quality Management District located at:  
21865 Copley Dr.  
Diamond Bar, CA 91765-4178  
Tel: 909- 396-2000  
Or  
Visit their web site  
<http://www.costamesaca.gov/modules/showdocument.aspx?documentid=23381>  
The Building Div. will not issue a demolition permit until an Identification no. is provided By AQMD
19. Comply with the requirements of the California Department of Food and Agriculture (CDFA) to determine if red imported fire ants exist on the property prior to any soil movement or excavation. Call CDFA at (714) 708-1910 for information.
20. Submit a precise grading plans and an erosion control plan. Grading plans shall be submitted separately from the architectural plans. Prior to issuing the Building permit, the rough grading certificate shall be submitted to the Building Div.
21. Submit a soils report for this project. Soil's Report recommendations printed on both the architectural and the precise grading plans.
22. i - On graded sites the top of exterior foundation shall extend above the elevation of the street gutter at point of discharge or the inlet of an approved discharge devise a minimum of 12 inches plus 2 percent. 2013 California Residential Code CRC 403.1.7.3  
ii - Lot shall be graded to drain surface water away from foundation walls. The grade shall fall a minimum of 6 inches within the first 10 feet. CRC R401.3
23. Prior to issuing the Building permit the conditions of approval shall be required to be incorporated on the approved Architectural plans.

- Eng. 24. At the time of development submit for approval an Offsite Plan to the Engineering Division and Grading Plan to the Building Division that shows Sewer, Water, Existing Parkway Improvements and the limits of work on the site, and hydrology calculations, both prepared by a registered Civil Engineer or Architect. Construction Access approval must be obtained prior to Building or Engineering Permits being issued by the City of Costa Mesa. Pay Offsite Plan Check fee per Section 13-231 of the C.C.M.M.C. and an approved Offsite Plan shall be required prior to Engineering Permits being issued by the City of Costa Mesa.
25. Maintain the public Right-of-Way in a "wet-down" condition to prevent excessive dust and remove any spillage from the public Right-of-Way by sweeping or sprinkling.
26. Pay Offsite Plan Check fee per Section 13-231 of the C.C.M.M.C. and an approved Offsite Plan shall be required prior to Engineering Permits being issued by the City of Costa Mesa.
27. Obtain an encroachment permit from the Engineering Division for any work in the City public right-of-way. Pay required permit fee & cash deposit or surety bond to guarantee construction of off-site street improvements at time of permit per section 15-31 & 15-32, C.C.M.M.C. as approved by City Engineer. Cash deposit or surety bond amount to be determined by City Engineer.
28. Obtain a permit from the City of Costa Mesa, Engineering Division, at the time of development and then construct P.C.C. driveway approaches per City of Costa Mesa Standards as shown on the Offsite Plan. Location and dimensions are subject to the approval of the Transportation Services Manager. ADA compliance required for new and existing driveway approaches.
29. Dedicate a diagonal corner cut-off at the corner of the proposed street & highway easement along Baker Street to the existing right-of-line on Century Place per City of Costa Mesa Standards.
30. Obtain a permit from the City of Costa Mesa, Engineering Division, at the time of development and then construct Wheelchair Ramp on the corner of Canyon Drive and Wilson Street.
31. Fulfill Drainage Fee requirements per City of Costa Mesa Ordinance No. 06-19 prior to approval of plans.
- Fire 32. Comply with the 2019 California Fire Code requirements and the referenced standards as amended by the City of Costa Mesa.
33. Residential fire sprinklers shall be installed in both new units.
- Bus. 34. All contractors and subcontractors must have valid business licenses to do business in the City of Costa Mesa. Final inspections, final occupancy and utility releases will not be granted until all such licenses have been obtained.
- Lic.

### **SPECIAL DISTRICT REQUIREMENTS**

The requirements of the following special districts are hereby forwarded to the applicant:

- AQMD 1. Applicant shall contact the Air Quality Management District (800) 288-7664 for potential additional conditions of development or for additional permits required by AQMD.
2. Prior to the Building Division (AQMD) issuing a demolition permit, contact South Coast Air Quality Management District located at:  
21865 Copley Dr.  
Diamond Bar, CA 91765-4178  
Tel: 909-396-2000  
OR  
Visit their web site:  
<http://www.costamesaca.gov/modules/showdocument.aspx?documentid=23381>
- Cable 3. The applicant shall contact the current cable company prior to issuance of building permits to arrange for pre-wiring for future cable communication service.
- Sani. 4. It is recommended that the applicant contact the Costa Mesa Sanitary District at (949) 645-8400 for current district requirements.
- School 5. Pay applicable Newport Mesa Unified School District Fees to the Building Division prior to issuance of building permits.
- State 6. Comply with the requirements of the California Department of Food and Agriculture (CDFA) to determine if red imported fire ants (RIFA) exist on the property prior to any soil movement or excavation. Call CDFA at (714) 708-1910 for information.
- Water 7. Customer shall contact the Mesa Water District – Engineering Desk and submit an application and plans for project review. Customer must obtain a letter of approval and a letter of project completion from Mesa Water District.
8. Prior to the issuance of a connection permit, the applicant shall pay the applicable water connection fees.

## PLANNING APPLICATION SUMMARY

<b>Location:</b>	1008 W. Wilson	<b>Application No:</b>	DR-19-04
<b>Request:</b>	Development Review for the construction of two new two-story 2,400-square-foot residences, each with an attached two-car garage.		

**SUBJECT PROPERTY:**

**SURROUNDING PROPERTY:**

<b>Zone:</b>	R2-MD (Multiple-Family Residential, Medium Density)	<b>North:</b>	R2-MD (Multiple-Family Residential, Medium Density)
<b>General Plan:</b>	MDR (Medium Density Residential)	<b>South:</b>	R2-MD (Multiple-Family Residential, Medium Density)
<b>Lot Dimensions:</b>	87 FT x 102 FT (Irregular)	<b>East:</b>	R2-MD (Multiple-Family Residential, Medium Density)
<b>Lot Area:</b>	10,608 SF	<b>West:</b>	R2-MD (Multiple-Family Residential, Medium Density)
<b>Existing Development:</b>	One single-family residence with an attached two-car garage (to be demolished).		

### DEVELOPMENT STANDARD COMPARISON

Development Standard	Required / Allowed R2-MD Standards	Proposed / Provided
<b>Density/Intensity:</b>		
DU's / Acre (Residential)	1 DU / 3,630 SF (12 DU / Acre) 2 Units Maximum Allowed	1 DU / 5,304 SF (8 DU / Acre) 2 Units Proposed
<b>Development Lot Coverage:</b>		
Buildings	NA	Unit 1: 1,562 SF Unit 2: 1,607SF ADU 1: 800 SF ADU 2: 800 SF
Driveway	NA	1,142 SF
Open Space	40% (4,243 SF)	(44.2%) 4,697 SF
<b>TOTAL:</b>		10,608 SF
<b>Rear Yard Coverage</b>	25% of rear yard area (Rear yard area equals width (measured from side property line to side property line) multiplied by 20 feet.)	532 SF / 2,126 SF = 25%
<b>Building Height<sup>1</sup></b>	2 stories / 27 FT	Unit 1: 21.87 FT (Lowest point: 76.58 FT Max high point: 98.58 FT Proposed roof high point: 98.45 FT)  Unit 2: 21.86 FT (Lowest point: 72.12 FT Max high point: 94.12 FT Proposed roof high point: 93.98 FT)
<b>Primary Residences Setbacks:</b>		
Front	20 FT	20 FT
Side	5 FT / 10 FT	5 FT / 10 FT
Rear (1 <sup>st</sup> story)	10 FT	10 FT

**Development Review DR-19-04**

August 24, 2021

Page 12 of 11

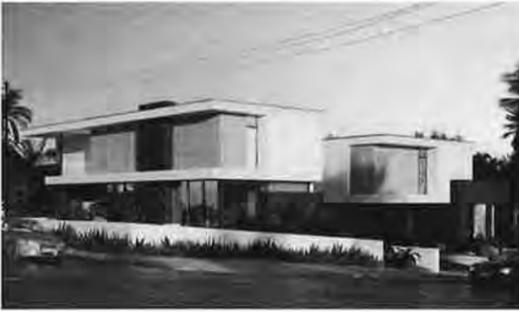
Rear (2 <sup>nd</sup> story)	20 FT	20 FT
Setback between main buildings	10 FT	10 FT
Parking:		
Covered	2	4
Open	5	4
Guest	1	1
TOTAL:	8	9
Final Action	Planning Staff	
CEQA Review	Exempt, Class 3 for new construction	

<sup>1</sup> Per Article 2 of Title 13 – Definitions. Building height: The distance from the grade to the highest point on the roof, including roof-top mechanical equipment and screening, wherein "grade" is to mean the lowest point of the finished surface elevation of either the ground, paving or sidewalk within the area between the building and the property line, or when the property line is more than five (5) feet from the building, between the building and a line five (5) feet from the building.

# WEST WILSON RESIDENCE

1008 WEST WILSON ST, COSTA MESA, CA 92627

ROST ARCHITECTS EXPRESSLY RESERVES COMMON LAW, COPYRIGHT AND OTHER PROPER RIGHTS IN THESE DRAWINGS. THESE DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING THE EXPRESSED WRITTEN PERMISSION OF ROST ARCHITECTS.

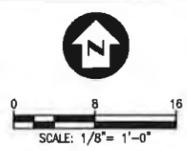
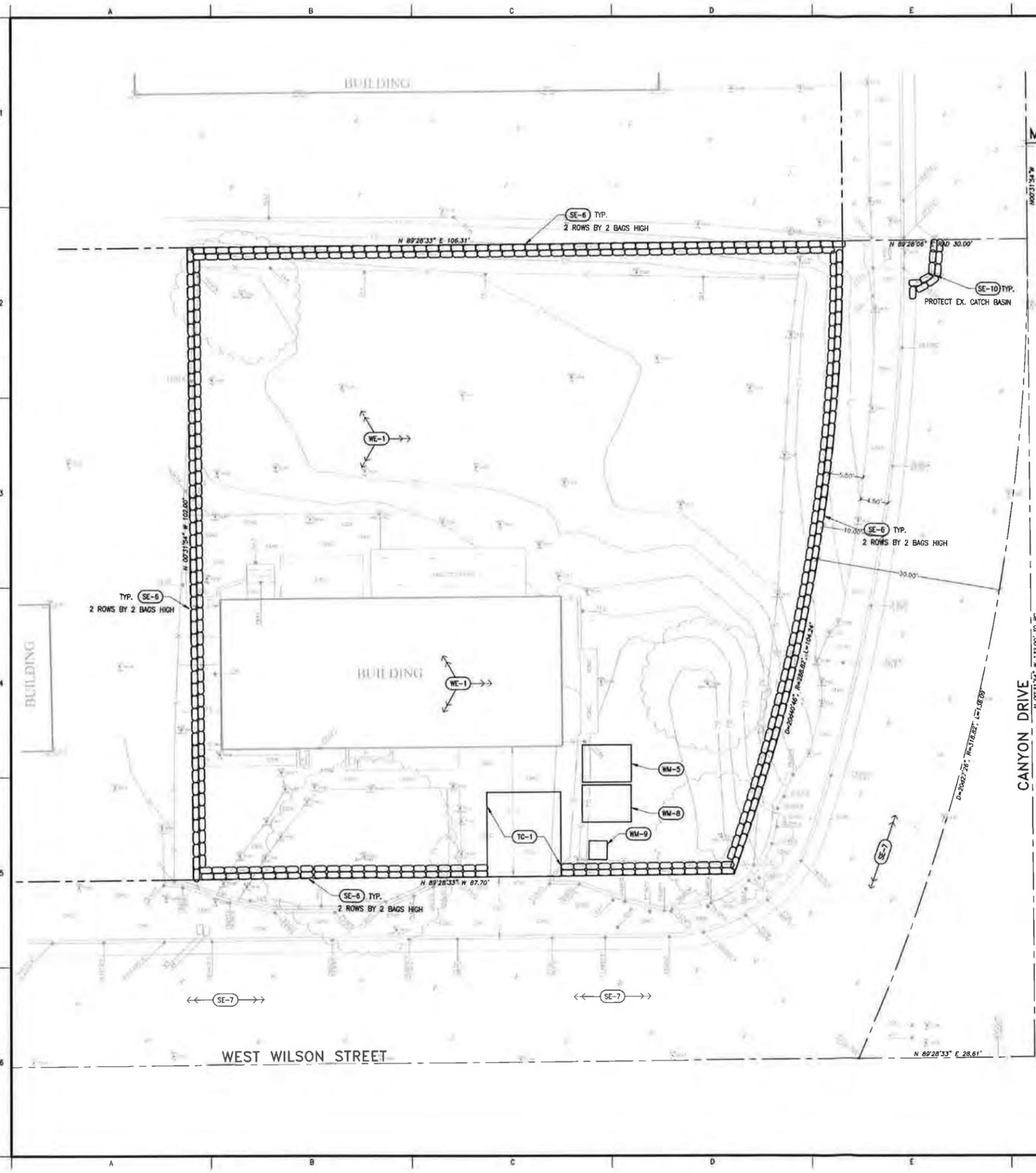
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<p><b>SYMBOLS</b></p>  SECTION NUMBER  SHEET NUMBER  DETAIL NUMBER  SHEET NUMBER  SHEET NUMBER  INTERIOR ELEVATION NUMBER  DOOR SYMBOL - SEE DOOR SCHEDULE  WINDOW SYMBOL - SEE WINDOW SCHEDULE  KEYNOTE SYMBOL - SEE KEYNOTES  COLOR/MATERIAL SYMBOL - SEE COLOR/FIN LIST  EQUIPMENT SYMBOL - SEE EQUIPMENT LIST  PLUMBING FIXTURES SYMBOL PER SCHEDULE  PLUMBING ACCESSORIES SYMBOL PER SCHEDULE	<p><b>PROJECT TEAM</b></p> <p>OWNER: CEFALIA DEVELOPMENT 2060 PLACENTIA AVE COSTA MESA, CA 92627 T: (949) 679-1955 E: JEFF@CEFALIADEVELOPMENT.COM</p> <p>ARCHITECT: ROST ARCHITECTS 16530 BAKE PKWY SUITE 104 IRVINE CA 92618 T: (210) 771-1615 E: MITCHELL@ROSTARCHITECTS.COM</p> <p>INTERIOR DESIGNER: ROST ARCHITECTS 16530 BAKE PKWY SUITE 104 IRVINE CA 92618 T: (714) 381-8247 E: ALEX@ROSTARCHITECTS.COM</p> <p>STRUCTURAL ENGINEER / TITLE 24 ENERGY CONSULTANT: AQX ENGINEERING 1520 BROOKHOLLOW DR #45 SANTA ANA, CA 92705 T: 714-662-0510 E: MAHDI@AQXENG.COM</p> <p>CIVIL ENGINEER: AQX ENGINEERING 1520 BROOKHOLLOW DR #45 SANTA ANA, CA 92705 T: 714-662-0510 E: CHUNG@AQXENG.COM</p> <p>CONTRACTOR: CEFALIA DEVELOPMENT 2060 PLACENTIA AVE COSTA MESA, CA 92627 T: (949) 679-1955 E: JEFF@CEFALIADEVELOPMENT.COM</p>		<p><b>SHEET INDEX</b></p> <table border="1"> <thead> <tr> <th>SHEET NUMBER</th> <th>SHEET NAME</th> </tr> </thead> <tbody> <tr> <td>000</td> <td>TITLE SHEET</td> </tr> <tr> <td>003 CIVIL</td> <td>SURVEY</td> </tr> <tr> <td>C-1</td> <td>CIVIL TITLE SHEET</td> </tr> <tr> <td>C-2</td> <td>PRECISE GRADING PLAN</td> </tr> <tr> <td>C-3</td> <td>CROSS SECTIONS</td> </tr> <tr> <td>004 ARCH</td> <td>PROPOSED SITE PLAN</td> </tr> <tr> <td>A2.01</td> <td>UNIT 1 - PROPOSED LEVEL 1</td> </tr> <tr> <td>A2.02</td> <td>UNIT 1 - PROPOSED LEVEL 2</td> </tr> <tr> <td>A2.03</td> <td>UNIT 2 - ADU-PROPOSED LEVEL 1</td> </tr> <tr> <td>A2.04</td> <td>UNIT 2 - PROPOSED LEVEL 2</td> </tr> <tr> <td>A2.05</td> <td>ROOF PLAN</td> </tr> <tr> <td>A3.01</td> <td>UNIT 1 - PROPOSED ELEVATIONS</td> </tr> <tr> <td>A3.02</td> <td>UNIT 1 - PROPOSED ELEVATIONS</td> </tr> <tr> <td>A3.03</td> <td>UNIT 2 - PROPOSED ELEVATIONS</td> </tr> <tr> <td>A3.04</td> <td>UNIT 2 - PROPOSED ELEVATIONS</td> </tr> <tr> <td>A3.05</td> <td>ADU - PROPOSED ELEVATIONS</td> </tr> <tr> <td>A4.01</td> <td>UNIT 1 - SECTIONS</td> </tr> <tr> <td>A4.02</td> <td>UNIT 2 - SECTIONS</td> </tr> <tr> <td>A4.03</td> <td>SITE SECTIONS</td> </tr> <tr> <td>A4.04</td> <td>SITE SECTIONS</td> </tr> <tr> <td>A6.00</td> <td>LEVEL 2 PRIVACY DIAGRAM</td> </tr> <tr> <td>L-1</td> <td>CONCEPTUAL LANDSCAPE PLAN</td> </tr> <tr> <td>L-2</td> <td>CONCEPTUAL IRRIGATION PLAN</td> </tr> </tbody> </table>	SHEET NUMBER	SHEET NAME	000	TITLE SHEET	003 CIVIL	SURVEY	C-1	CIVIL TITLE SHEET	C-2	PRECISE GRADING PLAN	C-3	CROSS SECTIONS	004 ARCH	PROPOSED SITE PLAN	A2.01	UNIT 1 - PROPOSED LEVEL 1	A2.02	UNIT 1 - PROPOSED LEVEL 2	A2.03	UNIT 2 - ADU-PROPOSED LEVEL 1	A2.04	UNIT 2 - PROPOSED LEVEL 2	A2.05	ROOF PLAN	A3.01	UNIT 1 - PROPOSED ELEVATIONS	A3.02	UNIT 1 - PROPOSED ELEVATIONS	A3.03	UNIT 2 - PROPOSED ELEVATIONS	A3.04	UNIT 2 - PROPOSED ELEVATIONS	A3.05	ADU - PROPOSED ELEVATIONS	A4.01	UNIT 1 - SECTIONS	A4.02	UNIT 2 - SECTIONS	A4.03	SITE SECTIONS	A4.04	SITE SECTIONS	A6.00	LEVEL 2 PRIVACY DIAGRAM	L-1	CONCEPTUAL LANDSCAPE PLAN	L-2	CONCEPTUAL IRRIGATION PLAN																																																																																																																																																																											
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FACE OF MASONRY		F.O.M. FACE OF MASONRY	F.O.S. FACE OF STUD		F.O.S. FACE OF STUD	FRMG FRAMING		FRMG FRAMING	FDN FOUNDATION		FDN FOUNDATION	FIN FINISH		<p><b>PROJECT SUMMARY</b></p> <p><b>PROJECT ADDRESS</b> 1008 WEST WILSON ST, COSTA MESA, CA 92627</p> <p><b>LEGAL LOT DESCRIPTION</b> TRACT 653, LOT 74</p> <p><b>COASTAL ZONE</b> LOCAL COASTAL ZONE: NO EXCULSION ZONE: N/A</p> <p><b>FIRE SPRINKLERS</b> NONE EXISTING, NEW PROPOSED</p> <p><b>PROJECT SCOPE DESCRIPTION</b> REMOVE EXISTING SINGLE STORY RESIDENCE AND REPLACE WITH (2) NEW 2-STORY SINGLE FAMILY RESIDENCES (2) NEW DETACHED ADUS. NEW HARDSCAPE AND LANDSCAPE THROUGHOUT SITE</p> <p><b>BUILDING CODE</b> THIS PROJECT SHALL COMPLY WITH: 2019 CALIFORNIA ELECTRICAL CODE (CEC) 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE (CGBS) 2019 CALIFORNIA RESIDENTIAL CODE (CEC) 2019 CALIFORNIA MECHANICAL CODE (CMC) 2019 CALIFORNIA PLUMBING CODE (CPC)</p> <p><b>BUILDING TYPE</b> CONSTRUCTION TYPE: V NON-RATED OCCUPANCY: R3, U</p> <p><b>ASSESSORS PARCEL NUMBER</b> 422-051-07</p> <p><b>ZONING DISTRICT/SETBACK MAP</b> ZONING DISTRICT: R2-MD</p> <p><b>ZONING CLASSIFICATION</b> MULTIFAMILY</p> <p><b>TOTAL AREA:</b> 10,608 SF (24 ACRE)</p> <p><b>REAR YARD CALCULATION</b> REAR YARD - 2,126 SF MAX ALLOWABLE COVERAGE FOR MAIN STRUCTURE (REAR YARD X 25%) - 532 SF REAR YARD COVERAGE FOR MAIN STRUCTURE - 496 SF MAX ALLOWABLE COVERAGE FOR ACCESSORY STRUCTURES (REAR YARD X 50%) - 1,063 SF REAR YARD COVERAGE FOR ACCESSORY STRUCTURES - 596 SF</p> <p><b>PROPOSED LOT COVERAGE</b></p> <table border="1"> <tr> <td>UNIT 1 FOOTPRINT:</td> <td>1,562 SF</td> </tr> <tr> <td>UNIT 2 FOOTPRINT:</td> <td>1,607 SF</td> </tr> <tr> <td>ADU 1 FOOTPRINT:</td> <td>800 SF</td> </tr> <tr> <td>ADU 2 FOOTPRINT:</td> <td>800 SF</td> </tr> <tr> <td>DRIVEWAY AREA:</td> <td>1,142 SF</td> </tr> <tr> <td>PROPOSED OPEN AREA:</td> <td>4,697 OR 44.2%</td> </tr> <tr> <td>[MINIMUM OPEN SPACE: 4,243 SF OF LOT AREA OR 40% MINIMUM]</td> <td></td> </tr> </table> <p><b>SETBACKS</b> FRONT: 20 FT REAR: 10 FT (1-STORY) / 20 FT (2-STORY); ADU: 4 FT SIDES: 5 FT (INTERIOR) / 10 FT (ABUTTING STREET); ADU: 4 FT</p> <p><b>HEIGHT LIMIT</b> 27 FT; ADU: 16 FT</p> <p><b>AREA CALCULATIONS</b></p> <table border="1"> <thead> <tr> <th colspan="2">UNIT 1 - LIVING AREA</th> <th colspan="2">UNIT 2 - LIVING AREA</th> </tr> </thead> <tbody> <tr> <td>FIRST FLOOR LIVING AREA:</td> <td>1,080 SF</td> <td>FIRST FLOOR LIVING AREA:</td> <td>1,187 SF</td> </tr> <tr> <td>SECOND FLOOR LIVING AREA:</td> <td>1,444 SF</td> <td>SECOND FLOOR LIVING AREA:</td> <td>1,169 SF</td> </tr> <tr> <td><b>TOTAL UNIT 1 AREA</b></td> <td><b>2,524 SF</b></td> <td><b>TOTAL UNIT 2 AREA</b></td> <td><b>2,356 SF</b></td> </tr> <tr> <td colspan="2">2 CAR GARAGE: 476 SF</td> <td colspan="2">2 CAR GARAGE: 427 SF</td> </tr> <tr> <td>FIRST FLOOR COURTYARD:</td> <td>136 SF</td> <td><b>ADU 1 - GROSS AREA</b></td> <td><b>800 SF</b></td> </tr> <tr> <td>SECOND FLOOR DECK:</td> <td>125 SF</td> <td><b>ADU 2 - GROSS AREA</b></td> <td><b>800 SF</b></td> </tr> </tbody> </table>	UNIT 1 FOOTPRINT:	1,562 SF	UNIT 2 FOOTPRINT:	1,607 SF	ADU 1 FOOTPRINT:	800 SF	ADU 2 FOOTPRINT:	800 SF	DRIVEWAY AREA:	1,142 SF	PROPOSED OPEN AREA:	4,697 OR 44.2%	[MINIMUM OPEN SPACE: 4,243 SF OF LOT AREA OR 40% MINIMUM]		UNIT 1 - LIVING AREA		UNIT 2 - LIVING AREA		FIRST FLOOR LIVING AREA:	1,080 SF	FIRST FLOOR LIVING AREA:	1,187 SF	SECOND FLOOR LIVING AREA:	1,444 SF	SECOND FLOOR LIVING AREA:	1,169 SF	<b>TOTAL UNIT 1 AREA</b>	<b>2,524 SF</b>	<b>TOTAL UNIT 2 AREA</b>	<b>2,356 SF</b>	2 CAR GARAGE: 476 SF		2 CAR GARAGE: 427 SF		FIRST FLOOR COURTYARD:	136 SF	<b>ADU 1 - GROSS AREA</b>	<b>800 SF</b>	SECOND FLOOR DECK:	125 SF	<b>ADU 2 - GROSS AREA</b>	<b>800 SF</b>	<p><b>AGENCIES &amp; PUBLIC SERV.</b></p> <p><b>VICINITY MAP</b></p> 	<p><b>DEFERRED SUBMITTALS</b></p> <p>NONE</p> <p>NOTES: 1 DEFERRED SUBMITTALS ARE TO BE REVIEWED BY PROJECT ARCHITECT AND/OR ENGINEER OF RECORD, AND CERTIFIED FOR CONFORMANCE WITH BUILDING DESIGN CRITERIA PRIOR TO SUBMITTAL FOR PLAN REVIEW BY BUILDING DIVISION.</p>
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WEST WILSON RESIDENCE  
1008 West Wilson  
Costa Mesa, CA 92627



7/18/2020 - PLNG SUB SET #1
10/18/2020 - PLNG SUB SET #2
04/15/2021 - PLNG SUB SET #3

SCALE: 1/4" = 1' - 0"
PLOT DATE: 7/18/2021 7:41:05 AM
SHEET NUMBER: TS
TITLE SHEET



**MODJESKA CIRCLE**

**YEAR-ROUND BMP REQUIREMENTS**

1. WHERE APPROPRIATE, SEDIMENT CONTROL BMPs SHALL BE IMPLEMENTED AT THE SITE PERIMETER, AT ALL OPERATIONAL STORM DRAIN INLETS, AND AT ALL NON-ACTIVE SLOPES, TO PROVIDE SUFFICIENT PROTECTION FROM STORMS.
2. WIND EROSION BMPs (DUST CONTROL) SHALL BE IMPLEMENTED AND MAINTAINED.
3. BMPs TO CONTROL OFF-SITE SEDIMENT TRACKING SHALL BE IMPLEMENTED AND MAINTAINED.
4. APPROPRIATE WASTE MANAGEMENT AND MATERIALS POLLUTION CONTROL BMPs SHALL BE IMPLEMENTED TO PREVENT THE CONTAMINATION OF STORM WATER BY WASTES AND CONSTRUCTION MATERIALS.
5. APPROPRIATE NON-STORM WATER BMPs SHALL BE IMPLEMENTED TO PREVENT THE CONTAMINATION OF STORM WATER FROM CONSTRUCTION ACTIVITIES.
6. ADEQUATE PHYSICAL OR VEGETATION EROSION CONTROL BMPs (TEMPORARY OR PERMANENT) SHALL BE INSTALLED AND ESTABLISHED AS SOON AS PRACTICAL FOR ALL COMPLETED SLOPES OR SLOPES IN NON-ACTIVE AREAS. THESE BMPs MUST BE MAINTAINED THROUGHOUT THE YEAR. IF A SELECTED BMP FAILS, IT MUST BE REPAIRED AND IMPROVED, OR REPLACED WITH AN ACCEPTABLE ALTERNATE AS SOON AS IT IS SAFE TO DO SO. THE FAILURE OF A BMP MAY INDICATE THAT THE BMP, AS INSTALLED, WAS NOT ADEQUATE FOR THE CIRCUMSTANCES IN WHICH IT WAS USED. REPAIRS OR REPLACEMENTS MUST RESULT IN A MORE ROBUST BMP, OR ADDITIONAL BMPs SHOULD BE INSTALLED TO PROVIDE ADEQUATE PROTECTION.
7. A DISTURBED AREA THAT IS NOT COMPLETED, BY THAT IS NOT BEING ACTIVELY GRADED (NON-ACTIVE AREA), SHALL BE FULLY PROTECTED FROM EROSION WITH TEMPORARY OR PERMANENT BMPs (EROSION AND SEDIMENT CONTROL). THE ABILITY TO DEPLOY STANDBY BMP MATERIALS IS NOT SUFFICIENT FOR THESE AREAS. EROSION AND SEDIMENT CONTROL BMPs MUST ACTUALLY BE DEPLOYED. THIS INCLUDES ALL BUILDING PADS, UNFINISHED ROADS, AND SLOPES.
8. SUFFICIENT MATERIALS NEEDED TO INSTALL STANDBY EROSION AND SEDIMENT CONTROL BMPs NECESSARY TO COMPLETELY PROTECT THE EXPOSED PORTIONS OF THE SITE FROM EROSION AND TO PREVENT SEDIMENT DISCHARGES SHALL BE STORED ON-SITE. AREAS THAT HAVE ALREADY BEEN PROTECTED FROM EROSION USING PERMANENT PHYSICAL STABILIZATION OR ESTABLISHED VEGETATION STABILIZATION BMPs ARE NOT CONSIDERED TO BE "EXPOSED" FOR PURPOSES OF THIS REQUIREMENT.
9. THERE SHALL BE A "WEATHER TRIGGERED" ACTION PLAN AND THE ABILITY TO DEPLOY STANDBY SEDIMENT CONTROL BMPs AS NEEDED TO COMPLETELY PROTECT THE EXPOSED PORTIONS OF THE SITE WITHIN 48 HOURS OF A PREDICTED STORM EVENT (A PREDICTED STORM IS DEFINED AS A FORECASTED, 50% CHANCE OF RAIN).
10. THE AMOUNT OF EXPOSED SOIL ALLOWED AT ONE TIME SHALL NOT EXCEED THAT WHICH CAN BE ADEQUATELY PROTECTED BY DEPLOYING STANDBY EROSION CONTROL AND SEDIMENT CONTROL BMPs PRIOR TO A PREDICTED RAINSTORM.

EROSION CONTROL BMPs		
EC-1	SCHEDULING	SCHEDULE PREPARED BY CONTRACTOR SHALL BE ON-SITE DURING CONSTRUCTION.
TEMPORARY SEDIMENT CONTROL		
SE-6	GRAVEL BAG BERM	PLACE AS SHOWN ON PLAN.
SE-7	STREET SWEEPING AND VACUUMING	STREET SHALL BE SWEEPED AND SEDIMENT COLLECTED AND PROPERLY DISPOSED OF, ON OR OFF-SITE, ON A DAILY BASIS.
SE-10	STORM DRAIN INLET PROTECTION	ONCE INLET RISERS ARE CONSTRUCTED, SURROUND RISERS WITH GRAVEL BAGS OR CAP THE RISER TO REDUCE SEDIMENT INTRODUCTION TO THE AREA DRAIN SYSTEM.
WIND EROSION CONTROL		
WE-1	WIND EROSION CONTROL	WATER OR COVER MATERIAL SHALL BE USED TO ALLEVIATE DUST NUISANCE FROM ANY DISTURBED AREAS DURING CONSTRUCTION.
TRACKING CONTROL		
TC-1	STABILIZED CONSTRUCTION EXIT	CONSTRUCT WHERE SHOWN ON PLAN.
WASTE MANAGEMENT AND MATERIALS POLLUTION CONTROL		
WM-4	SPILL PREVENTION AND CONTROL	AMPLE CLEAN-UP SUPPLIES FOR STORED MATERIALS SHALL BE KEPT ON-SITE. EMPLOYEES SHALL BE EDUCATED ON THE CLASSIFICATIONS OF SPILLS AND APPROPRIATE RESPONSES.
WM-5	SOLID WASTE MANAGEMENT	SOLID WASTE FROM CONSTRUCTION ACTIVITIES SHALL BE STORED IN APPROPRIATE CONTAINERS. FULL CONTAINERS SHALL BE DISPOSED OF PROPERLY.
WM-8	CONCRETE WASTE MANAGEMENT	AN ON-SITE CONCRETE WASHOUT AREA SHALL BE CONSTRUCTED, USED, AND DISPOSED OF IN A MANNER WHICH MEETS THE REQUIREMENTS OF THE CITY.
WM-9	SANITARY/SEPTIC WASTE MANAGEMENT	ON-SITE FACILITIES SHALL BE PROVIDED AND MAINTAINED BY THE CONTRACTOR FOR THE DURATION OF THE PROJECT.
NON-STORMWATER MANAGEMENT		
NS-1	WATER CONSERVATION PRACTICES	MAINTAIN EQUIPMENT TO PREVENT UNINTENDED NON-STORMWATER DISCHARGES.
NS-3	PAVING AND GRINDING OPERATIONS	APPLY PERIMETER CONTROLS AND VACUUMING TO PREVENT NON-STORMWATER DISCHARGES.
NS-7	POTABLE WATER / IRRIGATION	EXERCISE CARE DURING CONSTRUCTION TO PREVENT UNINTENDED NON-STORMWATER DISCHARGES.
NS-12	CONCRETE CURING	APPLIES TO ALL CONCRETE CONSTRUCTION.
NS-13	CONCRETE FINISHING	APPLIES TO ALL CONCRETE CONSTRUCTION.

**NOTE**

THE LOCATION AND TYPE OF EROSION AND SEDIMENT CONTROL MEASURES TO BE USED WILL CHANGE DURING THE COURSE OF CONSTRUCTION. THE CONTRACTOR SHALL IMPLEMENT THE CONTROLS NECESSARY TO PREVENT NON-STORMWATER, SEDIMENT, AND CONTAMINATED RUNOFF DISCHARGES FROM THE SITE AT ALL TIMES.

**LEGEND**

xx-x) BMP DESIGNATION IN CALIFORNIA STORMWATER BMP HANDBOOK - CONSTRUCTION, LATEST EDITION, BY THE CALIFORNIA STORMWATER QUALITY ASSOCIATION.

○○○○○ GRAVEL BAG BERM (SE-6)

**TOPOGRAPHIC SURVEY**

TOPOGRAPHIC SURVEY HAS BEEN PREPARED BY RON MIEDEMA DATED 9/17/2018

PLANS PREPARED BY:

**TOAL ENGINEERING, INC.**

CIVIL ENGINEERING  
LAND SURVEYING  
STORMWATER QUALITY

129 Avenida Novato  
San Clemente, CA 92672  
P: 949.472.8566  
www.toalengineering.com

REGISTERED PROFESSIONAL ENGINEER  
CALEB RIOS  
No. 57587  
CIVIL  
STATE OF CALIFORNIA

CALEB RIOS  
R.C.E. 57587  
DATE: 2-12-19

PREPARED FOR:  
JEFF CEFALIA  
1008 WILSON STREET  
COSTA MESA

NO.	DATE	APPROVED BY	REVISIONS

JEFF CEFALIA

**EROSION CONTROL PLAN**

LOT 74, TRACT 653  
1008 WEST WILSON STREET, COSTA MESA, CALIFORNIA

DATE:	H. SCALE:
2/12/19	N/A
SURVEY DATE:	V. SCALE:
SEP. 2018	N/A
DRN:	DRG. NO.
A.A.	ER-01
CHD:	APPD:
C.R.	C.R.
JOB NO.	SHEET OF
19017	1 1

# PRECISE GRADING PLAN FOR WEST WILSON RESIDENCE 1008 W. WILSON STREET, COSTA MESA, CA 92627

**GRADING NOTES**

1. All work shall be in accordance with the Grading Code of the City of Costa Mesa, and any special requirements of the permit. A copy of the Grading Code and Manual shall be retained on the job site while work is in progress. When referenced on the plans, a copy of City of Costa Mesa Standard Drawings shall also be retained on the site.
2. Grading shall not be started without first notifying the City Grading Inspector. A pre-grading meeting on the site is required before start of grading with the following people present: Owner, Grading Contractor, Design Civil Engineer, Soil Engineer, Engineering Geologist, City Grading Inspector, and when required, the Archaeologist and Paleontologist. The required inspections for grading will be explained at the meeting.
3. Issuance of a grading permit does not eliminate the need for permits from other agencies with regulatory responsibilities for construction activities associated with the work authorized on this plan.
4. The Grading Permit and an approved copy of the Grading Plan shall be on the permitted site while work is in progress.
5. Preliminary soil and geology reports, and all subsequent reports as approved by City Planning, Grading Section, are considered a part of the approved grading plan.
6. The Soil Engineer and Engineering Geologist shall perform sufficient inspections and be available during grading and construction to verify compliance with the plans, specifications and the Code within their purview.
7. The Civil Engineer shall be available during grading to verify compliance with the plans, specifications, Code and any special conditions of the permit within their purview.
8. The Soil Engineer and Engineering Geologist shall, after clearing and prior to placement of fill in canyons, inspect each canyon for areas of adverse stability, and to determine the presence or absence of subsurface water or spring flow. If needed, subdrains will be designed and constructed prior to the placement of fill in each respective canyon.
9. Subdrain outlets shall be completed at the beginning of the subdrain construction.
10. The exact location of the subdrains shall be surveyed in the field for line/grade and shown on as-graded plans.
11. Areas to receive fill shall be properly prepared and approved in writing by the Soil Engineer and the Building Official prior to placing fill.
12. Fills shall be benched into competent material per OC Public Works Standard Plan No 1322.
13. All existing fills shall be approved by the Building Official or removed prior to placing additional fills.
14. Fills shall be compacted throughout to a minimum of 90% relative compaction. Aggregate base for asphaltic areas shall be compacted to a minimum of 95% relative compaction. Maximum density shall be determined by Uniform Building Code Standard No. 70-1 or approved equivalent and field density by Uniform Building Code No. 70-2 or approved equivalent.
15. Cut and fill slopes shall be no steeper than 2-feet horizontal to 1-foot vertical (2:1) except where specifically approved otherwise.
16. All cut slopes shall be investigated both during and after grading by the Engineering Geologist to determine if any slope stability problems exist. Should excavation disclose any geological hazards or potential geological hazards, the Engineering Geologist shall submit recommended treatment to the Building Official for approval.
17. Where support or buttressing of cut and natural slopes is determined necessary by the Engineering Geologist and Soil Engineer, the Soil Engineer shall submit design, locations and calculations to the Building Official prior to construction. The Engineering Geologist and Soil Engineer shall inspect and control the construction of the buttressing and certify to the stability of the slope and adjacent structures upon completion.
18. When cut pads are brought to near grade, the Engineering Geologist shall determine if the bedrock is extensively fractured or faulted, and will readily transmit water. If considered necessary by the Engineering Geologist and Soil Engineer, a compacted fill blanket will be placed.
19. All trench backfill shall be tested and approved by the Soil Engineer per the Grading Code.
20. Any existing irrigation lines and cisterns shall be removed or crushed in place and approved by the Building Official and Soil Engineer.
21. Any existing water wells shall be abandoned in compliance with the specifications approved by Orange County Health Care Agency and Division of Environmental Health.
22. Any existing cesspools and septic tanks shall be abandoned in compliance with the Uniform Plumbing Code to the approval of City Planning/Building Inspection.
23. Stockpiling of excess material shall be approved by the Building Official prior to excavation.
24. Export soil must be transported to a legal dump or to a permitted site approved by the City Building Inspector.
25. The permittee shall comply with the Grading Code requirements for haul routes when an excess of 5,000 cubic yards of earth is transported to or from a permitted site on public roadways.
26. The permittee is responsible for dust control measures.
27. The permittee shall give reasonable notice to the owner of adjoining lands and building prior

to beginning excavations which may affect the lateral and subjacent support of the adjoining property. The notice shall state the intended depth of excavation and when the excavation will commence. The adjoining owner shall be allowed at least 30 days and reasonable access on the permitted property to protect his structure, if he so desires, unless otherwise protected by law.

28. All concrete structures that come in contact with the on-site soils shall be constructed with Type V cement, unless deemed unnecessary by soluble sulfate-content tests conducted by the Soil Engineer.

29. Slopes exceeding 5 feet in height shall be planted with an approved plant material. In addition, slopes exceeding 15 feet in height shall be provided with an approved irrigation system, unless otherwise approved by the Building Official.

30. All existing drainage courses through this site shall remain open until facilities to handle stormwater are approved and functional, however, in any case, the permittee shall be held liable for any damage due to obstructing natural drainage patterns.

31. Sanitary facilities shall be maintained on site.

32. The location and protection of all utilities is the responsibility of the permittee.

33. Approved protective measures and temporary drainage provisions shall be used to protect adjoining properties during grading.

34. Grading operations including maintenance of equipment within one-mile of a human occupancy shall not be conducted between the hours of 8:00 p.m. and 7:00 a.m. daily, on Sunday or on a Federal Holiday.

a) All construction vehicles or equipment, fixed or mobile, operated within 1000 feet of a dwelling shall be equipped with properly operational and maintained mufflers.

b) All operations shall comply with Orange County Codified Ordinance Division 6 (Noise Control).

c) Stockpiling and/or vehicle staging areas shall be located as far as practical from dwellings and within the limits of the grading permit.

35. Grading and excavation shall be halted during periods of high winds. According to AQMD Measure F-4, high winds are defined as 30 MPH or greater. This level occurs only under extreme conditions such as Santa Ana Wind conditions.

36. Asphalt sections must be per Code: Parking stall - 3" A/C over 6" A/B, Drives 3" A/C over 10" (Commercial) 12" (Industrial). Or: Prior to rough grade release for Building Permits by the City Grading Inspector, the Soil Engineer shall submit for approval pavement section recommendations based on "R" value analysis of the sub-grade soils, and expected traffic indices.

37. Asphalt concrete shall be constructed per the requirements of OC Public Works Standard Plan No. 1805.

38. Aggregate base section shall be constructed per OC Public Works Standard Plan No. 1804.

39. Roof gutters shall be installed to prevent roof drainage from falling on manufactured slopes.

40. The Civil Engineer, as a condition of rough grade approval, shall provide a blue top with accompanying witness stake, set at the center of each pad reflecting the pad elevation for precise permits, and a blue top with witness stake set at the drainage swale high-point reflecting the high point elevation for Preliminary Permits.

41. Prior to final approval, the Civil Engineer shall certify to the Building Official the amount of earth moved during the grading operation.

42. The Engineering Geologist shall perform periodic inspections and submit a complete report and map upon completion of the rough grading.

43. The Grading Contractor shall submit a statement of compliance to the approved Grading Plan prior to final approval.

44. The compaction report and approval from the Soil Engineer shall indicate the type of field testing performed. The method of obtaining the in-place density shall be identified whether sand cone, drive ring or nuclear, and shall be noted for each test. Sufficient maximum density determinations shall be performed to verify accuracy of the maximum density curves used by the Field Technician.

45. In the event that soil contamination is discovered during excavation and removal of an existing tank, work shall be stopped until a site assessment and mitigation plan has been prepared, submitted and approved by the Health Care Agency/Environmental Health and PDSD/Grading.

**EROSION CONTROL**

46. In the case of emergency, call **AQX Engineering Inc.** at Work Telephone # (714) 662-0510 or Home Telephone # (949) 331-2951

47. Equipment and workers for emergency work shall be made available at all times during the rainy season. Necessary materials shall be available on site and stockpiled at convenient locations to facilitate rapid construction of temporary devices when rain is imminent.

48. Erosion control devices shall not be moved or modified without the approval of the Building Official.

49. All removable erosion protective devices shall be in place at the end of each working day when the 5-Day Rain Probability Forecast exceeds 40%.

50. After a rainstorm, all silt and debris shall be removed from streets, check berms and basins.

51. Graded areas of the permitted area perimeter must drain away from the face of slopes at the conclusion of each working day. Drainage is to be directed towards desilting facilities.

52. The permittee and contractor shall be responsible and shall take necessary precautions to prevent public trespass onto areas where impounded water creates a hazardous condition.

53. The permittee and contractor shall inspect the erosion control work and insure that the work is in accordance with the approved plan.

**ENVIRONMENTAL NOTES**

54. The permittee shall notify all general contractors, subcontractors, material suppliers, lessees and property owners that dumping of chemicals into the storm drain system or the watershed is prohibited.

55. Permittee shall maintain construction site in a condition that an anticipated storm does not carry wastes or pollutants off the site. Potential pollutants include but are not limited to: solid or liquid chemical spills, wastes from paint, stains, sealants, glues, limes, pesticides herbicides, wood preservatives and solvents; asbestos fibers, paint flakes or stucco fragments; fuels, oils, lubricants, and hydraulic, radiator or battery fluids; fertilizers, vehicle/equipment wash water and concrete wash water; concrete, detergent or floatable wastes; wastes from any engine/equipment steam cleaning or chemical degreasing and super chlorinated potable water line flushing.

During construction, permittee shall dispose of such materials in a specified and controlled temporary area on-site, physically separated from potential stormwater runoff, with ultimate disposal in accordance with local, state and federal requirements.

56. Permittee may discharge material other than stormwater only when necessary for performance and completion of construction practices and where they do not: cause or contribute to a violation of any water quality standard; cause or threaten to cause pollution, contamination or nuisance; or contain a hazardous substance in a quantity reportable under Federal Regulation 40 CFR, Parts 117 and 302.

57. Dewatering of contaminated groundwater or discharging contaminated soils via surface erosion is prohibited. Dewatering of non-contaminated groundwater requires a National Pollutant Discharge Elimination System Permit from the respective State Regional Water Quality Control Board.

**58. SPECIAL NOTE:**

"Survey monuments shall be preserved and referenced before construction and replaced after construction pursuant to Section 8771 of the Business and Professional Code."

**NOTES TO CONTRACTOR:**

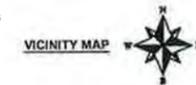
1. CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF DESIGN PROFESSIONAL.
2. IF THIS PROJECT IS STAKED BY SURVEY CREWS OTHER THAN THOSE CREWS UNDER THE DIRECT SUPERVISION OF THE SIGNATORY ENGINEER, THE SIGNATORY ENGINEER WILL NO LONGER BE THE ENGINEER OF RECORD AND WILL HAVE NO RESPONSIBILITY AS TO THE FINAL CONSTRUCTED PROJECT. THE SIGNATORY ENGINEER WILL NOT BE RESPONSIBLE FOR ERRORS OR OMISSIONS THAT COULD HAVE BEEN CORRECTED DURING THE CONSTRUCTION OF THIS PROJECT IF THE STAKING HAD BEEN DONE BY SURVEY CREWS UNDER HIS DIRECT SUPERVISION.

**NOTE TO CONTRACTOR:**

1. THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES OR STRUCTURES SHOWN ON THESE PLANS ARE OBTAINED BY A SEARCH OF AVAILABLE RECORDS TO THE BEST OF OUR KNOWLEDGE THERE ARE NO EXISTING UTILITIES EXCEPT THOSE SHOWN ON THESE PLANS. THE CONTRACTOR IS REQUIRED TO TAKE ALL PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES SHOWN, AND ANY OTHER LINES OR STRUCTURES NOT SHOWN ON THESE PLANS, AND IS RESPONSIBLE FOR THE PROTECTION OF AND ANY DAMAGE TO, THESE LINES OR STRUCTURES.

**NOTE TO SURVEYOR:**

1. SURVEYOR OR ENGINEER SHALL MONUMENT PROPERTY CORNER BEFORE STARTING GRADING, EITHER WITH PERMANENT MONUMENTS OR TEMPORARY 1 FT LONG 1/2" DIAMETER METAL RODS DRIVEN INTO THE GROUND TO NEAR FLUSH AND MARKED WITH PAINT.
2. SURVEYOR TO FILE A CORNER RECORD OR RECORD OF SURVEY WITH THE OFFICE OF COUNTY SURVEYOR. EVIDENCE OF FILING SHALL BE SUBMITTED TO BUILDING INSPECTOR PRIOR TO FOUNDATION INSPECTION.



**LEGAL DESCRIPTION:**

LOT 74 OF TRACT NO. 653, IN THE CITY OF COSTA MESA, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON A MAP RECORDED IN BOOK 19, PAGES 42 OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID ORANGE COUNTY.  
EXCEPTING THEREFROM THE WEST 193.71 FEET THEREOF.

ASSESSOR PARCEL NUMBER (APN): 422-051-07  
LOT SIZE: 10,220 S.F. (0.235 ACRES)

**BENCH MARK:**

BENCH MARK #: HB-243-77  
DATUM: NAVD83  
ELEVATION: 78.36

TOPOGRAPHIC SURVEY OF 1008 W. WILSON STREET, COSTA MESA, CA 92627 WAS PREPARED BY R&M SURVEYING INC. (RON MIEDEMA, L.S. 4653), DATED 9-17-2018

**SHEET INDEX**

SHEET TITLE	SHEET NO.
TITLE SHEET	C-1
PRELIMINARY PRECISE GRADING PLAN	C-2
CROSS SECTIONS	C-3

**LEGEND**

AC	ASPHALT
CONC	CONCRETE
DS	DOWN SPOUT
FF	FINISH FLOOR
FG	FINISH GRADE
FL	FLOW LINE
FS	FINISH SURFACE
GS	GAS METER
GFF	GARAGE FINISH FLOOR
HP	HIGH POINT
INV	INVERT ELEVATION
MH	MANHOLE
PL	PROPERTY LINE
SW	STEM WALL
TF	TOP OF FOOTING
TG	TOP OF GRATE
TW	TOP OF WALL
WM	WATER METER

**OWNER/DEVELOPER**

JEFF CEFALIA  
2160 PACIFIC AVENUE, #B-2  
COSTA MESA, CA 92627  
PHONE: (949)697-1955

**ARCHITECTURAL DESIGNER**

ROST ARCHITECTS  
16530 BAKE PARKWAY, SUITE 104  
IRVINE, CA 92618  
PHONE: (210)771-1616  
WWW.ROSTARCHITECTS.COM

**SOIL ENGINEER**

EGA CONSULTANTS, INC  
375-C MONTE VISTA AVENUE  
COSTA MESA, CA 92627  
PHONE: (949)642-9309

**CIVIL ENGINEER**

AQX ENGINEERING  
1520 BROOKHOLLOW, SUITE 45  
SANTA ANA, CA 92705  
PHONE: (714)662-0510



T: 210.771.1616  
A: 16530 BAKE PKWY SUITE 104  
IRVINE CA 92618  
W: WWW.ROSTARCHITECTS.COM

#	REVISION	DATE
1	PLANNING CORRECTIONS	07/04/21



**AQX ENGINEERING INC.**  
1520 Brookhollow, Suite #45  
Santa Ana, CA 92705  
Off: (714) 662-0510  
Fax: (714) 662-0559  
info@aqxengineering.com

**PROJECT NAME**  
WEST WILSON RESIDENCE  
1008 W. WILSON STREET  
COSTA MESA, CA 92627

**SHEET TITLE**  
TITLE SHEET

<b>PROJECT NO.</b>	2021-401
<b>DATE</b>	04/14/21
<b>SCALE</b>	AS REFERENCED
<b>SHEET NO.</b>	

C-1



SECTION 4216/4217 OF THE GOVERNMENT CODE REQUIRES A DIGALERT IDENTIFICATION NUMBER BE ISSUED BEFORE A "PERMIT TO EXCAVATE" WILL BE VALID. FOR YOUR DIGALERT I.D. NUMBER CALL UNDERGROUND SERVICE ALERT TOLL FREE 1-800-422-4133 TWO WORKING DAYS BEFORE YOU DIG

**GRADING CONSTRUCTION NOTES:**

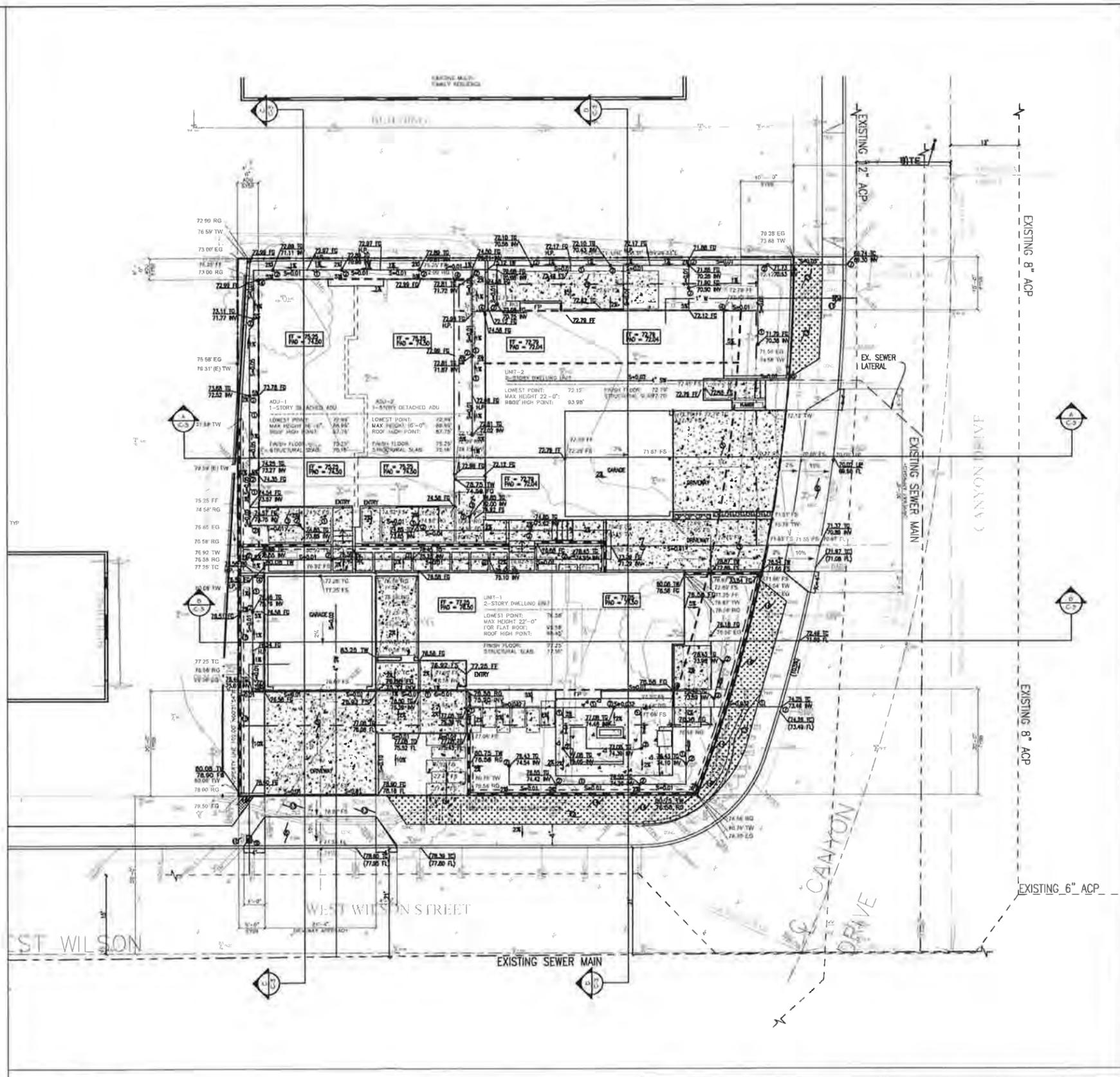
- 1 INSTALL 4" DIA. SCHEDULE 40 PVC OR SDR 35 SOLID SUBSURFACE AREA DRAIN LINES PER PLAN
- 2 INSTALL 6" DIA. ROUND GRATE INLET NDS TYPE 40 OR EQUAL WITH RISER AND ADAPTER
- 3 CONSTRUCT MIN. 5" THICK CONCRETE FLATWORK PER SOILS REPORT
- 4 INSTALL ROOF DOWNSPOUT AND TIE IN TO SUBSURFACE DRAINAGE SYSTEM
- 5 CONSTRUCT MIN. 6" THICK CONCRETE DRIVEWAY PER SOILS REPORT
- 6 CONSTRUCT NEW CONCRETE DRIVEWAY APPROACH PER CITY STANDARD DRAWING NO. 513
- 7 INSTALL CURB DRAIN
- 8 PROTECT IN PLACE EXISTING SEWER LATERAL AND CLEANOUT ADJACENT TO PROPERTY LINE PER CMSD STANDARD DRAWING NO. S-107 & S-107-A
- 9 PROTECT IN PLACE EXISTING WATER SERVICE AND METER
- 10 ABANDON EXISTING WATER SERVICE AND METER
- 11 INSTALL NEW WATER SERVICE AND METER
- 12 REMOVE EXISTING CONCRETE SIDEWALK ON PUBLIC RIGHT-OF-WAY AND REPLACE WITH NEW LANDSCAPING
- 13 REMOVE EXISTING LANDSCAPING ON PUBLIC RIGHT-OF-WAY AND REPLACE WITH NEW CONCRETE SIDEWALK PER CITY STD. DWG. NO. 411
- 14 INSTALL TYPICAL LANDSCAPING ON PUBLIC RIGHT-OF-WAY
- 15 CONSTRUCT RETAINING WALL PER SEPARATE PERMIT

**LEGEND & SYMBOLS**

AC	ASPHALT	(10.36 FS)	EXISTING GRADE ELEVATION
CONC	CONCRETE	10.90 FS	PROPOSED GRADE ELEVATION
DS	DOWN SPOUT	---	LIMIT OF GRADING
EP	EDGE OF PAVEMENT	---	LIMIT OF GRADING
FF	FINISH FLOOR	2%	SURFACE DRAINAGE GRADIENT AND DIRECTION
FL	FLOW LINE	---	SURFACE DRAINAGE GRADIENT AND DIRECTION
FS	FINISH SURFACE	---	SURFACE DRAINAGE GRADIENT AND DIRECTION
GFF	GARAGE FINISH FLOOR	S = 0.01	SUBSURFACE AREA DRAIN LINE GRADIENT AND DIRECTION
GS	GAS METER	---	SUBSURFACE AREA DRAIN LINE GRADIENT AND DIRECTION
HP	HIGH POINT	---	CONCRETE FLATWORK
INV	INVERT ELEVATION	---	LANDSCAPE AREA
MH	MANHOLE	---	LANDSCAPE AREA
PL	PROPERTY LINE	---	RETAINING WALL AND BACKDRAIN
SW	STEM WALL	S = 0.01	RETAINING WALL AND BACKDRAIN
TF	TOP OF FOOTING	---	RETAINING WALL AND BACKDRAIN
TG	TOP OF GRATE	S=0.02	4" DIA. SEWER LATERAL
TW	TOP OF WALL	---	1" DIA. WATER LATERAL
WM	WATER METER	---	1" DIA. WATER LATERAL

- NOTES:**
- 1 A PUBLIC WORKS DEPARTMENT ENCROACHMENT PERMIT INSPECTION IS REQUIRED BEFORE THE BUILDING DEPARTMENT PERMIT FINAL CAN BE ISSUED. AT THE TIME OF PUBLIC WORKS DEPARTMENT INSPECTION, IF ANY OF THE EXISTING PUBLIC IMPROVEMENTS SURROUNDING THE SITE IS DAMAGED, NEW CONCRETE SIDEWALK, CURB AND GUTTER, AND ALLEY/STREET PAVEMENT WILL BE REQUIRED AND 100% PAID BY THE OWNER. SAID DETERMINATION AND THE EXTENT OF THE REPAIR WORK SHALL BE MADE AT THE DISCRETION OF THE PUBLIC WORKS INSPECTOR.
  - 2 A CITY ENCROACHMENT AGREEMENT IS REQUIRED FOR ALL NONSTANDARD PRIVATE IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY.
  - 3 AN APPROVED ENCROACHMENT PERMIT IS REQUIRED FOR ALL WORK ACTIVITIES WITHIN THE PUBLIC RIGHT-OF-WAY.
  - 4 "THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO SOLID WASTE, PETROLEUM BYPRODUCTS, SOIL PARTICULATE, CONSTRUCTION WASTE MATERIALS, OR WASTEWATER GENERATED ON CONSTRUCTION SITES OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED, CONVEYED OR DISCHARGED INTO THE STREET, GUTTER OR STORM DRAIN SYSTEM."
  - 5 ALL WORK RELATED TO WASTEWATER IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY A C-42 LICENSED SANITATION SEWER CONTRACTOR OR A A-LICENSED GENERAL ENGINEERING CONTRACTOR.

- NOTE:**
1. ALL ON-SITE PLUMBING SHALL COMPLY WITH 2019 CPC REQUIREMENTS.
  2. ALL GRADING SHALL COMPLY PER SOILS REPORT'S RECOMMENDATIONS
  3. SURVEYOR OR ENGINEER SHALL MONUMENT PROPERTY CORNER BEFORE STARTING GRADING, EITHER WITH PERMANENT MONUMENTS OR TEMPORARY 1 FT. LONG 1/2" DIAMETER METAL RODS DRIVEN INTO THE GROUND TO NEAR FLUSH AND MARKED WITH PAINT.
  4. THIS PROJECT REQUIRED NO EASEMENT.



**PRECISE GRADING PLAN**

SCALE: 1" = 10'

MESA WATER DISTRICT		COSTA MESA SANITARY DISTRICT	
DISTRICT ENGINEER	DATE	ROB HAMERS	DATE

**ROST**  
ARCHITECTURE  
INTERIORS

T: 210.771.1615  
A: 16550 BAKE PAVY SUITE 104  
IRVINE CA 92608  
W: WWW.ROSTARCHITECTS.COM

#	REVISION	DATE
1	PLANNING CORRECTIONS	07/04/21

**AQX ENGINEERING INC.**

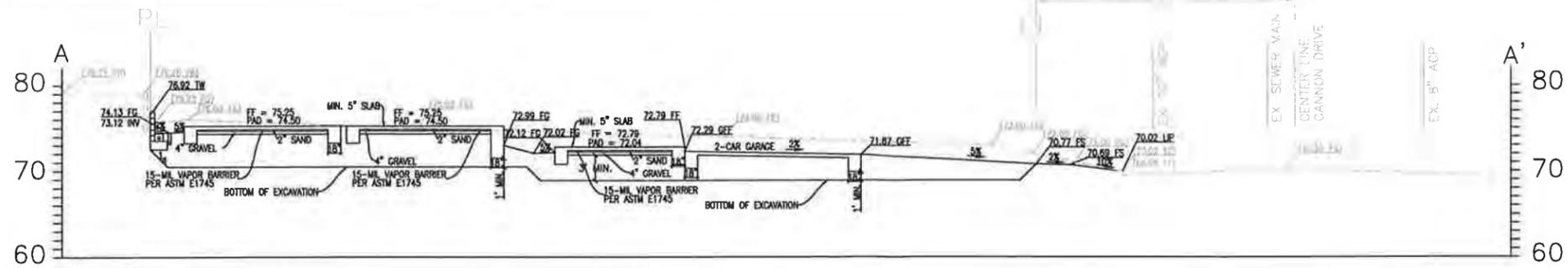
1520 Brookhollow, Suite #45  
Santa Ana, CA 92705  
Off: (714) 662-0510  
Fax: (714) 662-0559  
info@aqxengineering.com

**PROJECT NAME**  
WEST WILSON RESIDENCE

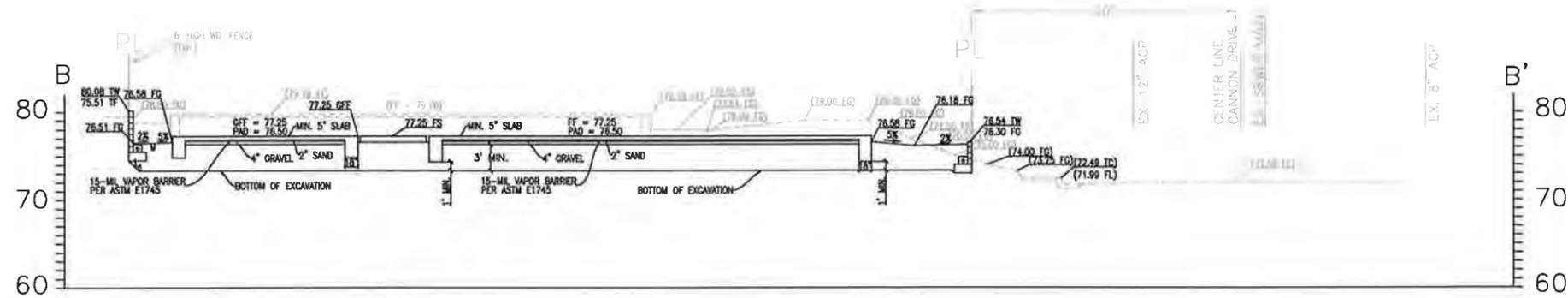
**PROJECT NO.** 2021-401  
**DATE** 04/14/21  
**SCALE** AS REFERENCED  
**ISSY NO.**

**PROJECT TITLE**  
PRECISE GRADING PLAN

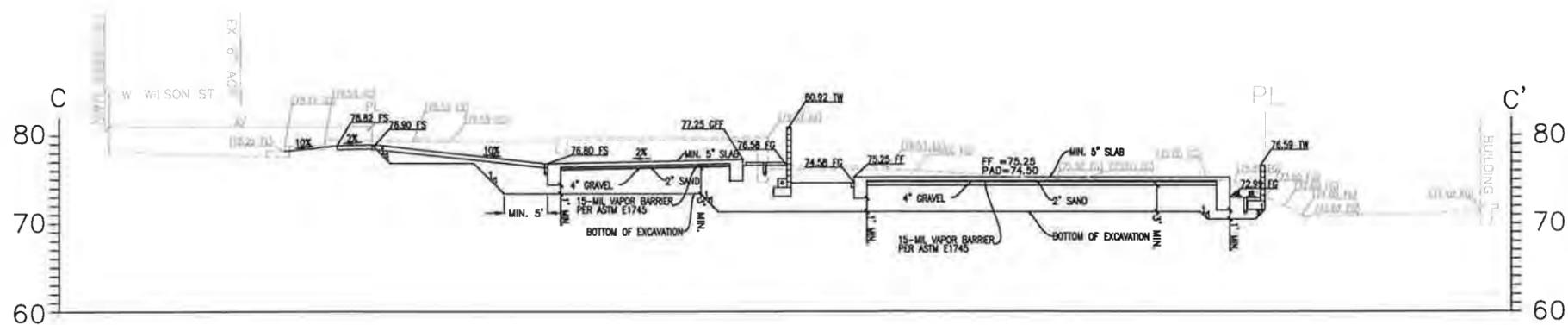
**C-2**



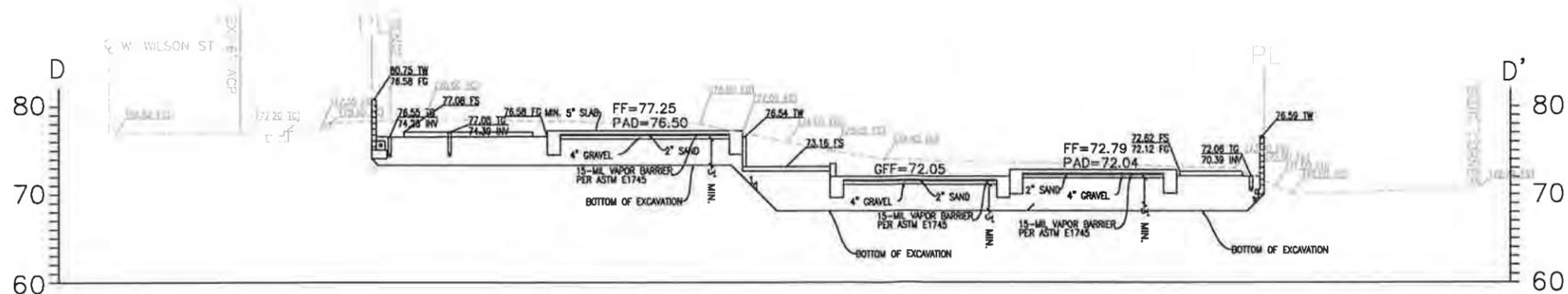
**CROSS-SECTION A-A'**  
SCALE: 1" = 8'



**CROSS-SECTION B-B'**  
SCALE: 1" = 8'



**CROSS-SECTION C-C'**  
SCALE: 1" = 8'



**CROSS-SECTION D-D'**  
SCALE: 1" = 8'



ARCHITECTURE  
INTERIOR  
T: 210.771.1615  
A: 16530 BAKE PKWY SUITE 104  
IRVINE CA 92618  
W: WWW.ROSTARCHITECTS.COM

#	REVISION	DATE
1	PLANNING CORRECTIONS	07/04/21



**AQX ENGINEERING INC.**

1520 Brookhollow, Suite #45  
Santa Ana, CA 92705  
Off. (714) 662-0510  
Fax. (714) 662-0559  
info@aqxengineering.com

PROJECT NAME

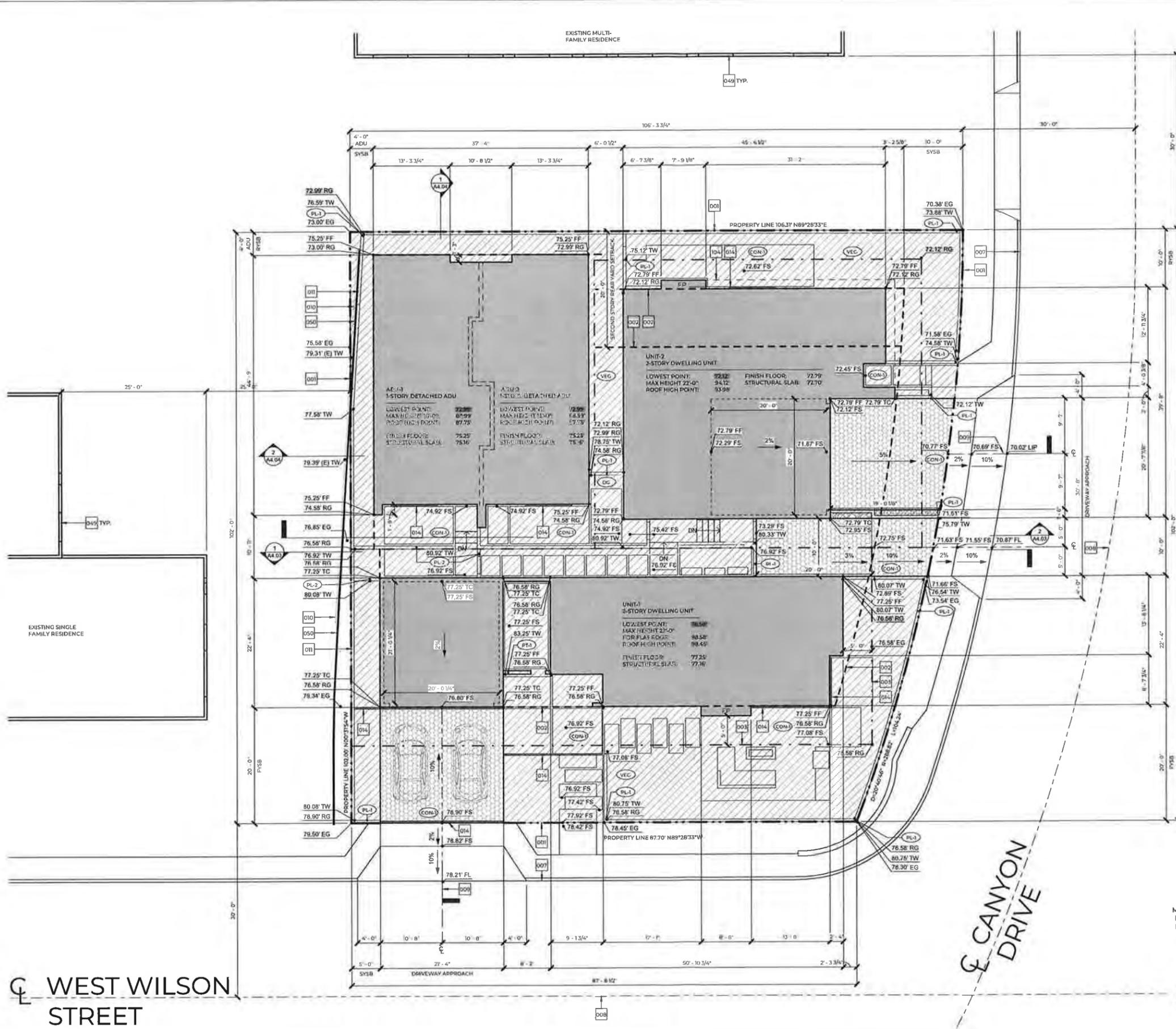
WEST WILSON RESIDENCE  
1008 W. WILSON STREET  
COSTA MESA, CA 92627

SHEET TITLE

TITLE SHEET

PROJECT NO.	2021-401
DATE	04/14/21
SCALE	AS REFERENCED
SHEET NO.	

**C-3**



KEYNOTES	
#	DESCRIPTION
001	PROPERTY LINE
002	REQUIRED BUILDING SETBACK
003	LOCATION ELEVATION OF GRADE SET'S BACK FROM BUILDING
007	(E) EXISTING CURB/EDGE OF PAVEMENT
008	CENTERLINE OF RIGHT-OF-WAY
009	CENTERLINE OF DRIVEWAY
010	(E) SITE WALL/RETAINING WALL/FOOTING/CAISSON TO REMAIN
011	(N) NEW SITE WALL/RETAINING WALL/FOOTING/CAISSON
014	RECESSED STAIR DRAIN
049	LOCATION OF SECOND STORY WINDOWS ON STRUCTURES ON ADJOINING LOTS
050	(E) WOOD FENCE TO REMAIN
104	EDGE OF STRUCTURE (ABV/BLW/BYND/AS OCCURS)

MATERIAL LEGEND	
(CON)	CAST-IN-PLACE CONCRETE
(DG)	DECOMPOSED GRANITE
(PL)	PLASTER
(VEC)	VEGETATION

AREA CALCULATIONS	
<b>UNIT 1 - LIVING AREA</b>	
FIRST FLOOR LIVING AREA:	1,080 SF
SECOND FLOOR LIVING AREA:	1,444 SF
<b>TOTAL UNIT 1 AREA:</b>	<b>2,524 SF</b>
CARAGE:	476 SF
FIRST FLOOR COURTYARD:	136 SF
UNIT 1 SECOND FLOOR DECK:	125 SF
<b>UNIT 2 - LIVING AREA</b>	
FIRST FLOOR LIVING AREA:	1,187 SF
SECOND FLOOR LIVING AREA:	1,169 SF
<b>TOTAL UNIT 2 AREA:</b>	<b>2,356 SF</b>
2 CAR GARAGE:	427 SF

<b>ADU 1</b>	
<b>TOTAL ADU 1 GROSS AREA:</b>	<b>800 SF</b>
<b>ADU 2</b>	
<b>TOTAL ADU 2 GROSS AREA:</b>	<b>800 SF</b>

MINIMUM OPEN SPACE:	
LOT AREA:	10,608
PROPOSED OPEN AREA:	4,697 SF OF LOT OR 44.2% OF LOT AREA
MINIMUM OPEN AREA:	4,243 SF OF LOT OR 40% OF LOT AREA

SITE AREA LEGEND	
REFER TO SHEET TS FOR LOT COVERAGE CALCS	
(Solid Grey)	BUILDING FOOTPRINT AREA
(Dotted)	DRIVEWAY AREA
(Hatched)	OPEN SPACE AREA

PROPOSED LOT COVERAGE	
UNIT 1 FOOTPRINT:	1,562 SF
UNIT 2 FOOTPRINT:	1,607 SF
ADU 1 FOOTPRINT:	800 SF
ADU 2 FOOTPRINT:	800 SF
DRIVEWAY AREA:	1,142 SF / 10.7% OF LOT
PROPOSED OPEN AREA:	4,697 SF / 44.2% OF LOT
MINIMUM OPEN SPACE:	4,243 SF / 40% OF LOT

PARKING COUNT	
UNIT 1:	2 OPEN SPACES 2 COVERED SPACES
UNIT 2:	2 OPEN SPACES 2 COVERED SPACES
ADU 1 & 2:	1 GUEST SPACE NO PARKING (VICTORIA-AMERICAN BUS STOP WITHIN 3 MILES)

DWELLING UNIT COUNT	
NUMBER OF 2 BEDROOM ADUS:	2
NUMBER OF 4 BEDROOM DWELLING UNITS:	2

**WEST WILSON RESIDENCE**  
 1008 West Wilson  
 Costa Mesa, CA 92627

PROJECT ARCHITECTS:  
 MITCHELL & ROCHELLE AIA  
 DOCUMENT MADE UPON ORIGINAL SIGNATURE

REGISTERED ARCHITECT  
 MITCHELL SCOTT ROCHELLE  
 C-56977  
 9/30/21  
 COSTA MESA, CALIFORNIA

ROST  
 ARCHITECTURE  
 10/10/20

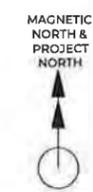
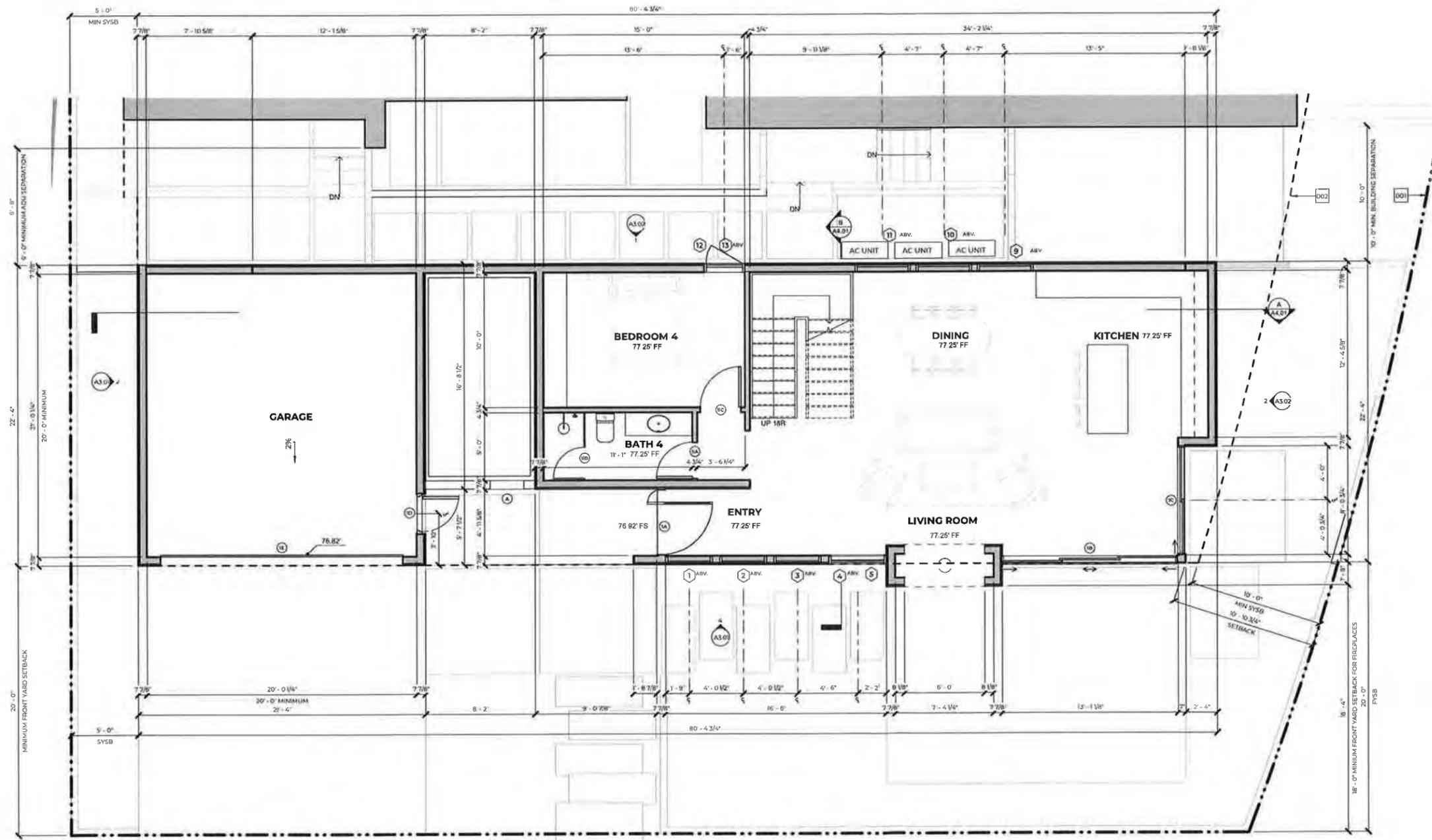
R. 216-791-1616  
 A-1630 BAKE PKWY SUITE 104  
 IRVINE CA 92618  
 WWW.ROSTARCHITECTS.COM

7/16/2020 - PLNG SUB SET #1  
 10/28/2020 - PLNG SUB SET #2  
 04/28/2021 - PLNG SUB SET #3

SCALE: 1/8" AT 24 x 36  
 PLOT DATE: 1/8/2021 7:34:00 AM  
 SHEET NUMBER

PROPOSED SITE PLAN  
 1/8" = 1'-0"

**A1.00**



UNIT 1 - PROPOSED LEVEL 1  
1/4" = 1'-0" 1

KEYNOTES	
#	DESCRIPTION
001	PROPERTY LINE
002	REQUIRED BUILDING SETBACK

AREA CALCULATIONS	
<b>UNIT 1 - LIVING AREA</b>	
FIRST FLOOR LIVING AREA:	1,080 SF
SECOND FLOOR LIVING AREA:	1,444 SF
<b>TOTAL UNIT 1 AREA</b>	<b>2,524 SF</b>
GARAGE:	476 SF
FIRST FLOOR COURTYARD:	136 SF
UNIT 1 SECOND FLOOR DECK:	125 SF
<b>UNIT 2 - LIVING AREA</b>	
FIRST FLOOR LIVING AREA:	1,187 SF
SECOND FLOOR LIVING AREA:	1,169 SF
<b>TOTAL UNIT 2 AREA</b>	<b>2,356 SF</b>
2 CAR GARAGE:	427 SF
<b>ADU 1</b>	
<b>TOTAL ADU 1 GROSS AREA:</b>	<b>800 SF</b>
<b>ADU 2</b>	
<b>TOTAL ADU 2 GROSS AREA:</b>	<b>800 SF</b>
<b>MINIMUM OPEN SPACE:</b>	
LOT AREA:	10,608
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MINIMUM OPEN AREA:	4,243 SF OF LOT OR 40% OF LOT AREA

WEST WILSON RESIDENCE  
1008 West Wilson  
Costa Mesa, CA 92627

PROJECT ARCHITECT:  
MITCHELL & ROCHELLEAU AIA  
DOCUMENT VALID UPON ORIGINAL SIGNATURE

**ROST**  
ARCHITECTURE  
INTERIOR

T: 310.771.1616  
A: 1630 BAKE POWY SUITE 104  
BIRME CA 92608  
W: WWW.ROSTARCHITECTS.COM

7/6/2020 - PLNG SUB SET #1
10/28/2020 - PLNG SUB SET #2
04/15/2021 - PLNG SUB SET #3

SCALE: 1/4" AT 24 x 36

PLOT: 7/6/2021 734-01.AM  
DATE:

SHEET NUMBER

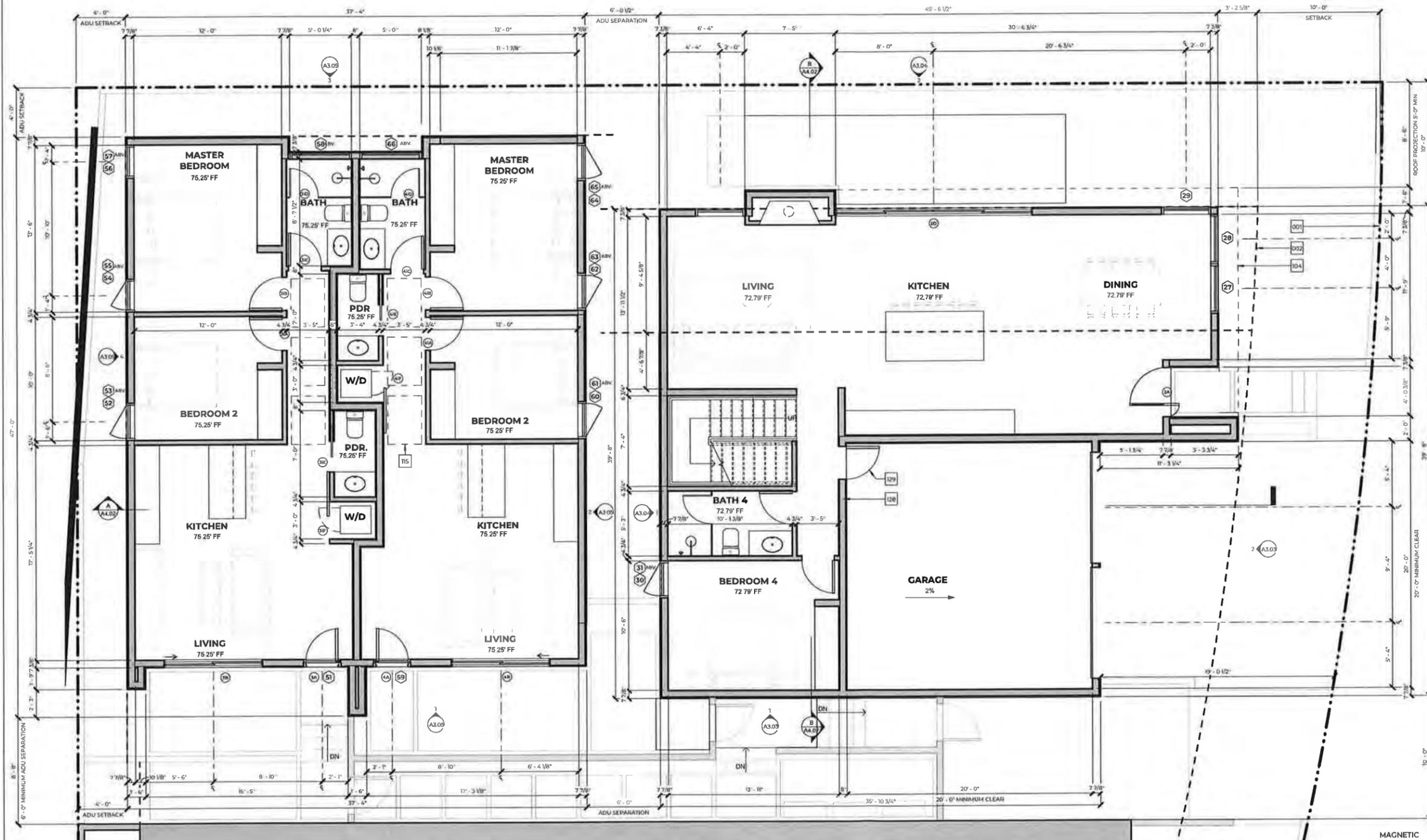
**A2.01**

UNIT 1 - PROPOSED LEVEL 1

CREATING DRAWINGS BY: MRS

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KEYNOTES	
#	DESCRIPTION
001	PROPERTY LINE
002	REQUIRED BUILDING SETBACK
104	EDGE OF STRUCTURE (ABV, BLW, BYND, AS OCCURS)
115	SKYLIGHT (ABV, BLW, BYND, AS OCCURS) ALUMINUM FRAME WITH KYNAR 500 FINISH TO MATCH DOORS AND WINDOWS - FLAT LENS - CLEAR TEMPERED SAFETY GLASS - SEE DOOR/WINDOW SCHEDULE FOR SKYLIGHT SPECIFICATIONS
128	PROVIDE 5/8" TYPE-X GYP BOARD AT WALLS AND CEILING IN GARAGE ADJACENT TO LIVING AREA
129	SELF CLOSING, SELF LATCHING, TIGHT FITTING SOLID WOOD 1 3/8" THICK DOOR - TWENTY (20) MINUTE RATED PER CBC R302.5.1

AREA CALCULATIONS	
<b>UNIT 1 - LIVING AREA</b>	
FIRST FLOOR LIVING AREA:	1,080 SF
SECOND FLOOR LIVING AREA:	1,444 SF
<b>TOTAL UNIT 1 AREA:</b>	<b>2,524 SF</b>
GARAGE:	476 SF
FIRST FLOOR COURTYARD:	136 SF
UNIT 1 SECOND FLOOR DECK:	125 SF

<b>UNIT 2 - LIVING AREA</b>	
FIRST FLOOR LIVING AREA:	1,187 SF
SECOND FLOOR LIVING AREA:	1,169 SF
<b>TOTAL UNIT 2 AREA:</b>	<b>2,356 SF</b>
2 CAR GARAGE:	427 SF

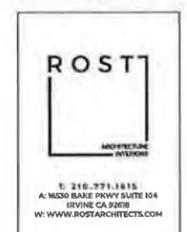
<b>ADU 1</b>	
<b>TOTAL ADU 1 GROSS AREA:</b>	<b>800 SF</b>

<b>ADU 2</b>	
<b>TOTAL ADU 2 GROSS AREA:</b>	<b>800 SF</b>

MINIMUM OPEN SPACE:	
LOT AREA:	10,608
PROPOSED OPEN AREA	4,697 SF OF LOT OR 44.2% OF LOT AREA
MINIMUM OPEN AREA	4,243 SF OF LOT OR 40% OF LOT AREA

WEST WILSON RESIDENCE  
1008 West Wilson  
Costa Mesa, CA 92627

PROJECT ARCHITECT  
MITCHELL SCOTT ROCHELAN  
DOCUMENT VALID UPON ORIGINAL SIGNATURE



7/8/2020 - PLNG SUB SET #1  
10/28/2020 - PLNG SUB SET #2  
04/15/2021 - PLNG SUB SET #3

SCALE: 1/4" = 1'-0"

DATE: 1/8/2021 7:34:05 AM

SHEET NUMBER: A2.03

UNIT 2 & ADU-PROPOSED LEVEL

UNIT 2 - PROPOSED LEVEL 1  
1/4" = 1'-0"



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KEYNOTES	
#	DESCRIPTION
001	PROPERTY LINE
002	REQUIRED BUILDING SETBACK
120	FIREPLACE FLU VENT (ABV,BLW,BYND AS OCCURS)

**WEST WILSON RESIDENCE**  
 1008 West Wilson  
 Costa Mesa, CA 92627

PROJECT ARCHITECT:  
 MITCHELL S. ROCHELEAU AIA  
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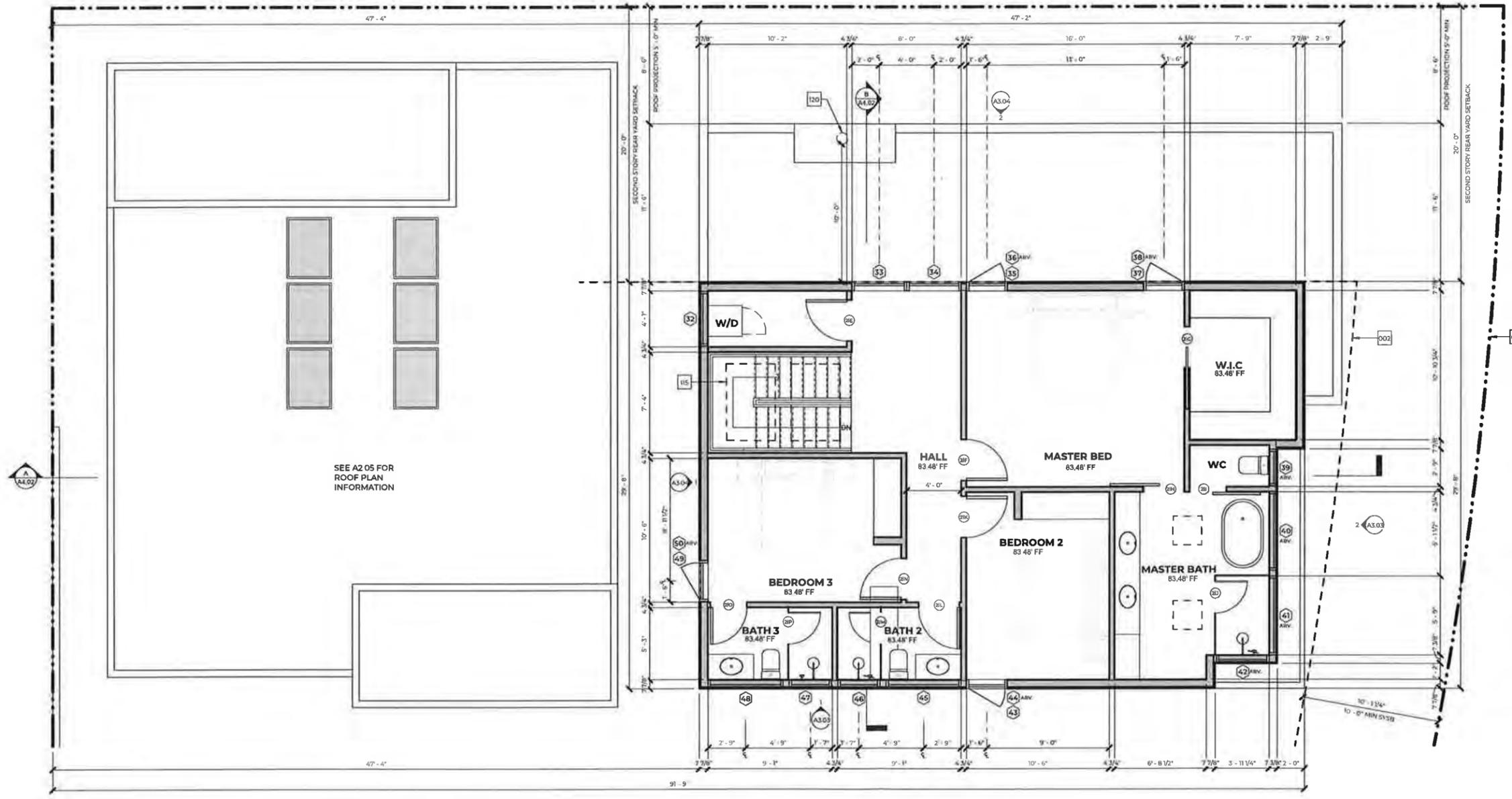
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 ARCHITECTURE  
 INTERIORS

T: 210.971.1616  
 A: 1600 BAKER PARKWAY SUITE 104  
 IRVINE CA 92618  
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 04/05/2021 - PLNG SUB SET #3

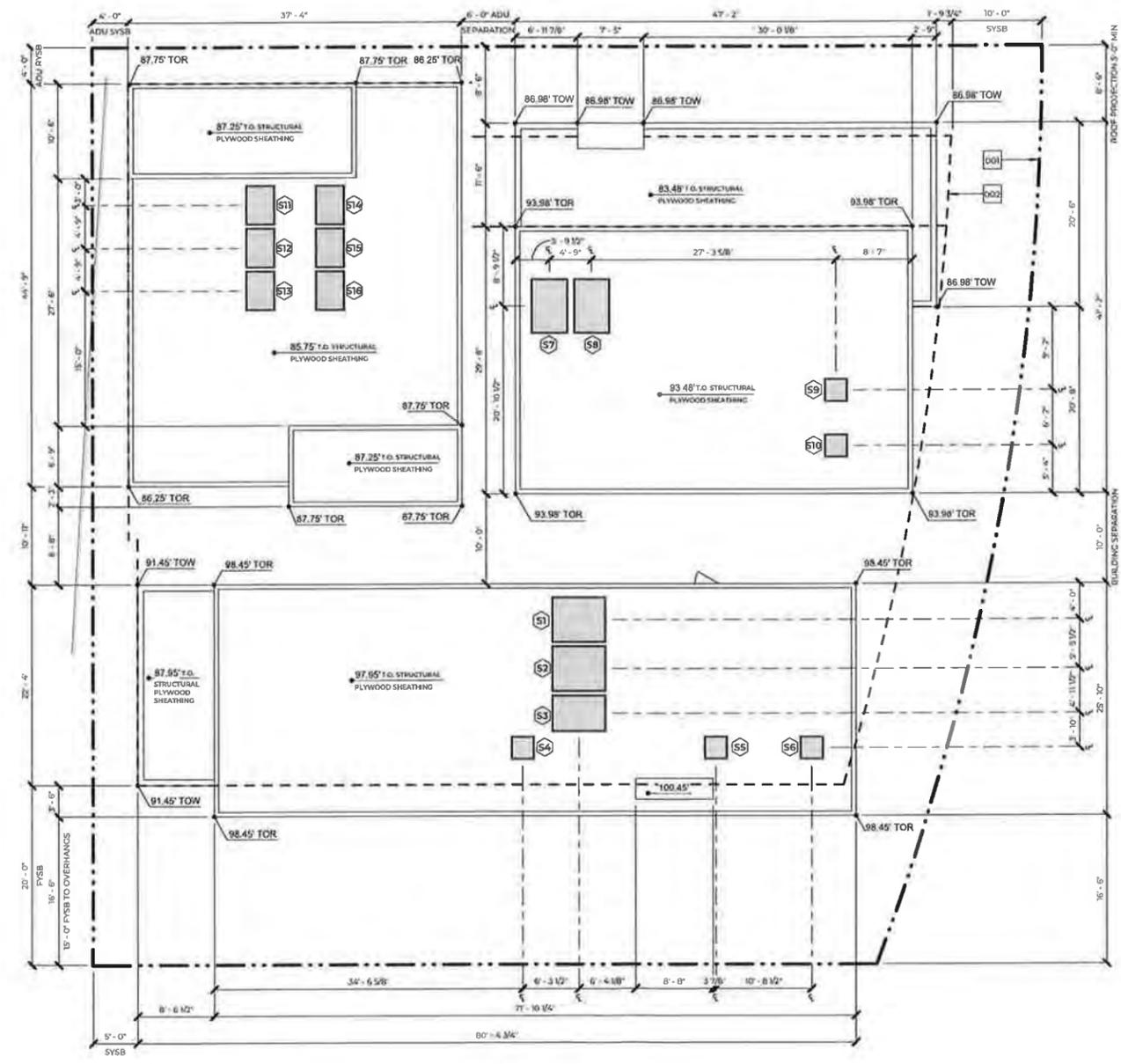
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 PLOT: 7/8/2021 7:34:06 AM  
 DATE:  
 SHEET NUMBER:  
**A2.04**  
 UNIT 2 - PROPOSED LEVEL 2

AREA CALCULATIONS	
<b>UNIT 1 - LIVING AREA</b>	
FIRST FLOOR LIVING AREA:	1,080 SF
SECOND FLOOR LIVING AREA:	1,444 SF
<b>TOTAL UNIT 1 AREA</b>	<b>2,524 SF</b>
GARAGE:	476 SF
FIRST FLOOR COURTYARD:	136 SF
UNIT 1 SECOND FLOOR DECK:	125 SF
<b>UNIT 2 - LIVING AREA</b>	
FIRST FLOOR LIVING AREA:	1,187 SF
SECOND FLOOR LIVING AREA:	1,169 SF
<b>TOTAL UNIT 2 AREA</b>	<b>2,356 SF</b>
2 CAR GARAGE:	427 SF
<b>ADU 1</b>	
<b>TOTAL ADU 1 GROSS AREA:</b>	<b>800 SF</b>
<b>ADU 2</b>	
<b>TOTAL ADU 2 GROSS AREA:</b>	<b>800 SF</b>
<b>MINIMUM OPEN SPACE:</b>	
LOT AREA:	10,608
PROPOSED OPEN AREA	4,697 SF OF LOT OR 44.2% OF LOT AREA
MINIMUM OPEN AREA	4,243 SF OF LOT OR 40% OF LOT AREA



SEE A2.05 FOR ROOF PLAN INFORMATION

UNIT 2 - PROPOSED LEVEL 2  
 1/4" = 1'-0"



ROOF PLAN  
1/8" = 1'-0" 1

KEYNOTES	
#	DESCRIPTION
001	PROPERTY LINE
002	REQUIRED BUILDING SETBACK

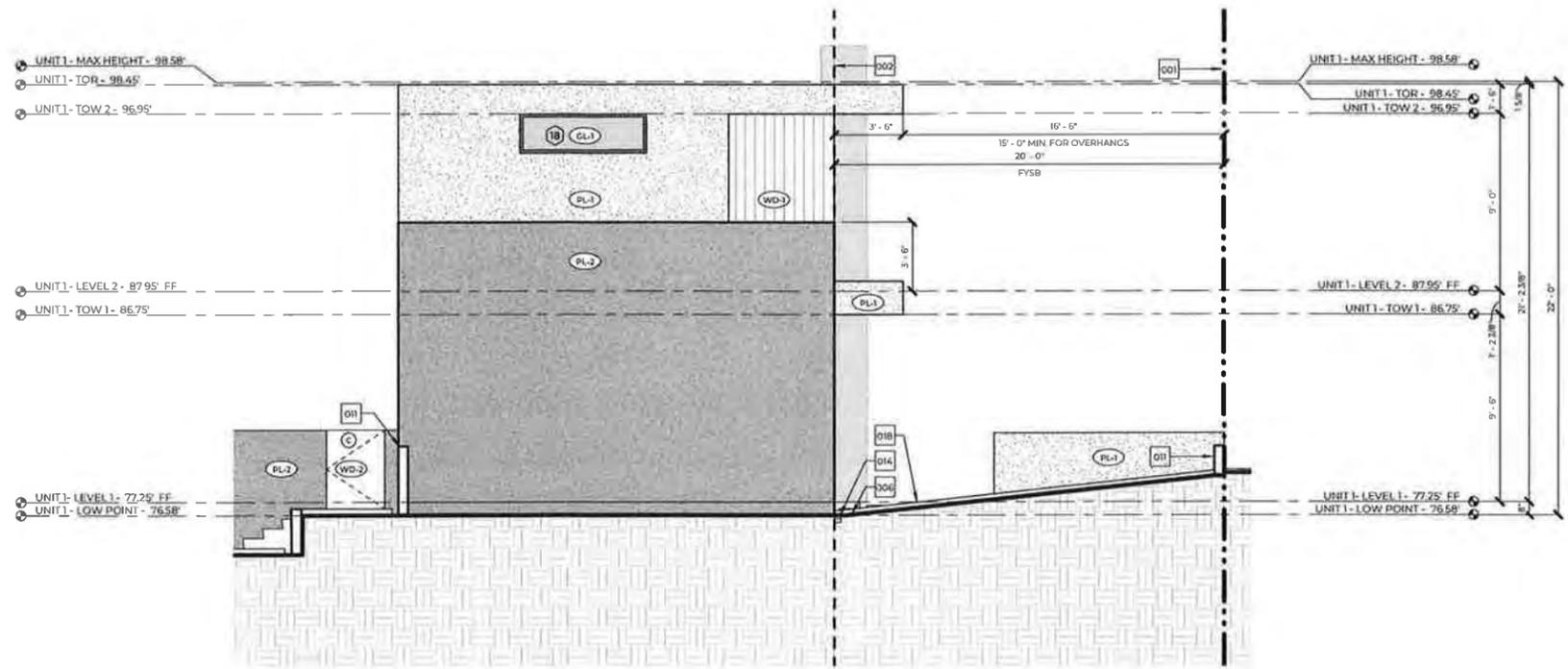
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Costa Mesa, CA 92627

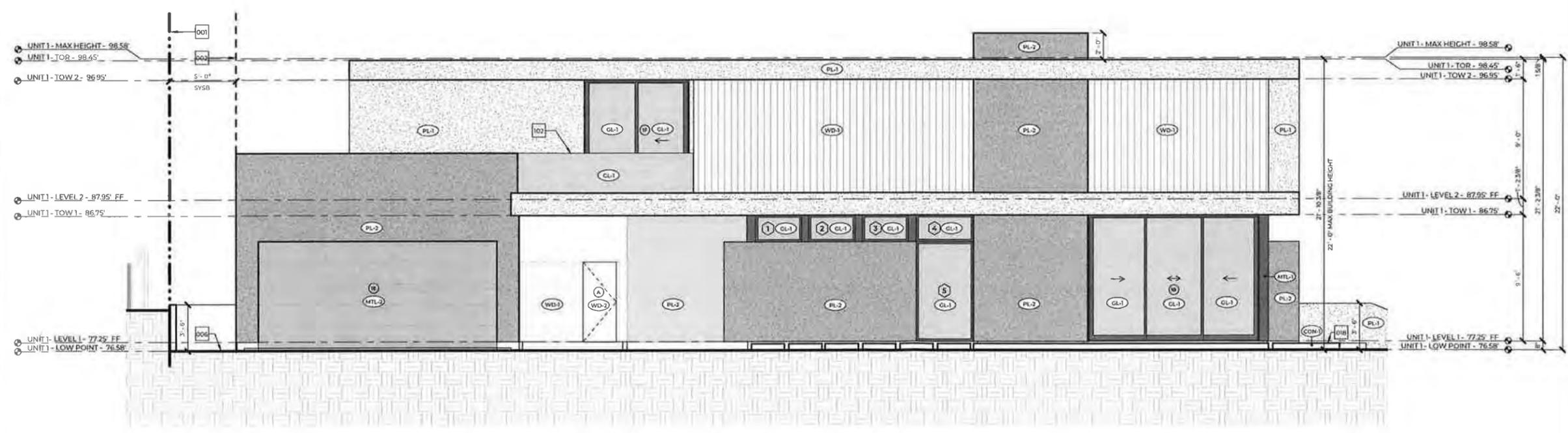


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04/25/2021 - PLNG SUB SET #3

SCALE: 1/4" AT 24 x 36
DATE: 7/8/2021 7:34:07 AM
SHEET NUMBER: A2.05
PROJECT: ROOF PLAN



UNIT 1 - LEFT ELEVATION  
1/4" = 1'-0" 2



UNIT 1 - FRONT ELEVATION  
1/4" = 1'-0" 4

KEYNOTES	
#	DESCRIPTION
001	PROPERTY LINE
002	REQUIRED BUILDING SETBACK
006	ROUGH GRADE
011	(N) NEW SITE WALL/RETAINING WALL/FOOTING/CAISSON
014	RECESSED STRIP DRAIN
018	EXTERIOR HARDSCAPE
102	GUARDRAIL +4" ABOVE FINISH FLOOR

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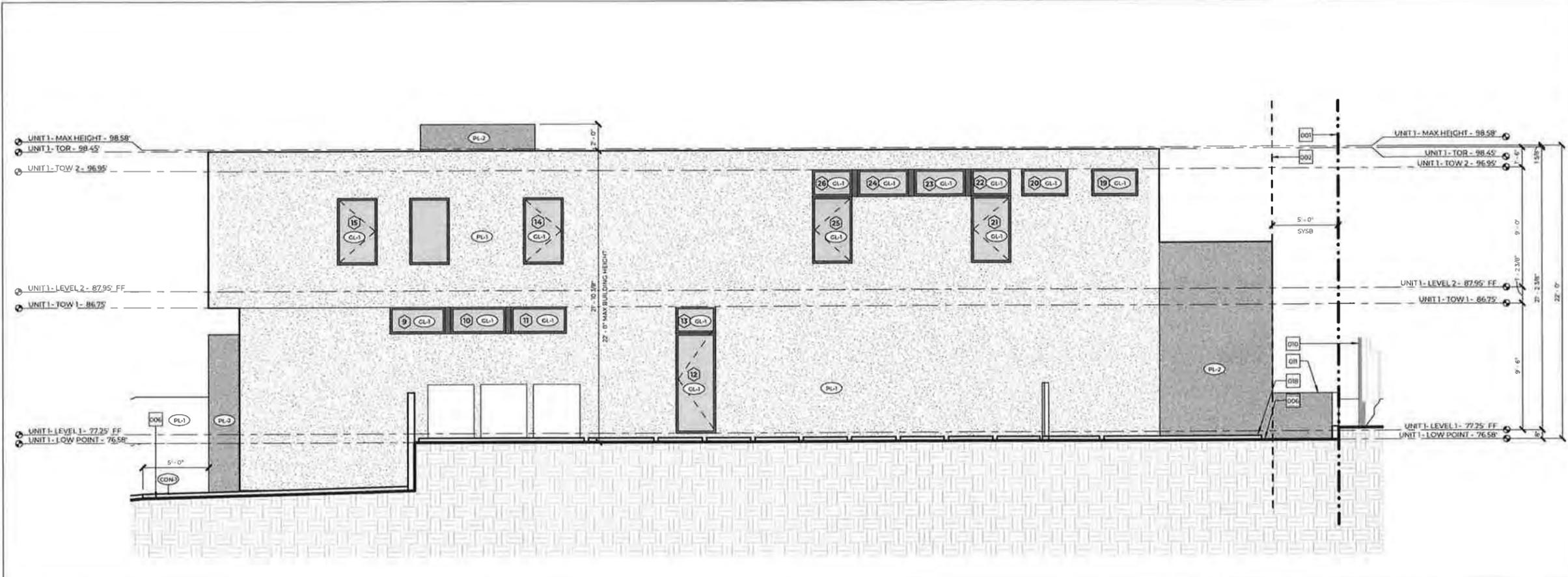
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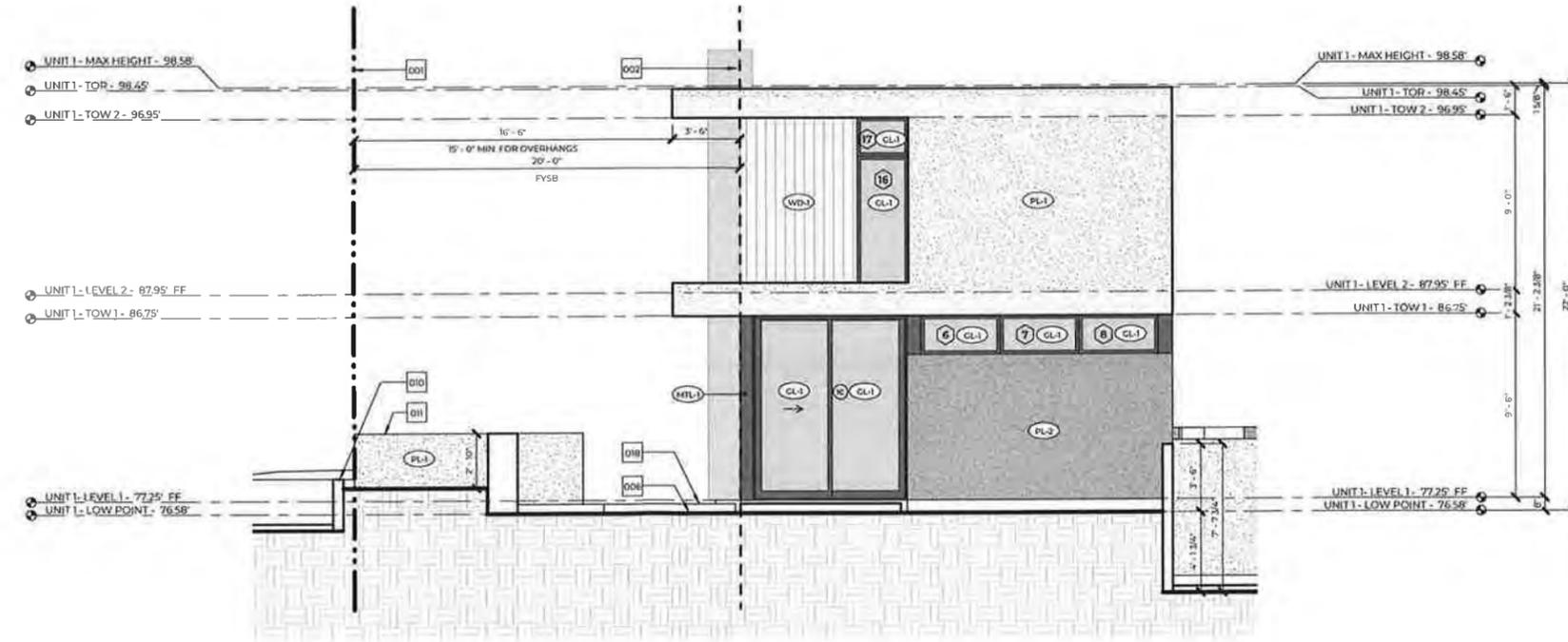
7/6/2020 - PLNG SUB SET #1
10/26/2020 - PLNG SUB SET #2
04/15/2021 - PLNG SUB SET #3

MATERIAL LEGEND	
(CON-1)	CAST-IN-PLACE CONCRETE
(DG)	DECOMPOSED GRANITE
(GL-1)	GLAZING
(MTL-1)	BREAK METAL
(PL-1)	PLASTER
(PL-2)	PLASTER
(WD-1)	WOOD SIDING
(WD-2)	WOOD GATES
(VEG)	VEGETATION

SCALE: 1/4" AT 24 x 36  
PLOT: 7/10/2021 7:34 AM AM  
DATE:  
SHEET NUMBER  
**A3.01**  
UNIT 1 - PROPOSED ELEVATIONS



UNIT 1 - REAR ELEVATION  
1/4" = 1'-0" 1



UNIT 1 - RIGHT ELEVATION  
1/4" = 1'-0" 2

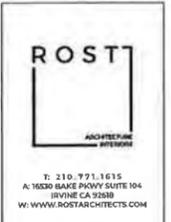
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#	DESCRIPTION
001	PROPERTY LINE
002	REQUIRED BUILDING SETBACK
005	ROUGH GRADE
010	(E) SITE WALL/RETAINING WALL/FOOTING/CAISSON TO REMAIN
011	(N) NEW SITE WALL/RETAINING WALL/FOOTING/CAISSON
019	EXTERIOR HARDSCAPE

MATERIAL LEGEND	
(CON)	CAST-IN-PLACE CONCRETE
(DC)	DECOMPOSED GRANITE
(GL-1)	GLAZING
(MIL-1)	BREAK METAL
(PL-1)	PLASTER
(PL-2)	PLASTER
(WD-1)	WOOD SIDING
(WD-2)	WOOD GATES
(VEG)	VEGETATION

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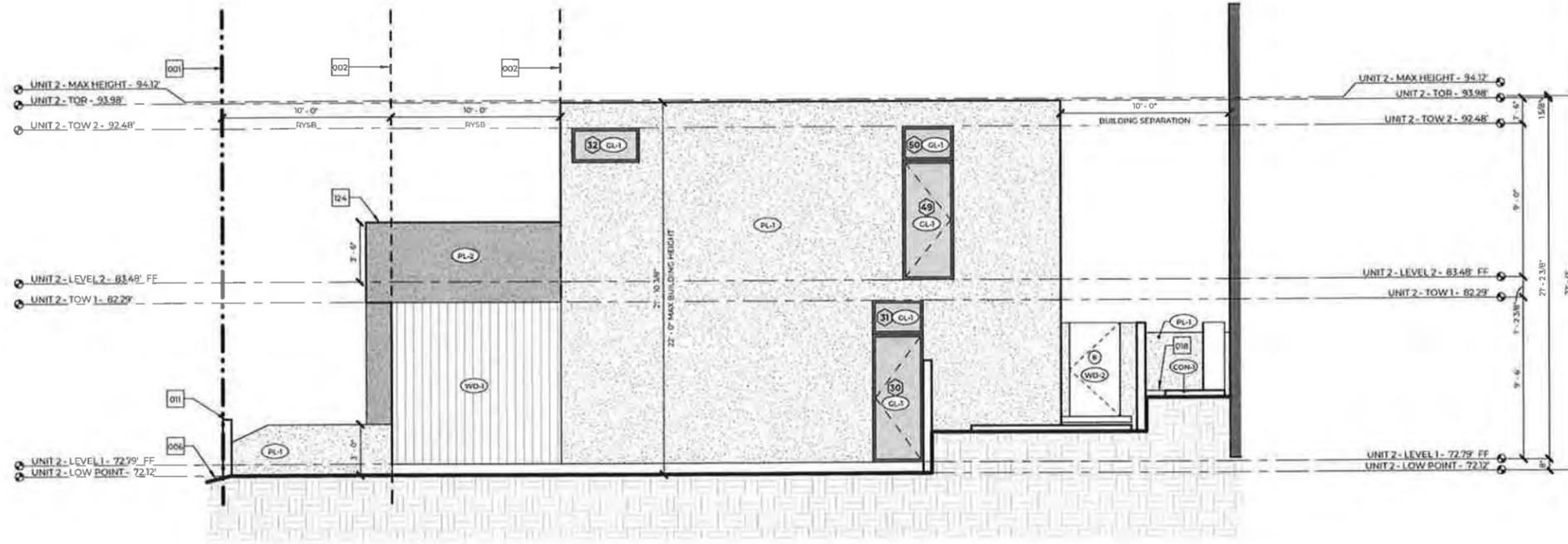
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DATE:  
SHEET NUMBER

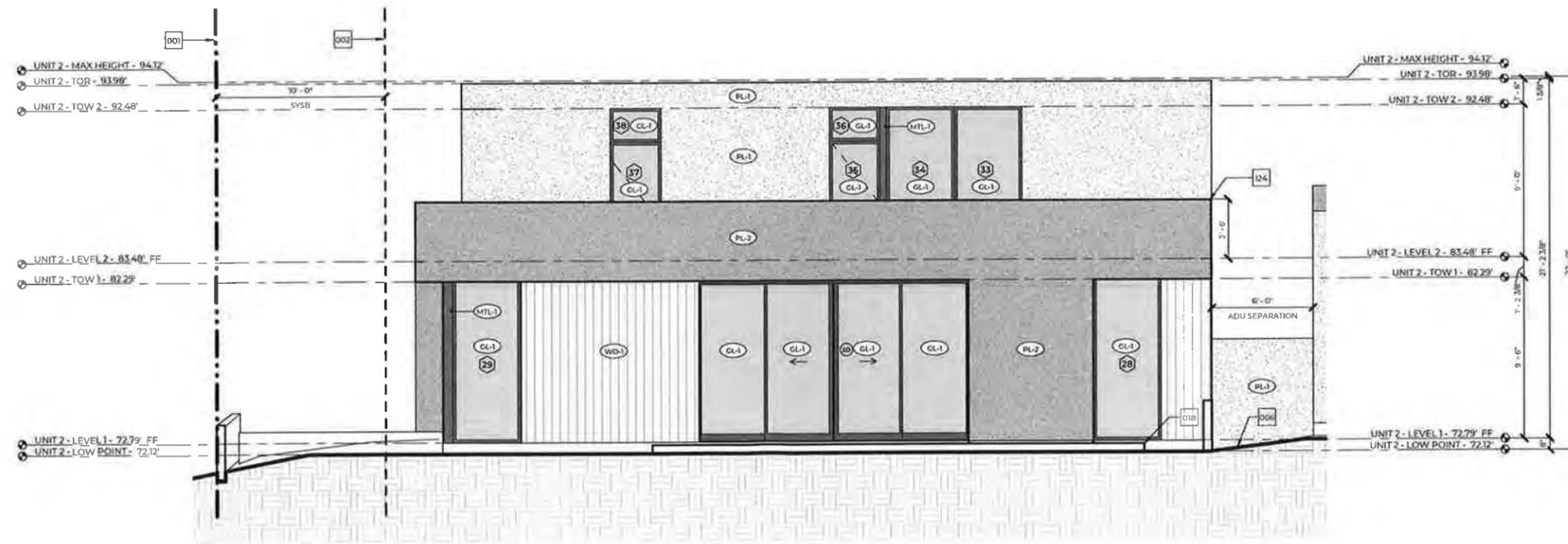
**A3.02**  
UNIT 1 - PROPOSED ELEVATIONS

DRAWING PREPARED BY: JMB





UNIT 2 - REAR ELEVATION  
1/4" = 1'-0" 1



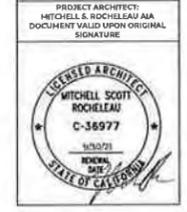
UNIT 2 - RIGHT ELEVATION  
1/4" = 1'-0" 2

KEYNOTES	
#	DESCRIPTION
001	PROPERTY LINE
002	REQUIRED BUILDING SETBACK
006	ROUGH GRADE
011	(N) NEW SITE WALL/RETAINING WALL/FOOTING/CAISSON
018	EXTERIOR HARDSCAPE
124	ROOF PARAPET

MATERIAL LEGEND	
CON	CAST-IN-PLACE CONCRETE
DC	DECOMPOSED GRANITE
GL-1	GLAZING
MTL-1	BREAK METAL
PL-1	PLASTER
PL-2	PLASTER
WD-1	WOOD SIDING
WD-2	WOOD GATES
VEG	VEGETATION

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Costa Mesa, CA 92627

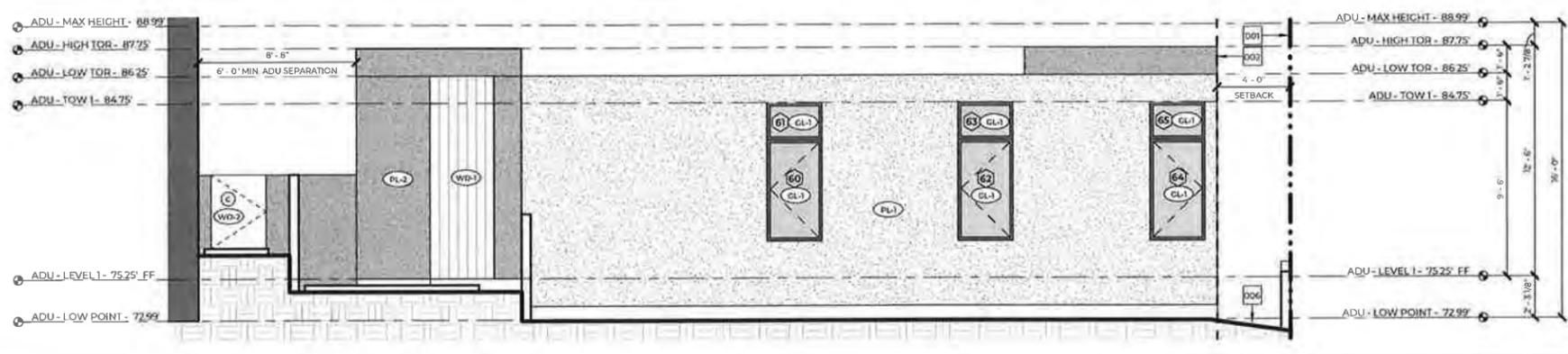


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04/25/2021 - PLNG SUB SET #3

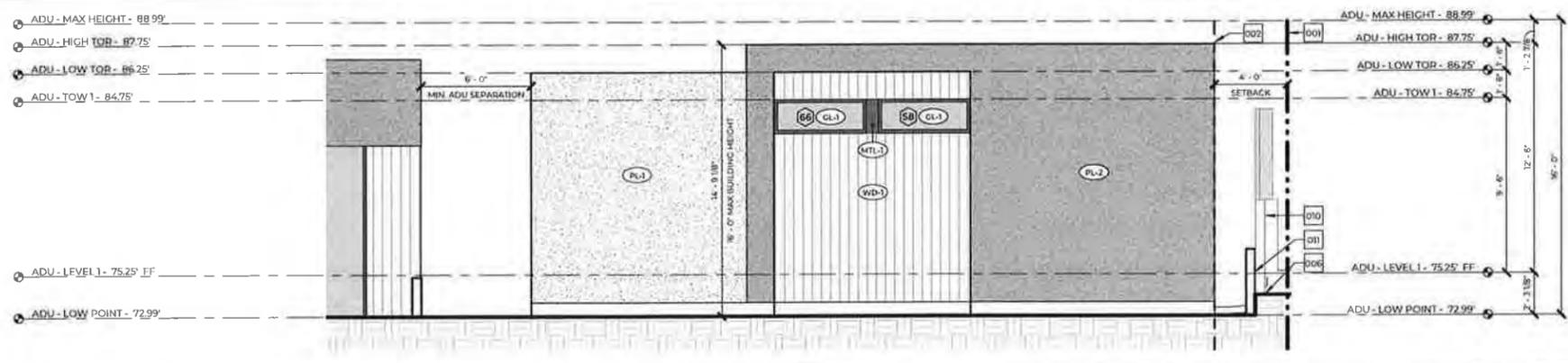
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SHEET NUMBER: A3.04
DRAWING PREPARED BY: UAB
UNIT 2 - PROPOSED ELEVATIONS



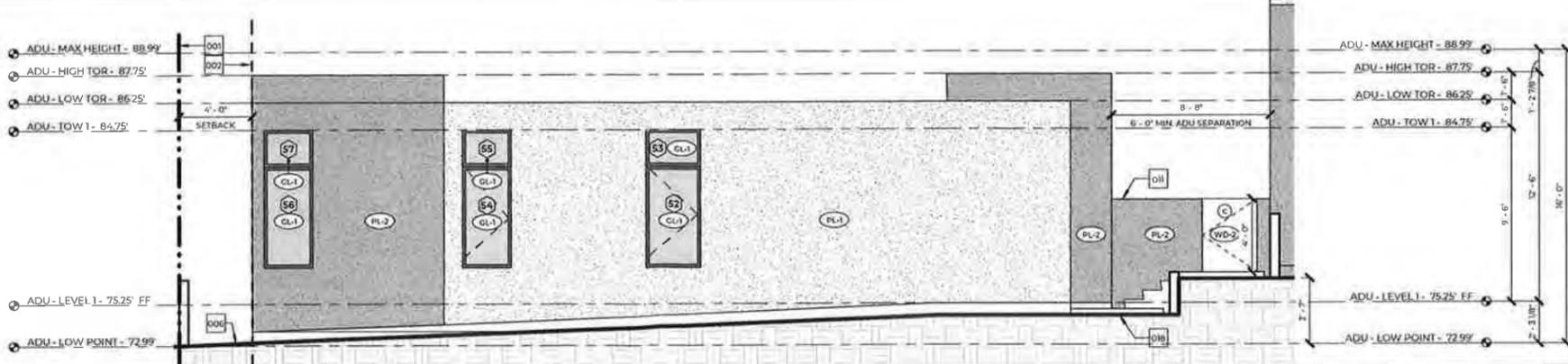
ADU - FRONT ELEVATION  
1/4" = 1'-0" 1



ADU - RIGHT ELEVATION  
1/4" = 1'-0" 2



ADU - REAR ELEVATION  
1/4" = 1'-0" 3



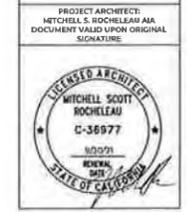
ADU - LEFT ELEVATION  
1/4" = 1'-0" 4

KEYNOTES	
#	DESCRIPTION
001	PROPERTY LINE
002	REQUIRED BUILDING SETBACK
006	ROUGH GRADE
010	(E) SITE WALL/RETAINING WALL/FOOTING/CAISON TO REMAIN
011	(R) NEW SITE WALL/RETAINING WALL/FOOTING/CAISON
018	EXTERIOR HARDSCAPE

MATERIAL LEGEND	
(CON)	CAST-IN-PLACE CONCRETE
(DG)	DECOMPOSED GRANITE
(GL-1)	GLAZING
(MTL-1)	BREAK METAL
(PL-1)	PLASTER
(PL-2)	PLASTER
(WD-1)	WOOD SIDING
(WD-2)	WOOD GATES
(VEG)	VEGETATION

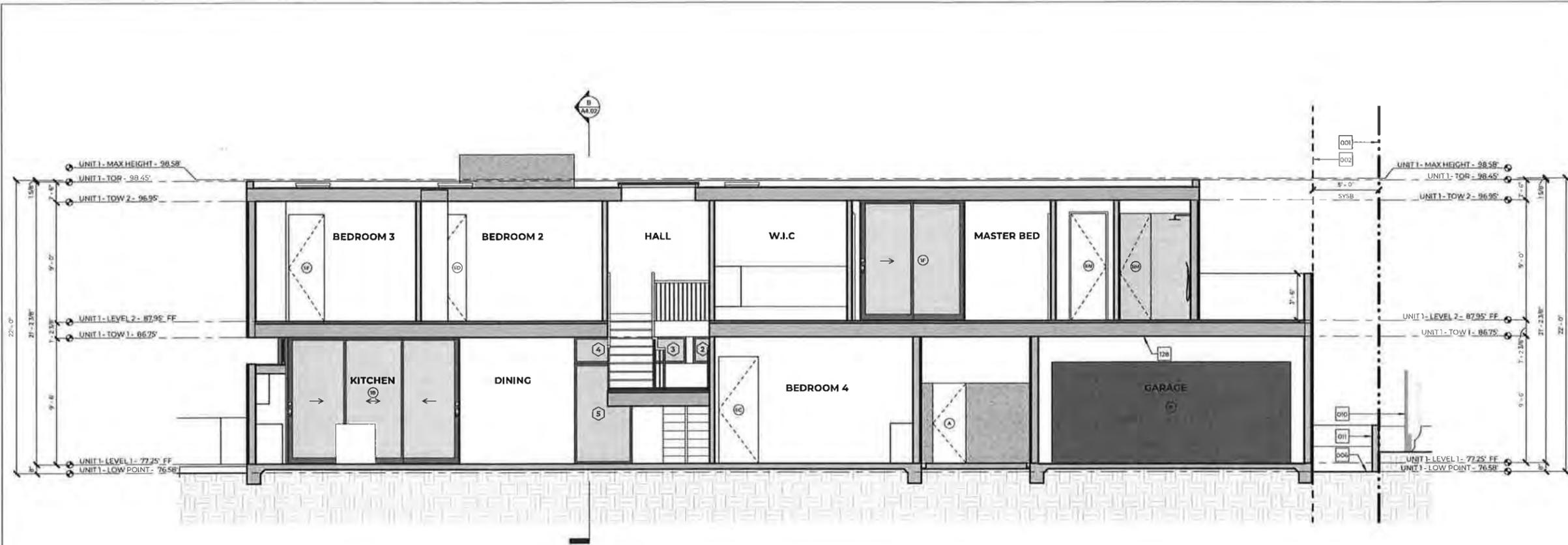
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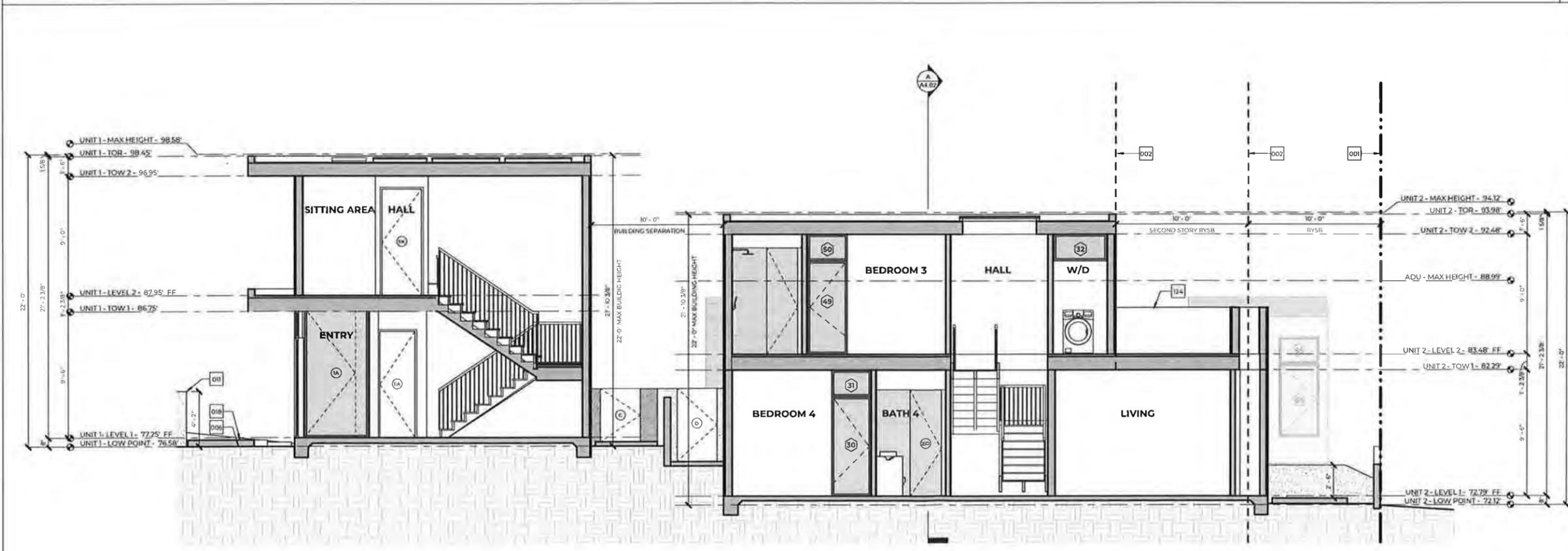


2/6/2020 - PLNG SUB SET #1  
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 04/25/2021 - PLNG SUB SET #3

SCALE 1/4" AT 24 x 36  
 PLOT 7/18/2021 7:34 AM  
 DATE  
 SHEET  
 TITLE  
**A3.05**  
 ADU - PROPOSED ELEVATIONS



UNIT 1 - SECTION A  
1/4" = 1'-0" A



UNIT 1 & UNIT 2 - SECTION B  
1/4" = 1'-0" B

KEYNOTES	
#	DESCRIPTION
001	PROPERTY LINE
002	REQUIRED BUILDING SETBACK
006	ROUGH GRADE
010	(E) SITE WALL/RETAINING WALL/FOOTING/CAISSON TO REMAIN
011	(R) NEW SITE WALL/RETAINING WALL/FOOTING/CAISSON
018	EXTERIOR HARDSCAPE
124	ROOF PARAPET
128	PROVIDE 5/8" TYPE-X GYP BOARD AT WALLS AND CEILING IN GARAGE ADJACENT TO LIVING AREA

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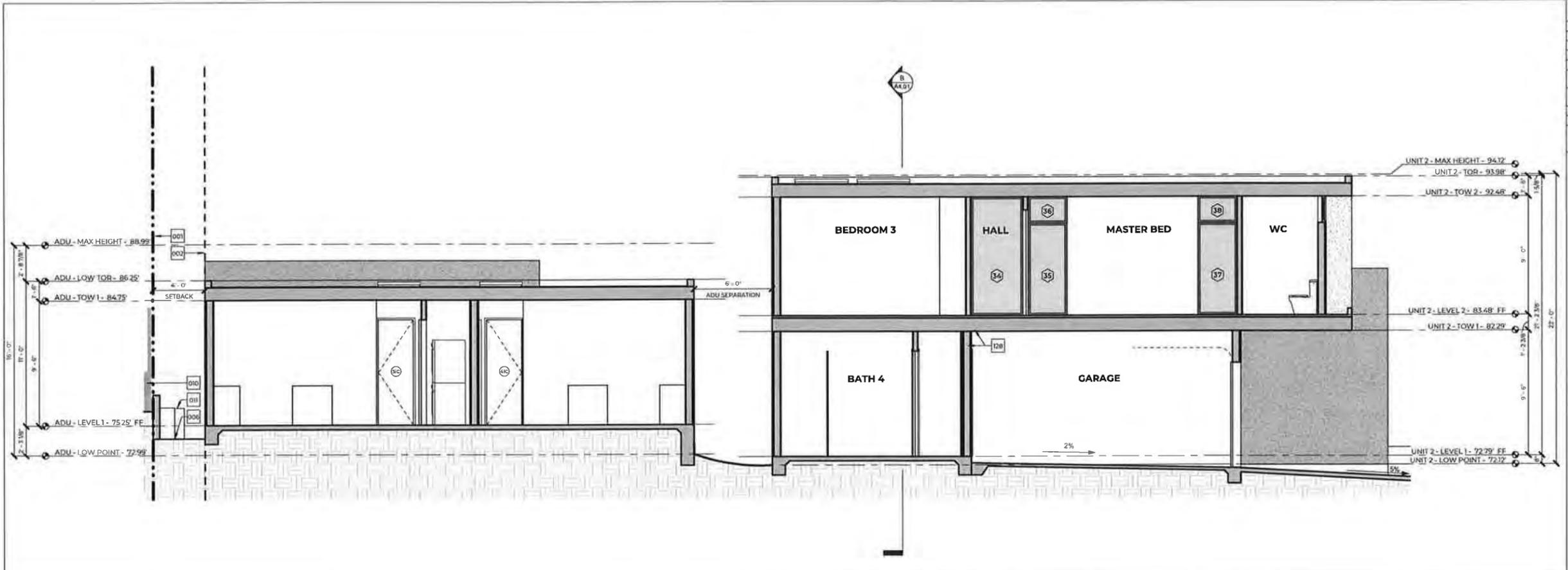
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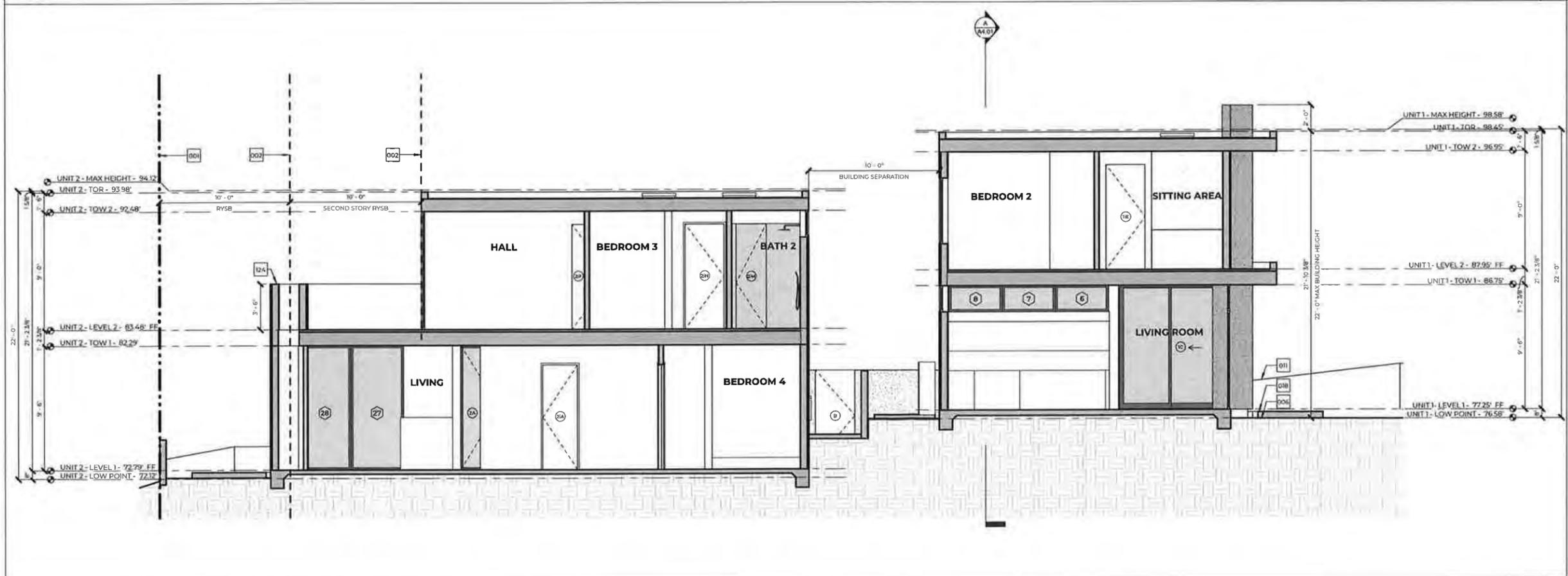
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04/25/2021 - PLNG SUB SET #3

SCALE: 1/4" AT 24 x 36  
PLOT: 7/8/2021 9:34:15 AM  
DATE:  
SHEET NUMBER

A4.01  
UNIT 1 - SECTIONS



ADU & UNIT 2 - SECTION A  
1/4" = 1'-0" A



UNIT 2 & UNIT 1 - SECTION B  
1/4" = 1'-0" B

KEYNOTES	
#	DESCRIPTION
001	PROPERTY LINE
002	REQUIRED BUILDING SETBACK
006	ROUGH GRADE
010	(E) SITE WALL/RETAINING WALL/FOOTING/CAISON TO REMAIN
011	(N) NEW SITE WALL/RETAINING WALL/FOOTING/CAISON
018	EXTERIOR HARDSCAPE
124	ROOF PARAPET
128	PROVIDE 5/8" TYPE-X GYP BOARD AT WALLS AND CEILING IN GARAGE ADJACENT TO LIVING AREA

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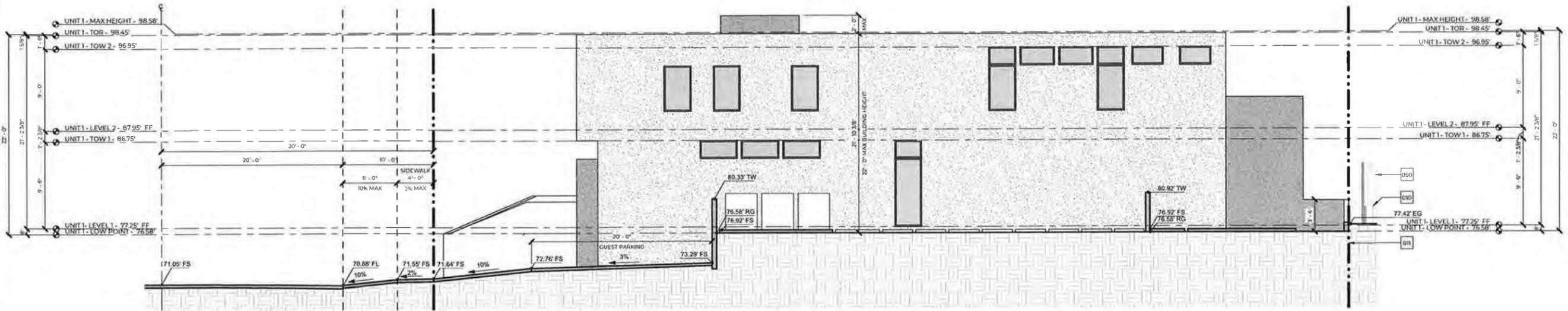


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10/28/2020 - PLNG SUB SET #2
04/05/2021 - PLNG SUB SET #3

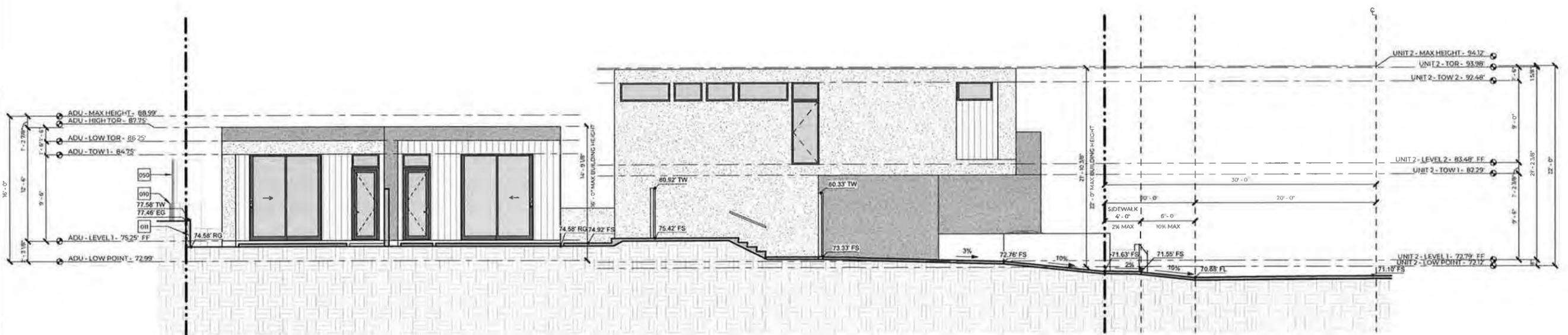
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DATE:
SH-SET NUMBER:
<b>A4.02</b>
UNIT 2 - SECTIONS

KEYNOTES	
#	DESCRIPTION
010	(E) SITE WALL/RETAINING WALL/FOOTING/CAISON TO REMAIN
011	(N) NEW SITE WALL/RETAINING WALL/FOOTING/CAISON
050	(E) WOOD FENCE TO REMAIN

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SITE SECTION - CENTERLINE OF GUEST DRIVEWAY - UNIT 1  
3/16" = 1'-0" 1



SITE SECTION - CENTERLINE OF GUEST DRIVEWAY - UNIT 2 & ADU  
3/16" = 1'-0" 2

**WEST WILSON RESIDENCE**  
1008 West Wilson  
Costa Mesa, CA 92627



T: 216.773.1615  
A: 1630 BARK PROY SUITE 104  
IRVINE CA 92618  
W: WWW.ROSTARCHITECTS.COM

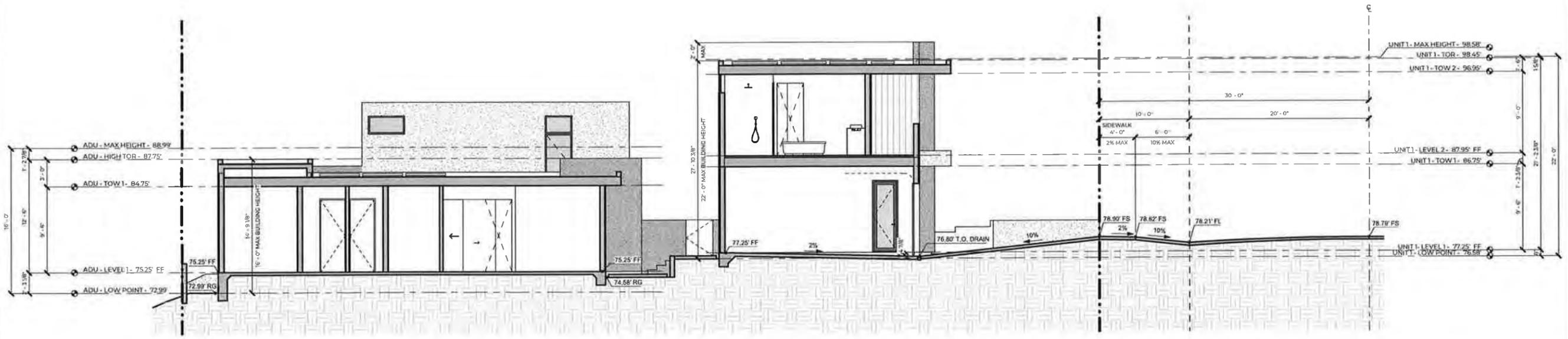
7/6/2020 - PLNG SUB SET #1
10/28/2020 - PLNG SUB SET #2
04/05/2021 - PLNG SUB SET #3

SCALE 1/4" AT 24 x 36
PLOT 7/8/2021 7:34:17 AM
DATE
SHEET NUMBER

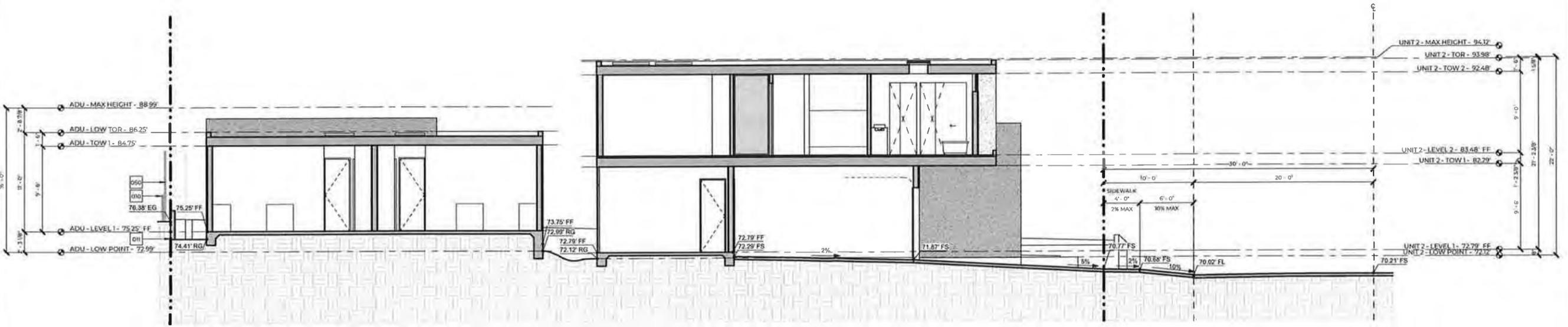
**A4.03**  
SITE SECTIONS

KEYNOTES	
#	DESCRIPTION
010	(E) SITE WALL/RETAINING WALL/FOOTING/CAISSON TO REMAIN
011	(N) NEW SITE WALL/RETAINING WALL/FOOTING/CAISSON
050	(E) WOOD FENCE TO REMAIN

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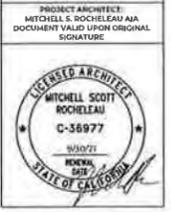


SITE SECTION - CENTERLINE OF UNIT 1 DRIVEWAY  
3/16" = 1'-0" 1



SITE SECTION - CENTERLINE OF UNIT 2 DRIVEWAY  
3/16" = 1'-0" 2

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Costa Mesa, CA 92627

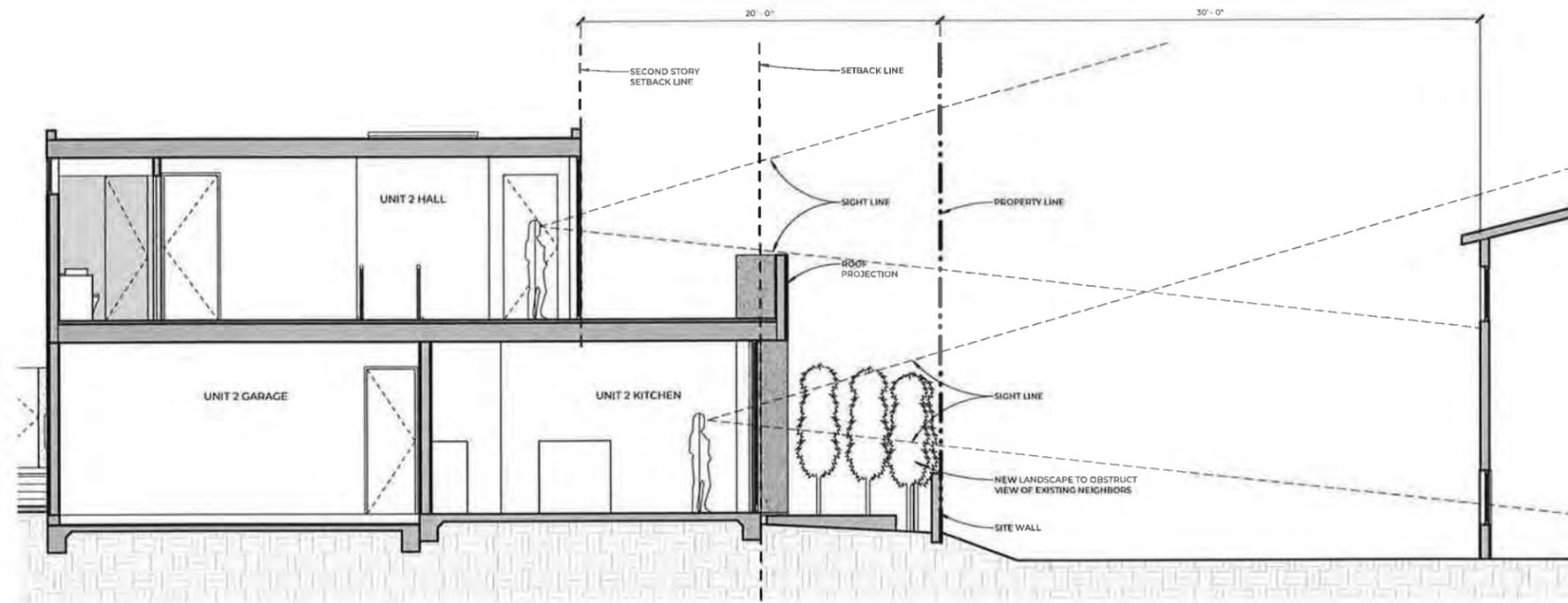


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10/28/2020 - PLNG SUB SET #2  
04/16/2021 - PLNG SUB SET #3

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DATE  
SHEET NUMBER

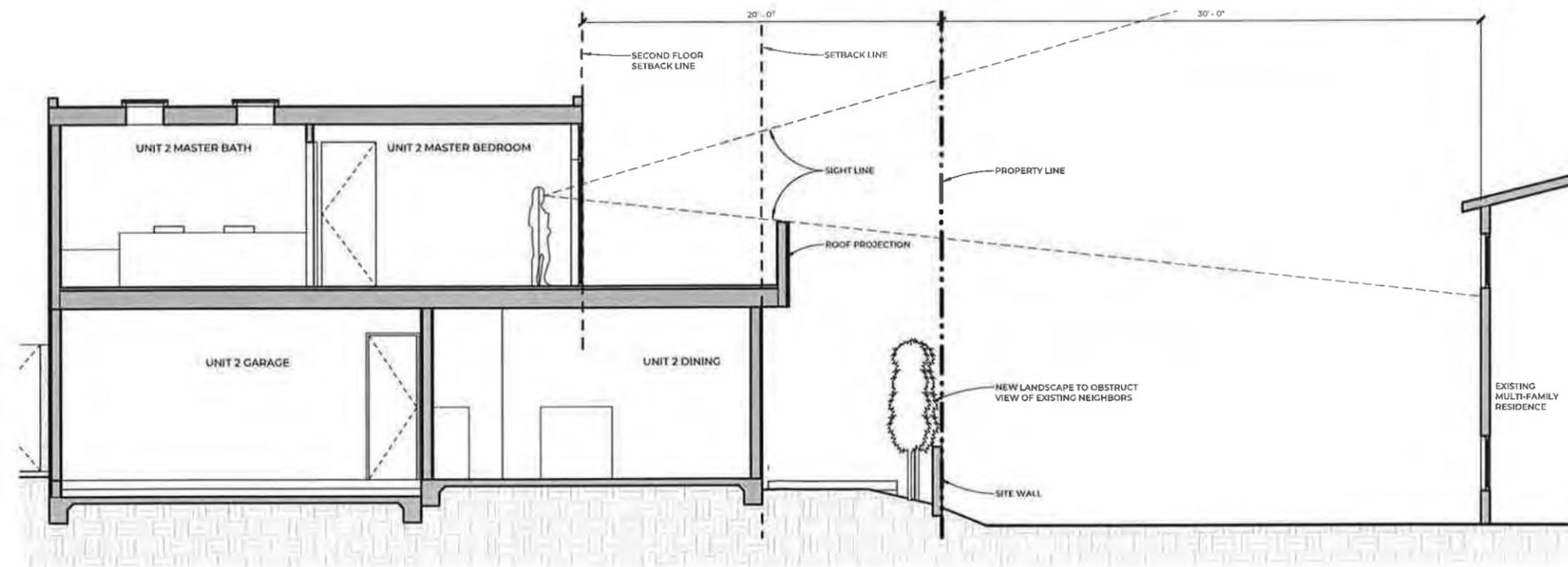
**A4.04**  
SITE SECTIONS

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UNIT 2 HALL & KITCHEN PRIVACY DIAGRAM  
1/4" = 1'-0"

1



UNIT 2 MASTER BEDROOM PRIVACY DIAGRAM  
1/4" = 1'-0"

2

# WEST WILSON RESIDENCE

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Costa Mesa, CA 92627

PROJECT ARCHITECT:  
MITCHELL S. ROCHELEAU AIA  
DOCUMENT VALID UPON ORIGINAL  
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ARCHITECTURE  
INTERIOR

T: 210.771.1615  
A: 1439 BAKE BOY SUITE 104  
IRVINE CA 92618  
W: WWW.ROSTARCHITECTS.COM

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10/28/2020 - PLING SUB SET #2
04/16/2021 - PLING SUB SET #3

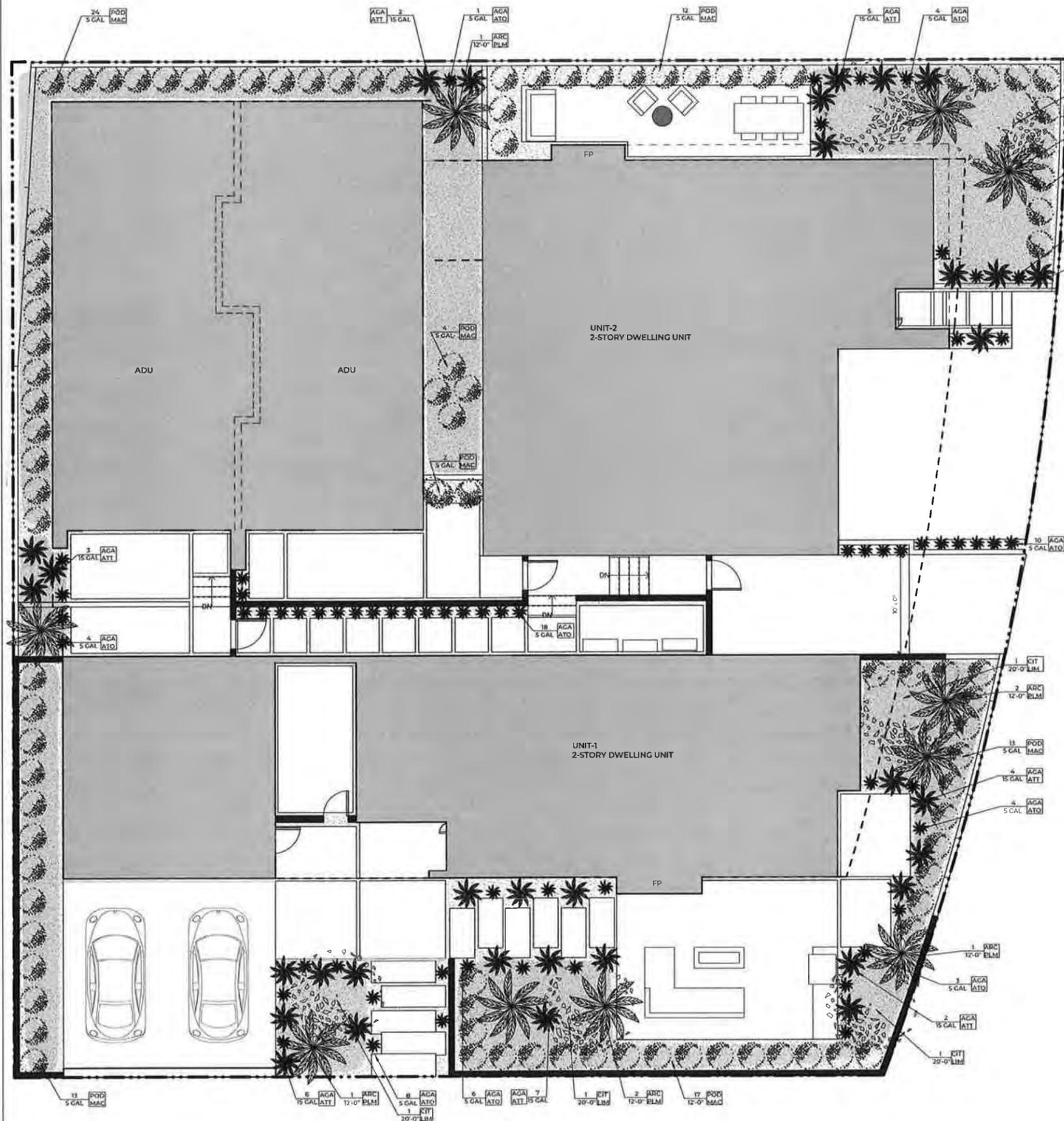
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PLOT: 7/8/2021 7:36:19 AM  
DATE:

SHEET  
NUMBER

**A6.00**

LEVEL 2 PRIVACY DIAGRAM



**TREES**

KEY	SYMBOL	QTY	SIZE	BOTANICAL NAME	COMMON NAME
ARC PLM		10	12' HT	ARCHONTOPHOENIX ALEXANDRAE	KING PALM
CIT LIM		6	20' HT	CITRUS X LIMON	CITRUS TREE

**SHRUBS & SUCCULENTS**

KEY	SYMBOL	QTY	SIZE	BOTANICAL NAME	COMMON NAME
AGA ATT		33	15 GAL	ACAWE ATTENUATA	FOXTAIL AGAVE
AGA ATO		63	5 GAL	A. ATTENUATA X A. OCALHII	BLUE GLOW
POD MAC		94	5 GAL	PODOCARPUS MACROPHYLLUS	PODOCARPUS

**GROUND COVER / PEBBLES**

KEY	SYMBOL	QTY	SIZE	BOTANICAL NAME	COMMON NAME
DG		2,197 SF	PER MFG	N/A	DECOMPOSED GRANITE
SEN SUR		1,609 SF		SENECIO SERPENS	BLUE CHALKSTICKS

**LANDSCAPE CALCULATIONS**

TYPE	REQUIREMENT (PER CMMC 13.105)	REQUIRED	PROVIDED
SHRUBS	1/25 SF OPEN SPACE	4,697 SF OPEN SPACE	188
TREES	1/200 SF LANDSCAPED AREA	2,197 SF LANDSCAPED AREA	11 (2 PALMS = 1 TREE)
PLANTED GROUND COVER	70% OF LANDSCAPED AREA	2,197 SF LANDSCAPED AREA	1,538 SF

**LANDSCAPE PLANTING NOTES**

- ALL EXISTING TREES AND VEGETATION OUTSIDE LIMIT OF WORK WILL REMAIN. CONTRACTOR IS RESPONSIBLE FOR HEALTH OF ALL VEGETATION THAT IS TO REMAIN DURING CONSTRUCTION AND THE PLANT ESTABLISHMENT PERIOD.
- ALL PLANTS TO BE NURSERY GROWN AND TO CONFORM TO THE CALIFORNIA STANDARD GRADING CODE OF NURSERY STOCK.
- CONTRACTOR TO PROVIDE ALLOWANCE FOR 10% MORE PLANTS THAN SPECIFIED. ACTUAL QUANTITIES TO BE DETERMINED BY LANDSCAPE DESIGNER.
- QUANTITIES GIVEN FOR PLANT MATERIALS SPECIFIED FOR "ON CENTER" SPACING ARE SHOWN FOR CONVENIENCE ONLY AND ARE SUBORDINATE TO THE SPACING GIVEN. VERIFY AND SUPPLY SUFFICIENT NUMBER OF PLANTS TO FULFILL SPACING REQUIREMENTS.
- CONTRACTOR SHALL INSTALL PLANT MATERIAL IN ACCORDANCE WITH THE SPECIFICATIONS, DRAWINGS, AND DETAILS.
- LANDSCAPE DESIGNER SHALL SPOT LOCATION OF ALL PLANT MATERIAL PRIOR TO PLANTING. CONTRACTOR SHALL NOTIFY LANDSCAPE DESIGNER IN ADVANCE TO ALLOW SUFFICIENT TIME FOR SCHEDULING.
- CONTRACTOR TO LOCATE EXISTING UNDERGROUND UTILITY LOCATIONS PRIOR TO ANY TREE PIT OR PLANTING EXCAVATIONS.
- TREES SHALL BE IN PLACE PRIOR TO INSTALLATION OF DRAIN LINE. DRAIN LINE PLACEMENT SHALL BE ADJUSTED AS NECESSARY AROUND TREES.
- TREE PITS SHALL BE APPROXIMATELY TWO TIME AS WIDE AS FOOTBALL. SIDES OF TREE PITS TO SLOPE INWARD AND TO BE SCARIFIED. BOTTOM OF TREE PIT TO BE RAISED AND FILLED WITH FOUR-INCHES (4") MINIMUM LAYER OF GRAVEL.
- ANY TREE 48" OR LARGER BOX SIZE SHALL BE INSTALLED USING A CRANE. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, AND LICENSES INVOLVED IN THE CRANE USE AND INSTALLATION.
- FINISH GRADE OF ALL PLANTING AREAS SHALL BE ONE AND A HALF INCHES BELOW ADJACENT CURBS, PAVEMENT OR HEADERS.
- ALL HEADERS AND ROOT BARRIERS SHALL BE LOCATED BY THE LANDSCAPE DESIGNER ON SITE.
- CONTRACTOR SHALL PROVIDE ROOT BARRIERS FOR ALL TREES WITHIN FIVE FEET (5') OF PAVING.
- ALL PLANTING AREAS WITHOUT HEADERS TO HAVE SHOVEL CUT EDGES.
- ALL STEPPING STONE PAVERS SHALL BE LOCATED BY THE LANDSCAPE DESIGNER ON SITE.
- CONTRACTOR SHALL PROVIDE TWO-INCH (2") LAYER OF ORGANIC MULCH IN ALL PLANTING AREAS. SEE SPECIFICATIONS.
- CONTRACTOR SHALL PROVIDE A MAINTENANCE PERIOD OF NOT LESS THAN 90 DAYS COMMENCING AT THE DATE OF FINAL ACCEPTANCE. SUCH MAINTENANCE SHALL INCLUDE ALL CARE PERTAINING TO ALL WORK INSTALLED AS PART OF THESE CONTRACT DOCUMENTS.

WEST WILSON RESIDENCE  
1008 West Wilson  
Costa Mesa, CA 92627

PROJECT ARCHITECT  
MITCHELL S. ROCHELEAU AIA  
DOCUMENT VALID UPON ORIGINAL SIGNATURE

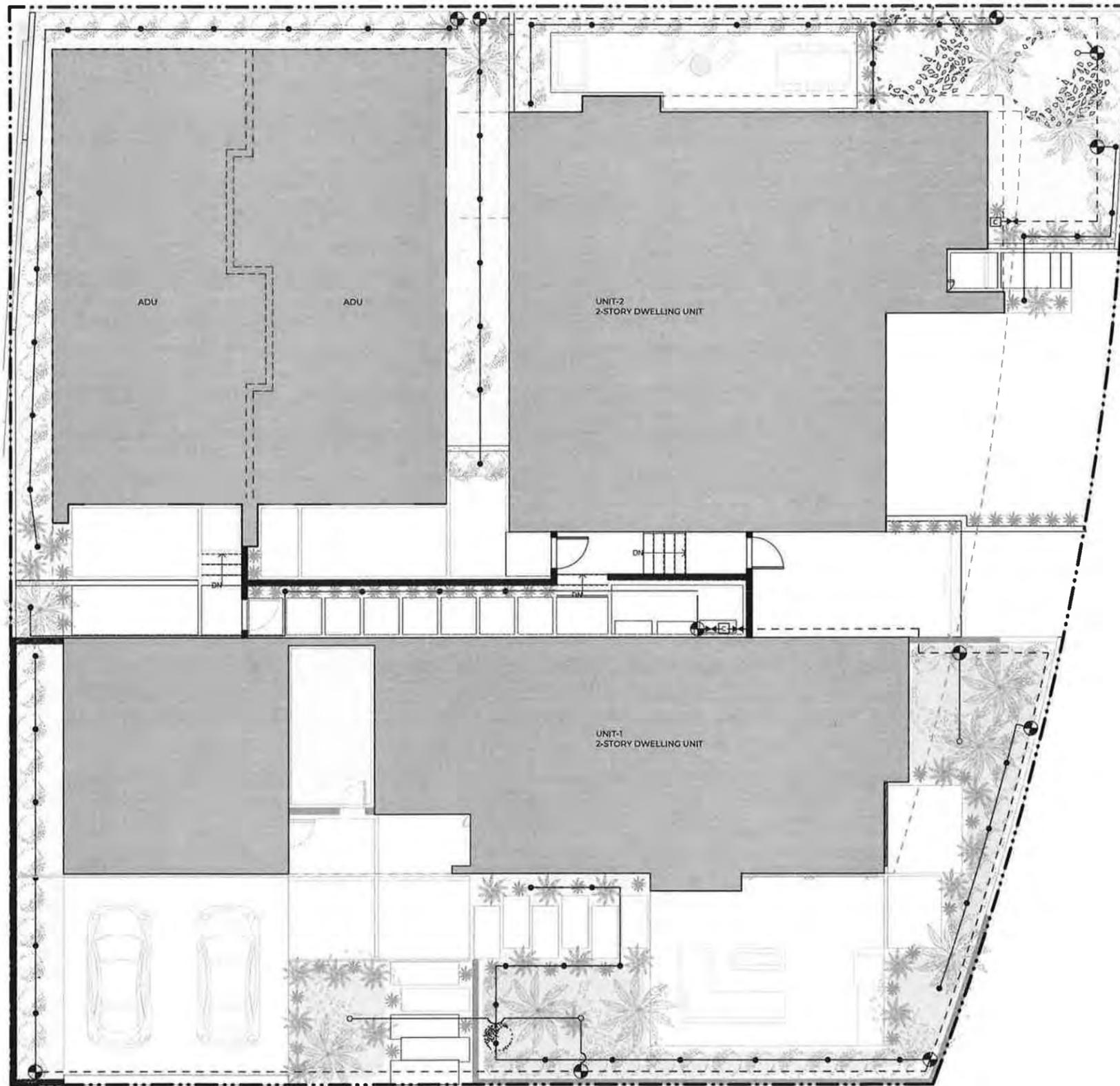
**ROST**  
ARCHITECTURE  
P.L.L.C.

7/19/2020 - PLNG SUB SET #1  
10/28/2020 - PLNG SUB SET #2  
04/15/2021 - PLNG SUB SET #3

SCALE: 1/4" = 1'-0"  
FILED: 7/10/2021 1:38:28 AM  
DATE: 04/15/2021  
SHEET NUMBER: L-1

CONCEPTUAL LANDSCAPE PLAN

CONCEPTUAL LANDSCAPE PLAN  
3/16" = 1'-0" 1



**IRRIGATION NOTES**

- MAIN LINES AND LATERALS SHALL BE SLEEVED UNDER ALL DRIVEWAYS AND WALKWAYS
- IRRIGATION PLAN SHOWN FOR GENERAL CONCEPT AND ZONES ONLY. VERIFY LINE SIZE, PRESSURE, EQUIPMENT AND LOCATIONS WITH LICENSED INSTALLER / LANDSCAPE ARCHITECT

SCOTT ARCHITECTS EXPRESSLY RESERVES COPYRIGHT AND ALL OTHER RIGHTS IN THESE DRAWINGS. THESE DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF SCOTT ARCHITECTS.

**WEST WILSON RESIDENCE**  
 1008 West Wilson  
 Costa Mesa, CA 92627



7/6/2020 - PLNG SUB SET #1
10/28/2020 - PLNG SUB SET #2
04/15/2021 - PLNG SUB SET #3

**LOW FLOW EMISSION DEVICES**

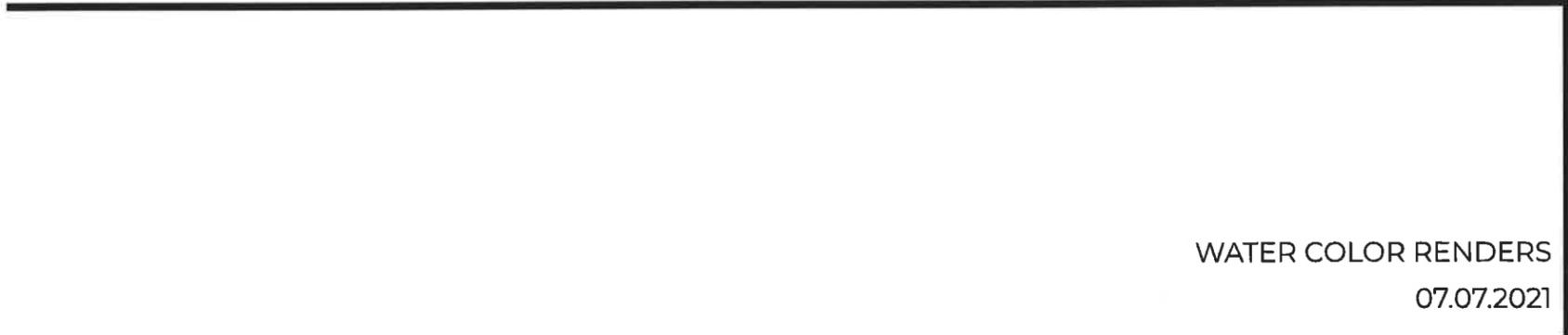
- RAIN BIRD SPRINKLER
- RAIN BIRD DRIP IRRIGATION

**EQUIPMENT LEGEND**

- RV REMOTE CONTROL VALVE
- GV GATE VALVE
- C RAIN BIRD SMART CONTROLLER
- MAINLINE PVC SCH 40
- LATERAL LINE PVC SCH 40

SCALE: 1/4" AT 24'x36'
PLOT DATE: 7/8/2021 7:34:25 AM
SHEET NUMBER: <b>L-2</b>
CONCEPTUAL IRRIGATION PLAN

1008 WEST WILSON ST.



WATER COLOR RENDERS  
07.07.2021





This conceptual design is based upon a preliminary review of entitlement requirements and on unspecified and possibly incomplete site and/or building information, and is intended merely to assist in exploring how the project might be developed.

VIEW OF UNIT 1 FROM WILSON ST.

NEW CONSTRUCTION  
1008 WEST WILSON ST., COSTA MESA, CA 92627  
07.07.2021





This conceptual design is based upon a preliminary review of entitlement requirements and on unverified and possibly incomplete site and/or building information, and is intended merely to assist in exploring how the project might be developed.

VIEW OF UNIT 1 FROM WILSON ST.

NEW CONSTRUCTION  
1008 WEST WILSON ST., COSTA MESA, CA 92627  
07.07.2021





This conceptual design is based upon a preliminary review of entitlement requirements and on unverified and possibly incomplete site and/or building information, and is intended merely to assist in exploring how the project might be developed.

VIEW OF UNIT 1 & 2 FROM CANYON DR.

NEW CONSTRUCTION  
1008 WEST WILSON ST., COSTA MESA, CA 92627  
07.07.2021





This conceptual design is based upon a preliminary review of entitlement requirements and on unverified and possibly incomplete site and/or building information, and is intended merely to assist in exploring how the project might be developed.

VIEW OF UNIT 1 FROM CANYON DR.

NEW CONSTRUCTION

1008 WEST WILSON ST., COSTA MESA, CA 92627

07.07.2021

