



CITY OF COSTA MESA

P.O. BOX 1200 • 77 FAIR DRIVE • CALIFORNIA 92628-1200

ECONOMIC AND DEVELOPMENT SERVICES DEPARTMENT – PLANNING DIVISION

August 12, 2022

Studio+ Architecture (Jason Dontje)
20250 SW Acacia, Suite 100
Newport Beach, CA 92660

**RE: DEVELOPMENT REVIEW 22-01 (PA-10-21 A1)
MINOR AMENDMENT TO MASTER PLAN PA-10-21 FOR THE ADDITION OF AN 800-
SQUARE-FOOT MODULAR CLASSROOM BUILDING AT 2350 CANYON DRIVE,
COSTA MESA**

Dear Mr. Dontje:

The Development Review (Minor Amendment to Master Plan), as described in the attached project description, has been approved, based on the required Costa Mesa Municipal Code (CMMC) review criteria and subject to conditions of approval (attached). The decision will become final at 5 PM on August 19, 2022 unless appealed by an affected party (including filing of the necessary application and payment of the appropriate appeal fee) or is called up for review by a member of the City Council. Any appeal must be filed within seven (7) days of the above approval date by 5 PM, pursuant to CMMC Sections 2-305(2) and 2-307.

If you have any questions regarding this letter, please feel free to contact the project planner, Justin Arios, at 714.754.5667, or at justin.arios@costamesaca.gov.

Sincerely,

Jennifer Le
Director of Economic and Development Services

cc: Newport-Mesa Unified School District
2350 Canyon Drive
Costa Mesa, CA 92626

Engineering
Fire Marshal
Building Division

PROJECT DESCRIPTION

Project Site / Environs

The project site is located at the terminus of Canyon Drive. The site is zoned Institutional & Recreational (I&R), and has a General Plan land use designation of Public/Institutional. The site is adjacent to Fairview Park to the west and north (zoned I&R), Estancia High School to the east (zoned I&R), and residential neighborhoods to the south (zoned R1 & R2-MD).

The project site is approximately 10 acres in size and is developed with the existing campus for Waldorf School consisting of several existing classrooms, administration and gymnasium buildings, on-site parking, athletic fields, paved courts and playgrounds. The site is the former location of Parsons School, which is being leased by the Newport Mesa Unified School District to the Waldorf School since 1998. Waldorf School is a non-profit private school for pre-kindergarten through high school students, which provides a comprehensive academic, artistic, and physical education curriculum.

Proposed Project

As described in the applicant letter, the proposed project is for the installation of a new, 800-square-foot modular structure building to be used as a nursery classroom. The classroom would be improved with utilities including power, communication, water and sewer utilities; and as described in the applicant letter, would be finished on the exterior and interior. In addition, the building design has been reviewed and approved by the California Department of Housing and Community Development (HCD). The State HCD, specifically the Manufactured Housing Program, oversees alterations of existing manufactured homes, and the construction and alteration of commercial modular buildings and multifamily manufactured homes.

Discretionary Approval Required / Prior Land Use Approvals

Government Code Section 53091 requires that school districts comply with the City zoning and building ordinances. The school district, however, may choose to exempt themselves from the City ordinances with a two-thirds vote of the school board pursuant to Government Code Section 53094. In this case, the project site is being utilized by a private entity (Waldorf School) through a joint use agreement. State Law does not expressly exempt private projects on school grounds from the City's zoning regulations. Because the School Board has not taken action to exempt this project from the City's discretionary review process, a minor amendment to the existing Master Plan is required.

On November 15, 2010, the Planning Commission approved a Master Plan for the expansion of the Waldorf School, including new classrooms, a meeting hall, administrative buildings and other related site improvements. The Planning Commission report and meeting minutes can be found in the links below:

Staff Report:

<http://ftp.costamesaca.gov/costamesaca/planningcommission/agenda/2010/2010-11-15/111510PA1021.pdf>

Minutes:

<https://www.costamesaca.gov/home/showpublisheddocument/4331/636490563866670000>

The applicant is requesting approval for a minor amendment to the approved Master Plan for the school, for the addition of an additional modular structure onsite for the proposed nursery classroom. CMMC Section 13-28(g)(3)(b) describes the process for proposed minor amendments to existing master plans in the TC, C1-S, MU, I&R, I&R-S, and I&R-MLT zones. Per the CMMC, a “minor amendment” may be approved through the “development review” process if the Planning Division finds that the proposed construction does not materially affect required open space, floor area ratio, and parking requirements specified in the approved master plan. A planning application summary for the proposed project is provided at the end of this report.

ANALYSIS

Use

The proposed project involves the installation of a new, 800-square-foot modular structure building to be used as a nursery classroom. The Waldorf School currently offers pre-kindergarten programs and the proposed building will serve existing programs with no expansion of use proposed.

Compliance with Development Standards

The project and development is consistent with the Zoning Code and exhibits excellence in design, site planning, integration of uses and structures, and the protection of neighboring development. The project complies with development standards in the I&R zone, as shown in planning application summary at the end of this report. The project complies with setback requirements (no changes to existing building setbacks is proposed), building height (4 stories permitted, 1-story modular building proposed), and there is no open space requirement in the I&R zone. The proposed modular unit will be located in an area that already contains classroom uses, will not be expanding into open space areas, and the design is consistent with other site structures. Furthermore, the proposed buildings provide adequate separation and are located more than 600 feet from the property line that separates residentially zoned properties to the south.

FAR

The property is 435,600 SF (approximately 10 acres). The allowable FAR based on the land use and traffic level is 0.25. With the additional 800 SF building, the total site floor area is 39,353 SF, and therefore the total proposed building area onsite would be

considerably less than the maximum allowable floor area ratio (FAR) permitted by Code for the former Parsons school property (0.25 FAR allowed; 0.09 FAR proposed).

Parking

With regard to parking, the Zoning Code does not provide an on-site parking requirement for private schools, as these are determined on a case-by-case basis, based on the school's operations. As described in CMMC Section 13-90 (Parking for uses not specified), the parking requirement for uses not specified in Table 13-89 shall be determined by the Planning Division, and shall be based upon the requirements for the most comparable use specified in this chapter or other appropriate sources. One parking space per staff member has been provided for similar schools in the City. There is no increase in staff or student enrollment proposed for the project, and therefore no change in parking demand is anticipated. Furthermore, the project has been conditioned so that if parking problems arise, the school shall institute appropriate operational measures necessary to minimize or eliminate the problem including, but not limited to, reducing the number of staff members on-site.

Review Criteria

Pursuant to CMMC Section 13-29, a project subject to Development Review is considered a Planning application and shall be reviewed by the following criteria:

A compatible and harmonious relationship between the proposed building and site development, and use(s), and the building and site developments, and uses that exist or have been approved for the general neighborhood.

The proposed project is compatible and harmonious with the existing development and the general neighborhood in that the development review application includes a minor amendment to the approved Master Plan to allow a new 800-square-foot modular building to be used as a nursery classroom. The project is also in compliance with the CMMC applicable development standards, including required setbacks, floor area ratio (FAR), landscaping and parking. Furthermore, conditions of approval have been included to ensure the use is conducted in a manner that will allow the quiet enjoyment of the surrounding neighborhood. Lastly, the new building is not proposed near residential.

The project shall include safety and compatibility of the design of buildings, parking area, landscaping, luminaries and other site features which may include functional aspects of the site development such as automobile and pedestrian circulation.

The overall site's use, design, and circulation will not be changing with the addition of this structure. The building's use, aesthetic, and construction type are consistent with other buildings/structures existing on the campus. There are at least five other similar containers onsite currently, parking areas and circulation (pedestrian and

automobile) are not proposed to be modified, and the majority of the existing campus will remain unchanged. Furthermore, the project has been conditioned so that if parking problems arise, the school shall institute appropriate operational measures necessary to minimize or eliminate the problem.

The project shall comply with performance standards as prescribed in the Costa Mesa Zoning Code.

The project has been reviewed for compliance with the CMMC and specifically the City's Zoning Code and found to be in compliance. A planning application summary for the proposed project is provided with this report. The proposed building will not alter the intensity of the use onsite and complies with all development standards.

The project shall be consistent with the City's General Plan and any applicable specific plans.

The Costa Mesa General Plan establishes the long-range planning and policy direction that guides change and preserves the qualities that define the community. The 2015-2035 General Plan sets forth the vision for Costa Mesa for the next two decades. This vision focuses on protecting and enhancing Costa Mesa's diverse residential neighborhoods, accommodating an array of businesses that both serve local needs and attract regional and international spending, and continuing to provide cultural, educational, social, and recreational amenities that contribute to the quality of life in the community. Over the long term, General Plan implementation will ensure that development decisions and improvements to public and private infrastructure are consistent with the goals, objectives and policies contained in this Plan.

The project is not located within a specific plan area and the following analysis evaluates the proposed project's consistency with applicable policies and objectives of the 2015-2035 General Plan.

1. **Policy LU-3.1:** *Protect existing stabilized residential neighborhoods, including mobile home parks (and manufactured housing parks), from the encroachment of incompatible or potentially disruptive land uses and/or activities.*

Consistency: The project proposes no increase in staff or student enrollment. The proposed building is located to provide adequate separation from the nearest residentially zoned properties. Existing residential neighborhoods are protected from the proposed project because the proposed building is set back more than 600 feet from the property line separating residentially zoned properties to the south.

2. **Policy OSR-1.15:** *Continue to pursue opportunities to create joint-use community space at facilities owned by private organizations such as private schools, faith-based groups, service clubs, and hospitals.*

Consistency: As noted in the Open Space and Recreation Element of the City's General Plan, school sites are recognized as neighborhood parks and recreation facilities for purposes of determining the amount of public open space that is needed for use by the community. The total existing and proposed building area are considerably less than the maximum allowable floor area ratio (FAR) permitted by Code (0.25 FAR allowed; 0.09 FAR proposed).

ENVIRONMENTAL DETERMINATION

The project is categorically exempt from the provisions of CEQA pursuant to CEQA Guidelines Section 15314 for minor additions to existing schools. This exemption applies to minor additions to existing schools within existing school grounds where the addition does not increase original student capacity by more than 25-percent or ten classrooms, whichever is less. The addition of portable classrooms is included in this exemption and the building will not increase student capacity and is less than ten classrooms. The project is consistent with the applicable General Plan designation and all applicable General Plan policies as well as with applicable zoning designation and regulations.

FINDINGS

- A. The information presented complies with Costa Mesa Municipal Code Section 13-29(g)(5) in that:

Finding: The master plan meets the broader goals of the general plan, any applicable specific plan, and the Zoning Code by exhibiting excellence in design, site planning, integration of uses and structures and protection of the integrity of neighboring development.

Facts in Support of Finding: The proposed project meets the broader goals of the general plan, as discussed in the report. In addition, the project and development is consistent with the Zoning Code and exhibits excellence in design, site planning, integration of uses and structures and the protection of neighboring development. The project is of excellent design consistent with other buildings/structures existing on the campus. The proposed project demonstrates good site planning and integrates the new modular classroom building seamlessly with the existing structures on the campus by locating the proposed classroom in an area that already contains classroom buildings, and does not expand the footprint of the campus. The proposed project protects neighboring developments by proposing the new modular classroom building in a location that is furthest away from residential uses/developments.

Two additional Master Plan findings are provided in CMMC Section 13-29(g)(5), however those findings are not applicable to this project since the project is not a mixed-use development project and also is not an affordable multi-family housing development project.

- B. The project is exempt from Chapter XII, Article 3, Transportation System Management, of Title 13 of the Costa Mesa Municipal Code.

CONDITIONS OF APPROVAL

- Plng.
1. The use shall be limited to the type of operation described in this staff report and original Master Plan approval. Any change in the operational characteristics including, but not limited to, increase in student enrollment or staffing; will require approval of an amendment to the master plan.
 2. The conditions of approval and code requirements from the original approval under Planning Application 10-21 shall remain in effect.
 3. The use shall be conducted, at all times, in a manner that will allow the quiet enjoyment of the surrounding neighborhood. The applicant and/or operator shall institute whatever security and operational measures are necessary to comply with this requirement.
 4. If parking problems arise, the school shall institute appropriate operational measures necessary to minimize or eliminate the problem including, but not limited to, reducing the operating hours of the business.
 5. A copy of the conditions of approval for the minor conditional use permit must be kept on premises and presented to any authorized City official upon request. New business/property owners shall be notified of conditions of approval upon transfer of business or ownership of land.
 6. The developer shall contact the Planning Division to arrange a Planning inspection of the site. This inspection is to confirm that the conditions of approval and code requirements have been satisfied.
 7. Applicant shall defend, indemnify and hold harmless the City, its officials and employees, against all legal actions filed challenging City's approval of the applicant's project and/or challenging any related City actions supporting the approval. City shall have the right to select the attorney defending it, if it elects to do so.
 8. If any section, division, sentence, clause, phrase or portion of this approval is for any reason held to be invalid or unconstitutional by a decision of any court of competent jurisdiction, such decision shall not affect the validity of the remaining provisions.
- Bldg.
9. Prior to issuing the Building permit, the conditions of approval shall be on the approved Architectural plans.

CODE REQUIREMENTS

The following list of federal, state, and local laws applicable to the project has been compiled by staff for the applicant's reference. Any reference to "City" pertains to the City of Costa Mesa.

- Plng.
1. Approval of the planning/zoning application is valid for two (2) years from the effective date of this approval and will expire at the end of that period unless applicant establishes the use by one of the following actions: 1) a building

permit has been issued and construction has commenced, and a valid building permit has been maintained by making satisfactory progress as determined by the Building Official; 2) a certificate of occupancy has been issued; or 3) the use has been established and a business license has been issued. A time extension can be requested no less than thirty (30) days or more than sixty (60) days before the expiration date of the permit and submitted with the appropriate fee for review to the Planning Division. The Director of Development Services may extend the time for an approved permit or approval to be exercised up to 180 days subject to specific findings listed in Title 13, Section 13-29 (k) (6). Only one request for an extension of 180 days may be approved by the Director. Any subsequent extension requests shall be considered by the original approval authority.

2. Permits shall be obtained for all signs according to the provisions of the Costa Mesa Sign Ordinance.
 3. Development shall comply with all requirements of Articles 5 and 9, Chapter V, Title 13 of the Costa Mesa Municipal Code relating to industrial development standards.
 4. Parking stalls shall be double-striped in accordance with City standards.
 5. Any mechanical equipment such as air-conditioning equipment and duct work shall be screened from view in a manner approved by the Planning Division.
- Bldg.
6. 1 - For non-State approved Modular units, the Building Division will review plans as per the following adopted Codes, 2019 California Building Code, 2019 California Electrical Code, 2019 California Mechanical Code, 2019 California Plumbing Code, 2019 California Green Building Standards Code and 2019 California Energy Code (or the applicable adopted, California Building Code, California Electrical Code, California Mechanical Code, California Plumbing Code, California Green Building Standards and California Energy Code at the time of plan submittal or permit issuance) and California Code of Regulations also known as the California Building Standards Code, as amended by the City of Costa Mesa. Requirements for accessibility to sites, facilities, buildings and elements by individuals with disability shall comply with chapter 11B of the 2019 California Building Code.
 - 2 - For State approved Modular units, the Building Division will only review the Foundations, electrical, mechanical, and plumbing connections to the modular units as per the following adopted Codes, 2019 California Building Code, 2019 California Electrical Code, 2019 California Mechanical Code, 2019 California Plumbing Code, 2019 California Green Building Standards Code and 2019 California Energy Code (or the applicable adopted, California Building Code, California Electrical Code, California Mechanical Code, California Plumbing Code, California Green Building Standards and California Energy Code at the time of plan submittal or permit issuance) and California Code of Regulations also known as the California Building Standards Code, as amended by the City of Costa Mesa. Requirements for accessibility to

- sites, facilities, buildings and elements by individuals with disability shall comply with chapter 11B of the 2019 California Building Code.
7. A change of occupancy shall require compliance with the Disabled access requirements of chapter 11B of the 2019 California Building Code.
- Bus. Lic. 8. All contractors and subcontractors must have valid business licenses to do business in the City of Costa Mesa. Final inspections, final occupancy and utility releases will not be granted until all such licenses have been obtained.
- Fire 9. Comply with the California Fire Code as adopted and amended by the City of Costa Mesa.

SPECIAL DISTRICT REQUIREMENTS

The requirements of the following special districts are hereby forwarded to the applicant:

- AQMD 1. Prior to the Building Division issuing a demolition permit, contact South Coast Air Quality Management District located at:
21865 Copley Dr.
Diamond Bar, CA 91765-4178
Tel: 909.396.2000
Or
Visit their web site
<http://www.costamesaca.gov/modules/showdocument.aspx?documentid=23381>
The Building Division will not issue a demolition permit until an Identification No. is provided by AQMD.
- CMSD 2. Applicant shall contact Costa Mesa Sanitary District at (949) 654-8400 for any additional district requirements.
- Water 3. Customer shall contact the Mesa Water District – Engineering Desk and submit an application and plans for project review. Customer must obtain a letter of approval and a letter of project completion from Mesa Water District.

Development Review DR-22-01 (PA-10-21 A1)

August 12, 2022

Page 10 of 10

PLANNING APPLICATION SUMMARY

Location: 2350 Canyon Drive Application No.: DR-22-01
 Request: Development review for proposed minor amendment to master plan (PA-10-21) for Waldorf School for the addition of an 800 SF modular classroom building.

SUBJECT PROPERTY:

SURROUNDING PROPERTY:

| | | | |
|-----------------------|---|--------|--|
| Zone: | <u>I&R (Institutional & Recreational)</u> | North: | <u>I&R – Fairview Park</u> |
| General Plan: | <u>Public / Institutional</u> | South: | <u>R1 & R2-MD – Existing residences</u> |
| Lot Dimensions: | <u>660 FT by 660 FT</u> | East: | <u>I&R – Estancia High School</u> |
| Lot Area: | <u>435,600 SF (10 acres)</u> | West: | <u>(across Canyon Drive) I&R – Fairview Park</u> |
| Existing Development: | <u>Private School (Waldorf School)</u> | | |

DEVELOPMENT STANDARD COMPARISON

| <u>Development Standard</u> | <u>Code Requirement</u> | <u>Proposed / Provided</u> |
|--|---|--------------------------------|
| Lot size: | | |
| Lot Width | 60 FT | 660 FT |
| Lot Area | 6,000 SF | 435,600 SF |
| Floor Area Ratio: | | |
| | 0.25 (108,900 SF) | 0.09 (39,353 SF) |
| Building Height: | | |
| | 4 stories / | 1 story / 25 FT (no change) |
| Setbacks: | | |
| Front | 20 FT | 190 FT (no change) |
| Side – Left / Right | 5 FT | 530 FT / 34 FT (no change) |
| Rear | 5 FT | 290 FT (no change) |
| Parking: | | |
| Standard | 48 | No Change |
| Handicapped | 2 | No Change |
| TOTAL | 50 ¹ | No Change |
| ¹ Existing parking provided for former Parsons School. No changes are required (see staff report discussion). | | |
| CEQA Determination: | Exempt under Section 15314 – Minor additions to schools | |
| Final Action: | Planning Staff | |



WALDORF SCHOOL
ORANGE COUNTY

March 24, 2022

City of Costa Mesa
Development Services Department
77 Fair Drive
Costa Mesa, CA 92626

Re: Waldorf School of Orange County – Modular Nursery Classroom Project Description

To Whom It May Concern:

We are providing this letter description related to our planned modular nursery classroom building installation at our existing private school site at 2350 Canyon Drive in Costa Mesa. The Waldorf School, a non-profit private school, offers a unique education for students in pre-kindergarten through high school that is based on a curriculum which provides a comprehensive academic, artistic, and physical education program presented in a supportive, structured, and non-competitive environment. This education includes foreign languages, music, drama, eurythmy, art, games, and sports, as well as practical skills such as sewing, woodworking, and gardening.

The Waldorf School has leased this portion of the previous Parsons School site from Newport-Mesa Unified School District since 1998. As shown in the drawings, the proposed project consists of installation of one (1) 800 square foot modular classroom building to serve as a Nursery Classroom. Site preparation as well as extension of power, communication, water, and sewer utilities are required to accommodate the new building. Utilizing innovative design techniques, the modular building will be constructed utilizing shipping containers that are finished on the exterior and interior. The building modules will be appropriately constructed in a factory before being transported to our campus for installation and site-specific inspection by the City of Costa Mesa. The building design has been reviewed and approved by the California Department of Housing and Community Development. The building's use, aesthetic, and construction type are consistent with other existing structures that have been appropriately approved and installed on the existing campus.

The Waldorf School appreciates your assistance in bringing this project to fruition so we can better serve our students with updated facilities and technology.

Sincerely,

Kevin McDuff
School Administrator



WALDORF SCHOOL OF ORANGE COUNTY MODULAR NURSERY CLASSROOM INSTALLATION

2350 CANYON DR
COSTA MESA, CA 92627

OWNER
WALDORF SCHOOL
2350 CANYON DR
COSTA MESA, CA 92627

MARIA MORIOKA
949.574.7775 (P)

ARCHITECT
STUDIO+ ARCHITECTURE
20250 SW ACACIA ST, SUITE #100
NEWPORT BEACH, CALIFORNIA 92660

JASON DONTJE, NCARB, LEED AP BD+C
949.228.7528 (P)

STRUCTURAL ENGINEER
NIC STRUCTURAL
ENGINEERING CONSULTANTS
23 CORPORATE PLAZA DR, SUITE 150
NEWPORT BEACH, CA 92660

TOURAJ EIMANI
949.629.2529 (P)

CIVIL ENGINEER
BRANDOW & JOHNSTON
3300 IRVINE AVE, STE 245
IRVINE, CA 92614

GARRET FREER,
949.862.8586 (P)

ELECTRICAL ENGINEER
SALAS O'BRIEN
3700 SOUTH SUSAN ST, STE 150
SANTA ANA, CA 92704

ANDY CHAN, PE, MBA, CPMP
559.947.8249 (P)

Agency Approval:



20520 SW Acacia, Suite 100, Newport Beach, California 92660 | P: 949.315.1993

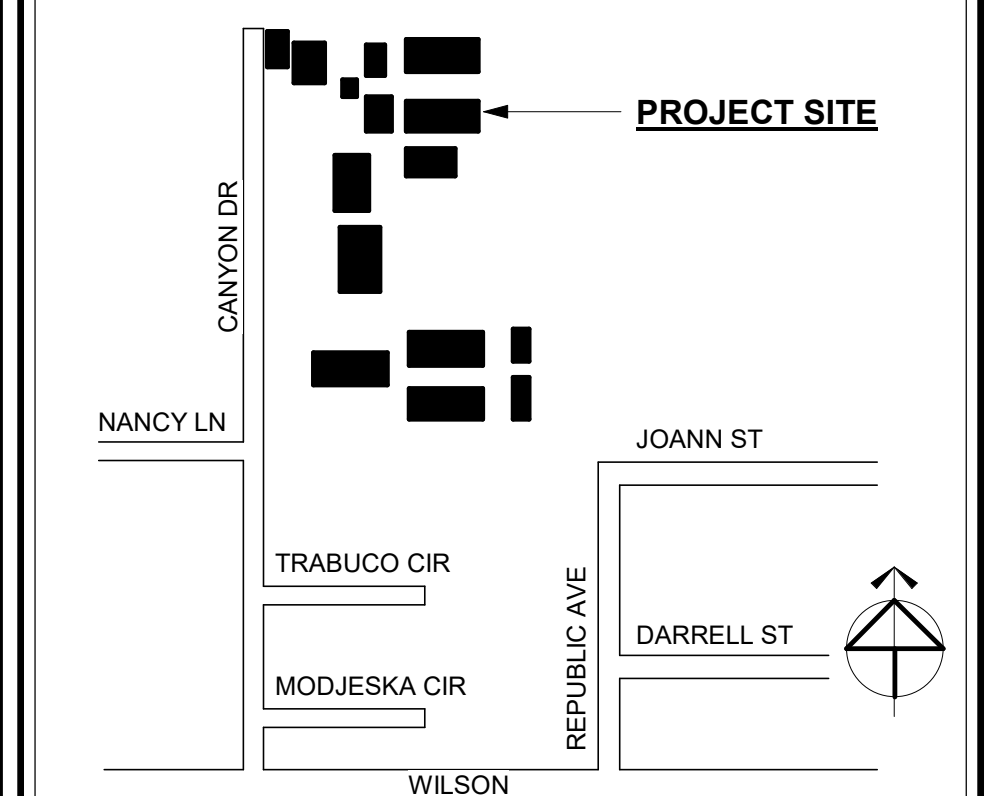
PROJECT INFO & SCOPE

PROJECT NAME: WALDORF SCHOOL OF ORANGE COUNTY MODULAR NURSERY CLASSROOM INSTALLATION
PROJECT OWNER: WALDORF SCHOOL OF ORANGE COUNTY
2350 CANYON DR
COSTA MESA, CA 92627
PI 949-574-7775
PROJECT ADDRESS: 2350 CANYON DR
COSTA MESA, CA 92627
SCOPE OF WORK: INSTALLATION OF ONE MODULAR CLASSROOM BUILDING FOR USE AS A NURSERY CLASSROOM

SCOPE OF WORK NARRATIVE

PROVIDE LABOR AND MATERIAL AS REQUIRED FOR INSTALLATION OF A NEW MODULAR BUILDING INCLUDING BUT NOT LIMITED TO THE FOLLOWING AS INDICATED IN THESE CONTRACT DOCUMENTS.
- SITE PREPARATION & MISCELLANEOUS DEMOLITION
- CONCRETE FOUNDATION
- HARDSCAPE & SOFTSCAPE
- WATER & SEWER CONNECTION
- POWER CONNECTION
- FIRE ALARM SYSTEM SHALL BE DESIGNED, PERMITTED, AND CONSTRUCTED BY AN APPROPRIATELY LICENSED FIRE PROTECTION CONTRACTOR UNDER THE CONSTRUCTION CONTRACT
THE MODULAR BUILDING SHALL BE DELIVERED AND PLACED ON SITE BY THE MODULAR BUILDING MANUFACTURER.

VICINITY MAP



1. IT IS THE INTENT OF THE ARCHITECT THAT THIS WORK BE IN CONFORMANCE WITH THE BUILDING AUTHORITIES HAVING JURISDICTION OVER THIS WORK AND OCCUPANCY. ALL CONTRACTORS SHALL EXECUTE THEIR WORK IN COMPLIANCE WITH THE CODES LISTED HEREIN. ALL WORK SHALL BE EXECUTED UNDER PROPER BUILDING PERMITS AS REQUIRED BY THE AUTHORITIES HAVING JURISDICTION OVER THIS PROJECT.

2. THE CONTRACTOR AND BUILDING OWNER SHALL MEET PRIOR TO NOTICE TO PROCEED AND SHALL DOCUMENT EXISTING CONDITIONS OF THE GENERAL PROJECT AREA.

3. PRIOR TO COMMENCING WORK, THE CONTRACTOR SHALL VERIFY LOCATION OF ALL EQUIPMENT AND UTILITY POINTS OF SERVICE.

4. ALL BUILDING SYSTEM SERVICES (IE: WATER, SANITARY, FIRE ALARM, ELECTRIC, ETC.) SHALL REMAIN IN OPERATION THROUGHOUT CONSTRUCTION UNLESS NOTED OTHERWISE.

5. CONTRACTOR SHALL USE ONLY THOSE ENTRANCES AND PARKING FACILITIES ASSIGNED BY THE BUILDING OWNER FOR SITE ACCESS. ALL MATERIAL DELIVERIES SHALL BE SCHEDULED SO AS TO MINIMIZE DISRUPTIONS TO THE BUILDING OCCUPANTS.

6. SITE UTILITIES: THE CONTRACTOR SHALL USE EXISTING SERVICES.

7. CONTRACTOR SHALL USE THE EXISTING SITE / BUILDING IN A MANNER WHICH WILL NOT DEFACE OR DAMAGE THE EXISTING FACILITIES IN ANY FASHION. ALL DAMAGE BY CONTRACTOR AND THEIR FORCES SHALL BE REPAIRED/REPLACED BY THE CONTRACTOR AT NO COST TO THE BUILDING'S OWNER. PROVIDE PROTECTIVE MATERIAL AS WARRANTED.

8. THE CONTRACTOR SHALL FIELD MEASURE ALL DISTANCES AND CLEARANCES PRIOR TO COMMENCEMENT OF NEW WORK OR ORDERING OF MATERIALS. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT PRIOR TO PROCEEDING WITH THAT PORTION OF WORK. THE CONTRACTOR SHALL NOT SCALE ANY DRAWINGS WITHIN THE CONSTRUCTION DOCUMENTS. ANY DISCREPANCIES SHALL BE RESOLVED BY THE ARCHITECT/ENGINEER PRIOR TO PROCEEDING WITH THAT WORK.

9. ANY EXISTING ELEC., PLUMB OR HVAC DEVICES OR SYSTEMS WHICH ARE NEEDED TO MAINTAIN THE OPERATIONS OF THE SYSTEM, SHALL BE CAPPED OFF OR REROUTED AS NECESSARY TO MAINTAIN SYSTEM, REGARDLESS IF INDICATED HEREIN.

10. THE CONTRACTOR SHALL ENSURE THAT ALL EXISTING/NEW CONSTRUCTION WILL BE SHELTERED FROM DAMAGE BY WEATHER AT ALL TIMES DURING THE CONSTRUCTION/DEMOLITION PROCESS.

11. WHEN REMOVING FIXTURES OR DEVICES, REMOVE ALL ASSOCIATED WIRE BOXES, FRAMING, PIPING NECESSARY TO ALLOW THE COMPLETE INSTALLATION OF NEW FINISH.

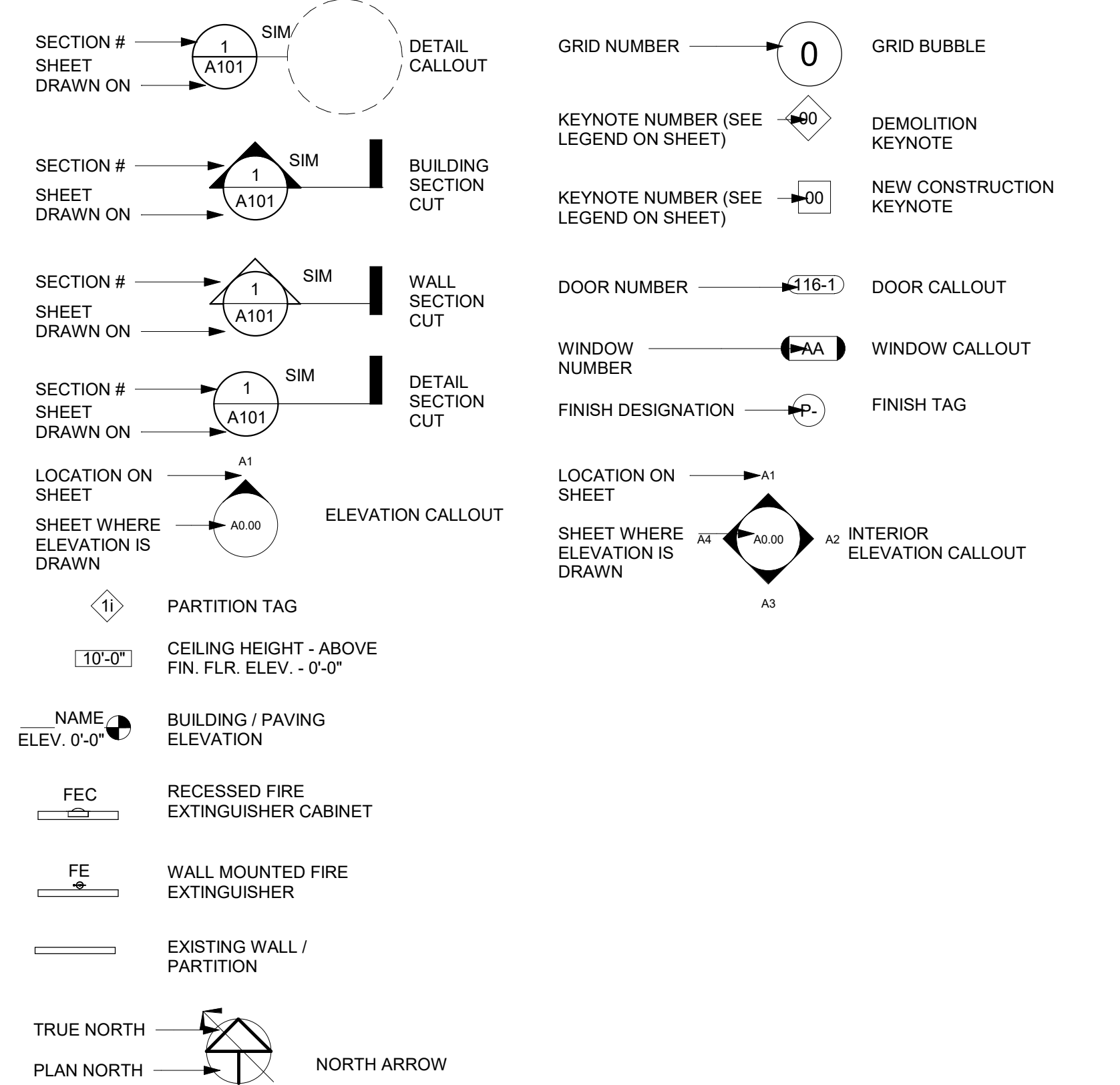
12. EVERY EFFORT HAS BEEN MADE TO ACCURATELY DEPICT EXISTING CONDITIONS. HOWEVER, ALL WORK MUST BE VERIFIED IN THE FIELD PRIOR TO THE ORDERING OF ANY MATERIALS OR ANY WORK HAS BEGUN. ANY CONFLICTS BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT FOR VERIFICATION AND/OR CORRECTION.

13. ALL WORK SHALL CONFORM TO 2019 EDITION TITLE 24, CALIFORNIA CODE OF REGULATIONS (CCR)

14. GRADING PLANS, DRAINAGE IMPROVEMENTS, ROAD AND ACCESS REQUIREMENTS AND ENVIRONMENTAL HEALTH CONSIDERATIONS SHALL COMPLY WITH ALL LOCAL ORDINANCES.

15. CONTRACTOR SHALL SCHEDULE AND ENSURE ALL REQUIRED INSPECTIONS ARE ADMINISTERED FOR THIS PROJECT.

DIVISION OF THE STATE ARCHITECT (DSA)
CALIFORNIA CODE OF REGULATIONS (& NATIONAL REGULATIONS). TITLES AS FOLLOWS, INCLUDING ALL AMENDMENTS TO EACH:
a. TITLE 8, EDUCATION CODE
b. TITLE 8, INDUSTRIAL RELATIONS
c. TITLE 19 CCR, PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS
d. TITLE 24, PUBLIC WORKS
e. TITLE 24, STATE CODE:
2019 CALIFORNIA ADMINISTRATIVE CODE (CAC), PART 1, TITLE 24 CCR
2019 CALIFORNIA BUILDING CODE (CBC), PART 2, TITLE 24 CCR (2018 INTERNATIONAL BUILDING CODE, VOL. 1 & 2, AND 2019 CALIFORNIA AMENDMENTS)
2019 CALIFORNIA ELECTRICAL CODE (CEC), PART 3, TITLE 24 CCR (2017 NATIONAL ELECTRICAL CODE AND 2019 CALIFORNIA AMENDMENTS)
2019 CALIFORNIA MECHANICAL CODE (CMC), PART 4, TITLE 24 CCR (2018 APFMO UNIFORM MECHANICAL CODE AND 2019 CALIFORNIA AMENDMENTS)
2019 CALIFORNIA PLUMBING CODE (CPC), PART 5, TITLE 24 CCR (2018 APFMO UNIFORM PLUMBING CODE AND 2019 CALIFORNIA AMENDMENTS)
2019 CALIFORNIA ENERGY CODE (CEC), PART 6, TITLE 24 CCR
2019 CALIFORNIA FIRE CODE (CFC), PART 9, TITLE 24 CCR (2018 INTERNATIONAL FIRE CODE AND 2019 CALIFORNIA AMENDMENTS)
2019 CALIFORNIA EXISTING BUILDING CODE (CEBC), PART 10, TITLE 24 CCR (2018 INTERNATIONAL EXISTING BUILDING CODE AND 2019 CALIFORNIA AMENDMENTS)
2019 CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN), PART 11, TITLE 24 CCR
2019 CALIFORNIA REFERENCED STANDARDS CODE, PART 12, TITLE 24 CCR
TITLE 19 CCR, PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS
2013 ASME A17.1/CSA B44-13 SAFETY CODE FOR ELEVATORS AND ESCALATORS
NFPA 13 - STANDARD FOR THE INSTALLATION OF SPRINKLER SYSTEMS (CA AMENDED) 2016 ED
NFPA 14 - STANDARD FOR THE INSTALLATION OF STANDPIPE AND HOSE SYSTEMS 2013 ED
NFPA 17 - STANDARD FOR DRY CHEMICAL EXTINGUISHING SYSTEMS 2013 ED
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APPLICABLE REQUIREMENTS OF THE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT (SCAQM)



| SHEET INDEX | | | |
|--|--|------------|-----------|
| SHEET NUMBER | SHEET NAME | ISSUE DATE | REVISIONS |
| C-0.10 | GENERAL NOTES AND SYMBOLS | 02/17/2022 | |
| C-1.02 | GENERAL NOTES | 02/17/2022 | |
| A-0.10 | UTILITY PLAN | 02/17/2022 | |
| A-0.11 | FIRE ACCESS SITE PLAN | 02/17/2022 | |
| A-1.10 | OVERALL SITE PLAN | 02/17/2022 | |
| A-2.0 | DEMO & REMODEL ENLARGED FLOOR PLANS | 02/17/2022 | |
| E-0.00 | ENLARGED PLANS, SECTIONS & DETAILS | 02/17/2022 | |
| E-1.00 | ELECTRICAL NOTES, SYMBOLS & ABBREVIATIONS | 02/17/2022 | |
| E-1.01 | ELECTRICAL SITE PLAN | 02/17/2022 | |
| E-5.01 | ELECTRICAL FLOOR PLAN | 02/17/2022 | |
| E-5.02 | ELECTRICAL DETAILS | 02/17/2022 | |
| E-7.01 | ELECTRICAL SINGLE LINE DIAGRAM AND PANEL SCHEDULES | 02/17/2022 | |
| BUILDING MFR DRAWINGS - FOR REFERENCE ONLY | | | |
| C-101 | COVER PAGE (FOR REFERENCE ONLY) | 02/17/2022 | |
| A-101 | FLOOR PLAN (FOR REFERENCE ONLY) | 02/17/2022 | |
| A-102 | EXTERIOR ELEVATIONS (FOR REFERENCE ONLY) | 02/17/2022 | |
| E-101 | ELECTRICAL PLAN (FOR REFERENCE ONLY) | 02/17/2022 | |
| E-102 | ELECTRICAL / MECHANICAL DETAILS (FOR REFERENCE ONLY) | 02/17/2022 | |
| P-101 | PLUMBING SCHEMATIC / DETAILS (FOR REFERENCE ONLY) | 02/17/2022 | |
| S-101 | TRANSVERSE SECTION & DETAILS (FOR REFERENCE ONLY) | 02/17/2022 | |
| S-102 | LONGITUDINAL SECTION & DETAILS (FOR REFERENCE ONLY) | 02/17/2022 | |
| S-103 | COLUMN & WALL PANEL DETAIL (FOR REFERENCE ONLY) | 02/17/2022 | |
| S-104 | ROOF FRAMING & DETAILS (FOR REFERENCE ONLY) | 02/17/2022 | |
| S-105 | FLOOR FRAMING & DETAILS (FOR REFERENCE ONLY) | 02/17/2022 | |
| F-101 | FOUNDATION PLAN (FOR REFERENCE ONLY) | 02/17/2022 | |

GENERAL NOTES

1. ALL SCREENED/HALFTONE LINES INDICATE EXISTING ITEMS TO REMAIN (TYP. UNLESS NOTED OTHERWISE).

2. ALL DASHED LINES INDICATE EXISTING ITEMS TO BE REMOVED (TYP. UNLESS NOTED OTHERWISE)

3. WORK IS REQUIRED TO BE PERFORMED WITHIN EXISTING BUILDING. EACH CONTRACTOR WILL HAVE ACCESS TO AREAS IN WHICH THIS WORK OCCURS.

4. OWNER WILL OCCUPY EXISTING BUILDING / SITE DURING LIFE OF THIS CONTRACT. SCHEDULE ALL WORK AT SUCH TIME AND IN SUCH A MANNER TO MINIMIZE INTERFERENCE TO PUBLIC, STAFF AND OWNERS OPERATIONS. CONTRACTOR MUST OBTAIN APPROVAL OF OWNER BEFORE STARTING ANY WORK WITHIN ANY EXISTING AREA OF BUILDING.

5. AREA IMMEDIATELY SURROUNDING ALL AREAS OF WORK SHALL BE PROTECTED FROM DANGER OF MATERIALS BEING DROPPED OR DISLODGED.

6. WORK SHALL BE CARRIED OUT IN A MANNER THAT WILL NOT IMPOSE AVOIDABLE HARDSHIP, DANGER, OR INCONVENIENCE TO PUBLIC OR STAFF. WORK SHALL BE PLANNED SO AS TO MINIMIZE SHUTDOWN TIME OR ANY SERVICE.

7. REVIEW ALL EXISTING CONDITIONS, DRAWINGS AND OTHER DOCUMENTS FOR PROPER COORDINATION BETWEEN NEW AND EXISTING CONSTRUCTION.

8. ACTIVE UTILITIES WHOSE LOCATIONS ARE UNKNOWN TO OWNER ARE SUSPECTED TO EXIST. CONTRACTOR SHALL BE CAUTION OF THEIR EXISTENCE. IF THEY ARE ENCOUNTERED, IMMEDIATELY REPORT TO OWNER FOR DIRECTION.

9. LIMIT USE AND OPERATION AT SITE TO "LIMITS OF CONSTRUCTION," INDICATED AND REQUIRED TO PERFORM WORK. PORTIONS OF SITE BEYOND AREA OF REQUIRED WORK SHALL NOT BE DISTURBED WITHOUT WRITTEN APPROVAL OF OWNER.

10. LIMIT USE AND OPERATION WITHIN EXISTING FACILITIES TO AREAS INDICATED FOR CONSTRUCTION WORK AND AS REQUIRED TO PERFORM WORK. OTHER AREAS WITHIN FACILITY SHALL NOT BE DISTURBED OR DISRUPTED.

11. DAMAGES TO EXISTING STRUCTURE, UTILITIES AND OTHER ITEMS WHICH ARE CAUSED BY CONTRACTOR'S OPERATIONS SHALL BE REPAIRED OR REPLACED TO THEIR ORIGINAL CONDITION.

12. MAINTAIN AND KEEP CLEAR ALL REQUIRED FIRE EXITWAYS THROUGHOUT FACILITY WITHIN AND IN VICINITY OF CONSTRUCTION AREAS. COORDINATE ALTERNATE TEMPORARY EGRESS ROUTES WITH OWNER AND LOCAL FIRE AUTHORITY.

13. MAINTAIN EXISTING BUILDING IN A WEATHERTIGHT CONDITION THROUGHOUT CONSTRUCTION PERIOD. REPAIR DAMAGE AND LEAKS CAUSED BY CONSTRUCTION OPERATIONS. TAKE ALL PRECAUTION NECESSARY TO PROTECT BUILDING AND ITS OCCUPANTS DURING CONSTRUCTION PERIOD.

14. THE DEMOLITION DRAWINGS FOR ARCHITECTURAL AND ENGINEERING WORK HAVE BEEN PREPARED USING (AS DESIGNED) DOCUMENTS PROVIDED BY THE OWNER. NEITHER THE OWNER NOR THE ARCHITECT WARRANT THESE TO BE (AS-BUILT) DOCUMENTS AND ACTUAL CONDITIONS MAY VARY.

15. CONTRACTOR SHALL DISPOSE OF ALL ITEMS - OWNER RESERVES THE RIGHT TO SELECT SPECIFIC ITEMS FOR SALVAGE.

16. SAFETY DURING CONSTRUCTION TO COMPLY WITH CFC CHAPTER 33.

2013 ASME A17.1/CSA B44-13 SAFETY CODE FOR ELEVATORS AND ESCALATORS
NFPA 13 - STANDARD FOR THE INSTALLATION OF SPRINKLER SYSTEMS (CA AMENDED) 2016 ED
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GENERAL DEMOLITION NOTES

Ø DIAMETER OR ROUND PLUS/MINUS
POUND OR NUMBER
% PERCENT
@ AT
° DEGREE
CL CENTER LINE
∠ ANGLE
P PROPERTY LINE
AB ANCHOR BOLT
ABS ABSOLUTE
AC ASPHALTIC CONCRETE
ACC ACCESSIBLE WORK STATION
ACOUS ACOUSTICAL
ADJ ADJACENT
AFF ABOVE FINISH FLOOR
ALUM ALUMINUM
ANSI AMERICAN NATIONAL STANDARDS INSTITUTE
ARCH ARCHITECTURAL
BD BOARD
BLDG BUILDING
BLK BLOCK
BLKG BLOCKING
BTWN BETWEEN
C CHANNEL
CER CERAMIC
CF CUBIC FEET
CFOI CONTRACTOR FURNISHED, CONTRACTOR INSTALLED
CFOI CONTRACTOR FURNISHED, OWNER INSTALLED
CJ CONTROL JOINT
CLG CEILING
CLR CLEAR
CMU CONCRETE MASONRY UNIT
CONC CONCRETE
CONT CONTINUOUS
CORR CORRIDOR
OR CLASSROOM
CTSK COUNTER SUNK

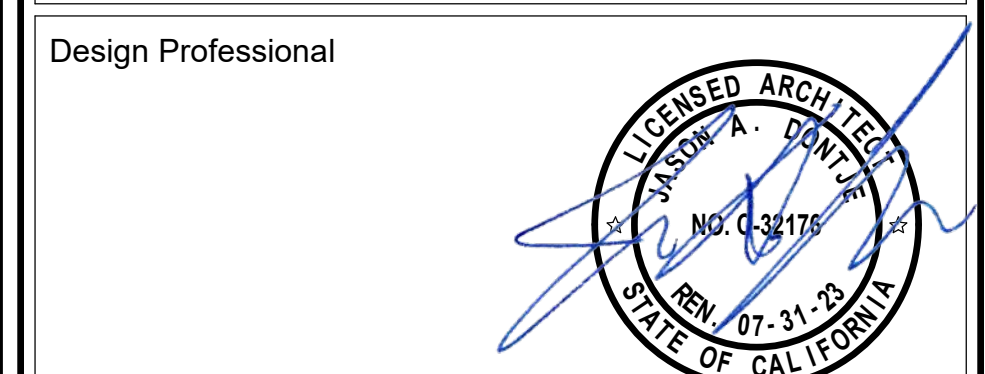
CTC CENTER TO CENTER
DBL DOUBLE
DEL DELETE
DET DETAIL
DF DRINKING FOUNTAIN
DIA DIAMETER
DIM DIMENSION
DL DOOR LOUVER
DP DISABLED PERSON
DS ACCESSIBLE
DWS DOWNSPOUT
EA EACH
EJ EXPANSION JOINT
ELEV ELEVATION
ELEC ELECTRICAL
EMT ELECTRICAL METAL TUBING
ENCL ENCLOSURE
ENGR ENGINEER
EQS EDGE OF SLAB
EQ EQUAL
EQU EQUIPMENT
EW EACH WAY
EX EXISTING
EXP EXPANSION
EXT EXTERIOR
FA FIRE ALARM
FD FLOOR DRAIN
FDC FIRE DEPARTMENT CONNECTION
FND FOUNDATION
FE FIRE EXTINGUISHER
FEC FIRE EXTINGUISHER
FF W/CABINET
FG FINISH GRADE
FH FIRE HYDRANT
FHC FIRE HOSE W/ CABINET
FHW FLAT HEAD WOOD SCREW
FL FLOOR
FO FACE OF

FOF FACE OF CONCRETE
FOM FACE OF MASONRY
FOS FACE OF STUD
FS FINISH SURFACE
FT FOOT OF FEET
FTG FOOTINGS
GA GAUGE
GALV GALVANIZED
GB GYPSUM BOARD
GFRG GLASS FIBER REINFORCED CONCRETE
CYP CYP
DRAWING DRAWING
HB HOSE BIB
HDWE HARDWARE
HM HOLLOW METAL
HOR HOUR
HR HEATING VENTILATION AIR INTERIOR
IN INCH OR INCHES
INT INTERIOR
INV INVERT
JBOX JUNCTION BOX
JAN JANITOR CLOSET
LAV LAVATORY
LBS(LB) POUND(S)
MAX MAXIMUM
MACH MACHINE BOLT
MDF MEDIUM DENSITY FIBERBOARD
MFR MANUFACTURER
MH MANHOLE
MIN MINIMUM
MISC MISCELLANEOUS
MO MASONRY OPENING
MTL METAL
NEW NEW
NIC NOT IN CONTRACT
NO NUMBER
NR NON RATED
NTS NOT TO SCALE
OJ OVERALL
OC ON CENTER
OD OUTSIDE DIAMETER
OFCI OWNER-FURNISHED CONTRACTOR-INSTALLED
OFOI OWNER-FURNISHED CONTRACTOR-INSTALLED
OTO OWNER-INSTALLED OUT TO OUT
OH OPPOSITE HAND
PA PUBLIC ADDRESS
PAD PAD ELEVATION
PERP PERPENDICULAR
PH PANIC HARDWARE
PL PLATE
PLAM PLASTIC LAMINATE
PLUMB PLUMBING
PLYWD PLYWOOD
PM PARTITION MOUNTED
POC POINT OF CONNECTION
PR PAIR
PREP PREPARE
PSF POUNDS PER SQUARE FOOT
PSI POUNDS PER SQUARE INCH
PVC POLYVINYL CHLORIDE
R RISER RADIUS
RD ROOF DRAIN
REC RECESSED
REF REFERENCE
REQ REQUIRED
RM ROOM
RWL RAIN WATER LEADER
ROU ROUGH OPENING
SCHED SCHEDULE
SECT SECTION
SF SQUARE FEET
SHT SHEET
SIM SIMILAR
SM SURFACE MOUNTED
SMS SHEET METAL SCREW
SOV SHUT OFF VALVE
SPEC SPECIFICATION
SST STAINLESS STEEL
STD STANDARD
STL STEEL
STRUC STRUCTURAL
T&B TOP AND BOTTOM
TEMP TEMPORARY
TO TOP OF
TOC TOP OF CURB
TOD TOP OF DRAIN
TOP TOP OF PARAPET
TOPL TOP OF PLATE
TOR TOP OF RIDGE
TOS TOP OF SLAB
TOW TOP OF WALL
TST TOP OF STEEL
TV TELEVISION
TYP TYPICAL
UC UNDERCUT
UNO UNLESS NOTED OTHERWISE
VCT VINYL COMPOSITION TILE
VERT VERTICAL
W WIDE FLANGE
WI WITH
W/O WITHOUT
WD WOOD
WH WATER HEATER
W/W WOODWORK INSTITUTE
WIN WINDOW
WP WATERPROOF
WS WOOD SCREW
WT WEIGHT
WWF WELDED WIRE FABRIC
YD YARD

ABBREVIATIONS

SYMBOL LEGEND

SHEET INDEX



Project Title:
**WALDORF SCHOOL OF ORANGE COUNTY
MODULAR NURSERY CLASSROOM
INSTALLATION**
2350 CANYON DR
COSTA MESA, CA 92627

Revisions:

Project #: CA21045
Date: 02/17/2022

Sheet Title:
GENERAL NOTES AND SYMBOLS

GO.10

DEMO & REMODEL LEGEND

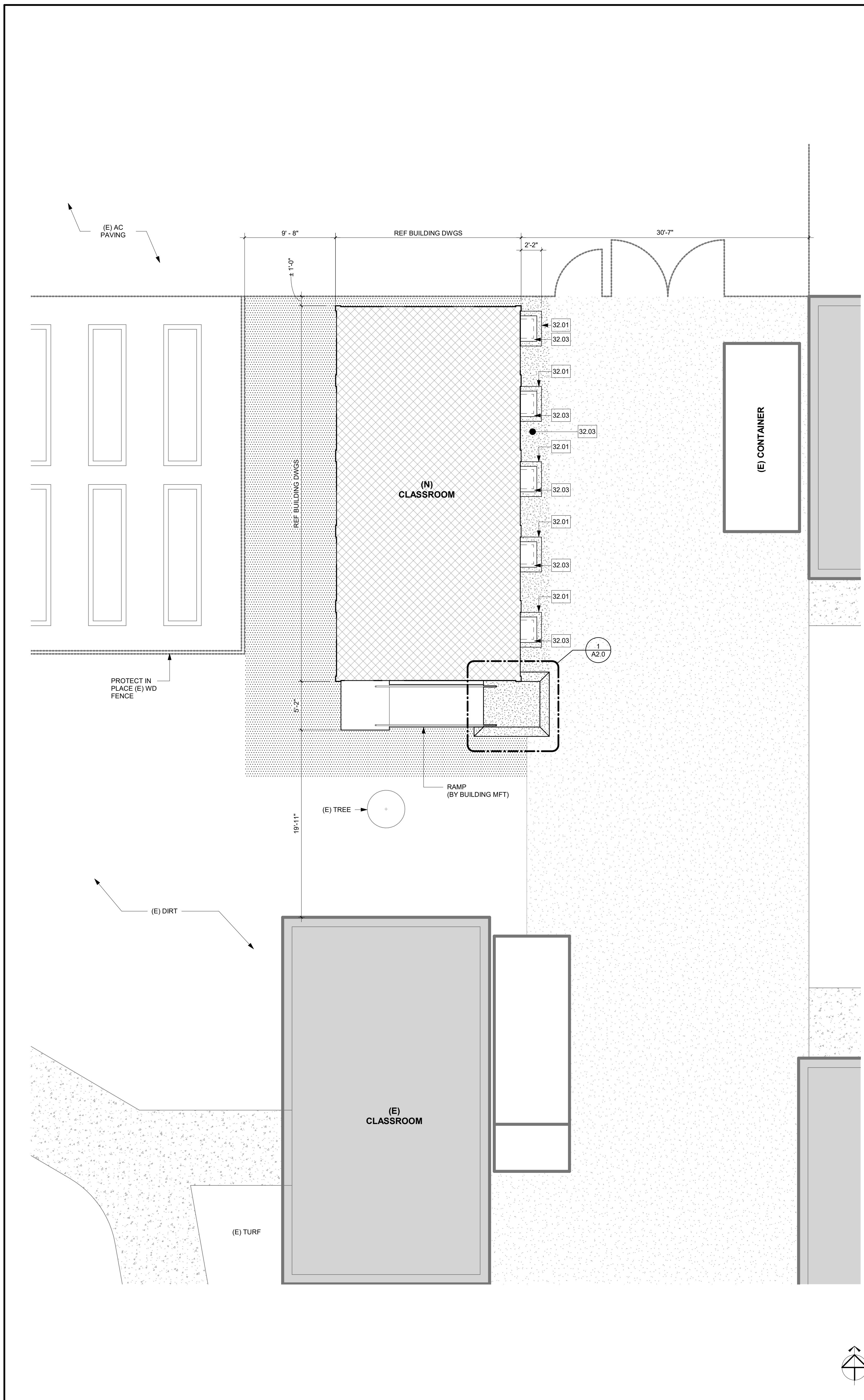
- (E) BUILDINGS
- (N) MODULAR BUILDING
- (E) FENCE
- (E) ITEM
- (N) ITEM
- (E) GATES
- EXTENT OF SITE WORK
- CONCRETE PAVING
- ASPHALT CONCRETE PAVING

SITE PLAN NOTES

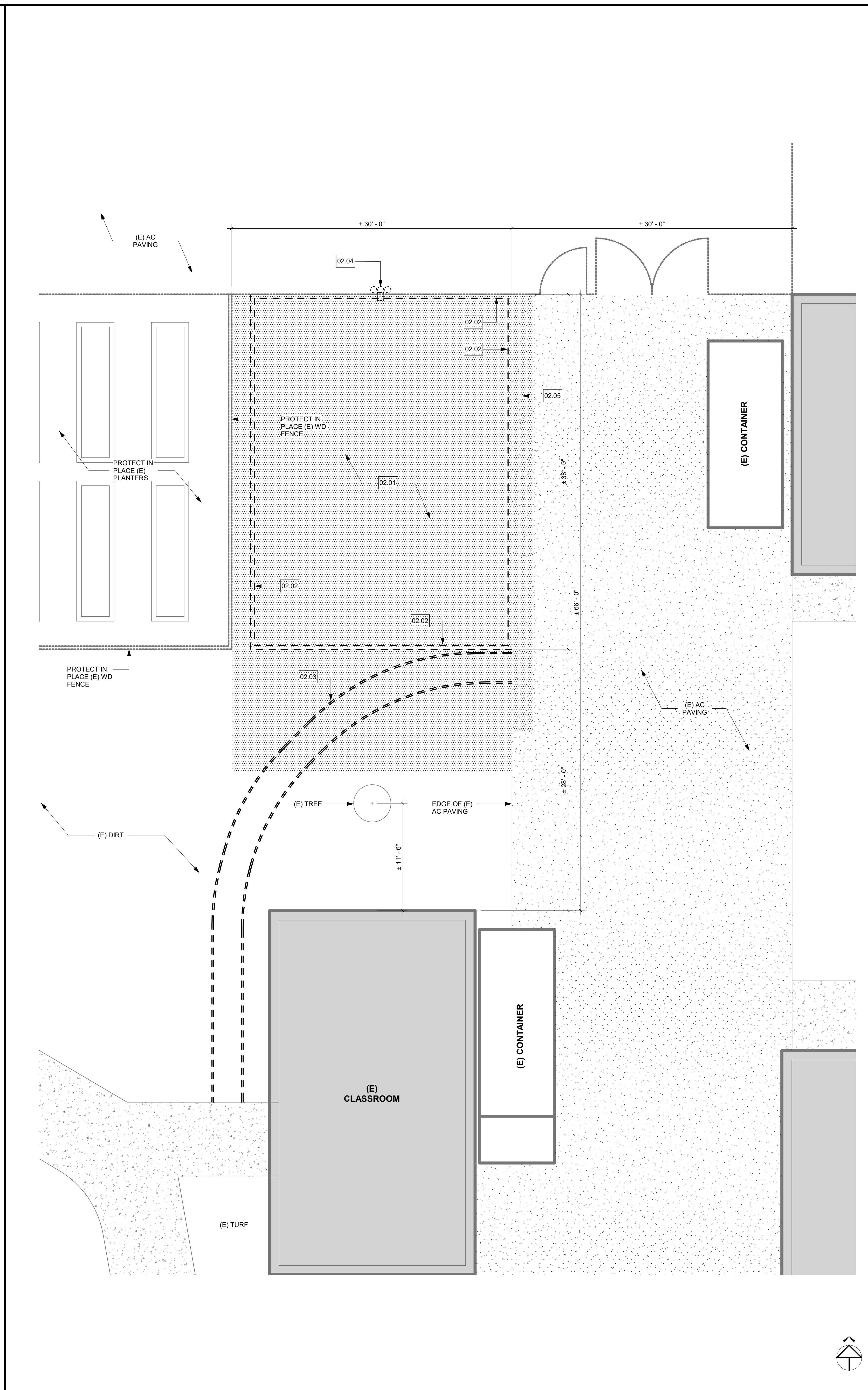
1. CONTRACTOR SHALL SLOPE GRADE AWAY FROM BUILDING AT 2% SLOPE.
2. FOR BUILDING INFORMATION REF MODULAR BUILDING DRAWINGS.
3. TERMINATE CONDENSATE DRAINS IN NEW DIRT PLANTER.
4. CONTRACTOR SHALL GRADE SOFTSCAPE AREAS AS NOTED ON PLANS - ANY LANDSCAPE AND/OR IRRIGATION WORK SHALL BE BY OWNER.

KEYNOTE LEGEND

| NUMBER | PROVIDE ITEM / WORK |
|--------|--|
| 02.01 | DEMO (E) EXCAVATE PLANTER BED SOIL AS REQ'D FOR NEW WORK |
| 02.02 | DEMO (E) WD BOARDS |
| 02.03 | DEMO (E) PLASTIC EDGING |
| 02.04 | REMOVE EXTERIOR FLOOD LIGHTS W/ COMPONENTS & PROTECT FOR REINSTALLATION BY OWNER |
| 02.05 | DEMO (E) ASPHALT AS REQ'D FOR NEW WORK |
| 32.01 | 6" WIDE X 4" TALL ASPHALT CURB - COORDINATE LOCATION BELOW HWAC UNITS |
| 32.03 | DIRT PLANTER |



REMODEL ENLARGED MODULAR NURSERY CLASSROOM 2
3/16" = 1'-0"



DEMO ENLARGED MODULAR NURSERY CLASSROOM 1
3/16" = 1'-0"

Design Professional



Project Title:
**WALDORF SCHOOL OF ORANGE COUNTY
MODULAR NURSERY CLASSROOM
INSTALLATION**
2350 CANYON DR
COSTA MESA, CA 92627

Revisions:

Project #: CA21045
Date: 02/17/2022

Sheet Title:
**DEMO & REMODEL ENLARGED
FLOOR PLANS**

A1.10