THUE THE WEST OF THE STATE OF T

CITY OF COSTA MESA

P.O. BOX 1200 • 77 FAIR DRIVE • CALIFORNIA 92628-1200

ECONOMIC & DEVELOPMENT SERVICES DEPARTMENT – PLANNING DIVISION

December 22, 2022

Josh Martinez 18627 Brookhurst Street, #205 Fountain Valley, CA 92708

RE: DEVELOPMENT REVIEW 22-02 - 161 CECIL PLACE

Dear Josh Martinez:

The Development Review for the above-referenced project has been completed. The Development Review, as described in the attached project description, has been approved based on the findings and subject to the conditions of approval (attached). The decision will become final at 5 PM on <u>January 5, 2023</u> unless appealed by an affected party (including filing of the necessary application and payment of the appropriate fee) or is called up for review by a member of the City Council. Any appeal must be filed by 5 PM on the date listed above, pursuant to CMMC Sections 2-305(2) and 2-307.

This report also serves as an official public notice for the adjacent property owners of the pending approval of proposed project, which includes the construction of two new, two-story single family residences on a single parcel.

If you have any questions regarding the above items, please contact the project planner, Froylan Garcia at froylan.garcia@costamesaca.gov.

Sincerely,

Jennifer Le

Director of Economic and Development Services

CC:

161 Cecil Place LLC. 2472 Chambers Road, #150 Tustin, CA 92780-6798 Engineering Fire Marshal Building Division **Development Review DR-22-02** December 22, 2022 Page 2 of 13

Adjacent Property Owners:

Douglas G & Lauren Conrady 2246 Elden Ave Costa Mesa, CA 92627

Patrick & Maria Elena Di Caprio 203 PARK VALLEY LN Cary, NC 27519-6649

Robert B Shwartz 2611 Redlands Dr Costa Mesa, CA 92627-6705 Pageant Realty LLC 1789 Tahiti Dr Costa Mesa, CA 92626

James M Werner & J/Werner L Family Trust 164 VIRGINIA PL Costa Mesa, CA 92627-6705

John F Warman 1410 NE Sommer D Grants Pass, OR 97526-3569

PLANNING APPLICATION SUMMARY

Location:	161 Cecil Place	Application No:	DR-22-02	
Request:	Development Review to construct two, two-story single family dwelling units.			

SUBJECT PROPERTY:

SURROUNDING PROPERTY:

SOBSECT FROM ERTT.					
Zone:	R2-MD (Multiple-Family	North:	R2-MD;		
	Residential, Medium		Multiple-Family Residential, Medium Density		
	Density)				
General Plan:	MDR: (Medium Density	South:	R2-MD;		
	Residential)		Multiple-Family Residential, Medium Density		
Lot	Approx. 60 FT x 140 FT	East:	R2-MD; Multiple-Family Residential,		
Dimensions:			Medium Density		
Lot Area:	8,288.5 SF	West:	R2-MD; Multiple-Family Residential,		
			Medium Density		
Existing	Two single story homes. (To	be demolis	shed).		
Development:			,		

DEVELOPMENT STANDARD COMPARISON

Development Standard	Required / Allowed R2-MD Standards	Proposed / Provided
Density/Intensity:		
Zoning	1 DU / 3,630 SF	1 DU / 3,750 SF
General Plan	1 DU / 3,630 SF	
Building Coverage (Development Lot):		
Buildings	NA	39.8% (3,300 SF)
Paving	NA	7.7% (642.66 SF)
Open Space (Overall)	40% (3,388 SF)	52.4% (4,345.84 SF)
TOTAL:		100% (8,288.5SF)
Building Height	2 stories / 27 FT	2 stories / 27 FT
% ratio of 2 nd floor to 1 st floor	Max. 100%	First Unit: 89%
		Second Unit: 89%
Setbacks:		
Front	20 FT	20 FT
Side (left / right)	5 FT / 5 FT	5 FT / 5 FT
Rear (1st floor)	10 FT	25 FT 1 IN
Rear (2 nd floor)	20 FT	42 FT 7 IN
Parking:		
Covered	2	4
Tenant Open	5	3
Guest Open	1	1
TOTAL:	8	8
Minimum Clear Interior Garage Dimensions	20 FT x 20 FT (two-car)	20 FT x 20 FT 20 FT x 20 FT
Driveway Width	20 FT x 20 FT (two-car) 10 FT	16 FT
	nstruction/Small Conversion	• • • • • • • • • • • • • • • • • • • •
Final Action Planning Division/Director of	f Economic and Development Se	rvices

PROJECT DESCRIPTION

Location

The subject property is located at 161 Cecil Place in a multi-family neighborhood on the east side of Costa Mesa. The property is located on Cecil Place between Elden Avenue and Orange Avenue, near Newport Boulevard and State Route 55 to the north of the property. The 0.19-acre site is currently developed with two detached single-story homes. The property is zoned R2-MD (Multiple-Family Residential District, Medium Density) and has a General Plan Land Use Designation of Medium Density Residential. The adjacent properties to the north, west, south, and east are also zoned R2-MD and have a General Plan Land Use Designation of Medium Density Residential.

Proposed Project

The proposed project is a request to demolish two existing single-story homes and construct two new two-story residential units. Each unit will be 2,694 square feet (SF) with a 432 SF garage. The proposed residences would have a mirrored design. The first floor of both units would consist of a bedroom, bathroom, kitchen, and a living room. The second floor of both units would consist of a master bedroom with a full bath, two smaller bedrooms with a full bath, a game room and a laundry room. Pursuant to the City of Costa Mesa Municipal Code (CMMC) Section 13-28 (e), a Development Review (DR) application approval is required for two-story residential construction that is located within the R2-MD zoning district and that is compliant with the City's Residential Design Guidelines.

Parking for the residences will be provided in two car garages that will be attached to the front of each residence. Each residence will also have two open parking spaces in the driveways fronting the attached two car garages.

<u>ANALYSIS</u>

Multiple-family residential units are permitted by right in the R2-MD zoning district; however, due to the proposed second-story addition, the proposal requires approval of a Development Review application. Pursuant to the CMMC, second-story development is subject to specific design standards and noticing requirements pursuant to the City of Costa Mesa Residential Design Guidelines and zoning code.

All planning applications are reviewed pursuant to CMMC Section 13-29 (e) to ensure the proposal is compatible with the surrounding area, and in compliance with applicable zoning standards and General Plan policies. Compliance with applicable development standards of the City of Costa Mesa Zoning Code, Residential Design Guidelines and General Plan policies are discussed in detailed in the following sections

Review Criteria

Pursuant to CMMC Section 13-29, the following applicable review criteria have been considered:

(1) Compatible and harmonious relationship between the proposed building and site development, and use(s), and the building and site developments, and uses that exist or have been approved for the general neighborhood.

The proposed development is compatible and harmonious with the surrounding development and uses in that the adjacent development includes a mixture of one and two-story single family and multiple family residences.

(2) Safety and compatibility of the design of buildings, parking area, landscaping, luminaries and other site features which may include functional aspects of the site development such as automobile and pedestrian circulation.

Safety and compatibility of the design of buildings, parking area, landscaping, luminaries and other site features which may include functional aspects of the site development such as automobile and pedestrian circulation have been considered for the proposed project. The parking area, driveway, and open space area conforms to the zoning code requirements and a new sidewalk is proposed in compliance with city guidelines to improve pedestrian circulation.

(3) Compliance with any performance standards as prescribed elsewhere in this Zoning Code.

The project, as proposed and conditioned, will comply with the performance standards prescribed in the Zoning Code, including the development standards, and landscape requirements.

(4) Consistency with the general plan and any applicable specific plan.

The proposed project is consistent with the General Plan and is not located within a Specific Plan area. The Medium Density Residential General Plan Land Use Designation of the property allows a maximum density of 12 dwelling units per acre or one unit per 3,630 square feet of lot area. The existing lot size is 0.19 acres (8,477 square feet), which would allow a maximum of two units on the property; two units currently exist on the property and are proposed to be demolished and replaced with two new units. As such, the project does not exceed the maximum density allowed in within the Medium Density Residential General Plan Land Use Designation. The following analysis further evaluates the proposed project's consistency with specific policies and objectives of the 2015-2035 General Plan.

1. **Policy LU-3.1** Protect existing stabilized residential neighborhoods, including mobile home parks (and manufactured housing parks), from the encroachment of incompatible or potentially disruptive land uses and/or activities.

Consistency: The subject neighborhood is intended for residential development and therefore the proposed two-units would be compatible and not disrupt the existing adjacent residences.

2. **Objective LU-2A:** Promote land use patterns and development that contribute to community and neighborhood identity.

Consistency: The proposed project will construct two attached units that incorporates modern farmhouse architectural design elements and water-wise landscaping. The project will improve the visual appeal from and to the public right of way. The public right of way will include new landscaping and sidewalk constructed to City's standards. The existing residential neighborhood includes single-family and multiple-family development with varying architectural styles, including craftsman, ranch and modern farmhouse. The existing residential development within this neighborhood also varies in height from including both single and two-story residences. The proposed project would not be out of character for this neighborhood and provide investment and aesthetic improvement to what currently exists on the project site.

3. 6th Cycle Housing Policy HOU-2.1: Facilitate the development of housing that meets the needs of all segments of the population including affordable housing and households with specialized needs. Implementation Program 2E: Encourage Development of Housing Options for Large-Family Households. Objective: Promote and work with applicants who propose for-rent residential projects to encourage 4-bedroom units as part of proposed development.

Consistency: The proposed project achieves the objective of policy HOU 2.1 and the associated Implementation Program 2E by providing housing suitable for large-family household. Each of the proposed units include three bedrooms and a master suite.

(5) The planning application is for a project-specific case and is not to be construed to be setting a precedent for future development.

The application is for a project-specific case to modify an existing residential property. The project meets all applicable development standards and design guidelines for two-story residential units permitted in the R2-MD zoning district. The proposed development would not be precedent setting.

(6) For residential developments, consistency with any applicable design guidelines adopted by City Council resolution.

The project is consistent with the City of Costa Mesa Residential Design Guidelines. The Design Guidelines are intended to implement the goals and objectives of the General Plan as they relate to residential development. The design of the new two-story residential units, as proposed, will comply with the City's Residential Design Guideline in that the residence will incorporate appropriate building mass and form, will provide distinct architectural features, have varying heights, and considers window placement for purposes of maintaining privacy.

 Second Story Design: Second-story floor area should not exceed 100% of the firststory floor area. The intent of this guideline is to promote two-story structures designed with articulation and off-sets to avoid a boxy appearance from the street and neighboring views. Both residences propose an 89.4% second-floor to first-floor ratio.

- Elevation Treatments, Building Mass, Roof Forms and Form Considerations: The design of the proposed project complies with the building mass and form, setbacks, elevation treatments, and architectural consistency guidelines. The proposed residences include elevations with varied roof forms and facade treatments to enhance visual interest. The varied roof forms help avoid the residences having a boxy appearance from the street and neighboring properties. The use of a combination of materials and finishes including smooth stucco and vertical siding avoids long unbroken façades. The use of wood in the shutters and doors also provide design contrast.
- Second Story Side Setbacks: The Residential Design Guidelines allow for a minimum five-foot interior side setback for both stories when a new construction unit will be over 2,700 square feet in area (not including the garage) with up to 50 percent lot coverage as defined by Article 2 of Title 13 (Zoning Code). The proposed building is over 2,700 square feet and the lot coverage is 48 percent. The new residences will be placed on the property with a minimum five-foot interior side setbacks.

Window Placement:

The applicant considered the setbacks of existing neighboring structures and the placement of second-story windows in the design. The project does not propose window placements are not in a direct line of sight to the neighboring residences windows, as shown on Sheet A-7of the project plans. A view is considered direct when the centerlines of the windows of the proposed project and the windows of the adjacent residence are less than 10 feet apart horizontally. The windows of the adjacent residential units are further than 20 feet away from the adjacent property line. The existing second-story window on 2246 Elden Avenue is twenty-five feet from the subject property line. The existing second-story window located on 2248 Elden Avenue is located eighty feet from the subject property line. Due to the distance between proposed windows and windows on neighboring residences, substantial privacy impacts are not anticipated. The remainder of adjacent homes are all single-story homes that have a six-foot fence and existing landscape that provides privacy.

ENVIRONMENTAL DETERMINATION

The project has been reviewed for compliance with the California Environmental Quality Act (CEQA), the CEQA Guidelines, and the City environmental procedures, and is exempt under Section 15303, Class 3, New Construction or Conversion of Small Structures, of the CEQA Guidelines. This exemption applies to a duplex or similar multiple-family residential structure, totaling no more than four dwelling units designed for not more than six dwelling units; this project consist of two dwelling units in total. Furthermore, none of the exceptions that bar the application of a categorical exemption pursuant to CEQA Guidelines Section 15300.2 apply. The project would not result in a cumulative impact; would not have a significant effect on the environment due to unusual circumstances; would not result in damage to scenic resources; is not located on a hazardous site or location; and would not impact any historic resources.

CONDITIONS OF APPROVAL

- Plng. 1. The applicant shall defend, indemnify, and hold harmless the City, its elected and appointed officials, agents, officers and employees from any claim, legal action, or proceeding (collectively referred to as "proceeding") brought against the City, its elected and appointed officials, agents, officers and/or employees arising out of, or which are in any way related to, the applicant's project, or any approvals granted by City related to the applicant's project. The indemnification shall include, but not be limited to, damages, fees and/or costs awarded against the City, if any, and cost of suit, attorney's fees, and other costs, liabilities and expenses incurred in connection with such proceeding whether incurred by the applicant, the City and/or the parties initiating or bringing such proceeding. This indemnity provision shall include the applicant's obligation to indemnify the City for all the City's costs, fees, and damages that the City incurs in enforcing the indemnification provisions set forth in this section. City shall have the right to choose its own legal counsel to represent the City's interests, and applicant shall indemnify City for all such costs incurred by the City.
 - 2. The conditions of approval, code requirements, and special district requirements for DR-22-02 shall be blueprinted on the face of the site plan as part of the plan check submittal package.
 - 3. The applicant shall contact the Planning Division to arrange Planning inspection of the site prior to the Building Division's final inspections. This inspection is to confirm that the conditions of approval and Code requirements have been satisfied.
 - 4. Address assignment shall be requested from the Planning Division prior to submittal of working drawings for plan check. The approved address of individual units, suites, buildings, etc., shall be blueprinted on the site plan and on all floor plans in the working drawings.
 - No modification(s) of the approved building elevations including, but not limited to, changes that increase the building height, additional second-story windows, removal of building articulation, or a change of the finish material(s), shall be made during construction without prior Planning Division written approval. Failure to obtain prior Planning Division approval of the modification could result in the requirement of the applicant to (re)process the modification through a discretionary review process such as a design review or a variance, or in the requirement to modify the construction to reflect the approved plans.
 - 6. It is recommended that the project incorporate green building design and construction techniques where feasible. The applicant may contact the Building Safety Division at (714) 754-5273 for additional information.
 - 7. Prior to issuance of final building inspections, the applicant shall provide a scaled and dimensioned digital site plan(s) for the project site, on either a CD or thumb drive, to the Planning Division. All site plans shall include an accurate and precise drawing of all building footprints and property line locations for the entire project site. All buildings shall be annotated with its corresponding address and suites if applicable.

Development Review DR-22-02 December 22, 2022 Page 9 of 13

Pkwys 8. All City trees shall be protected during the construction phase of this projects. All trees damaged will be replaced with a 24-inch box tree or bigger. Tree species shall be determined by the City's Arborist.

CODE REQUIREMENTS

The following list of federal, state, and local laws applicable to the project has been compiled by staff for the applicant's reference. Any reference to "City" pertains to the City of Costa Mesa.

- Plng. 1. Approval of the design review application is valid for two years from the effective date of this approval and will expire at the end of that period unless a building permit has been issued and construction has commenced, and a valid building permit has been maintained by making satisfactory progress as determined by the Building Official. A time extension can be requested no less than 30 days or more than 60 days before the expiration date of the permit and submitted with the appropriate fee for review to the Planning Division. The Director of Development Services may extend the time for an approved permit or approval to be exercised up to 180-days subject to specific findings listed in Title 13, Section 13-29 (k) (6). Only one request for an extension of 180 days may be approved by the Director. Any subsequent extension requests shall be considered by the original approval authority.
 - 2. Development shall comply with all requirements of Article 1, Chapter 5, Title 13, of the Costa Mesa Municipal Code relating to development standards for residential projects.
 - 3. Prior to the issuance of building permits, the applicant shall contact the U.S. Postal Service with regard to location and design of mail delivery facilities. Such facilities shall be shown on the site plan, floor plan, and/or landscape plan.
 - 4. Street addresses shall be displayed in a manner visible to the street. Street address numerals shall be a minimum of 6 inches in height with not less than 1/2 –inch stroke and shall contrast sharply with the background.
 - 5. Installation of all utility meters shall be performed in a manner so as to obscure the installation from view from any place on or off the property. The installation vault, wall cabinet, or wall box under the direction of the Planning Division.
 - 6. Fencing shall comply with the requirements set forth in the Costa Mesa Municipal Code Section 13-75, as well as the City's Walls, Fences and Landscaping Standards.
 - 7. The landscaping of this project shall comply with the City's landscaping requirements and any applicable guidelines (i.e. Water Efficient Landscape Guidelines). The final landscape plan shall meet tree count, tree selection, shrub count, ground cover and turf requirements per the City's Zoning Code requirements.
 - 8. Two sets of detailed landscape and irrigation plans, which meet the requirements set forth in the Costa Mesa Municipal Code Sections 13-101 through 13-108 and the City's Water Efficient Landscape Guidelines,

- shall be required as part of the project plan check review and approval process. Plans shall be forwarded to the Planning Division for final approval prior to the issuance of building permits.
- 9. Landscaping and irrigation shall be installed in accordance with the approved plans prior to final inspection or occupancy clearance.
- 10. All unpaved areas visible from public right-of-ways shall be landscaped and the landscaping shall be maintained in a healthy condition, free of dying, dead, diseased, decayed, discarded, and/or overgrown vegetation.
- 11. Trash facilities shall be screened from view, and designed and located appropriately to minimize potential noise and odor impacts to neighbors.
- 12. Installation of all new utility meters shall be performed in a manner so as to obscure the installation from view from any place on or off the property. The installation shall be in a manner acceptable to the public utility and shall be in the form of a vault, wall cabinet, or wall box, under the direction of the Planning Division.
- 13. Any mechanical equipment such as air-conditioning equipment and duct work shall be screened from view in a manner approved by the Planning Division.
- 14. Transformers, backflow preventers, and any other approved aboveground utility improvements shall be located outside of the required street setback area and shall be screened from view, under direction of Planning staff. Any deviation from this requirement shall be subject to review and approval of the Development Services Director.
- Bldg. 15. Comply with the requirements of the adopted, 2019 California Residential Code, the 2019 California Building Code, 2019 California Electrical Code, 2019 California Mechanical Code, 2019 California Plumbing Code, 2019 California Green Building Standards Code and 2019 California Energy Code (or the applicable adopted, California Residential Code, California Building Code, California Electrical Code, California Mechanical Code, California Plumbing Code, California Green Building Standards and California Energy Code at the time of plan submittal or permit issuance) and California Code of Regulations also known as the California Building Standards Code, as amended by the City of Costa Mesa. Two separate plans for each address shall be submitted to the Building Division for review. For other Departments or Divisions one set can be submitted.
 - 16. All noise-generating construction activities shall be limited to 7 AM to 7 PM, Monday through Friday and 9 AM to 6 PM, Saturday. Noise-generating construction activities shall be <u>prohibited</u> on Sunday and the following Federal holidays: New Year's Day, Memorial Day, Independence Day, Labor Day, Thanksgiving Day and Christmas Day.
 - 17. Submit a precise grading plans, an erosion control plan and a hydrology study. If it is determined that a grading plan is not required a drainage plan shall be provided. Prior to issuing the Building permit, the rough grading certificate shall be submitted to the Building Division.

- 18. Submit a soils report for this project. Soil's Report recommendations shall be blueprinted on both the architectural and the precise grading plans.
- The ground adjacent immediately to the foundation shall be sloped away from the building at a slope of not less than 5% for a minimum distance of 10 feet measured perpendicular to the face of the wall CBC sec. 1804.3. See also exception. On graded sites the top of exterior foundation shall extend above the elevation of the street gutter at point of discharge or the inlet of an approved discharge devise a minimum of 12 inches plus 2 percent 2019 California Building Code sec. 1808.7.4
- 20. Maximum allowable area of new construction and additions shall be determined in accordance with the applicable provisions of 2019 California Building Code Section 506.2
- 21. Maximum area of exterior wall openings shall be determined in accordance with the applicable provisions of 2019 California Building Code Section 705.8 and Table 705.8.
- 22. On graded sites the top of exterior foundation shall extend above the elevation of the street gutter at point of discharge or the inlet of an approved discharge devise a minimum of 12 inches plus two percent. 2019 California Residential Code CRC 403.1.7.3
- 23. Lots shall be graded to drain surface water away from foundation walls. The grade shall fall a minimum of six inches within the first 10 feet. CRC R401.3
- Eng. 24. At the time of development, submit for approval of an Offsite Plan to the Engineering Division, and Grading Plan to the Building Division that shows sewer, water, existing parkway improvements and the limits of work on the site, and hydrology calculations, both prepared by a registered Civil Engineer or Architect. Construction Access approval must be obtained prior to Building or Engineering Permits being issued by the City of Costa Mesa. Pay Offsite Plan Check fee per Section 13-231 of the C.C.M.M.C. and an approved Offsite Plan shall be required prior to Engineering Permits being issued by the City of Costa Mesa.
 - 25. Maintain the public Right-of-Way in a "wet-down" condition to prevent excessive dust and remove any spillage from the public Right-of-Way by sweeping or sprinkling.
 - 26. Pay Offsite Plan Check fee per Section 13-231 of the C.C.M.M.C. and an approved Offsite Plan shall be required prior to Engineering Permits being issued by the City of Costa Mesa.
 - 27. Obtain an encroachment permit from the Engineering Division for any work in the City public right-of-way. Pay required permit fee & cash deposit or surety bond to guarantee construction of off-site street improvements at time of permit per section 15-31 & 15-32, C.C.M.M.C. as approved by City Engineer. Cash deposit or surety bond amount to be determined by City Engineer.
 - 28. Obtain a permit from the City of Costa Mesa, Engineering Division, at the time of development and then construct P.C.C. driveway approach per City of Costa Mesa Standards as shown on the Offsite Plan. Location and dimensions are subject to the approval of the

Transportation Services Manager. ADA compliance required for new driveway approaches.

- 29. Obtain a permit from the City of Costa Mesa, Engineering Division, at the time of development and then reconstruct the existing residential sidewalk per City of Costa Mesa Standards as shown on the Offsite Plan, including four (4) feet clear around obstructions in the sidewalk.
- 30. Fulfill Drainage Fee requirements per City of Costa Mesa Ordinance No. 06-19 prior to approval of Final Map/Approval of Plans.
- 31. Dedicate a 3-foot public sidewalk easement behind existing right of way line on Cecil Place.
- Trans. 32. Construct drive approaches per City standard 513, w=16' and x=4'. Plan shows the x at 3', this change can be made prior to building permit.
- Fire 33. Comply with the California Fire Code as adopted and amended by the City of Costa Mesa.
 - 34. Residential fire sprinklers shall be added to the new residential units.

Bus. 35. All contractors and subcontractors must have valid business licenses to do business in the City of Costa Mesa. Final inspections, final occupancy and utility releases will not be granted until all such licenses have been obtained.

SPECIAL DISTRICT REQUIREMENTS

The requirements of the following special districts are hereby forwarded to the applicant:

- AQMD 1. Applicant shall contact the Air Quality Management District (800) 288-7664 for potential additional conditions of development or for additional permits required by AQMD.
 - Prior to the Building Division (AQMD) issuing a demolition permit, contact South Coast Air Quality Management District located at: 21865 Copley Dr.

Diamond Bar, CA 91765-4178

Tel: 909-396-2000

OR

Visit their web site:

http://www.costamesaca.gov/modules/showdocument.aspx?documentid=23381

The Building Division will not issue a demolition permit until an identification number is provided by AQMD.

- Cable 3. The applicant shall contact the current cable company prior to issuance of building permits to arrange for pre-wiring for future cable communication service.
- Sani. 4. It is recommended that the applicant contact the Costa Mesa Sanitary District at (949) 645-8400 for current district requirements.
- School 5. Pay applicable Newport Mesa Unified School District Fees to the Building Division prior to issuance of building permits.

Development Review DR-22-02

December 22, 2022 Page 13 of 13

State

6. Comply with the requirements of the California Department of Food and Agriculture (CDFA) to determine if red imported fire ants (RIFA) exist on the property prior to any soil movement or excavation. Call CDFA at (714) 708-1910 for information.

Water

- 7. Customer shall contact the Mesa Water District Engineering Desk and submit an application and plans for project review. Customer must obtain a letter of approval and a letter of project completion from Mesa Water District.
- 8. Prior to the issuance of a connection permit, the applicant shall pay the applicable water connection fees.

SUBJECT LOT INFORMATION

N TR 269 BLK LOT 19 APN: 426-062-06

MULTIPLE FAMILY RESIDENTIAL, MEDIUM DENSITY

ORIGINAL LOT SIZE: 8,477 SQUARE FEET (2) SINGLE-STORY UNITS EXISTING # OF UNITS: 1,700 SQUARE FEET EXISTING SQUARE FEET YEAR BUILT: 1912 & 1962

PROPOSED UNIT(S) STATISTICS

4 BEOS & 4 BATHS 161 CECIL PL UNIT A 1ST FLOOR 1.21B SOUARE FEET 1,476 SQUARE FEET 2ND FLOOR GARAGE (2-CAR) 432 SQUARE FEET COVERED PATIO 392 SOHARE FEET 161 CECIL PL UNIT B 4 BEDS & 4 BATHS 1ST FLOOR 1,218 SQUARE FEET 2ND FLOOR 1.476 SQUARE FEET GARAGE (2-CAR) **432 SOUARE FEET**

PROPOSED AREA BREAKDOWN

COVERED PATIO

ORIGINAL LOT AREA B 470 SQUARE FEET NEW DEVELOPMENT LOT AREA 8,288.50 SQUARE FEET 2,436 SQUARE FEET 1ST FLOOR(S) 2.952 SQUARE FEET 2ND FLOOR(S) DRIVEWAY(S) 642.66 SQUARE FEFT GARAGE(S) **864 SQUARE FEET** 48% (3,942.66 SQUARE FEET) LOT COVERAGE 52% (4,345_84 SQUARE FEET) OND FLOOR(S) 89% (2.952 SE TOTAL)

392 SQUARE FEET

3,300 SQUARE FEET

CODE REVIEW

2ND FLOOR LIMIT

ALL DESIGN , PLANS, WORK AND MATERIALS SHALL CONFORM STRICTLY TO:

CITY OF COSTA MESA LOCAL ORDINANCES AND CALIFORNIA CODES: 2019 CRC, 2019 CBC, 2019 CFC 2019 CPC 2019 CFC 2019 CMC 2019 CEES (CA ENERGY), 2019 C6 (CAL GREEN)

ALL OTHER FEDERAL. STATE AND LOCAL CODE OCCUPANCY TYPE: TYPE OF CONSTRUCTIONS V-B

FIRE SPRINKLERS; Number of Stories:

DEFERRED SUBMITTALS

1. FIRE SPRINKLERS
2. SOLAR PANELS

3. SITE WALLS 4. SITE FENCES

5. SOUND ATTENUATUIB DESIGN FOR HVAC UNIT

1. DEFERRED SUBMITTALS TO BE REVIEWED BY PROJECT ARCHITECT OR ENGINEER OF RECORD AND CERTIFIED PRIOR TO

NEPA-13D

2-STORIES

2. FIRE SPRINKLER DESIGN CALCULATIONS AND PLANS TO BE REVIEWED BY BUILDING DESIGNER TO CERTIFY CONFORMANCE WITH ARCHITECTURAL PLANS PRIOR TO SUBMITTAL TO THE CITY OF COSTA MESA BUILDING DIVISION REVIEW.

STRUCTURAL FMRHIFFINGS):

25 MAUCHLY, SUITE 323

IRVINE, CA 92618

HONGBO YANG, P.E. & JACK WANG

PROJECT TEAM RED INC.

18627 BROOKHURST ST #205

FOUNTAIN VALLEY, CA 92708

TUSTIN, CA 92780 JACK@WHENGINEERINGGROUP COM 949-633-7103 949-229-3357 714-488-3327 LAND SURVEYOR: SOILS ENGINEER: CIVIL ENGINEER PAUL CRAFT WAI CHEN, P.E. 4071 E. LA PALMA AVE. STE B APEX LAND SURVEYING INC. 8 WHATNEY SUITE 100. HUNTINGTON BEACH, CA 92646 IRVINE, CA 92618 ANAHEIM, CA 92807 WAI@WHENGINEERINGGROUP.COM FAHAD282@GMAIL.COM APEXLSING@GMAIL.COM

CUNER: 161 CECIL PL LLC

714-632-3190

2472 CHAMRERS RD

SCOPE OF WORK

THE SUBJECT LOT ZONED FOR R-2-MD IS LOCATED IN THE EASTSIDE COSTA MESA AREA AND CONTAINS (2) EXISTING SINGLE-STORY DWELLING UNITS. THE FIRST UNIT IS 935 SQUARE FEET CONTAINING 2 BEDROOMS, 1 BATH, AND 2 CAR GARAGE RIJILT-IN 1962. THE SECOND UNIT IS A 700 SQUARE FEET UNIT CONTAINING 1 BEDROOM AND 1 BATH COTTAGE BUILT-IN 1912. EXISTING UNITS (1,700 SQUARE FEET APPROXIMATE) ARE TO BE DEMOLISHED FOR THE PROPOSED (2) 2-STORY DWELLING INIT DEVELOPMENT FEATURING (2) 3 126 SE RIIII DINGS WITH 4 BEDROOMS & 4 BATHS. AND A 2-CAR GARAGE IN EACH UNIT

CONSTRUCTION REQUIREMENTS

PLUMBING

1. WATER CLOSETS TO HAVE A SIDE CLEARANCE OF 15 INCHES ON EACH SIDE MEASURED FROM THE CENTERLINE OF THE WATER CLOSET TO THE WALLS OR OTHER DRSTRUCTIONS (CPC 402 5)

2. THE FOLLOWING WATER-CONSERVING PLUMBING FIXTURE FLOW RATES

A WATER CLOSET TO BE 1.28 GALLONS PER FLUSH MAXIMUM OR DUAL FLUSH PER CPC 411.2

B. KITCHEN FAUCET TO BE 1.8 GALLONS PER MINUTE, MAXIMUM, PER CPC 420.2.1 & 420.2.2 C. DESIDENTIAL LAVATORY FAHIRET TO RE 1.2 GALLONS PER MINUTE, MAXIMUM PER CPC 407.2.2

D. SHOWER HEADS TO BE 1.8 GALLONS PER MINUTE, MAXIMUM PER CPC 408.2

ELECTRICAL EXTERIOR LIGHTING LUMINAIRES TO MEET THE FOLLOWING REQUIREMENTS, AS APPLICABLE PER CEC 150.0(K)(3)

A. CONTROLLED BY A MANUAL ON AND OFF SWITCH THAT DOES NOT OVERRIDE TO ON THE AUTOMATIC ACTIONS OF ITEMS B OR C BELOW; AND B. CONTROLLED BY PHOTOCELL AND MOTION SENSOR, CONTROLS THAT OVERRIDE TO ON SHALL NOT BE ALLOWED UNLESS THE OVERRIDE AUTOMATICALLY

REACTIVATES THE MOTION SENSOR WITHIN 6 HOURS: OR C. CONTROLLED BY ONE OF THE FOLLOWING METHODS:

I. PHOTOCONTROL AND AUTOMATIC TIME SWITCH CONTROL

3. EXHAUST DUCTS SHALL TERMINATE 3'-0" FROM OPENINGS INTO THE BUILDING. (CMC 502.21)

III. ENERGY MANAGEMENT CONTROL SYSTEM

2, PROVIDE A SMOKE AND CARBON MONOXIDE DETECTOR OUTSIDE THE VICINTY OF SLEEPING ROOMS PER (CRC 314.3 AND CRC R315.3)

MECHANICAL

I ROOMS CONTAINING RATHTURS. SHOWERS, SPAS AND SIMILAR FIXTURES SHALL BE PROVIDED WITH AN EXHAUST FAN WITH HUMIDITY CONTROL SENSOR HAVING A MINIMUM CAPACITY OF 50 CFM DUCTED TO TERMINATE OUTSIDE THE BUILDING. (CRC R303.3, CAL GREEN 4.506.1, CBC 1202.5.2.1, CMC 402.5) 2. WHERE WATER CLOSET COMPARTMENT IS INDEPENDENT OF THE BATHROOM OR SHOWER AREA, A FAN WILL BE REQUIRED IN EACH AREA. BATHROOMS SHALL HAVE AN EXHAUST FAN WITH HUMIDITY CONTROL SENSOR, MIN. 50 CFM CAPACITY. (CRC R303.3)

BATHROOM

1 RATHUR AND SHOWER FLOORS AND WALLS AROVE WITH RATHURS INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE, SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR, (CRC R307.2) 2. GYPSUM BOARD SHALL NOT BE USED WHERE THERE WILL BE DIRECT EXPOSURE TO WATER, OR IN AREAS SUBJECT TO CONTINUOUS HIGH HUMIDITY, (CRC

3 WALL COVERING OF SHOWERS OR THIRS WITH SHOWERS SHALL BE DE CEMENT PLASTER. THE OR APPROVED FOLIAL. TO A HEIGHT DE NOT LESS THAN 72 INCHES ABOVE DRAIN INLET. BACKING FOR TILE SHALL BE CEMENT BOARD OR CEMENT PLASTER. (CRC R307.2, CBC 1209.2.3)

4. CLEARANCE FOR WATER CLOSET TO BE A MINIMUM OF 24 INCHES IN FRONT, AND 15 INCHES FROM ITS CENTER TO ANY SIDE WALL OR OBSTRUCTION. (CPC

5 WINDOW TO BE TEMPER GLAZED WHERE WINDOWS ARE 60 INCHES OR LESS ABOVE THE TUB OR SHOWER FLOOR. (CRC 8308.4.5)

1. MAXIMUM RISE OF 7.75 INCHES AND MINIMUM RUN (TREAD) OF 10 INCHES. R311.7.5

2. PROVIDE A NOSING BETWEEN 0.76" AND 1.25" ON STAIRWAYS WITH SOLID RISERS WHERE TREAD DEPTH IS LESS THAN 11". R311.7.5.3 AND EXCEPTION 1 3. MINIMUM WIDTH OF 38 INCHES, R311.7.1

4. MINIMUM HEADROOM OF 8 FT. 8 INCHES. R311.7.2

6. ALTERNATING TREAD DEVICES AND SHIP LADDERS SHALL NOT BE USED AS AN ELEMENT OF A MEANS OF EGRESS. R311,7:11 AND R311,7:12

HANDRAUS

1. PROVIDE A MINIMUM OF ONE CONTINUOUS HANDRAIL ON STAIRWAYS WITH 4 OR MORE RISERS AND AT ALL OPEN SIDES, R311.7.8

2. HANDRAIL HEIGHT SHALL BE 34 TO 38 INCHES ABOVE THE NOSING OF TREADS. R371.7.0.1 3. Handrail with Circular Cross-Sections Shall Have a Diameter of 1.25 to 2 inches. R371.7.8.3 ITEM 1.

4. HANDRAILS WITH OTHER THAN CIRCULAR CROSS-SECTIONS SHALL HAVE A PERIMETER DIMENSION OF 4 TO 0.25 INCHES WITH A MAXIMUM CROSS-SECTION OF 2.25 INCHES, R311.7.8.3 ITEM 1

, HANDRAILS WITH A PERIMETER BREATER THAN 6.25 INCHES SHALL COMPLY WITH R311.7.6.3 ITEM 2.

6. HANDRAIL SHALL BE CONTINUOUS WITHOUT INTERRUPTION BY NEWEL POST OR OTHER OBSTRUCTION, EXCEPT AT THE LANDING, VOLUTE, OR TURNOUT ON LOWEST TREAD, R311.7.8.2, EXCEPTION 1 & 2.

7. CLEAR SPACE BETWEEN HANDRAIL AND WALL SHALL BE 1.5 INCHES MINIMUM. R311.7.8.2

MEANS OF EGRESS

1, SLEEPING ROOMS SHALL HAVE AT LEAST ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING. SUCH OPENINGS SHALL OPEN DIRECTLY INTO A PUBLIC

WAY, YARD OR COURT THAT OPENS TO A PUBLIC WAY, PROVIDE DETAILS ON PLANS: (R310.1 CRC).

A. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A NET CLEAR OPENING OF 5.7 SF.

R. MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24 INCHES. C. MINIMUM NET CLEAR OPENING WIDTH DIMENSION SHALL BE 20 INCHES.

DEMERGRACY ESCAPE AND RESCUE OPENING SHALL HAVE A SUL HEIGHT NOT MORE THAN AA INCHES AROVE THE FLOOR (RSID 2.2)

WINDOW FALL PROTECTION

1. WINDOW FALL PROTECTION SHALL BE PROVIDED IN ACCORDANCE WITH SECTIONS 9R312,2,1 AND R312,2,2).

A. WINDOW SILLS, IN DWELLING UNITS, WHERE THE TOP OF THE SILL OF AN OPERABLE WINDOW OPENING IS LOCATED LESS THAN 24 INCHES ABOVE THE FINISHED FLOOR AND GREATER THAN 72 INCHES ABOVE THE FINISHED GRADE OR OTHER SURFACE BELOW.

). OPERABLE WINDOWS WITH OPENINGS THAT WILL NOT ALLOW A 4 INCHES DIAMETER SPHERE TO PASS THROUGH THE OPENING WHERE THE OPENING IS IN ITS LARGEST OPERED POSITION.

C. OPENINGS THAT ARE PROVIDED WITH WINDOW FALL PREVENTION DEVICES THAT COMPLY WITH ASTM F 2090.

D. WINDOWS THAT ARE PROVIDED WITH WINDOW OPENING CONTROL DEVICES THAT COMPLY WITH SECTION R312.2.2

WINDOW OPENING CONTROL DEVICES

1. WINDOW OPENING CONTROL DEVICES SHALL COMPLY WITH ASTM F 2090. THE WINDOW OPENING CONTROL DEVICE, AFTER OPERATION TO RELEASE THE CONTROL DEVICE ALLOWING THE WINDOW TO FULLY OPEN, SHALL NOT REDUCE THE MINIMUM NEW CLEAR OPENING AREA OF THE WINDOW UNIT TO LESS THAN THE AREA REQUIRED BY SECTION R310.1.1. (R312.2.2)

KITCHEN ISLAND SINK

1. EACH ISLAND VENT SHALL SERVE ONLY ONE FIXTURE.

2. ALL FITTINGS FOR THE LOOP VENT, FOOT VENT, AND RETURN VENT SHALL BE DRAINAGE TYPE FITTINGS.

3. THE LOOP BEND SHALL CONSIST OF ONE FITTING OR ONE 1/4 BEND AND TWO 1/8TH BENDS. IT SHALL RISE AS HIGH AS POSSIBLE BEFORE TURNING

4. THE RETURN VENT SHALL CONNECT TO THE HORIZONTAL DRAIN DIRECTLY BELOW THE CONNECTION BETWEEN THE RETURN VENT AND THE FOOT VENT WITH A

5. THE FOOT VENT SHALL EXTEND FROM THE RETURN VENT IN THE VERTICAL POSITION IMMEDIATELY BELOW THE FLOOR WITH A WYE TYPE FITTING

6 THE FOOT VENT SHALL EXTEND FROM THE RETURN VENT TO A POINT IMMEDIATELY BELOW THE FLOOR WITH A WYE TYPE FITTING. 7. CLEANOUTS SHALL BE PROVIDED IN THE DRAIN BELOW THE FIXTURE TRAP AND IN THE VERTICAL PART OF THE FOOT VENT ABOVE THE FLOOI

FLEVATED PORCHES, LANDINGS, DECKS OR FLOORS THAT ARE 30" OR MORE ABOVE GRADE OR FLOOR BELOW MUST HAVE A GUARD AT LEAST 42" HIGH. IT MUST BE RIGID AND SECURE AND STRONG ENOUGH TO ACCEPT A SIDEWAYS PUSH OF 20 POUNDS PER FOOT THROUGHOUT ITS LENGTH, IT IS TYPICAL TO USE BOLTS OR METAL BRACKETS INSTEAD OF HAILS TO SECUREGUARD POSTS. OPEN GUARDS SHALL HAVE BALUSTERS OR ORNAMENTAL PATTERNS SUCH THAT A 4 INCH SPHERE CANNOT PASS THROUGH ANY OPENING, CONSULT SECTION 1013 OF THE CALIFORNIA BUILDING CODE FOR ADDITIONAL CODE REQUIREMENTS AND EXCEPTIONS

PROVIDE AT LEAST ONE EXIT DOOR WITH A LOCK OR LATCH THAT IS OPENABLE FROM THE INSIDE WITHOUT USING A KEY (NO DOUBLE KEY DEAD BOLTS) AND WITHOUT ANY SPECIAL KNOWLEDGE (NO COMBINATION LOCKS) OR EFFORT (NO HEAVY CROSS BARS), THE LOCK OR LATCH MUST BE NO MORE THAN 48" FROM THE FLOOR. THE LANDING AT AN EXTERIOR DOORWAY SHALL NOT BE MORE THAN 7.3% " BELOW THE TOP OF THE THRESHOLD, PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING, THE LANDING WIDTH SHALL NOT BE LESS THAN THE DOOR SERVED AND SHALL BE A 36 INCHES. THE MINIMUM LANDING LENGTH SHALL BE 36 INCHES.

EMERGENCY EXITS

SLEEPING ROOMS MUST BE PROVIDED WITH A MEANS TO EXIT DIRECTLY TO THE OUTSIDE IN CASE OF FIRE, SLEEPING ROOMS MUST HAVE A WINDOW OR DOOR THAT IS OPENABLE FROM THE INSIDE WITHOUT TOOLS. THESE WINDOWS MUST BE LARGE ENOUGH TO LET OCCUPANTS ESCAPE
AND FREMEN TO CLIMB IN. SUCH WINDOWS MUST HAVE A NET CLEAR OPENING OF AT LEAST 5,7 SQ FT. ON THE SECOND FLOOR AND 5,0 SQ FT. ON THE FIRST FLOOR. THEY MUST HAVE A MINIMUM HET CLEAR WIDTH OF 20". THE FINISHED SILL HEIGHT MAY NOT EXCEED 44", BARS, GRILLS, GRATES, ETC., MUST BE OPENABLE FROM THE INSIDE WITHOUT KEY OR SPECIAL KNOWLEDGE OR EFFORT AND, IF THEY ARE INSTALLED, THE BUILDING MUST BE EQUIPPED WITH SMOKE DETECTORS. NOTE THAT MOST MANUFACTURERS ARE AWARE OF THESE REGULATIONS AND CLEARLY INDICATE WHICH OF THEIR PRODUCTS ARE "C.B.C. APPROVED FOR EGRESS".

HALLWAYS

HALLWAYS MUST BE AT LEAST THREE FEET WIDE.

SAFETY GLASS

SAFETY GLAZING IS REQUIRED IN DOORS OF ALL TYPES, SHOWER ENCLOSURES, BATH ENCLOSURES, WHIRLPOOL ENCLOSURES, ETC., WINDOW GLAZING THAT IS WITHIN 24" OF A DOOR UNLESS IT IS 5' ABOVE THE FLOOR, WINDOWS GREATER THAN 9 SD. FT. AND WITHIN 18" OF THE FLOOR AND GLASS IN GUARDRAILS AND HANDRAILS, NOTE THAT THE MANUFACTURERS OF DOORS AND SHOWER ENCLOSURES ARE GENERALLY AWARE OF THESE PROBLEMENTS. LISE CAUTION WHEN ORDERING WINDOWS THAT MAY RE LOCATED MEAN DOORS RECAUSE WINDOWS ARE NOT NORMALLY EQUIPPED WITH SAFETY GLAZING. CONSULT THE 2007 CALIFORNIA BUILDING CODE FOR MORE INFORMATION

SMOKE DETECTORS

PROVIDE SMOKE DETECTORS ON THE CEILING OR WALL OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF BEDROOMS; IN EACH ROOM USED FOR SLEEPING PURPOSES: IN EACH STORY WITHIN A DWELLING UNIT, INCLUDING BASEMENTS: IN DWELLINGS WITH SPLIT LEVELS ND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS, PLACE ONE ABOVE THE TOP OF THE STAIRS LEADING TO UPPER LEVEL SLEEPING AREAS, PROVIDE SMOKE DETECTORS WITH POWER FROM THE HOUSE WIRING IN ALL NEW CONSTRUCTION, USE BATTERY TYPE

DETECTORS ARE REQUIRED TO BE INSTALLED THROUGHOUT THE HOUSE WHENEVER YOU REMODEL, THEY ARE ONE OF THE MOST IMPORTANT THINGS OU CAN DO TO YOUR HOUSE TO SAFEGUARD YOUR FAMILY, CONSULT THE 2007 CALIFORNIA BUILDING CODE -SECTION 907.2.10.1.2

PLAN ON ONE SWITCHARLE RECEPTACLE OR LIGHT IN EVERY ROOM AND HALL. PLAN ON A LIGHT OUTSIDE EXIT DOORS. IF LIGHTS ARE PLANNED IN CLOSETS CONSULT ARTICLE 410.8 OF THE 2007 C.E.C. PLAN TO INSTALL AN ELECTRICAL RECEPTACLE WITHIN 6 FEET OF ALL POINTS ALONG THE WALL IN ALL HABITABLE ROOMS. PLAN ON ONE GFCI PROTECTED RECEPTACLE AT THE BATHROOM SINK, RECEPTACLES MUST BE PLACED EVERY TWO FEET ABOVE KITCHEN COUNTERS AND BE GFCI PROTECTED, ALL LIGHTING MUST COMPLY WITH THE 2007 CALIFORNIA ENERGY CODE. CHECK FOR

TOILETS

PLAN A SPACE AT LEAST 30" WIDE FOR THE TOILET, THE SPACE MUST BE DEEP ENOUGH TO ALLOW 24" OF CLEAR SPACE IN FRONT OF THE FIXTURE. CONSULT SECTION 4076 OF THE CALLEGRAIA PLUMBING CODE

THE LENGTH OF DUCTS IS LIMITED. PLACE THESE APPLIANCES NEAR AN OUTSIDE WALL AND CONSULT THE INSTALLATION DIRECTIONS. IF YOU CANNOT PLACE THEM AT AN OUTSIDE WALL THEN CONSULT THE 2007 CALIFORNIA MECHANICAL CODE (C.M.C.)



VICINITY

NOT TO SCALE



AERIAL VIEW NOT TO SCALE

18. AF-1

SHEET INDEX		
1.	T-1	TITLE SHEET
2.	SUR	TOPOGRAPHIC MAP (SURVEY)
3.	A-1	SITE PLAN
4.	L-1	LANDSCAPE/PLANTING PLAN
5.	C-1	PRECISE GRADING TITLE SHEET
6.	C-2	PRECISE GRADING PLAN
7.	C-3	PRECISE GRADING SECTIONS & DETAILS
8.	C-4	EROSION CONTROL PLAN
9.	A-2	FIRST FLOOR PLAN & DOOR/WINDOW SCHEDULE
10.	A-3	SECOND FLOOR PLAN & DOOR/WINDOW SCHEDULE
11.	A-4	ROOF PLAN
12.	A-5	FRONT & LEFT ELEVATIONS & MATERIALS
13.	A-6	REAR & RIGHT ELEVATIONS & MATERIALS
14.	A-7	PRIVACY IMPACT EXHIBIT - 2ND FLOOR
15.	A-8	BUILDING SECTIONS A-C & PRIVACY IMPACT STUDY
16.	A-9	BUILDING SECTIONS D-E & PRIVACY IMPACT STUDY
17.	A-10	BUILDING SECTIONS F-H (UPON BUILDING PLAN CHECK)

AREA BREAKDOWN





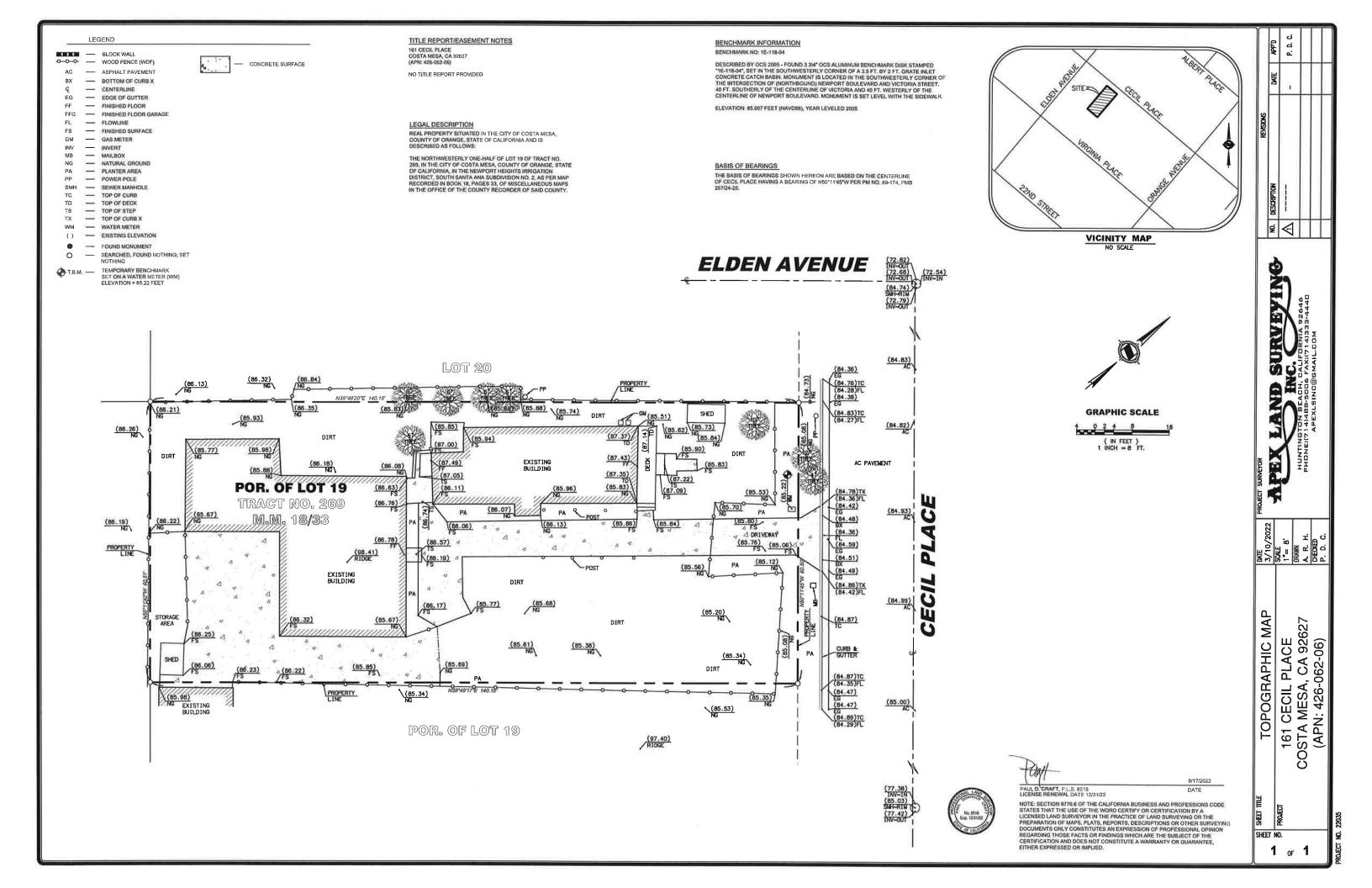
SE G

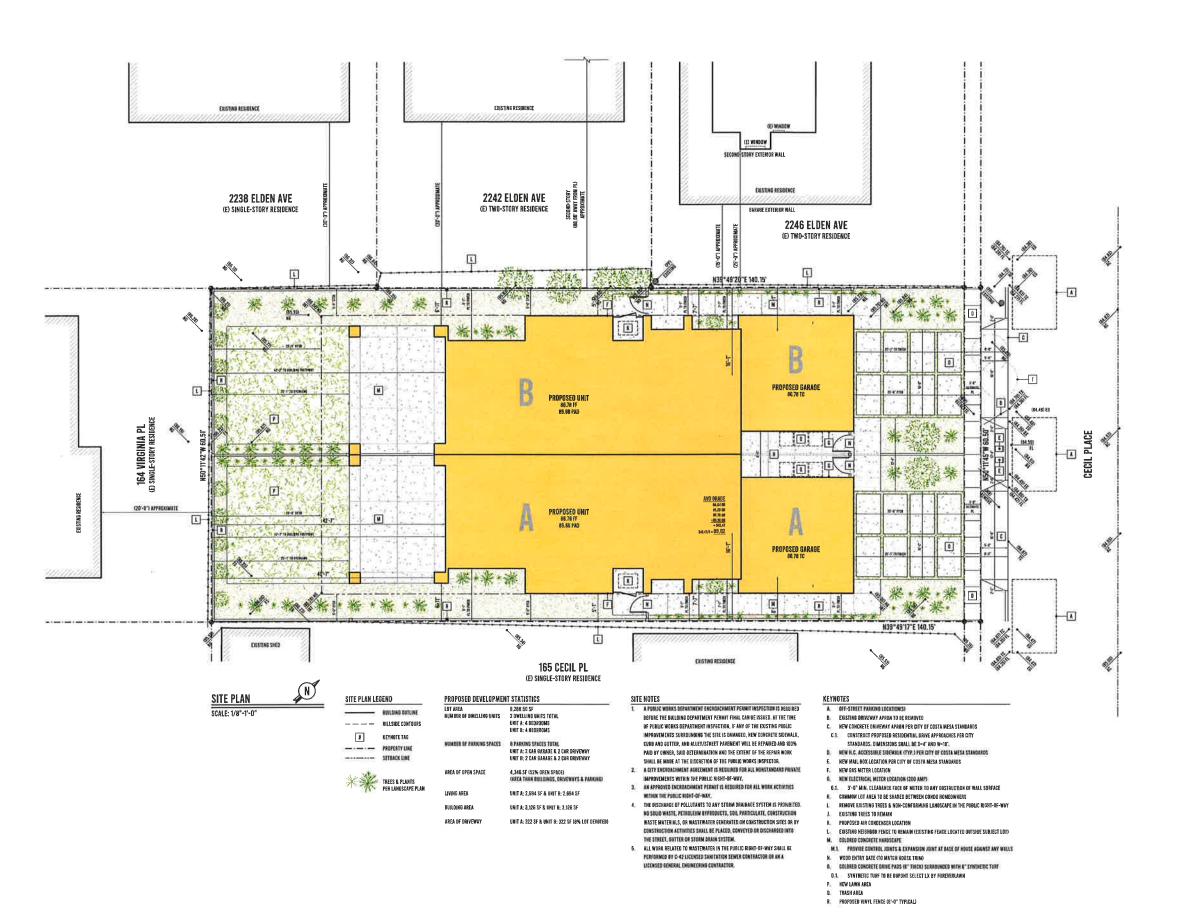
DEVELOPMENT

STATUS:

REVISIONS

SHEET 1 OF 17







ENDVATIONS

RBD INC.
1827 BROKHURST ST #205
FOUNTAIN VALLEY, GA 92708
REBRINCHORPGEMAIL, CDM
JOSH - (714) 580-7183

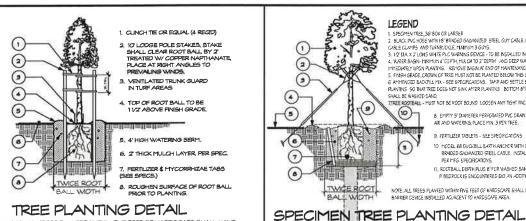
S AND OTHER UCED, CHANGED, E ASSIGNED TO A D CONSENT OF

STATUS: DEVELOPMENT REVIEW
RBD INC, EXPRESSIY RESERVES COMPANY'S COMMON LAW COPYRI
PROPERTY RIGHTS IN THESE PLANS, THESE PLANS ARE NOT BE REP
OR COPIED NAY FORM OR MANINER WHISTURE, NOW ARE HET!
THIND PARTY WITSOUT FIRST OSTANING THE WEITTER PERMISSION
RBD INC, THE THIND PARTY SKALL HOLD RBD INC, MARMLESS.

REVISIONS

A-1

SHEET 3 OF 17



LEGEND LEGEND 1 SPECHEVITEE 36 BOX OF LARSER 2 BLACK PCK MOSE WITH 16 BRAGED SAMANZED STEEL OW CASLE USE CANANIZED COSLE CLAMPS AND TURNSUCCE, HAMMIN'S GOVES 3 IN ZIR AN ZIR OWN WITH ER CLAWBAND ERVICE - TO BE INSPALED IN PUBLIC AREAS, 4. WARE SIGN. HAMMIN'S EXPONENTIANCE PROPER IN ODER PURET RIVE HYDRIANEV LOWER ANNINS. EXPONE SOME AND OF HOMEROWING PROPE. 5. FINAN GRADE, COOM OF TIRE PURST NOT BE FLANTED SELDON HIS LINE. 6. ANTHONED SAMOUTH LIN. SEES STORGARDING. THE PART SETTE BEACHER BEFORE FLANTINS. SO THAT THEE LOSS BUT SINK AFTER PLANTINS. BOTTOM PUBLICE TIES. FLANTING SOME THE LOSS BUT SINK AFTER PLANTINS. BOTTOM PUBLICE RECE FLANTING SOME THE LOSS BUT SINK AFTER PLANTINS. BOTTOM PUBLICE RECE FLANTING SOME THE LOSS BUT SINK AFTER PLANTINS. BOTTOM PUBLICE RECE FLANTING SOME THE LOSS BUT SINK AFTER PLANTINS. BOTTOM PUBLICE RECE FLANTING SOME THE LOSS BUT SINK AFTER PLANTINS. BOTTOM PUBLICE RECE THERE BOOTIFALL - HUST NOT BE ROOT BOUND. LOOSEN ANY TIGHT PROCED ROOTS. 8 EMPTY 3" DIAMETER PERFORATED PVC DRAIN PIPE FOR AIR AND WATERING, PLACE MIN 3 PER TREE. 9. FERTILIZER TABLETS - SEE SPECIFICATIONS 10 MODEL 68 DIJCKBILL EARTH ANCHOR WITH I 8" BRAIDED GALMANIZED STEEL CASLE, INSTALL PER MFG SPECIFICATIONS.

II. ROOTBALL DEPTH PLUS 8 FOR WASHED SAND F BEDROCK IS ENCOUNTERED DIG AN ADDITIONAL 16".

NOTE ALL TREES PLANTED WITHIN FIVE FEET OF HARDSCAPE SHALL HAVE A ROOT

12 12 Ø AUGURED HOLE Y Ø DEEP FILL WITH WASHED SAND

DEVICE INSTALLED AGUACENT TO HARDSCAPE AREA

SYMBOL

CAMMYUL CRAMIL

CRAUND

MP-SPE

LAV-OTT

(2)

- S, ANGLE TRUNK OF VINE BACK TO WALL AND REMOVE STAKE & TIE.

VINE DETAIL NON-ADHERING TYPE

- CROWN OF PLANT TO BE ABOVE FINISH GRADE
- 2 4" HIGH TEMPORARY BASIN. 3. 2 THICK SHREDDED MULCH DO NOT USE BARK CHIPS WHERE PLAN CALLS FOR MULCH COVER
- FERTILIZER AND MY CORRHIZAE TABS (SEE SPECS.)
- I ABS (SEE SPECS.)

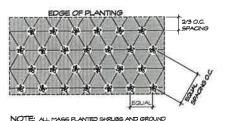
 5. BACKFILL MIX (SEE SPECS.)

 6. DIG HOLLE A MIN, OF 1 V2 X THE DEPTH
 OF THE PLANT CONTAINER
- 7. COMPACTED BACKFILL PER SPEC.

NOTE: UNTANGLE MATTED ROOTS BY LOOSENING ALL ROOTS AT EDGE OF ROOT BALL WITH WATER FROM HOSE, DO NOT CRACK ROOT BALL.

NOTE ALL TREES PLANTED WITHIN FIVE FEET OF HARDSCAPE SHALL HAVE A ROOT BARRIER DEVICE INSTALLED ADJACENT TO HARDSCAPE AREA

SHRUB PLANTING DETAIL



COVER SHALL BE PLANTED AT EQUAL SPACING (TRANGULAR) UNLESS OTHERWISE INDICATED ON PLANS, SEE LEGEND FOR SPACING REQUIREMENTS, MULCH ALL PLANTING AREAS PER SPEC.

GROUND COVER AND SHRUB SPACING

SYMBOL BOTANICAL NAME

DWARF MAGNOLIA TREE

SALAD BOWL AEONIUM

COMMON NAME

COMMON NAME

DESCRIPTION

36' BOX EVERGREEN SMALL SCALE TREE TO 15 FT. W/ FRAGRANT, LARGE WHITE FLOWERS

FIVE GAL. LARGE GREEN SUCCULENT LEAVES IN ROSETTS UP TO 2 PT. ACROSS REGULAR WATERING 3 FT. WIDE BY 18 TALL

FAST GROWING SHRUB WY PINK "FOWDER PUFF BLOSSOM'S IN WINTER EXCELLENT AS ESPALER
15 GAL. PAST GROWING SHRUB WY PINK "FOWDER PUFF BLOSSOM'S IN WINTER EXCELLENT AS ESPALER
15 GAL. DEEP ROSE-PINK FLOWER ON COMPACT, UPRIGHT SHRUB TO 3"
ONE GAL. COMPACT LOW-GROWING SHADE LOVING SUCCULENT W GLOSSY, ROUND LEAVES IN OPPOSITE PARIRS, PITITE STAR SHAPED FLOWERS ABOVE LEAVES,
FINE GAL. COMPACT DENSE SHALL SUCCULENT TO 3FT, W. TWISTED BLUISH GREY LEAVES.

SHRUBS

QUANTITY

SYMBOL BOTANICAL NAME EO-URB AEONIUM URBICUM CAL-INE CALLIANDRA INAEQUALATERA CAM-YUL CAMELLIA SASANGUA YULETIDE CRA-MUL CRASSULA MULTICAVA

IMP-SPE IMPATIENSE SPECIES LAV-JAV LAVANDULA STOECHAS JAVELIN FÖRTE LIR-GIG LIROPE GIGANTEA

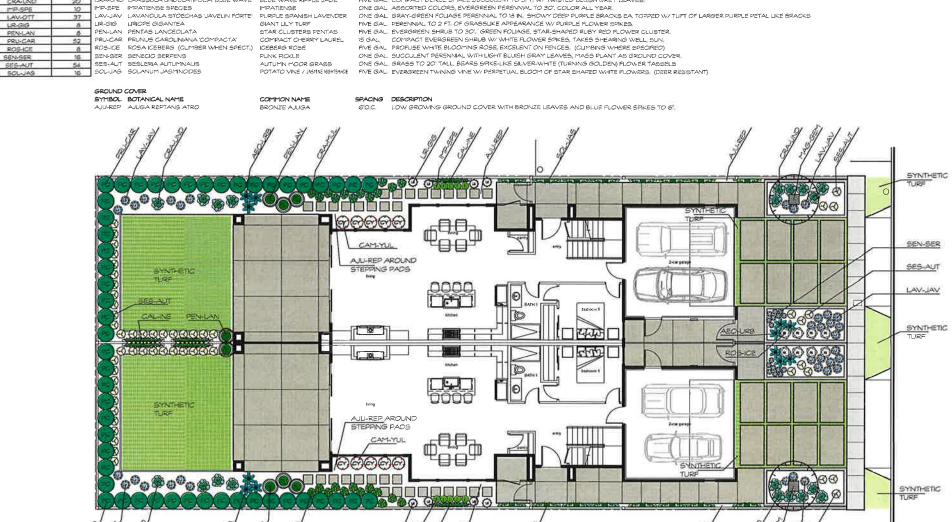
ESPALIERANK POWDERPUFF SASANQUA CAMELLIA FAIRY CRASSULA CRA-UND CRASSULA UNDULATIFOLIA BLUE WAVE' BLUE WAVE RIPPLE JADE IMPATIENCE GIANT LILY TURF STAR CLUSTERS PENTAS

ELEVATION LEGEND

11 WALL OR FENCE 2 EYEBOLTS: 3/8' DIA EYEBOLTS IN LEAD SHIELDS,

4. 12 GA GALV. WIRE SECURE VINE TO WIRE WITH

NOTE WHEN PLANTING SEVERAL VINES ON ONE WALL. WIRE TRELLIS SHALL BE CONTINUOUS



FOR HARDSCAPE SEE CIMIL PLAN

NORTH

SCALE 1/8" = 1-0"

OF-

<u>u</u> 03

TECTURAL PLACE LLC <u></u>

PLAN

DATE: 9-8-22 DRAWN BY: D.P.

SHEET NO.

PRELIMINARY GRADING PLAN

161 CECIL PL LLC

161 CECIL PLACE COSTA MESA, CA 92627

GRADING NOTES

- ALL WORK SHALL BE IN ACCORDANCE WITH THE GRADING-CODE OF THE COUNTY OF ORANGE AND ANY AMENDMENTS BY THE CITY OF COSTA MESA OR SPECIAL REQUIREMENTS OF PERMIT, A COPY OF THE GRADING CODE AND MANUAL SHALL BE RETAINED ON THE JOB SITE WHILE
- GRADING SHALL NOT BE STARTED WITHOUT FIRST NOTIFYING THE CITY INSPECTOR. A PRE-GRADING MEETING ON THE SITE IS REQUIRED BEFORE START OF GRADING WITH THE FOLLOWING PEOPLE PRESENT: OWNER, GRADING CONTRACTOR, DESIGN CIVIL ENGINEER, SOIL ENGINEER, ENGINEER GOLOGIST, DISTRICT GRADING INSPECTOR AND WHEN REQUIRED THE ARCHAEOLOGIST AND PALEONTOLOGIST. THE REQUIRED INSPECTIONS FOR GRADING WILL BE EXPLANED AT THIS MEETING.
- 3. ISSUANCE OF A GRADING PERMIT DOES NOT ELIMINATE THE NEED FOR PERMITS FROM OTHER AGENCIES WITH REGULATORY RESPONSIBILITIES FOR CONSTRUCTION ACTIVITIES ASSOCIATED WITH THE WORK AUTHORIZED ON THIS PLAN.
- THE GRADING PERMIT AND AN APPROVED COPY OF THE GRADING PLAN SHALL BE ON THE PERMITTED SITE WHILE WORK IS IN PROGRESS.
- PRELIMINARY SOIL AND GEOLOGY REPORTS AND ALL SUBSEQUENT REPORTS AS APPROVED BY THE BUILDING DIVISION ARE CONSIDERED A
- THE SOIL ENGINEER AND ENGINEERING GEOLOGIST SHALL PERFORM SUFFICIENT INSPECTIONS AND BE AVAILABLE DURING GRADING AND CONSTRUCTION TO VERIFY COMPLIANCE WITH THE PLANS, SPECIFICATIONS AND THE CODE WITHIN THEIR PURVIEW.
- THE CIVIL ENGINEER SHALL BE AVAILABLE DURING GRADING TO VERIFY COMPLIANCE WITH THE PLANS, SPECIFICATIONS, CODE AND ANY SPECIAL CONDITIONS OF THE PERMIT WITHIN THEIR PURVIEW.
- THE SOIL ENGINEER AND ENGINEERING GEOLOGIST SHALL, AFTER CLEARING AND PRIOR TO THE PLACEMENT OF FILL IN CANYONS, INSPECT EACH, CANYON FOR AREAS OF ADVERSE STABILITY AND TO DETERMINE THE PRESENCE OR ASSENCE OF SUBSURFACE WATER OR SPRING FLOW, IF NEEDED, SUB DRAINS WILL BE DESIGNED AND CONSTRUCTED PRIOR TO PLACEMENT OF FILL IN EACH RESPECTIVE CANYON.
- 9 SUB DRAIN OUT ETS SHALL BE COMPLETED AT THE BEGINNING OF THE SUB DRAIN CONSTRUCTION.
- 10. THE EXACT LOCATION OF THE SUB DRAINS SHALL BE SURVEYED IN THE FIELD FOR LINE/GRADE AND SHOWN ON AS-GRADED PLANS.
- 11. AREAS TO RECEIVE FILL SHALL BE PROPERLY PREPARED AND APPROVED IN WRITING BY THE SOIL ENGINEER AND THE BUILDING OFFICIAL
- 12. FILLS SHALL BE BENCHED INTO COMPETENT MATERIAL PER PFRD STANDARD PLAN NO. 1322.
- 13. ALL EXISTING FILLS SHALL BE APPROVED BY THE BUILDING OFFICIAL OR REMOVED PRIOR TO PLACING ADDITIONAL FILLS.
- 14. FILLS SHALL BE COMPACTED THROUGHOUT TO A MINIMUM OF 90'S RELATIVE COMPACTION, AGGREGATE BASE FOR ASPHALTIC AREAS SHALL BE COMPACTED TO MINIMUM OF 95% RELATIVE COMPACTION.
- 15 CLIT AND BILL SLOPES SHALL BE NO STEEPER THAN 2-FOOT HORIZONTAL TO 1-FOOT VERTICAL (2:1) EXCEPT WHERE SPECIFICALLY APPROVED
- 16. ALL CUT SLOPES SHALL BE INVESTIGATED BOTH DURING AND AFTER GRADING BY THE ENGINEERING GEOLOGIST TO DETERMINE IF ANY SLOPE STABILITY PROBLEM EXISTS. SHOULD EXCAVATION DISCLOSE ANY GEOLOGICAL HAZARDS OR POTENTIAL GEOLOGICAL HAZARDS, THE ENGINEERING GEOLOGIST SHALL SUBMIT RECOMMENDED TREATMENT TO THE BUILDING OFFICIAL FOR APPROVAL.
- WHERE SUPPORT OR BUTTRESSING OF CUT AND NATURAL SLOPES IS DETERMINED TO BE NECESSARY BY ENGINEERING GEOLOGIST AND SOIL ENGINEER. THE SOIL ENGINEER SHALL SUBMIT DESIGN, LOCATIONS AND CALCULATIONS TO THE BUILDING OFFICIAL PRIOR TO CONSTRUCTION. THE ENGINEERING GEOLOGIST AND SOIL ENGINEER SHALL INSPECT AND CONTROL THE CONSTRUCTION OF BUTTRESSING AND CERTIET TO THE STABILITY OF THE SLOPE AND ADJACENT STRUCTURES UPON COMPLETION.
- WHEN CUT PADS ARE BROUGHT TO NEAR GRADE, THE ENGINEERING GEOLOGIST SHALL DETERMINE IF THE BEDROCK IS EXTENSIVELY FRACTURED OR FAULTED AND WILL READILY TRANSMIT WATER IF CONSIDERED NECESSARY BY THE ENGINEERING GEOLOGIST AND SOIL ENGINEER, A COMPACTED FILL BLANKET WILL BE PLACED.
- 19. ALL TRENCH BACKFILL SHALL BE TESTED AND APPROVED BY THE SOIL ENGINEER,
- 20. ANY EXISTING IRRIGATION LINES AND CISTERNS SHALL BE REMOVED OR CRUSHED IN PLACE AND APPROVED BY THE BUILDING OFFICIAL AND
- 21. ANY EXISTING WATER WELLS SHALL BE ABANDONED IN COMPLIANCE WITH THE SPECIFICATIONS APPROVED BY ORANGE COUNTY, HEALTH CARE AGENCY, AND DIVISION OF ENVIRONMENTAL HEALTH.
- 22. ANY EXISTING CESSPOOLS AND SEPTIC TANKS SHALL BE ABANDONED IN COMPLIANCE WITH THE CALIFORNIA PLUMBING CODE.
- 23. STOCKPILING OF EXCESS MATERIAL SHALL BE APPROVED BY THE BUILDING OFFICIAL PRIOR TO EXCAVATION. 24. EXPORT SOIL MUST BE TRANSPORTED TO A LEGAL DUMP OR TO A PERMITTED SITE APPROVED BY THE BUILDING DIVISION.
- 25. THE PERMITTEE IS RESPONSIBLE FOR DUST CONTROL MEASURES.
- THE PERMITTEE SHALL GIVE REASONABLE NOTICE TO THE OWNER OF ADJOINING LANDS AND BUILDING PRIOR TO BEGINNING EXCAVATIONS WHICH MAY AFFECT THE LATERAL AND SUBJACENT SUPPORT OF THE ADJOINING PROPERTY.
- THE NOTICE SHALL STATE THE INTENDED DEPTH OF EXCAVATION AND WHEN THE EXCAVATION WILL COMMENCE. THE ADJOINING OWNER SHALL BE ALLOWED AT LEAST 30 DAYS AND REASONABLE ACCESS ON THE PERMITTED PROPERTY TO PROTECT HIS STRUCTURE, IF HE SO DESIRES, UNLESS OTHERWISE PROTECTED BY LAW.
- 28. ALL CONCRETE STRUCTURES THAT COME IN CONTACT WITH THE ON-SITE SOIL SHALL BE CONSTRUCTED WITH TYPE V CEMENT, UNLESS DEEMED UNNECESSARY BY SOLUBLE SULFATE-CONTENT TESTS CONDUCTED BY SOIL ENGINEER.
- 29. SLOPE EXCEEDING 5 FEET IN HEIGHTS SHALL BE PLANTED WITH AN APPROVED PLANT MATERIAL. IN ADDITION, SLOPES EXCEEDING 15 FEET IN FIGHTS SHALL BE PROVIDED WITH, AN APPROVED IRRIGATION SYSTEM, UNLESS OTHERWISE APPROVED BY THE BUILDING OFFICIAL
- 30. ALL EXISTING DRAINAGE COURSES THROUGH THIS-SITE SHALL REMAIN OPEN UNTIL FACILITIES TO HANDLE STORM WATER ARE APPROVED AND FUNCTIONAL; NOWEVER, IN ANY CASE, THE PERMITTEE SHALL BE HELD LIABLE FOR ANY DAMAGE DUE TO OBSTRUCTING NATURAL BRAININGS PATTERN.
- 31 SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE.
- 32 THE LOCATION AND PROTECTION OF ALL UTILITIES IS THE RESPONSIBILITY OF THE PERMITTEE.
- 33. APPROVED PROTECTIVE MEASURES AND TEMPORARY DRAINAGE PROVISIONS SHALL BE USED TO PROTECT ADJOINING PROPERTIES DURING
- GRADING OPERATIONS INCLUDING MAINTENANCE OF FOURMENT HUMAN OCCUPANCY SHALL BE CONDUCTED BETWEEN THE HOURS OF 7:00 A.M. AND 7:00 P.M. MONDAY THROUGH FRIDAY, SATURDAY 9:00 A.M. THROUGH 6:00 P.M. <u>PROHBITED ALL</u> HOURS SUNDAYS AND THE FOLLOWING FEDERAL HOLIDAYS: CHRISTMAS DAY, NEW YEARS DAY, MEMORIAL DAY, INDEPENDENCE DAY, LABOR DAY AND THANKSGIVING
- ALL CONSTRUCTION VEHICLES OR EQUIPMENT, FIXED OR MOBILE, OPERATED WITHIN 1,000 FEET OF A DWELLING SHALL BE EQUIPPED WITH PROPERLY OPERATING AND MAINTAINED MUFFLERS.
- b. STOCKPILING AND/OR VEHICLE STAGING AREAS SHALL BE LOCATED AS FAR A PRACTICABLE FROM DWELLINGS AND WITHIN THE LIMITS OF
- GRADING AND EXCAVATION SHALL BE HALTED DURING PERIODS OF HIGH WINDS, ACCORDING TO ADMD MEASURE F-4, HIGH WINDS ARE DEFINED AS 30 MPH OR GREATER. THIS LEVEL OCCURS ONLY UNDER UNUSUALLY EXTREME CONDITIONS, SUCH AS SANTA ANA WIND
- GRADE RELEASE FOR BUILDING PERMITS BY THE CITY INSPECTOR, THE SOIL ENGINEER SHALL SUBMIT FOR APPROVAL, PAVEMENT SECTION RECOMMENDATIONS BASED ON 'R' VALUE ANALYSIS OF THE SUB-GRADE SOIL, AND EXPECTED TRAFFIC INDICES.
- 37. ROOF GUTTERS SHALL BE INSTALLED TO PREVENT ROOF DRAINAGE FROM FALLING ON MANUFACTURED SLOPES.

1-800-422-4133 TOW WORKING DAY BEFORE YOU DIG

- 38. THE CIVIL ENGINEERS, AS A CONDITION OF ROUGH GRADE APPROVAL, SHALL PROVIDE A BLUE TOP WITH ACCOMPANYING WITHESS STAKE, SET AT THE CENTER OF EACH PAD REFLECTING THE PAD ELEVATION FOR PRECISE PERMITS AND A BLUE TOP WITH WITNESS STAKE SET AT DRAINAGE SWALE HIGH-POINT REFLECTING THE HIGH POINT ELEVATION FOR PRELIMINARY PERMITS.
- 39. PRIOR TO FINAL APPROVAL, THE CIVIL ENGINEER SHALL CERTIFY TO, THE BUILDING OFFICIAL THE AMOUNT OF EARTH MOVED DURING THE
- 40. THE ENGINEERING GEOLOGIST SHALL PERFORM PERIODIC INSPECTIONS AND SUBMIT A COMPLETE REPORT AND MAP UPON COMPLETION OF DIGALERT SECTION 4216 / 4217 OF THE GOVERNMENT CODE
 REQUIRES A DIGALERT IDENTIFICATION NUMBER BE
 ISSUED BEFORE A "PERMIT TO EXCAVATE" WILL BE
 VALID, FOR YOU DIGALERT ID, NUMBER CALL
 UNDERGROUND SERVICE ALERT TOLL FREE

- THE GRADING CONTRACTOR SHALL SUBMIT A STATEMENT OF COMPLIANCE TO THE APPROVED GRADING PLAN PRIOR TO FINAL APPROVAL. THE COMPACTION REPORT AND APPROVAL FROM THE SOIL ENGINEER SHALL INDICATE THE TYPE OF FIELD TESTING PERFORMED, THE METHOD OF ORTRAINING THE INPLACE BENEFITY SHALL BE IDENTIFIED WHITEHER SAND COME, DRIVE FIRE, OR NUCLEAR, AND SHALL BE NOTED FOR EACH TEST. SUFFICIENT MAXIMUM DENSITY DETERMINATIONS SHALL BE PERFORMED TO VERIFY THE ACCURACY OF THE MAXIMUM DENSITY CURVES 43. IN THE EVENT THAT SOIL CONTAMINATION IS DISCOVERED DURING EXCAVATION AND REMOVAL OF AN EXISTING TANK, WORK SHALL BE STOPPED.
- UNTIL A SITE ASSESSMENT AND MITIGATION PLAN HAS BEEN PREPARED, SUBMITTED AND APPROVED BY HCA/ENVIRONMENTAL HEALTH AND

EROSION CONTROL

- 44. IN THE CASE OF EMERGENCY, CALL JOSH MARTINEE AT PHONE # 714-488-3327.
 45. EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES DURING THE PAINTY SEASON. NECESSARY
 MATERIALS SHALL BE AVAILABLE ON SITE AND STOCKIPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY
 DEVICES WHEN RAIN IS IMMINENT.
 46. EROSION CONTROL DEVICES SHALL NOT BE MOVED OR MODIFIED WITHOUT THE APPROVAL OF THE BUILDING OFFICIAL.
 47. ALL REMOVABLE BROSION PROTECTIVE DEVICES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN S DAY PAIN PROBABILITY
 SEGERATE TEXTERS AND
- AFTER A RAINSTORM, ALL SILT AND DEBRIS SHALL BE REMOVED FROM STREETS, CHECK BERMS, AND BASINS.
- GRADED AREAS ON THE PERMITTED AREA PERIMETER MUST DRAIN AWAY FROM THE FACE OF SLOPES AT THE CONCLUSION OF EACH WORKING DAY, DRAINAGE IS TO BE DIRECTED TOWARD DESILTING FACILITIES.
- DAY, DOWNING IS TO BE DIRECTED FORWARD DESIGNING PROCEDURE.

 THE PERMITTEE AND CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATER CREATES, A HAZARDOUS CONDITION.

 THE PERMITTEE AND CONTRACTOR SHALL INSPECT THE EROSION CONTROL WORK AND INSURE THAT THE WORK IS IN ACCORDANCE WITH THE

- 52. THE PERMITTEE SHALL NOTIFY ALL GENERAL CONTRACTOR, SUBCONTRACTORS, MATERIAL SUPPLIERS, LESSEES, AND PROPERTY OWNERS; THAT DUMPING OF CHEMICALS INTO THE STORM DRAIN SYSTEM OR THE WATERSHED IS PROHIBITED.
- THAT DUMPING OF CHEMICALS INTO THE STORM DRAIN SYSTEM OR THE WATERFARD IS PROMIBITED.

 5. PERMITTER SHALL MAINTAIN CONSTRUCTION STEIN IS BULL CONDITION THAT AN ANTICIPATED STORM DOES NOT CARRY WASTES OR POLLUTANTS

 OFF THE SITE. POTENTIAL POLLUTANTS INCLUDE BUT ARE NOT LIMITED TO; SOLID OR LIQUID CHEMICAL SPILLS; WASTES FROM PAINTS, STAINS,

 SEALANTS, GLUES, LIMES, PERSICIDES, HERBICIDES, WOOD PRESERVATIVES AND SOLVENTS; ASBESTOS THESE, FAINT FLAVES OR STUCCO

 FRAGMENTS, FUELS, GILS, LUBRICANTS, AND HYDRAULID, RADIATOR OR BATTERY FLUES, FERTILEERS, VEHICLE/COUPMENT WASH WATER AND

 CONCRETE WASH WATER; CONCRETE, DETERGENT OR FLOATABLE WASTES, WASTES FROM ANY ENGINEE/REQUIPMENT STEAM CLEANING OR

 CHEMICAL DEGRESAINS AND SUPER CHORINIATED POTABLE WATER LIME FLUSHING, DURING CONSTRUCTION, PERMITTEE SHALL DISPOSE OF

 SUCH MATERIALS IN A SPECIFIED AND CONTROLLED TEMPORARY AREA ON-SITE, PHYSICALLY SEPARATE, FROM POTENTIAL STORM WATER

 BRINGE WHILM THATE SESSORM IN ACCORDANCE WHITE AND RECEIVED BEQUIPMENT FROM POTENTIAL STORM WATER

 BRINGE WHILM THATE SESSORM IN ACCORDANCE WHITH LOTS. STATE AND RECEIVED BEQUIPMENT. RUNOFF, WITH ULTIMATE DISPOSAL IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS.
- PERMITTEE MAY DISCHARGE MATERIAL OTHER THAN STORM WATER ONLY WHEN NECESSARY FOR PERFORMANCE AND COMPLETION OF CONSTRUCTION PRACTICES AND WHERE THEY DO NOT, CAUSE OR CONTRIBUTE TO A VIOLATION OF ANY WATER QUALITY STANDARD, CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR NUISANCE; OR CONTAIN A HAZARDOUS SUBSTANCE IN QUANTITY REPORTABLE UNDER FEDERAL REQUATIONS 40 CFF PARTS 117 AND 302.
- 55. DEWATERING OF CONTAMINATED GROUNDWATER OR DISCHARGING CONTAMINATED SOIL VIA SURFACE EROSION IS PROHIBITED, DEWATERING OF NON-CONTAMINATED GROUNDWATER REDUIRES A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM PERMIT FROM THE RESPECTIVE STATE REGIONAL WATER QUALITY CONTROL BOARD,

SPECIAL NOTE:

56, SURVEY MONUMENTS SHALL BE PRESERVED AND REFERENCED BEFORE CONSTRUCTION AND REPLACED AFTER CONSTRUCTION PURSUANT TO SECTION 8771 OF THE BUSINESS AND PROFESSIONS CODE.

FIRE DEPARTMENT NOTES:

- 57 FIRE DEPARTMENT ACCESS TO REMAIN CLEAR AT ALL TIMES, CCR TITLE-19 DIV. 1, 3.05 (a): 2019 CFC 3310.
- 58. IF FIRE HYDRANT IS ADJACENT TO THE PROJECT ADDRESS, UNDRSTRUCTED ACCESS TO SAID FIRE HYDRANT WILL REMAIN CLEAR AT ALL TIMES. 2019 CFC 507.5.4 (OBSTRUCTION).
- 59. APPLICABLE CODES: 2019 CALIFORNIA FIRE CODE AND 2019 CALIFORNIA BUILDING CODE

ENGINEER'S NOTICE TO CONTRACTOR

- THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES AND/OR STRUCTURES SHOWN ON THESE PLANS WERE ORTAINED BY A THE EAST-EIGHT AND COUNTING OF THAT TOURDENOUND UTBLITTES AND ONE SHOWN ON THESE PLANS YEAR UBLITTED SEARCH OF THE AVAILABLE RECORDS, APPROVAL OF THESE PLANS DOES NOT CONSTITUTE A REPRESENTATION AS THE TO THE ACCURACY OR COMPLETENESS OF THE LOCATION OR THE EXISTENCE OR NON-EXISTENCE OF ANY UTBLITY AND/OR STRUCTURE WITHIN THE LIMITS OF THIS PROJECT. THE CONTRACTOR IS RECURRED TO TAKE ALL DUE PRECAUTIONARY MEANS TO PROTECT THE UTBLITS OF RECORD OR NOT THE RECORD OR NOT THE RECORD OR NOT THESE PLANS.
- 2 RELOCATION OR REMOVAL OF ANY EXISTING UTILITIES SHALL BE PERFORMED BY THE RESPECTIVE UTILITY OWNERS. AT THE EXPENSE OF THE
- THE GRADING CONTRACTOR SHALL SATISFY HIMSELF AS TO THE GRADING QUANTITY AS SHOWN ON THIS PLAN AS PART OF HIS BID
- 4. IT IS REQUESTED THAT THE GRADING CONTRACTOR NOTIFY THIS PRIVATE ENGINEER BY CALLING AT LEAST 48 HOURS BEFORE COMPLETION OF THE GRADING OPERATION IN ORDER THAT THIS OFFICE MAY PERFORM A FINAL INSPECTION WITH OUR GRADE CERTIFICATION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS PRIOR TO COMMENCEMENT OF GRADING OPERATIONS.
- UNAUTHORIZED CHANGES AND USES: THE ENGINEER PREPARING THESE PLAN WILL NOT BE RESPONSIBLE FOR OR LIABLE FOR UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS, ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PROJECT

TITLE SHEET	C-1
PRELIMINARY GRADING & DRAINAGE PLAN	C-2
SECTIONS & DETAILS	C-3
EROSION CONTROL PLAN	C-4

EARTH WORK QUANTITY

CUT	65	C.Y.
FILL	65	C.Y.
IMPORT	0	C.Y.
EXPORT	0	C.Y.
NEW DEMONSO AND DEDU ACCOUNDED VIOLE ADDA.	F 64F	20.17
NEW/ REMOVED AND REPLACED IMPERVIOUS AREA:	5,545	SQ-FT
LOT;	8,480	SQ-FT

QUANTITIES SHOWN HERE ON ARE FOR PERMIT ANDIOR BONDING PURPOSE ONLY.

DESIGNER

JOSH.ARCHDESIGNS@GMAIL.COM 714-488-3327

CIVIL ENGINEER

W.H. CIVIL ENGINEERING INC.
NORTH CA: 1990 OAKLAND RD., SUITE B112
SOUTH CA: 25 MAUCHLY, SUITE 323 **IRVINE, CA 92618** PHONE: 949-229-3357

BENCH MARK

DESCRIBED BY OCS 2005 - FOUND 3 3W OCS ALUMINUM BENCHMARK DISK STAMPED "16-118-04", SET IN THE SOUTHWESTERLY CORNER OF A 3.5 FT, BY 2 FT, GRATE INLET CONCRETE CATCH BASIN, MONUMENT IS LOCATED IN THE SOUTHWESTERLY CORNER OF THE INTERSECTION OF (NORTHBOUND) NEWPORT BOULEVARD AND VICTORIA STREET 40 FT. SOUTHERLY OF THE CENTERLINE OF VICTORIA AND 40 FT. STERLY OF THE CENTERLINE OF NEWPORT BOULEVARD, MONUMENT IS SET LEVEL WITH THE SIDEWALK.

ELEVATION: 85,007 FEET (NAVD88), YEAR LEVELED 2005

BASIS OF BEARING

THE BASIS OF BEARINGS SHOWN HEREON ARE BASED ON THE CENTERLINE OF CECIL PLACE HAVING A BEARING OF NSO*1145*W PER PM.NO. 89-174, PMB 257/24-25.

T ADDRESS CIL PLACE PROJECT NAME SE PROJECT / TITLE (

늡

OWNER/SUBDIVIDER:

161 CECIL PL LLC 161 CECIL PLACE COSTA MESA, CA 92627

GROUP W.H. ENGINEERING

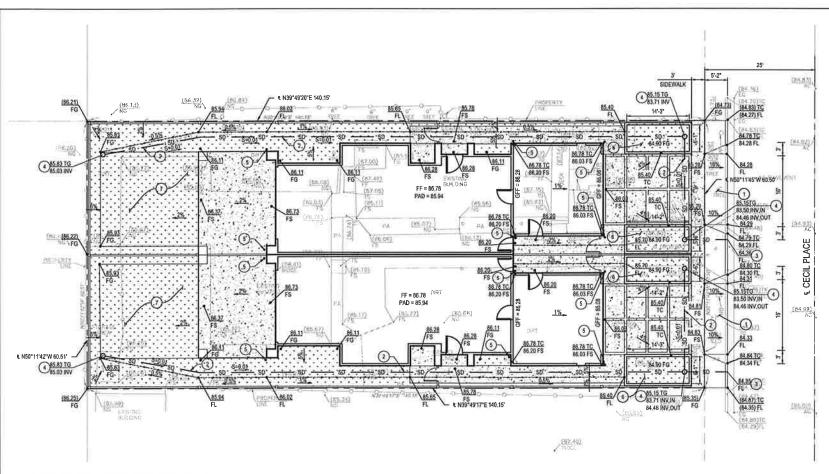


PROJECT NO .: 202217

SHEET NO .:

C-1





PRELIMINARY GRADING PLAN

SCALE 1"=10'

NOTE:

SLAB SHALL BE UNDERLAIN BY MINIMUM OF 4-IN GRADED GRAVEL OR CRUSHED STONE

O CONSTRUCTION NOTE

- CONSTRUCT RESIDENTIAL DRIVEWAY APPROACH TYPE 1 PER CITY STANDARD 513,
- INSTALL 4"DIA. PVC SCHEDULE 40 OR SDR 35 PIPE DRAIN SYSTEM.
- CONSTRUCT PARKWAY DRAIN NO 2 PER CITY STANDARD 418
- INSTALL 6" DIA. SCHEDULE 40 ATRIUM DRAIN,
- INSTALL DOWNSPOUT.
- INSTALL BIO-FILTRATION PLANTER
- IMPERVIOUS DISPERSION PLANTER AREA.

LEGEND

- 100 EXISTING CONTOUR
- ---- 100 ---- PROPOSED CONTOUR _____100FS SPOT ELEVATION

PROPOSED HARDSCAPE

- SD - PROPOSED STORM DRAIN

FERTIFICAL EXIST WALL

PROPOSED PLANTER WALL

X.X%_ SURFACE SLOPE

S=X.X STORM DRAIN SLOPE

STUMBINGUME
DEEPENDE POOTING
PROPOSED PAD ELEVATION
PROPOSED INMISHED BURFACE
PROPOSED FINISHED BOROUND
PROPOSED FINISHED FLOOR
INVERT OF PIPE
TOP OF GRATE
PROPERTY LINE
TOP OF WALL
TOP OF FOOTING
HIGH POINT
LOW POINT

OWNER/SUBDIVIDER: 181 CECIL PL LLC 161 CECIL PLACE COSTA MESA, CA 92627

PROJECT NAME

PRELIMINARY GRADING PLAN
PROJECT ADDRESS
161 CECL PLACE
COSTA MESA, CA 92627

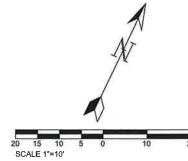
W.H. ENGINEERING GROUP

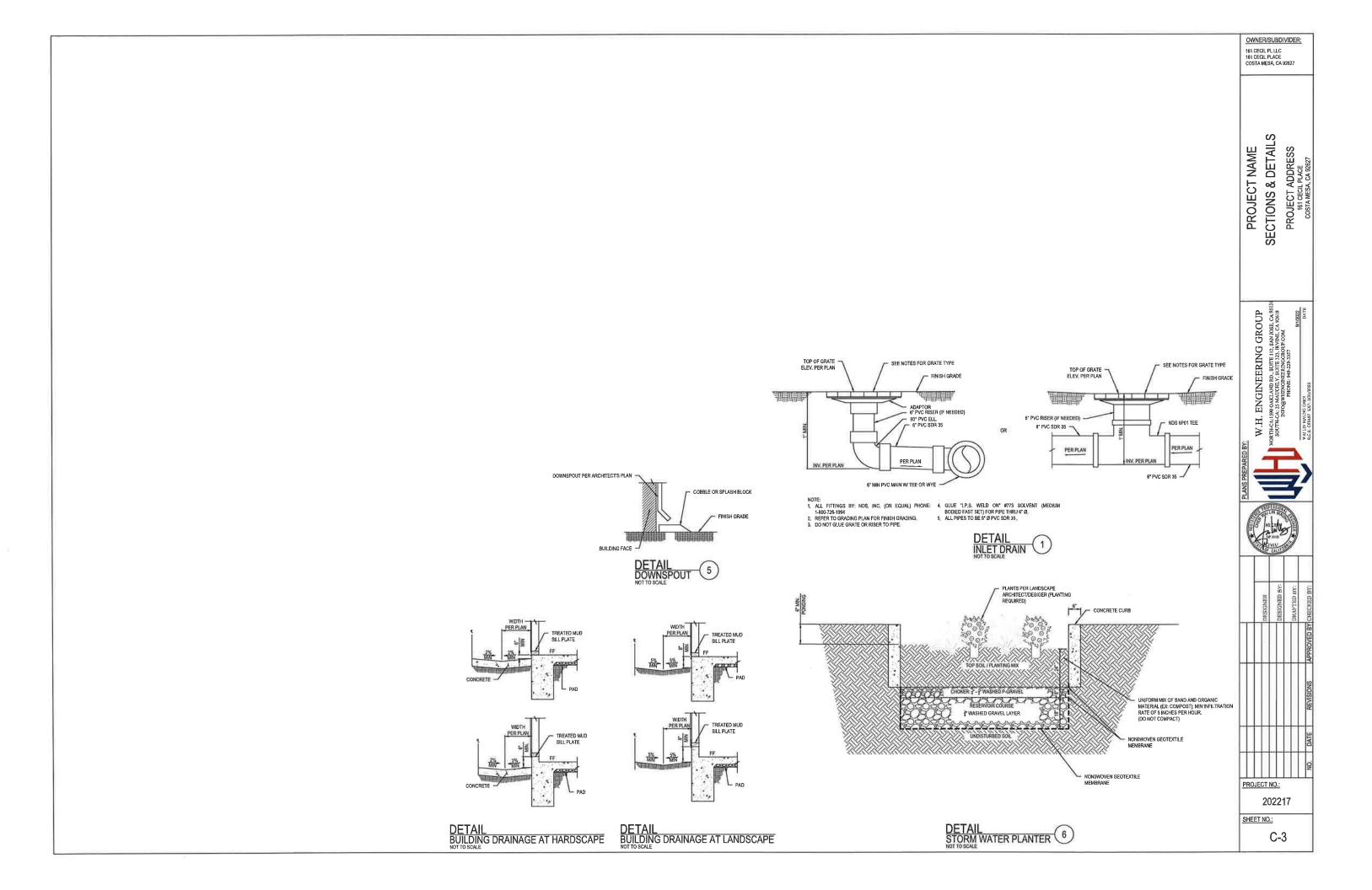


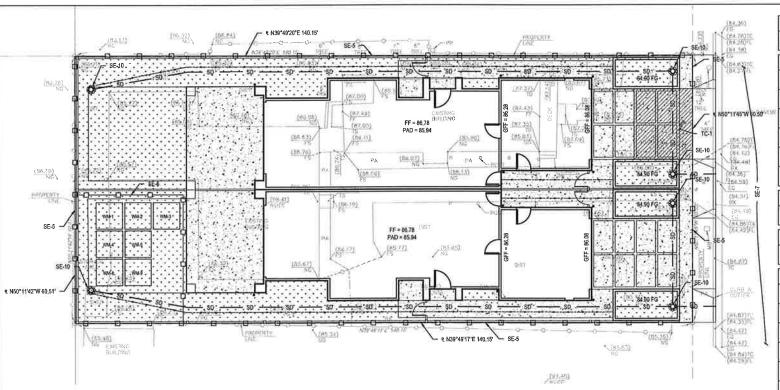
PROJECT NO .: 202217

SHEET NO.:

C-2

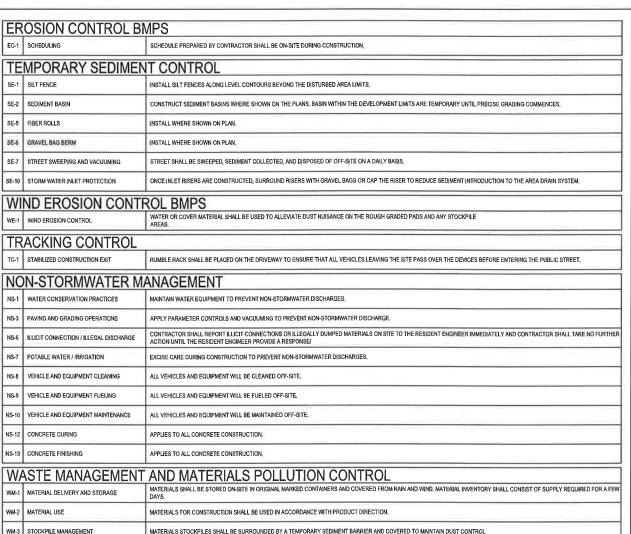






EROSION CONTROL PLAN

SCALE 1"=10"



AMPLE CLEAN-UP SUPPLIES FOR STORED MATERIALS SHALL BE KEPT ON-SITE. EMPLOYEE SHALL BE EDUCATED ON THE CLASSIFICATION OF SPILLS AND APPROPRIATE RESPONSES.

SOLID WASTE FROM CONSTRUCTION ACTIVITIES SHALL BE STORED IN APPROPRIATE CONTAINERS, FULL CONTAINERS SHALL BE DISPOSED OF PROPERLY.

AN ON-SITE CONCRETE WASHOUT AREA SHALL BE CONSTRUCTED, USED, AND DISPOSED OF IN A MANNER WHICH MEETS THE REQUIREMENT OF THE CITY,

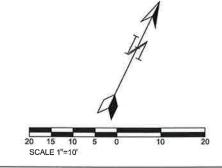
ON-SITE FACILITY SHALL BE PROVIDED AND MAINTAINED BY THE CONTRACTOR FOR THE DURATION OF THE PROJECT.

WM-4 SPILL PREVENTION AND CONTROL

WM-8 CONCRETE WASTE MANAGEMENT

SANITARY / SEPTIC WASTE MANAGEMENT

WM-5 SOLID WASTE MANAGEMENT





202217

C-4

SHEET NO .:

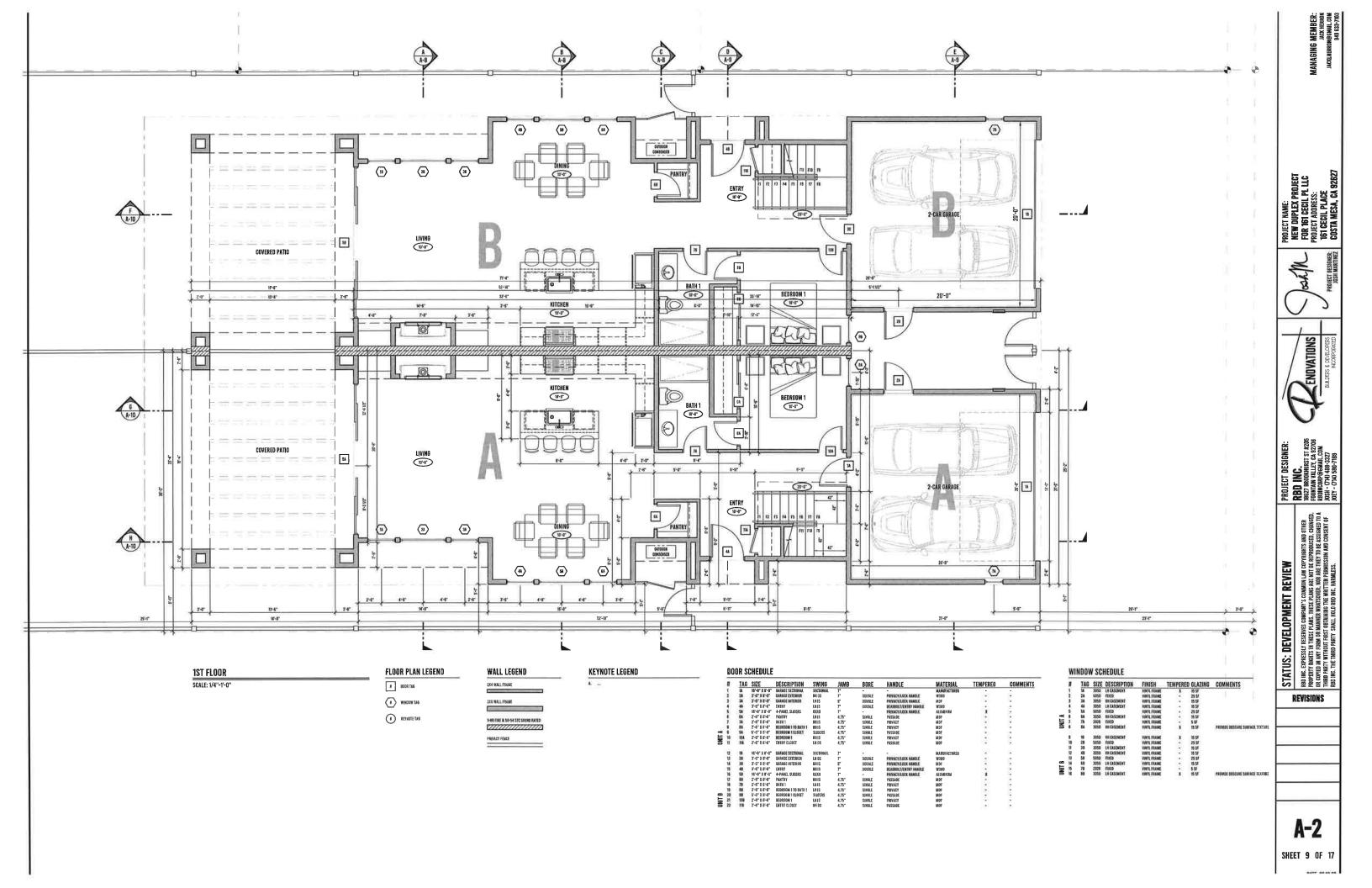
OWNER/SUBDIVIDER:

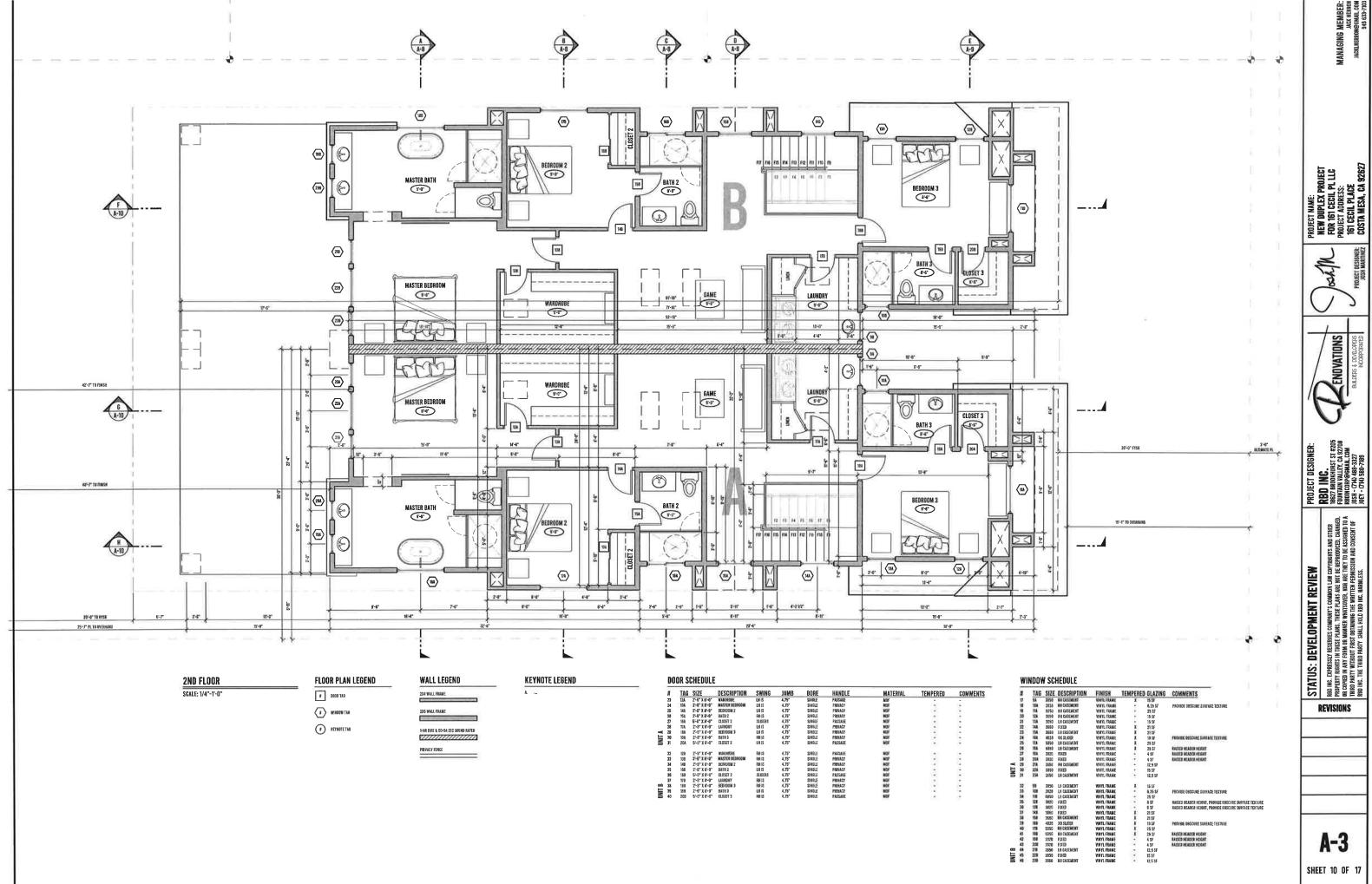
EROSION CONTROL PLAN
PROJECT ADDRESS
161 GCUL PLACE
COSTA MESA CA 60277

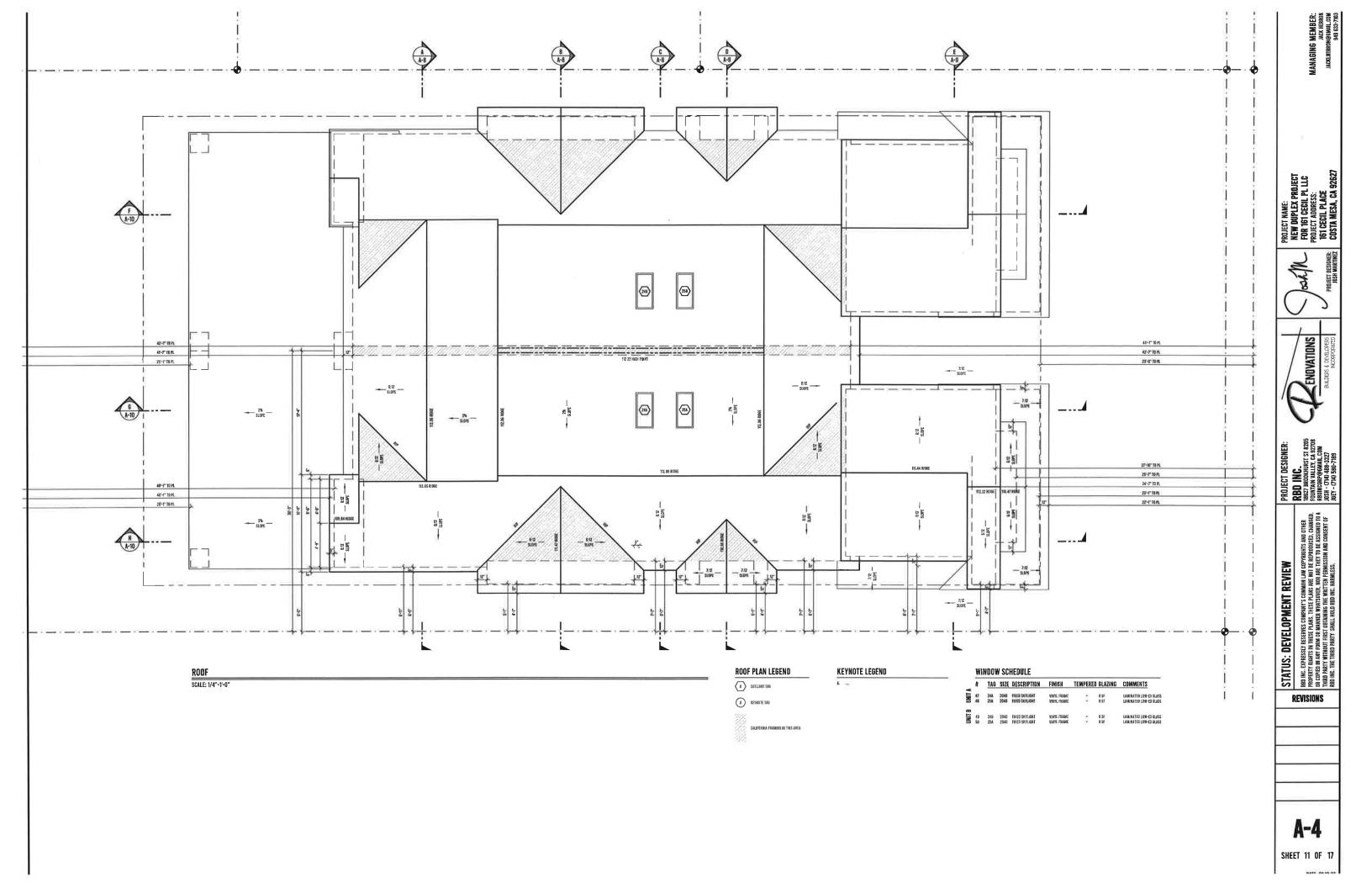
W.H. ENGINEERING GROUP RTH-CA:1590 OALAND RD, SUTTE 112, SAN JOSE, CA 951 SOUTH-CA: 23 MANCHIY, SUTTE 321; IRVINE, CA 92618 INFO@WHENDERING COUPLEON PHONE: 549-225357

PROJECT NAME

161 CECIL PL LLC 161 CECIL PLACE COSTA MESA, CA 92627





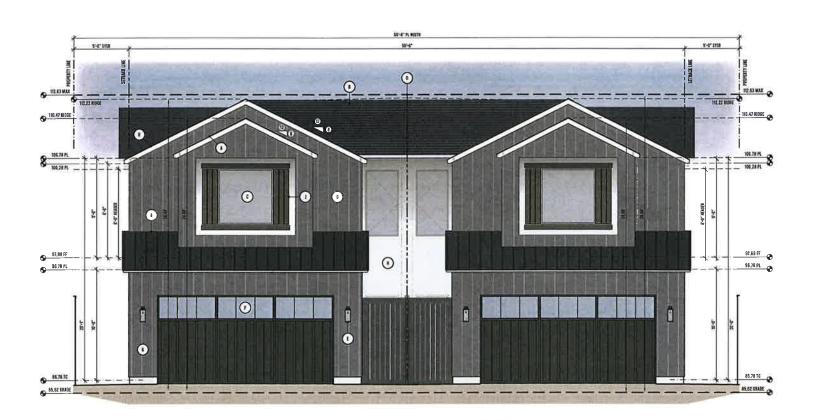


REVISIONS

A-5

SHEET 12 OF 17

























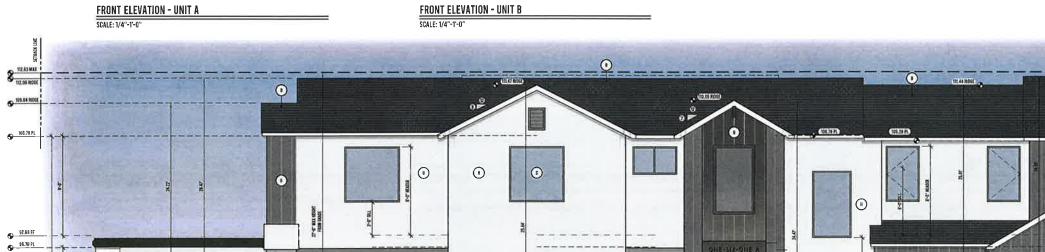






0

ELEVATION MATERIALS LEGEND



LEFT ELEVATION - UNIT A

SCALE: 1/4"-1'-0"

1

⊘ 863917

O STATEME

	TAL RODE		EXTERIOR DODGS
		144	
A.1.	MANUFACTURES: PAC-CLAD (PETERSEN ALLIMINUM CONFORATION)	D.1	MANUFACTURER: EL AND EL
A.2.	COLOR: SLATE GRAY	8.1	L STYLE: VISTAGRANDE SERIE
		0.3	PAINT COLOR; WHYL GRAY
B. PR	ESIDENTIAL SHAKE 1L RESIDENTIAL ROOFING		
B.L.	MANUFACTURER: ROOFING CERTAIN TEED		EXTERIOR MODERN FARMROUSE W
B.2	COLOR: CHARCOAL GREY	E1	SIZE: 17.00"H X 6.00"W

- SIZE: 17.00°H X 6.00°W Color: Natural Black Finish Model: Uqli331 The Quincy Co
- J. TRADITIONAL WOOD SHUTTERS
 J.1. STYLE: JOINED BOARD AND BATTEN COMPOSITE
 J.2. COLDR: MEDIUM GRAY K. ROOF GUTTERS & SCHISFOURS K.1. COLOR: ALUMINUM BLACK
- M. OECORATIVE ATTIC VENT

(1)

0

N. ABOF CUTTERS & COMMSPOUTS N.I. COLOR: ALUMINUM BLACK

P. ROOF CRICKET FOR REFERENCE

a. SIDE YARD PRIVACY GATE FOR REFERENCE (SEE SITE PLAN)

I, ENTRY DOOR

1.1. MANUFACTURER; EL AND EL WOOD PRODUCTS
1.2. STYLE: DUTCH DOOR
1.3. PAINT COLOR; BLACK DR DARK GREY











CENDVATIONS

PROJECT DESIGNER:

- RBD INC.
18622 PRODUKINK VALLEY, CA 92708
RBDINOUSPECKMLL.COM
RBDINOUSPECKMLL.COM
10581- C743, 580-7189
10617- C743, 580-7189

PROJECT NAME:
NEW DUPLEX PROJECT
FOR 161 CECIL PL LLC
PROJECT ADDRESS:
161 CECIL PLACE
COSTA MESA, CA 92627

ENDVATIONS



REVISIONS

A-6

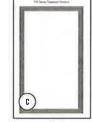
SHEET 13 OF 17

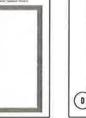




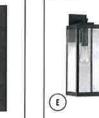
ERN SUR DES BEF

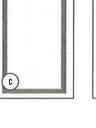






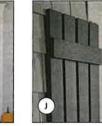




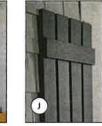


















RIGHT ELEVATION - UNIT B

KEYNOTES					
A	METAL ROOF	D.	EXTERIOR DOORS		
4.3.	MANUFACTURER: PAC-CLAD (PETERSEN ALUMINUM CORPORATION)	0.1	MANUFACTURER; EL AND EL WOOD PRODUCTS		
1.2	COLDR: SLATE GRAY	0.2	STYLE: VISTAGRANDE SERIES GLASS DUORS		
		0.3	PAINT COLOR: WINYL GRAY		
В.:	PRESIDENTIAL SHAKE TL RESIDENTIAL ROOTING				
8.1.	MANUFACTURER: ROOFING CERTAIN TEED	E,	EXTERIOR MODERN FARMHOUSE WALL SCONCE		
B.2.	COLOR: CHARGOAL GREY	E-1	SIZE: 17.00°H X 6.00°W		
-		E 2	COLOR: NATURAL BLACK FINISH		
C.	ŻWONIW	£3	MODEL: BOLESSE THE QUINCY COLLECTION BY OR		
V					

K. ROOF GUTTERS & DOWNSPOUTS K.1 COLOR: ALUMINUM BLACK

N.1. COLOR: ALUMINUM BLACK P. ROOF CRICKET FOR REFERENCE

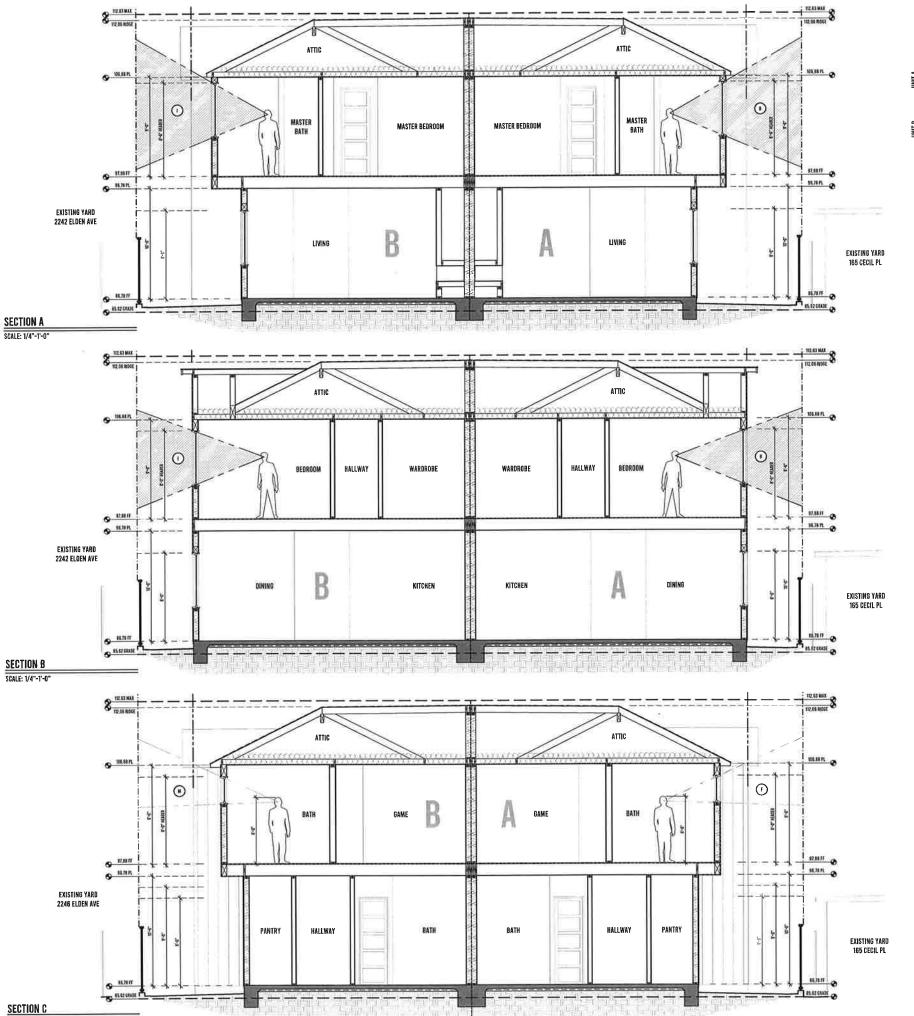
OL SIDE YARD PRIVACY GATE FOR REFERENCE (SEE SITE PLAN)

M. DECEMBINE ATTIC VENT

ENDVATIONS

REVISIONS

SHEET 14 OF 17



SCALE: 1/4"-1'-0"

KEYNOTE LEGEND

	TAG	WINDOW(S)	SILL HEIGHT	NOTES
	1	218, 228, 228	1-0*	VIEW IS OVER PROPOSED COVERED PATIO BELOW & FACING BEAR RESCHOOL'S EXISTING SHULE-STORY FLAT ROOF
		17A, 18A	3'-0"	VIEW IS FACING SIDE HEIGHBOR'S EXISTING OPEN AIR SPACE
	•	15A	2'-0"	VIEW IS FACING SIDE NEIGHBOR'S EXISTING SINGLE-STORY ROOF(S)
	2	144	5'-O" FROM LANDING	VIEW IS OVER PROPOSEG OPEN VOLUME AT STAIRWAY IL FACING SIDE HEIGHBOA'S EXISTING SINGLE-STORY ROOF(S)
***		12A, 13A	3'-0"	VIEW IS OVER PROPOSED SIDE YARD & FACING SIDE NEIGHBOR'S EXISTING SINGLE-STORY ROOF(S)
=	ř	164	5'-6"	PROPOSED WINDOW IS OBSCURE FOR BATH PRIVACY & NO VIEW AT THIS LOCATION
Ħ		19A, 20A	6'-6"	WEW IS ABOVE EYE LEVEL & NO WEW AT THIS LOCATION
	*	218, 228, 238	3'-0"	WIEW IS OVER PROPOSED COVERED PATTO BELOW & FACING REAR NEIGHBOR'S EXISTING SINGLE-STORY ROOF
	1	178, 188	3'-0"	WIEW IS FACING SIDE NEIGHBOR'S EXISTING SINGLE-STORY ROOF(S) & NEIGHBOR'S EXISTING 2ND-STORY IS APPROXIMATELY 60'-0" FROM PROPERTY LINE
	4	158	2'-0"	VIEW IS FACINB SIDE NEIGHBOR'S EIUSTING OPEN AIR SPACE & SINGLE-STORY ROOF(S)
	×	148	5'-0" FROM LANDING	VIEW IS CHER PROPOSED GPEN VOLUME AT STAINWAY & FACING SIDE HEIGHBOR'S EXISTING SINGLE-STORY ROOF(S)
60	Ł	128, 138	80.	VIEW IS FACING SIDE NEIGHBOR'S EXISTING 2-STORY RESIDENCE & PROPOSED WINDOW(S) ARE ABOVE EYE LEVEL
E E	M	168	5'-6"	PROPOSED WINDOW IS OBSCURE FOR BATH PRIVACY & MS VEW AT THIS LOCATION
3	*	198, 208	6'-6"	VIEW IS ABOVE EYE LEVEL A NO VIEW AT THIS LOCATION

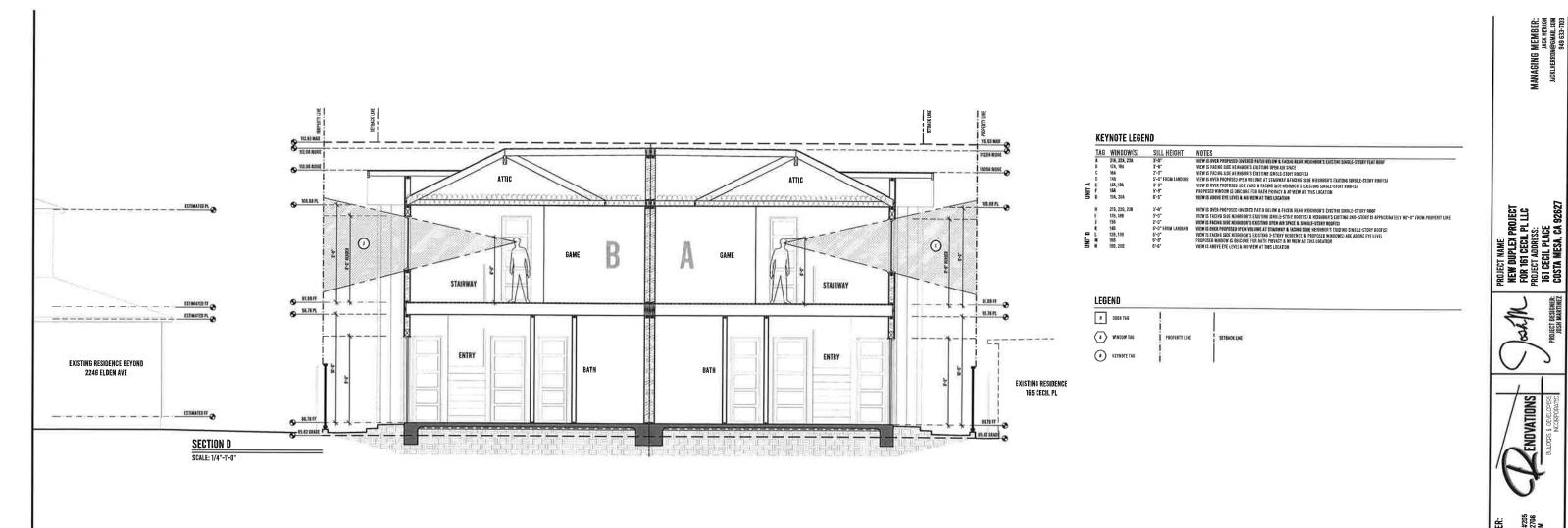
LEGEND				
M DOOR TAG	1			
ax WINDOW TAS	PROPERTYLIME	SETBACK LINE		
ALL STORYS	ļ			

ENDVATIONS

STATUS: DEVELOPMENT REVIEW
RED INC. EXPRESSLY RESERVES COMPANY'S COMMON LAW COPTRIG
PROPERTY RISHTS IN THESE PLANS. THESE PLANS ARE NOT BE REPR
PROPERTY WITHOUT RRST DISTANTINE THE WHITTER PERBASSION
RED INC. THE TRIRD PARTY SHALL HOLD RED INC. HARMIESS.

A-8

SHEET 15 OF 17



ATTIC

BARAGE

0

55,71 P.

EXISTING RESIDENCE

165 CECIL PL

O INTERNO

9 мил 9 1678 R 0

C MERITAMIERS

ESTUNATED II

SCALE: 1/4"-1'-0"

EXISTING RESIDENCE

2246 ELDEN AVE

ATTIC

GARAGE



ENDVATIONS

MANAGING MEMBER:
JACK HERRON
JACK HERRON
949 633-7103

ZIGHTS AND OTHER PRODUCED, CHANGED, I to be assigned to a Na and consent of

STATUS: DEVELOPMENT REVIEW

REVISIONS

A-9

SHEET 16 OF 17



GENERAL STRUCTURAL REQUIREMENTS

GENERAL

- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR CONDITIONS OF ALL WORK AND MATERIALS INCLUDING THOSE FURNISHED BY SUB-CONTRACTORS, STRUCTURAL ENGINEER OF RECORD SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES FROM STRUCTURAL PLANS.

- 4. ALL WORK SHALL COMPLY WITH ALL THE APPLICABLE FIGURE ALMAY IS THAT STATUTES LOCAL DIDMANCES AND THE REGULATIONS OF AGENCIES HAVING JURISDICTION OVER THE PROJECT. THE CONTRACTOR SHALL TAKE FLUL RESPONSIBILITY FOR COMPLYING WITH THE CONSTRUCTION SAFITY ORDERS AND THE GENERAL BROUGHTHAL SAFITY ORDERS OF THE STATE OCCUPATIONAL SAFITY AND HEALTH ADMINISTRATION AND SUCH OTHER AGENCE SOVERHOME THE CONTRACTOR ACID. HE RESPONSIBLE FOR AND SIZE DATES THE STRUCTURAL ENGINEER ANCIETIC TAKE OWNER FOR ANY DAVAGES ARRIGIN FENAL THES RESULTING FROM HIS FAILURE TO COMPLY WITH SAID LAWS, STATUTES, ORDERANGES AND REQULATIONS.
- 6. THE DESIGN, ADEQUACY, AND OVERALL BAFETY OF ANY SHECTION BRACING, SHORING, TEMPORARY SUPPORTS, ETC. IS THE SOLE RESPONSING FOR CONTRACTOR AND HAS NOT SEEN TAKEN INTO CONSIDERATION BY THE ARCHITECT OR STRUCTURAL ENGINEER. THE CONTRACTOR: RESPONSIBLE FOR THE STABILITY OF THE STRUCTURE PRIOR TO THE APPLICATION OF ALL SHEATHING AND PRISH MATERIALS, OSSERVATION TO THE BUT BY THE ARCHITECT OR STRUCTURAL ENGINEER ON NOT CONSTITUTE INSPECTION OF ANY OF THE ARCHITECT.
- B. WHERE NO DETAILS SHOWN OR NOTED ON THE DRAWNGS, THE DETAILS SHALL BE THE BANK AS FOR OTHER SIMILAR WOR
- F, THE CONTRACT STRUCTURAL DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE. THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE ALL MASURES INCESSANTY TO PROTECT THE STRUCTURE DUBNIC CONSTRUCTION. SUCH MEASURES SHALL INCLUDE. BUT NOT BE SHIFTED. OR BANGA, SCAFFOLDING, ETC., CREEKVATION VISITS TO THE SITE BY THE STRUCTURE ENGINEERS CHALL NOT INCLUDE INSPECTION OF THE ABOVETERM.
- B OPPINIOS, POCNETIL ETC, LANGER THAN A' SHALL NOT BE PLACED IN CONCRETE SLABS, DECKS, WALLS, UNLESS SPECIALLY DETAILED ON THE STRUCTURAL DRAWNIOS. NOTIFY THE STRUCTURAL ENGINEER WHEN DRAWNIOS BY OTHERS SHOW OPENIOS, POCRETS, ETC, LARGER THAN 6' NOT SHOWN ON THE STRUCTURAL EXPANSOS, BUT WHICH ARE LOCATED IN STRUCTURAL MEMBERS: FOR ANY FURTHER RESTRICTIONS ON OPENINGS IN STRUCTURGE, EXEMPLYS, SEE APPLICAME SECTIONS BELLOW.
- R CONTRACTOR TO PREPARE SHOP DRAWINGS FOR ALL CONCRETE REINFORCEMENT, STRUCTURAL STEEL, SPECIAL FLOOR & ROOF JOHTS, WOOD TRUSSES, ETC., SHOP DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER OF RECORDS FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.
- 10, CONSTRUCTION MATERIAL SHALL BE SPREAD OUT IF PLACED ON FRAMED FLOOF OR FLOOR, LOAD SHALL NOT EXCEED THE DESIGN LIVE LOAD PER SQUARE FOOT, PROVIDE ADEQUATE SHORINS AND/OR BRACING WHERE STRUCTURE HAS NOT ATTAINED DESIGN STRENGTH.
- 11, W.H. CONSULTANT IS IN NO WAY RESPONSIBLE FOR ANY AND ALL JOBSITE SAFETY, CONTRACTOR'S WORK OR THE METHODS AND PERFORMANCE OF EARD WORK.

EXISTING CONDITIONS

- ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE HELD VERIFIED BY THE CONTRACTOR PRIOR TO THE COMMENCEMENT OF WORK, NOTED DIMENSIONS SHALL SUPERSEDE OVER SCALED OMERSIONS. THE CONTRACTOR SHALL NOT ASSUME THAT MAY EXSTRING CONSTRUCTION IS FLUID. LEVEL, OR SOLVINE, BUT SHALL VERTY ACTUAL FIELD CONDITIONS AND MUST REPORT ANY DESCREAMINGS FROM TO COMMENCEMENT OF WORK.
- 2. THE CONTRACTOR SHALL INSPECT ALL EXISTING CONDITIONS THAT AFECT THE WORK SHOWN AND SHALL NOTIFY THE OWNER AND THE STRUCTURAL ENGINEER OF RECORD OF ANY EXISTING CONDITIONS THAT CONFLICT WITH THE NEW WORK SHOWN, QUENIC CLEARING AND EARTHWORK OPERATIONS FOR PLEED EXCANATIONS OR DIVERS TRUCTURES, SUCH AS CESSPOOLS, CISTERNS, FOUNDATIONS, ETC. IF ANY SUCH STRUCTURES ARE FOUND, STRUCTURAL ENGINEER SHALL BE NOTIFIED IMMEDIATELY.
- 3. IF THE CONTRACTOR OBSERVES ANY EXISTING CONDITION THAT HE CONSIDERS INADEQUATE IN ANY WAY, DUE TO DETERIORATION, APPAREN STRUCTURAL INADEQUACY, POOR EXISTING CONSTRUCTION, OR ANY OTHER REASON, HE SHALL PROMPTLY BRING SUCH CONDITION TO THE ATTENTION OF THE OWNER AND THE STRUCTURAL ENGINEER AND SHALL NOT CONCEAL SUCH CONDITION UNTIL BY AND RECEIVED QUIDANCE

STRUCTURAL DESIGN CRITERIA (2019 CBC)

BUILDING CODE:

1. THE INTERNATIONAL BUILDING CODE (BIG), 2016 EDITION AND THE MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES (MOCENT IN MARKED M CONCRETE INSTITUTE AND 31% 19, SEISME CRESTON MANIMAL AND 34%, STEEL CONSTRUCTION MANIMAL AND CHRITECHINE FOR INVESTIGATION CODE REQUESTMENTS FOR MASONEY STEEL CONSTRUCTION FOR THE CONCRETE AND MATCHAIL CRESON SPECIFICATION HIDE 2016 EDITION.

2. CALIFORNIA BUILDING CODE (EGG.), 310% EDITION.

WAND LOAD DESIGN DATE

IMPORTANCE FACTOR L. OCCUPANCY CATEGORY WIND EXPOSURE	95 MPH 1.0 N C
SEISMIC LOAD DESIGN DATE (PER SOIL REPORT):	
IMPORTANCE FACTOR I SITE CLASS SEISUMO DESIGN FACTOR (50C). S1 S1 S4 S4 LAT LONGIT	1.0 D (STIFF SOIL) D 1.341 0.479 1.072 0.570 33.6513528 -117.0049671
BASIC SEISMIC FORCE-RESISTING SYSTEM	15 - WOOD STRUCTURAL PANEL (ASCE-7-18, TABLE 12:2-1)
DESIGN BASE SHEAR	0.7V = 0.115W 0.165

FOUNDATION

1. ALLOWABLE BEARING PRESSURE - 2,000 PSF (PER SOIL REPORT)

USE EQUIVALENT LATERAL FORCE PROCEDURE

CONCRETE

- ALL CONCRETE MATERIALS, CONSTRUCTION AND WORKMANSHIP SHALL CONFORM TO THE ADOPTED EDITION OF THE ACT CODE AND SPECIFICATION (ACL) 1(8) AND APPLICABLE CALIFORNIA BUILDING CODE (2010 CBC) AND LOCAL BUILDING CODE.
- 2. CONCRETE SHALL HAVE A MIN. 4,500 PSI COMPRESSIVE STRENGTH AT 28 DAYS AS FOLLOWS UNLESS OTHERWISE NOTED ON THE DRAWINGS
- 4. AGGREGATE FOR HARD PACK CONCRETE SHALL BE 1.0" MAX FOR FOOTINGS AND X" MAX FOR ALL OTHER WORK, (ASTM C-33)
- 5. AGG REGATE FOR LIGHTWEIGHT CONCRETE SHALL CONFIRM TO ASTM G-330.
- 6. CONCRETE MIXING OPERATION, ETC., SHALL CONFORM TO COM, TYPE II WATER-CEMENT RATIO IS 0.50.
- 7. WATER SHALL BE CLEAN FREE FROM SELETERIOUS AMOUNTS OF ACIDS. ALXALIS OR ORDANIC MATERIALS, OILS, SALTS AS PER ACI-318. 8. THE MAXIMUM SLUMP SHALL NOT EXCEED 3" 11" FOR FOOTINGS, SLABS ON GRADE AND WASS CONCRETE, AND 4" 11" FOR OTHER CONCRETE
- 9. LIMLESS SHOWN OR NOTED OTHERWISE, CONCRETE COVERAGE FOR RENFORCING BAR TO FACE OF BAR SHALL BE AS FOLLOWS:
 A. CONCRETE IN CONTACT WITH EARTH, UNFORMED 3'
 B. CONCRETE IN CONTACT WITH EARTH, FORMED 2'
 2'

- C. WALLS 1.5' D_BEAMS G RIDERS & COLUMNS (TO TIES OR STIRRUPS) 1.5' 1.5'
- 10, CONDUST PLACED IN A CONCRETE SLAB SMALL NOT EXCEED \$ OF THE TRICKNESS OF THE SLAB AND SMALL BE PLACED BETWEEN THE TOP-AND BOTTOM REINFORCING STEEL. HIRMANN CLEAR DISTANCE BETWEEN CONDUSTS SMALL BE 0".
- 11, ALL REINFORCING BARS, ANCHOR BOLTS AND OTHER CONCRETE INSERTS SHALL BE WELL SECURED IN POSITION PRIOR TO PLACING CONCRETE
- 12. PROVIDE SLEEVES FOR PLUMBING AND ELECTRICAL OPENINGS IN CONCRETE BEFORE PLACING, DO NOT CUIT MAY REMODICING WHICH MAY CONJUCT, CORNICI IN CONCRETE IS NOT PERMITTED EXCEPT AS SHOWN, NOTIFY THE ENGINEER ON RECORD IN ADVANCE OF CONCITIONS NOT SHOWN ON THE OTHERWISE.
- 12. ALL CONCRETE MIXES SHALL CONFORM TO THE PROPORTIONS ESTABLISHED BY CODE FOR THE VARIOUS CONCRETE STRENGTHS REQUIRED FOR THE WORK, CONTRACTOR SHALL ENGAGE A CERTIFIED INDEPENDENT TESTING LABORATORY TO PREPARE SIX 93 DESIGNAS FOR THE WORK COPIES OF SUCH MIX DESIGN, AS WELL AS 7-DAY AND SELVEY CYLINDER TISST RESULTS SHALL BE SENT TO THE STRUCTURAL ENGINEER OF RECORD AND THE LOCAL BUILDING OFFICIAL TO GRITAN APPROVAL PRIOR TO THE SITE IN THE WORK.
- 14. REMOVE ALL DEBRIS, WATER, MUD AND LOOSE EARTH FROM EXCAVATED AREA BEFORE POURING CONCRETE.
- IS POWDER ACTUATED FASTENERS SUCH AS SHOTPINS, SHALL BE ICC ESR APPROVED.

- IB PIPES, DUCTS, CONDUITS, ETC. SHALL NOT BE PLACED IN SLABS UNLESS APPROVED BY THE ENGINEER OF RECORD

CONCRETE BLOCK MASONRY

- PROVIDE MORTAR COMPLYING WITH ASTM 0270, TYPE 3, 1 PART PORTLAND CEMENT, 35 PARTS AND \$ TO \$ PARTS LIME PUTTY OR HYDRATED, ATTAINING A MINIMUM COMPRESSIVE STRENGTH 2:000 PSI AT 28 DAYS.
- PROVIDE GROUT COMPLYNG WITH ASTM CATS, TYPE S, I PART PORTLAND CEMENT, 3 SAND (FINE GROUT) AND MAY CONTAIN ADDITIONAL 2
 PARTS PINE GROWEL IF SPACES ARE 4 INCHES OR MORE IN EVERY DIRECTION (COARSE GROUT), ATTAINING A MINIMUM COMPRESSIVE STREM
 2,000 PEAR 32 DAYS.
- . PROVIDE GALVARZED WIRE TYPE HORIZONTAL JOHT RESIFORCING AT 15" O.C. GMAX, AND AS BIOICATED ON ARCHITECTURAL DRAWINGS. PROVIDE HOT DIP OALVANZED HAR ON ALL EXTERIOR WALLS IN ADDITION TO SCHEDIALED OR DETAILED ENTEL AND SILL RERIFORCING. PROVIDE TWO LAYERS OF HIR AT 8 INCHES ON CENTER ABOVE AND BELOW ALL UNTELS AND SILLS WHICH SPAN INCHE THAN 12 INCHES. EXTEND ADDIED HAR 21 MICHES BEYOND THE OPENING JAMES EXCEPT AT WALL CONTROL JOHTS.
- 6. PLAIN END TWO CELLED UNITS SHALL BE USED FOR BLOCKS THAT ARE TO HAVE CELLS REINFORCED AND FILED. WEB SHELLS ADJACENT TO CELLS THAT ARE TO BE FILLED ARE TO BE BEDDED IN MORTAR.
- A REINFORCING SHALL HAVE A MINIMUM LAP OF 40 BARS DIAMETED OR 34" WHICH EVER IS LARGER.
- 7. BRICK SHALL CONFORM TO STANDARD SPECIFICATION FOR BUILDING BRICK ASTM CB2, BRICK GROUTING PER 121-2413
- B. BED JOINTS TO BE FULLY BEDDING MORTAR, HEAD JOINTS TO BE SOLIDLY FILLED AT LEAST 1X* FROM EACH FACE. 9. OROUT THOMSES BETWEEN BLOCK UNIT REINFORCING STEEL SHALL NOT BE LESS THAN X*, SPACE BETWEEN ADJACENT BARS SHALL NOT BE LESS THAN 1* OR THE BAR DIAMETER, WHICH IS GREATER.
- 18. IF WORK IS STOPPED FOR ONE HOUR OR LONGER, PROVIDE HORZONFAL CONSTRUCTION JOINTS BY STOPPING GROUT VX* BELOW YOP OF BLOCK
- 11. ALL MASONRY WALLS SHOWN ON THE STRUCTURAL DRAWINGS HAVE BEEN DESIGNED TO RESIST THE REQUIRED CODE VERTICAL AND LATER FORCES IN THE FINAL CONSTRUCTED CONFIDURATION ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ADEQUATELY SPACE THE WALLS FOR VERTICAL AND LATERAL LOADS THAT COULD POSSIBLY BE APPUED PRIOR TO COMPLETION OF LATERAL SUPPORT BY CONNECTION AT FLOORIS OIL POOF FRAMING LEVELS.

REINFORCING STEEL

- I. ALL REINFORCING BARD SHALL BE ACCURATELY AND SECURELY PLACED BEFORE FOURING CONCRETE OR APPLYING MORTAR OR GROUT.
- 2. ALL REINFORCING BARS SHALL BE ASTM A-415 'ORADE 60 DEFORMED BILLET STEEL BARS, GRADE 60 BARS SHALL BE MARKED 50 ITS IDENTIFICATION CAN BE MADE WHEN THE FINAL IN PLACE INSPECTION IS MADE.

- ALL STEEL TO BE COATED SHALL BE CLEAVED TO BASE METAL AND BE FREE OF ALL ORS, RUST, SCALE OR ANY OTHER DELETERIOUS MATERIALS. STEEL PABRICATOR SHALL BE LOCAL CITY LICENSED.
- 7. DARS SHALL BE SECURELY TIED TO PREVENT DISPLACEMENT DURING THE CONCRETE OPERATION AND ALL DOWELS SHALL BE WIRED IN PLACE
- 8. DOWELS BETWEEN FOOTINGS AND WALLS OR COLUMNS SHALL HAVE SAME SIZE AS THE VERTICAL REPAYORCEVENT, EMBEDMENT OF DOWELS SHALL BE 38 BAR CKAMETER OR 2-0" MINIAUM UNLESS OTHERWISE SHOWN
- WELDING SHALL BE ELECTRIC ARC PROCESS (ETOXX) PERFORMED BY QUALIFIED WELDERS AND CERTIFIED BY THE LOCAL CITY OF BUILDING SAFETY DEPARTMENT, ALL FIELD WELDING SHALL BE PROVIDED WITH CONT. INSPECTION BY A CERTIFIED DEPUTY INSPECTOR.
- 10 MINIMUM LAP OF MESH SHALL BE NOT LESS THAN THE SPACING OF THE CROSS WIRE PLUS TWO INCHES OR 60 DIA, OR 8" WHICHEVER IS GREATER.

11, WELDED WIRE MESH SHALL CONFIRM TO ASTM A185 GRADE 65 FOR PLAN WIRE AND ASTM A497 GRADE 75 FOR DEFORMED BAR

STRUCTURAL STEEL

- 1. FABRICATION AND ERECTION OF STRUCTURAL STEEL SHALL CONFORM TO THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION (ASS), "MANUAL OF STEEL CONSTRUCTION, ASD (LATEST EDITION).
- 2. ALL STEEL DETAILS AND CONNECTIONS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE AISC "SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS", (LATEST EDITION).
- 3. STEEL MATERIALS SHALL CONFORM TO THE FOLLOWING UNLESS OTHERWISE NOTED ON THE DRAWNOSS. A STRUCTURAL WISHAPER NATIO MOZE, GRADE 50.
 6. THESE NATION AND THE "ST GRADE "9".
 C. THESE NATION AND THE "IF" > 44000 PSI;
 D. MOLES NATIONS.

- C. TUBER JASTM ACH, CRADE: "F" (FY 48000 PR).

 ANGLES ASTM ACH, CROPE A. EXCEPT AS NOTED.

 F. RICH STRENGTH ACK, CRADE A. EXCEPT AS NOTED.

 F. RICH STRENGTH ACK, TASTM ACH SUP CHITICAL UNLESS NOTED.

 G. ANCION BCLTS: ANGLINESS NOTED OTHERWISE.

 G. ANCION BCLTS: ANGLINESS NOTED OTHERWISE.

 H. CALVANATURE, ASTM ACH TO FOR CRULED, PRESEND, AND FORGED STEEL SHAPES, PLATES, BARS, AND STREP GREATER THAN X. THICK, ASTM ACH CALVANATURE AND ACH CALVANATURE OF THE ACH CALVANATURE OF TH
- 4. ALL STEEL MEMBERS SHALL BE MADE IN A N APPROVED FABRICATOR'S SHOP; THE APPROVED FABRICATOR SHALL SUBMIT THE CERTIFICATE OF COMPLIANCE TO THE BUILDING INSPECTOR PRIOR TO ERECTION PER CBC SECTION 1764-2.2.
- ALL STRUCTURAL STEEL AND MISCELLANEOUS METAL EXPOSED TO WEATHER SHALL BE PRIMED AND PAINTED BY GALVANIZED PAINT AFTER ERECTION.
- 6. CITY LICENSED FARRICATOR REQUIRED FOR ALL STRUCTURAL STEEL MEMBERS.
- 7. BOLT HOLES IN STEEL SHALL BE 1/16 INCH LARGER IN CHARETER THAN NORMAL SIZE OF BOLT USED, URLESS NOTED OTHERWISE, OVERSIZED OF SLOTTED HOLES SHALL NOT BE USED FOR ANY CONNECTIONS URLESS SPECIFICALLY INDICATED ON THE GRAWNING OR APPROVED IN WRITING IN THE TRACKING FER.
- B. WELD LENGTHS CALLED FOR ON PLANS ARE THE NET EFFECTIVE LENGTH REQUIRED. WELD SIZE SHALL BE AISC MAIANUM UNLESS A LARGER SIZE IS NOTED.

- 11. SHOP WELDS MUST BE PERFORMED IN A CITY LICENCED FABRICATOR'S SHOP 12. FIELD WELDERS SHALL BE CERTIFIED BY THE CITY DEPARTMENT OF BUILDING AND SAFETY.
- TA, WELDING TESTS AND INSPECTIONS: PER BUILDING DEPARTMENT REQUIREMENTS AND SPECIFICATIONS
- 15. STEEL COLUMNS, HABE PLATES AND ALL STEEL BELOW GRADE SHALL HAVE A MIRMUM 3" CONCRETE COVER PROTECTION, UNLESS SPECIAL NOTED ON PLANS OR DETAILS.
- 16, SUBMIT FOR REVIEW SHOP DRAWNINGS OF STEEL DETAILS PRIOR TO FABRICATING STRUCTURAL STEEL. CUTS, HOLES, COPING, ETC. REQUIRED FOR WORK OF OTHER HUNGES SHALL BE SHOWN ON THE SINF DRAWNINGS AND MORE IN THE SOFE CUTS OR BURNING OF HOLES IN SECRETARY OF THE STRUCTURAL SHOWN OF THE STRUCTURAL SHO

- LTHE FOLLOWING CODES AND SPECIFICATIONS SHALL GOVERN THE CONSTRUCTION OF STRUCTURAL WOOD SYSTEMS,
 A. 1. THE INTERNATIONAL BUILDING CODE (BIC), 2019 EDITION AND THE MINIMUM DESIGN LOADS FOR BUILDINGS AND
 OTHERS STRUCTURES (MESSES) (BIC), 2019 EDITIONAL
 B. ANDORAL DESIGN SPECIFICATION (POS) 2015 EDITIONAL
 B. ANDORAL DESIGN SPECIFICATION (POS) 2015 EDITIONAL
 C. WAYAR ON EXILS STANMAND CONDINING REJESTED WESTERN LUMBER
 D. PS-1 PLYMODO STANMANDS
 C. MICH 2014 DESTRUCTED AND CONTROL OF STRUCTURE OF ST

- 2. NO STRUCTURAL NEWBER SHALL BE CUT OR NOTCHED FOR PIPES, ETC. UNLESS SPECIFICALLY NOTED. OBTAIN ENGINEER'S APPROVAL FOR ANY HOLES OR NOTCHES NOT DETABLED.
- ALL LUMBER SIMUL BE GRADE MARKED DOUGLAS FIRR-ARCH AND SHALL HAVE THE FOLLOWING GRADES, UNLESS NOTED OTHERWISE:
 A 2X STUDS, XX OFFICIALE, XX SILL PLATE:
 DE22
 C BEAN HEADER'S STRINGER:
 DP31 OR BETTER
 DP31 OR BETTER
- 4. PARALLAM LUMBER
 A PARALLAM PUNDER STRAND LUMBER (PS.), MANUFACTURED BY "NEYERIOLISER" COMPANY WITH E = 2,000,000 PSI 8
 A PARALLAM PUNDLES, STRAND LUMBER (PS.), MANUFACTURED BY "NEY CONFIDMINAY MOS SOILS

 3. THE PARALLAM BEAMS ARE TO BE FASINGLATED IN THE SINCE OF A CALIFORNOM LUCESSED FASIRCATOR,
 C. PARALLAM SHALL NOT BE EXPOSED TO THE WEATHER WHEN USED ON THE EXTERIOR OF A STRUCTURE THESE PRODUCTS
 SHALLE BE FLULL WRAMPED IN WEATHER RESISTANT BARBER.
 D. PARALLAM SHALL NOT THE LOAD TESTED BY THE MANUFACTURER AND THE TESTED TO SUBMITTED TO THE BUILDING
 HISPECTOR, THE MANUFACTURES SLOOD SI TO BE IMPORTED ON THE SIZE OF THE BEAMS.
- 5. MICROLLAM LUMBER:
 A MICROLLAM LUMBER LUMBER (LVL) SHALL BE MANUFACTURED BY "WETERDHUSER" COMPANY WITH E-1,000,000 PSI
 A MICROLLAM LAWHALED VENEER LUMBER (LVL) SHALL BE MANUFACTURED BY MICROLLAM STATE
 BY THE MICROLLAM READS ARE TO BE FARBICATION IN THE SHAP OF A CAUTORISAL LUCKNOS PARENCATOR.
 C, PARALLAM SHALL NOT BE EXPOSED TO THE WEATHER WHEN USED ON THE EXTERIOR OF A STRUCTURE THESE PRODUCTS
 SHALL BE CITYL WRAPPED BY MEATHER RESISTANT BANKER.
 D, PARALLAM SEAMS ARE TO BE LOAD TESTED BY THE MANUFACTURER AND THE TEST ESULTS SUBMITTED TO THE BUILDING MISSECTION. THE MANUFACTURER SHALL SHAPPEN SHAPP

- LUE-LAMINATIED WOOD! CILLIE LAMINATED WOOD BEAMS (GLU) SHALL BE COMBINATION 24F-V8 WITH Fb+ 2400 PBL UM-ESS OTHERWISE NOTED, UTILIZING A WET-USE ACHEENE CONFORMING TO A S.T.M. D-2558 MEMBERS SHALL BE ANCHITECTURAL GRADE AFPEARANCE

- UTILIZING A WIT-TUSE AGRIEBATE CONFICIAMING TO A ST.M. 0-2558. MEDIBERS SHALL BE, ANCHITECTURAL GRADE APPEARANCE UNLESS OTHERWISE NOTEON OF THE STRUCTURAL OR ACCRETION LORMINGS.
 ALL WHITE SHALL COMPT WITH ALT C. 190.1 MID BEAR EITHER THE ALT C.OR THE APPACEWS "QUALITY INSPECTED" MARK. BY ACALIFORMED LICENSED INSECTION. FOR ALL QUIED LAMINATED THMER SHALL BE SUBMITTED TO THE BUILDING AND SAFETY DOMISON MEMBERS OF REPORTED.
- F. PRESSURE TREATED LUMBER
 A LUMBER AND FLYDOOD WITH WATER-BORNE PRESERVATIVES TO COMPLY WITH AND NDS 2018 AND CRO 2018, 2303.1.8
 B WOOD FOR ABOVE GROUND USES USE AMPA LP-2
 C. PRESSURE TREAT CANTE, MALERS: BLOCKING, STEPPING AND BIMILAR ITEMS IN CONJUNCTION WITH ROOFING, FLASHING,
 VAROR BASHINES, AN WATER-PROOFING OR USE REDWOOD.
 D. PRESSURE TREAT BLIS. SLEEPINS, RAKEINS, BLOCKING, FURRISING AND BIMILAR ITEMS IN DIRECT CONTAGT WITH CONCRETE
 OR MAGNING ON USE RESWOOD.
- PLYMODE SHALL BE DOUGLAS FIR AND BINAL COMPLY WITH U.S. PRODUCT STANDARD RS 1-19. GRADES AND SIZES SHALL BE AS SPECIFIED ON PLANS, RYWYOOD SHEATHIND SHALL SET SHEET WESTER FORSIBLE WITH AY X.32" MINIMAN SHEET SIZE AND LAD CONTINUOUSLY OWNER TWO OR MAD RESPANS WITH FACE ORAN PERSPRICTION OF THE AY X.32" MINIMAN SHEET SIZE AND LAD CONTINUOUSLY OWNER TWO OR WITH YOU THE AND SHALL SET SHALL SHAL

- B. WALL FRAMING:
 A. STUGS SHALL BE PLACED WITH THEIR WIDE GIMENSION PERPENDICULAR TO THE WALL.
 B. USING ON PHICCE OF AX POST OR NOT LESS THAN THREE STUDS SHALL BE RISTALLED AT EACH CORNER OF EXTERIOR WALL.
 C. EXTERIOR WALLS: 187 THA. CEMENT HASTER ON FURRIED OR SELF-FURRING EXPANDED METAL OR FABRIC LATH WITH 811
 CA. 197 LODON, THIS DIA. FEAD DAYLY, AT 60.
 D. HITERIOR WALLS: 58° TYPE "A" GYPELMI WALL BOAND ASTERIOR THEN BUDGLE HEAD DRYWALL SCRIPPS (B) TO C.
 CESINOS, 50° C. WALLS, 58° MIN. PENETRATION INTO FRAMING. BLOCKING REOD, TYP. U.N.O.(2 PLY GYPED. REQUIRED
 THE SERVICE OF C. WALLS, 58° MIN. PENETRATION INTO FRAMING. BLOCKING RECOD, TYP. U.N.O.(2 PLY GYPED. REQUIRED
 THE SERVICE STATE OF THE SHALL BE SPECIES WITH (12)-Ind.
- CELINAS, 16° O.C. WALLS, 51° MIN. PENETRATION INTO FRAMING. BLOCKING REQD, TYP, U.N.O.(2 PLY GYPEO, REQUIRED PER ARCHL).

 END JOINTS IN DOUBLE TOP PLATES SHALL BE OFFSET AT LEAST 48 INCHES. TOP PLATES SHALL BE SPLICES WITH (12)-164.

 UNLISE NOTE OF DEFENSE.

- UNLESS NOTED OTHERWISE.

 F. PROVIDE FIRE INC. SCHOOL AT MID-HEIGHT OF STUD WALLS EXCEEDING 9.0° IN COMPLIANCE WITH LOCAL CODE, FIRE BLOCKING FROM LOCAL CODE, FIRE BLOCKING SHALL BE ZY MATERIAL DE SAME WIDTH AS THE STUDS.

 G. PROVIDE FULL-HIEGHT STUDS (BALLDONFFOME) OR LYCE BEDOWN WALLS WITH SLOPED ROOF AND STAIRS. ADD AX SOLID BILKY GIVE OF VERTIFICAL DISCRIPTION BETWEEN STUDS.

 H. NOT CHIEF OF ZY MATERIAL DISCRIPTION BETWEEN STUD WALLS SHALL NOT EXCEED 25WHO'S RESPECTIVELY. SOARD HOLES IN COMPLICATION AND INCAMPAGNEES AND STUD WALLS SHALL NOT EXCEED 25WHO'S RESPECTIVELY. SOARD HOLES IN ALL WALLS PROVIDE A SHOULE BUT LIND TEXTED HOME TO MODIFIE TO MODIFIE IN AT ALL WALLS PROVIDE A SHOULE BOTTOM PLATE. WHERE PLATES AND CUT ON BORRED PROVIDE A SHOULE BOTTOM PLATE. WHERE PLATES AND CUT ON BORRED PROVIDE A SHOULE BOTTOM PLATE. WHERE PLATES AND CUT ON BORRED PROVIDE A SHOULE BOTTOM PLATE. WHERE PLATES AND CUT ON BORRED PROVIDE A SHOULE BOTTOM PLATE.
- PRE-DRILL FOR NALING AS REQUIRED WHEN NAV. SPACING RESULTS IN WOOD SPLITTING. PRE-DRILL HOLES SHALL BE SMALLER THAN THE DUMETER OF THE RAILS.
- 11, BOLT HOLES SHALL BE X./ TO X.* MAXIMUM LARGER THAN THE BOLT SIZE, RETIGHTENS ALL NUTS PRIOR TO CLOSING IN. REFERENCE 2019 CBC SECTIONS 2308.5.9, 2308.5.10, 2308.5.7.2308.4.2.4 AND 2308.7.4 FOR RIJLES REGARDING THE CUTTING, NOTCHING, AND BORING OF JOINTS, STUDS AND BEAMS.
- ALL MALS SHALL BE UTILIZE COMMON NAILS OR GALVANZED BOX IN COMPLIANCE WITH FEDERAL EPECIFICATIONS FF.N-1928. SHARED SHALL NOT BE ALLOWED UNLESS SPECIFIED OR APPROVED BY THE ENGINEER. ALL NAILS EXPOSED TO WEATHER, HEAT AND/OR MOSTUME SHALL BE GALVANZED.
- 14. ALL WOOD IN CONTACT WITH THE GROUND, CONCRETE OR MASONRY THAT ARE LESS THAN 6" ABOVE GRADE SHALL BE PRESSURE TREATED OR HEART REDWOODGEDAY WITH APPROVED RESISTANCE TO DECAY AND ATTACK FROM INSECTS.
- 15. PROVIDE DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS AND SOLID BLOCKING UNDER ALL PERPENDICULAR PARTITIONS
- 16. FOR PORTIONS OF BUILDING FRAMED PER CONVENTIONAL FRAMING PROVISIONS IN THE CBC 2019, 2368.2.7, PROVIDE 1356 LET-IN DIAGOINAL BRACES AT EACH 51 UNIFAR HER TOF WALL SCAN CORNER AND ALL MAN CROSS STUD PARTITIONS. LET-IN TO CROSS 4 STUD SPACES AT 45 DECREES WHERE POSSIBLE EACH BRACE SHALL COVER NOT LESS FOUR (4) STUD BRACES AND BEAMAS TO TOP AND BOTTOM PLATES WITH 3-MAINALS.
- 17. ALL SILL BOLTS SHALL BE PLACED STARTING 9" FROM THE ENDS OF A BOARD OR FROM A NOTCH AND SPACED AT INTERVALS AS NOTED ON THE PLANS.
- ED BELOW; PLATE SIZE (ASTM A36) 0.228"X3"X3" 0.228"X3"X3" 38"X3.5"X3.5"
- 20. ALL FRAMING CONNECTORS, ANCHORS, CLIPS, STRAPS, HANGERS, ETC. SHALL BE AS MANUFACTURED BY THE "SIMPSON

NAILING SCHEDULE (TABLE 2304	1,10,1, CBC 2019)
CONNECTION	NAILING *
1. JOIST TO SILL OR GIRDER, TOENAIL	3-84
2. BRIDGING TO JIST, TOENAU EA, END	2-6d
2. 1"X6" (25 MM X 152 MM) BURFLOOR OF LESS TO EA. JST., FACE NAIL	2-60
4. WIDER THAN 1"X6" (25 MM X 152 MM) SUBFLOOR TO EA. JST., FACE NAIL	3-80
5. 2" (51MM) SUBFLOOR TO JST. OR GIRDER, BLIND & FACE NAIL	2-16d
6. SOLE PLATE TO JST. OR BUYG, TYPICAL FACE NAIL	16d @ 16" (406 MM) O.C.
6 SOLE PLATE TO JST, OR BLK'G, AT BRACED WALL PANELS	3-16d PER 16' (406 MM)
7, TOP PLATE TO STUD, END NAIL	2-16d
8, STUD TO SOLE PLATE	4-84 TOENAIL OR 2-164 END NAIL
9. DOUBLE STUDS, FACE NAIL	166 @ 24* (610 MM) O.C.
10. DOUBLE TOP PLATES, TYPICAL FACE NAIL	16d @ 16' (406 MM) O.C.
DOUBLE TOP PLATE, LAP SPLICE	8-16d
11. BLOCKING BETWEEN JOISTS OR RAFTERS TO TOP PLATE, TOENAIL	344
12. HIM JOIST TO TOP PLATE, TOENAIL	Bid AT 6" (15(2MM) G.C.
13. CEILING PLATES, LAPS AND INTERSECTIONS, FACE NAIL	2-16d
14. CONTINUOUS READER TWO PIECES	18d AT 16' (408 MM) O.C. ALONG EACH EDGE
15. CEILING JONSTIS TO PLATE TORNAIL	344
16. CONTINUOUS HEADER TO STUD, TOENAIL	4-84
17. CEILING JOISTS, LAPS OVER PARTITIONS, FACE NAIL	3-16d
18. CEILING JOISTS TO PARALLEL RAFTERS, FACE NAIL	3-166
HI. RAFTER YO PLATE, TOEHAIL	344
20. 1' (75MM) BRACE TO EACH STUD AND PLATE, FACE NAIL	2-84
21, 1" X 9" (25 MM X 203 MM) SHEATHING OR LESS TO EACH BEARING FACE NAIL	2-84
22. WIDER THAN 1" X 8" (25 MM X 203 MM) SHEATHING TO EACH BEARING, FACE N	(A)L 3-64
23. BUILT-UP CORNER STUDS	16d AT 24* (610 MM) O.C.
	20d AT 32" (813 MM) O.C. AT TOP AND BOTTOM AND
	STAGGERED (2)-20d AT ENDS AND AT EACH SPLICE
25, 2" (51 MM) PLANKS	2-16d AT EACH BEARING
26. WOOD STRUCTURAL PANELS AND PARTICLE BOARD:	
SUBFLOOR AND WALL SHEATHING (TO FRAMING):	
1/2" (12,7 MM) AND LESS	6d ²
19732" 3/4" (15 MM-19 MM)	8d ⁴ or 6d ⁵
7/8"-1" (22 MM-25MM)	Rd ³
1 1/8"-1 1/4" (29 MM-32 MM)	10d ⁴ or 8d ⁸
COMBINATION SUBFLOOR-UNDERLAYMENT(TO FRAMING):	100 0100
3/4" (19 MM) AND LESS	6d [‡]
7/8" -1" (22 MM-25 MM)	Bd ²
1 1/8"- 1 1/4" (29 MA-32 MA)	
	106* er 86*
27. PANEL SIDING (TO FRAMING)	64*
V2" (12.7 MM) OR LESS 50" (16 MM)	84
	NO.11 ga.*
28 FIBERBOARD SHEATHING:	
1/2" (12.7 MM)	NO.16 ga."
25/32° (20 MM)	NO.11 ga.*
5	NO.16 pa*
IN INTERIOR PANELING	- Trivicion
DR. STR FERMANIE RYPOREIL STRIP	

SHEAR WALL SCHEDULE (ANSI/AWC SDPWS 2018)

TYPE	MATERIAL DESCRIPTION	BOTH	BOTTOM SILL PLATE TO BLOCKING CONNECTION	BLOCKING TO PLATE CONNECTION	MUD SILL TO FOUNDATION	SHEAR VALUE
A	15/32* APA STRUCTURE -1 W/10d COMMON NAIL @6:6:12	:N	3/8" Ø LAG-SCREW @ 12" O.C. x 5" MIN EMBED.	A35/LTP4 @16" O.C	5/8" Ø A.B. x 14" @ 36" O.C.	340 plf
▲	15/32" APA STRUCTURE -1 W/10d COMMON NAIL @4:4:12	N	1/8" Ø LAG-SCREW @ 8" O.C. x 5" MINL EMBED.	A35/LTP4 @10" O.C.	5/8" Ø A.B. x 14" @ 24" O.C.	510 plf
A	15/32" APA STRUCTURE -1 W/10d COMMON NAIL @3:3:12	N	3/8" Ø LAG-SCREW @ 6" O.C. x 5" MIN EMBED,	A35/LTP4 @8" O.C.	5/1" Ø A B. x 14" @ 16" O.C.	865 plf
▲	15/32" APA STRUCTURE -1 W/10d COMMON NAIL @2 2:12	н	3/6" Ø LAG-SCREW @ 4.5" O.C. x 5" MIN, EMBED	A35/LTP4 @8" O.C.	5/8" Ø A.B. x 14" @ 12" D.C.	870 plf
A	15/32" APA STRUCTURE -1 W/10d COMMON NAIL @4:4:12	Υ	3/6" Ø LAG-SCREW @ 4" O.C. x 5" MIN, EMBED,	A35 @10" O.C. <P4 @10" O.C.	5/8" Ø A.B, x 14" @ 10" O.C	1020 pif
A	15/32* APA STRUCTURE = W/10d COMMON NAIL @3 3:12	Y	1/2" Ø LAG-SCREW @ 5" O.C. x 5" MIN. EMBED			1330 pif
A	15/32" APA STRUCTURE -1 W/10d COMMON NAIL @2:2:12	¥	1/2" Ø LAG-SCREW @ 4" O C. z 6" MIN, EMBED	A35 @6" O.C. <P4 @6" O.C.	GFOC.	1740 pif

SHEAR WALL NOTE:

I. WHERE PRAFE MALING IS SPACED @ 2" O.C. OR THE SHEAR VALUE EXCEEDS

\$\infty \text{STOR (2)} \text{2.5 STOR (2)} \text{3.5 STO

- EL EDGE NAVING SHALL BE STAGGERED
- 3 MAXIMUM STUDS SPACING IS 16" O.C.
- 4 MAIL EPACING ALONG INTERMEDIATE SUPPORTS 12" () C. MAILS SHALL SE COMMON ON GALVANIZED BOX (HOT-OIPPED OF TUMBLED), MAIL GUNS USING "CLIPPED HEAD" OR "SINKER NAILS" ARE NOT ACCEPTABLE.
- 5. WHERE SILL NAILING IS 2" OR LESS, OR LAG SCREW IS USED PROVIDE SKIBLYG, RIM JOIDT, OR BEAM INSURE THAT THE WOOD BEAM BELOW AND DOES NOT TEND TO SPLIT, PRE-DRILL FOR NAILS IF SPLITTING IS OBSERVED, USING A DRILL SZE SILOF THE DIAMETER OF THE SILL NAILING.
- 6. MANNUM 3X NOMINAL FRAMING AT ADJOINING PANEL EDGES AND STAGGERED EDGE NAILING WHERE 100 NAILS WHIT MORE THAN 1 1/2 INCHES PENETRATION INTO FRAMING ARE SPACED 3 INCHES ON CENTER OR CLOSES.
- 7, NO ADJOINING PANEL JOINTS SHALL NOT BE USED AT ZX SILL PLATE AT RAISED FLOOR OR 2NE STORY OTHERWISE, USE 3X SILL PLATE
- 4. ALL PLYWOOD EDGES TO BE BLOCKED USE BX BLOCKING AT 2" O.C. NAUNG, PLYWOOD INSTALLED BITHER HORIZONTALLY OR VERTICALLY, 9. ALLOWABLE LOADS FOR "50S" SCREWS ARE 6ASED ON SIMPSON CATALOG AND ICC-ES CODE REPORT ESR-2238. LAG SCREWS CAN BE REPLACED BY SIMP, SDS X"XS" AT THE SAME REQUIRED SPACING, FULL PENETRATION INTO MAIN MEMBER IS REQUIRED FOR SIMPSON "SDS" WOOD SCREWS.
- 10, "SOS" SCREWS INSTALL BEST WITH A LOW SPEED 1/2" DRILL WITH A 3/11" HEX HEAD DRIVER.
- 11. DOUGLAS FIR ON SOUTHERN PINE FRAMING (S.C. 0.49 MINEMUM), ALL PANEL EDGES PASTEMED TO FRAMING 12. NAILS SHALL BE PLACED AT LEAST 58" FROM PANEL EDGES AND AT LEAST 1/4" FROM THE EDGE OF THE CONNECTING MEMBER FOR SHEARS OF 300PLF OR GREATER.
- 13. ALL BOLT HOLES TO BE DRILLED 102" MIN., TO 1/16" MAX, OVERSIZED, ENGINEER TO VERBY
- IAL DOUGLAS FIR (GROUP ELUMBER) PRESSURE TREATED SILL PLATES SHALL BE USED. ENGINEER TO BE NOTIFIED FOR REDESIGN IF OTHER SPECIES SILLS ARE DELIVERED TO THE SITE (OR ARE PART OF THE EXISTING BLDG...)
- 18. MN. TWO BOLTS PER PIECE OF SILL PLATE & ONE LOCATED WITHIN 12" OF EACH END OF EACH SILL PLATE PLACEMENT OF LAG BICLIS MANNAM EDGE DISTANCES AND SET ON STANCES AND SPACING -- 4.0, MN. END DISTANCES AND SPACING -- 4.0, MN. END DISTANCES AND SPACING -- 5 MALLER SUFFICIENT TO PREVENT SPLITTING OF WOOD. IF SPLITTING OCCURS, NOTIFY THE STRUCTURAL ENGINEER FOR AN ALTERNATE PRODUCTIVANDWARE OR POSSIBLE SOLUTION.
- 18. THE ARCHOR BOLTS FOR SHEAR WALLS SHALL INCLUDE STEEL PLATE WASHER, A MIN. 0.228/243 IN SIZE
- 17, PASTENERS FOR PRESERVATIVE-TREATED WOOD SHALL BE HOT-DIPPED GALVANIZED OR TUMBLED IN ACCORDANCE WITH ASTM A153.

SPECIAL INSPECTION NOTES:

- 1. ALL INSPECTION AND TESTS SHALL BE PERFORMED BY A QUALIFIED TESTING AGENCY RETAINED BY THE OWNER. THE SPECIAL DEPUTY INSPECTOR SHALL BE QUALIFIED AND APPROVED BY THE BUILDING DEPARTMENT, AND ACCEPTABLE TO THE ENGINEER.
- 2. THE FOLLOWING CONTROLLED INSPECTIONS ARE REQUIRED TO BE PERFORMED IN ACCORDANCE THE BUILDING CODE OF THE STATE OF CALIFORNIA FHE FOLLOWING CONTROLL
 A STEEL CBC 1705A.2
 PLONCRETE: CBC 1705A.3
 PLONCRETE: CBC 1705A.4
- D. SOIL CRC 1705A-0 E. PILE FOUNDATION: CRC 1705A-9
- 3. CONTRACTORS RESPONSIBLE FOR THE CONSTRUCTION OF A WIND OR SEISMC FORCE RESISTING SYSTEMCOMPONENT LISTED IN THE "STATEMENT OF SPECIAL INSPECTION" SHALL SUBMIT A WRITTEN STATEMENT OF RESPONSIBILITY TO THE BUILDING OFFICIAL AND THE OWNER PRIOR TO THE COMMERCEMENT OF WORK ON SIGHT OF SYSTEM OR COMPONENT PER CIDE TO NA. 1.
- 4. SPECIAL BISPECTION BY A REGISTERED DEPUTY INSPECTION IS REQUIRED FOR FIELD WELDING, CONCRETE & TRENDTH fo > 2600FSL, NGG STRENDTH BOLTING, SPRAYTO ON PRESENCE OF MIGHERED OMBORNY, HIGH-LIFT GROUTING, PRE-STRESSED CONCRETE, HIGH LOAD SHAPHANDAS AND SPECIAL MOMENT RESISTING CONCRETE FRAMES AND ALL EPOXY WORK, (COD 1704 A CAPTERS 19, 21 AND 23).
- 5. FIELD WELDING TO BE DONE BY WELDERS CERTIFIED BY AN APPROVED AGENCY FOR (STRUCTURAL STEEL) (PERFORCING STEEL) (JUDIT GAUGE STEEL). CONTINUOUS SPECIAL INSPECTION BY A REGISTERED DEPUTY INSPECTOR IS REQUIRED.
- 6. FIELD SITE VISITS BY THE ENGINEER MAY BE REQUIRED BY THE BUILDING OFFICIAL. THESE CRISERVATIONS DO NOT CONSTITUTE AN STRUCTURAL

IL CORES OF ALL TEST RESULTS SHALL BE FURNISHED TO THE ENGINEER, ARCHITECT, BUILDING DEPARTMENT, AND BE AVAILABLE AT THE JOB SITE.

- STRUCTURAL OBSERVATION: 1. PRE-CONSTRUCTION MEETING MAY BE REQUIRED FER CITY REQUIREMENT; UPON EXCAVATION AND EXPOSURE OF EXISTING STRUCTURAL ELBRENTS OR MEMBERS, THE OWNER OF OWNERS REPRESENTATIVE SHALL ARRANGE A PRE-CONSTRUCTION MEETING TO BE ATTENDED BY THE BROINEES OR ARCHITECT RESPONSED LOT STRUCTURAL ARRANGE A PRE-CONSTRUCTION MEETING TO BE ATTENDED BY THE BROINEES OR ARCHITECT RESPONSED LOT STRUCTURAL DESIGN, CONTRACTOR & THE BURNOWS SERFECTORS. THE PURPOSE OF THE MEETINGS BRUIL BE TO BENEFIT MAJOR STRUCTURAL ELEMENTS, CONNECTIONS AND EXISTING CONDITIONS THAT AFFECT THE VERTICAL AND LATERAL LOAD SYSTEMS OF THE STRUCTURE AND OTO REPORT MEEDING MEEDING AND CONTRACTORS.
- 2. CONTRACTORS RESPONSIBLE FOR ALL REQUIRED STRUCTURAL ITEMS, INCLUDED BUT NOT LIMITED, POSTS, BEAMS, ANCHORS, PLYWOOD SHEATHING, CONTRECTIONS, EYG., CONTRACTORS RESPONSIBLE TO CALL CITY INSPECTOR AND ENGINEER OF RECORD FOR ALL THE STRUCTURAL
- OBSERVATION VISITS TO THE SITE BY STRUCTURAL ENGINEER ONLY CONSTITUTE INSPECTION OF ALL THE NEW NEMBERS AND CONNECTIONS OF PLANS.

COMPANY NAME: GEO ENVIRON
GEOTECHNICAL AND ENVIRONMENT
ENGINEERING CONSULTANTS, INC.

COMPANY ADDRESS: 4071 E. LA PALMA AVE. STE. I ANAHEIM, CA 92807 PHONE NO.: (714) 632-3190 FAX. NO. (714) 632-3191

OWNER/SUBDIVIDER: MR JACK HERRON

2630 WALNUT AVE, STE. A TUSTIN, CA 92780

PROJECT ' ADDRESS IIL PLACE SA, CA 92627 DUPLEX

PROJECT AD 161 CECIL P COSTA MESA, (NEW

INC.

CONSULTANT, W.H. PROFESSION

No.C88467

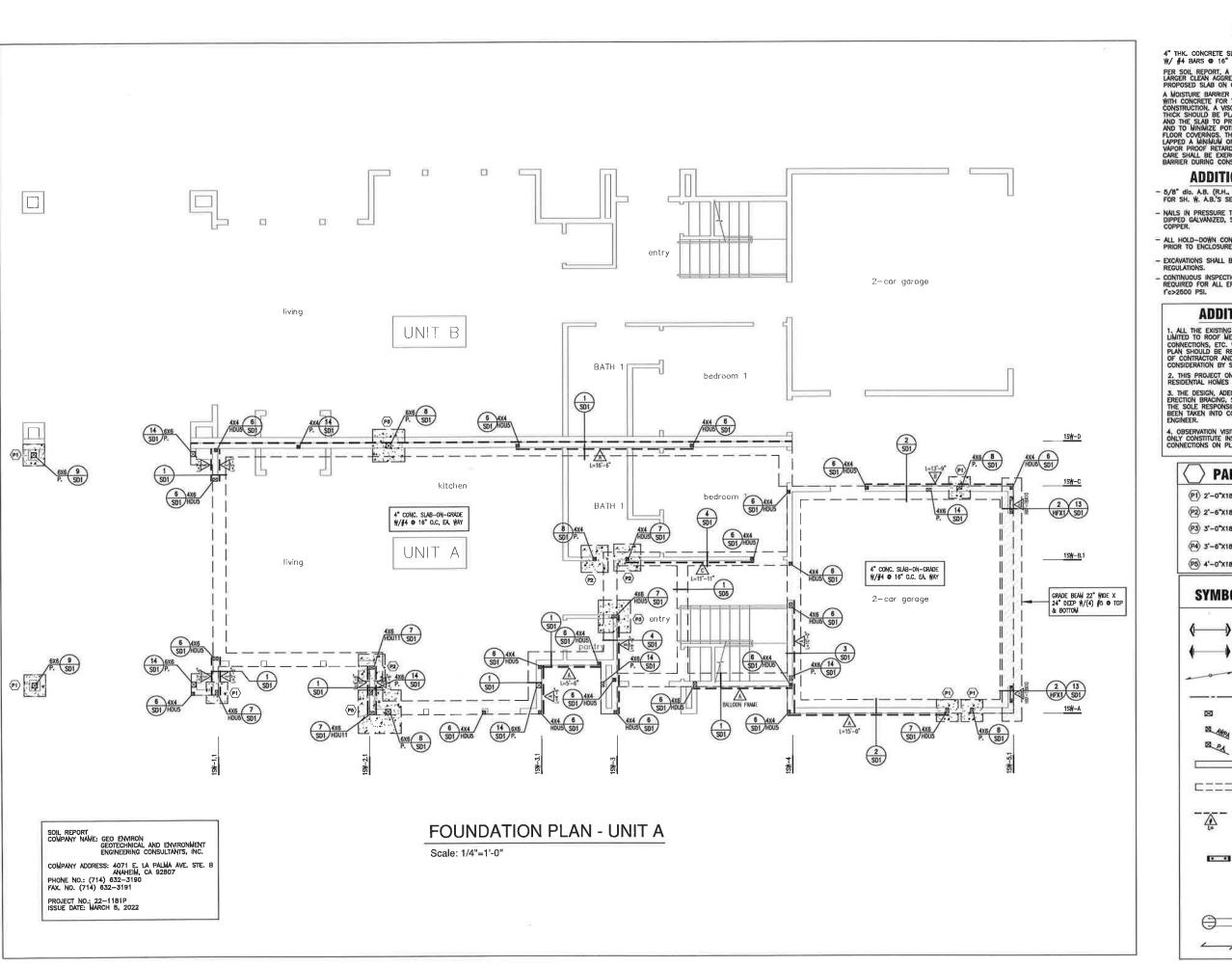
Exp.03-31-2 CIVIL TE OF OILIP

TITLE:

STRUCTURAL **GENERAL NOTES**

PROJECT NO .: 22132

SHEET NO .:



STRUCTURAL NOTES

(N) 15" WIDE X 18" DEEP CONCRETE

₩/(2) #4 • TOP & BOTTOM

4" THK. CONCRETE SLAB ON GRADE W/ #4 BARS @ 16" O.C. E.W.CENTERED

W/ #4 BARS © 16" O.C. E.W.CENTERED

PER SOIL REPORT, A 4-INCH THICK BASE OF ½ INCH OR
LARGER CLEAN AGGREGATE SHALL BE PROVIDED FOR THE
PROPOSED SLAB ON GRADE CONSTRUCTION.

A MOISTURE BARRIER SHALL BE PROVIDED IN DIRECT CONTACT
WITH CONCRETE FOR THE PROPOSED SLAB ON GRADE
CONSTRUCTION. A MOSUBEEN-TYPE MEMBRANE AT LEAST 15 MIL
THICK SHOULD BE PLACED BETWEEN THE PREPARED SUBGRADE
AND THE SLAB TO PROVIDE AN EFFECTIVE VAPOR RETARDER,
AND TO MINIMIZE POTENTIAL MOISTURE CONDENSATION UNDER
FLOOR COVERNIGS. THE VAPOR RETARDER MEMBRANE SHALL BE
LAPPED A MINIMIM OF 12-INCHES TO PROVIDE A CONTINUOUS
VAPOR PROOF RETARDER UNDER THE ENTIRE SLAB.
CARE SHALL BE EXERCISED TO AVOID DAMAGE OF MOISTURE
BARRIER DURING CONSTRUCTION.

ADDITIONAL NOTES

- 5/8" dio. A.B. (R.H., EPOXY BOLTS) 48" O.C. TYP. U.O.N. FOR SH. W. A.B.'S SEE G.N. SHEET, SH. WALL SCHEDULE
- NAILS IN PRESSURE TREATED WOOD SILL PLATES SHALL BE HOT DIPPED GALYANIZED, STAINLESS STEEL, SILICON BRONZE OR COPPER.
- ALL HOLD-DOWN CONNECTIONS SHALL BE TIGHTENED JUST PRIOR TO ENCLOSURE.
- EXCAVATIONS SHALL BE MADE IN COMPLIANCE W/CAL/OSHA REGULATIONS.
- CONNINUOUS INSPECTION BY A LICENSED DEPUTY INSPECTOR IS REQUIRED FOR ALL EPOXY WORKS AND FOR CONCRETE WITH

ADDITIONAL NOTES

1, ALL THE EXISTING STRUCTURAL ITEMS INCLUDE BUT NOT LIMITED TO ROOF MEMBERS, WALL MEMBERS, HOLDOWN, AND CONNECTIONS, ETC. WHICH DID NOT SHOW //MEMTONED ON PLAN SHOULD BE REMAINED. IT IS THE SOLE RESPONSIBILITY OF CONTRACTOR AND HAS NOT BEEN TAKEN INTO CONSIDERATION BY STRUCTURAL ENGINEER.

2. THIS PROJECT ONLY INCLUDED 10 UNIT SINGLE FAMILY RESIDENTIAL HOMES AND ADUS.

A. THE DESIGN, ADEQUACY, AND OVERALL SAFETY OF ANY ERECTION BRACING, SHORING, TEMPORARY SUPPORTS, ETC. IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND HAS NOT BEEN TAKEN INTO CONSIDERATION BY THE STRUCTURAL ENGINEER.

PAD FOOTING SCHEDULE

- P1 2'-0"X18" SQ. PAD FTG W/(3) \$5 0 EA WAY
- (P2) 2'-6"X18" SQ. PAD FTG W/(4) #5 @ EA. WAY
- P3 3'-0"X18" SQ. PAD FTG W/(4) #5 . EA. WAY
- (P4) 3'-6"X18" SQ. PAD FTG W/(5) \$5 € EA. WAY
- P5 4'-0"X18" SQ. PAD FTG W/(5) \$5 . EA. WAY

SYMBOLS & LEGENDS

SPAN & DIRECTION OF ROOF TRUSS/RAFTER

1000 POST PER PLAN U.N.O.

ALICH WITH POST ABOVE WOOD WALL STUD PER ARCH

(MN. 2X4 0 16" O.C)

WALL STUDS ABOVE

SHEAR PANEL NUMBER, WIN LENGTH NOTED, REFER TO "SHEAR WALL SCHEDULE" ON 5-0 FOR MORE INFRO DENOTH IS FROM CENTER OF

> HARDY-FRAME STRONG WALL SEE DETAIL SHEETS HFX1-3 FOR ADDITIONAL DETAILS (IT IS THE SOLE RESPONSIBILITY OF CONTRACTOR TO VERIFY THE HEIGHT ON SITE AND

HORIZONTAL COLLECTOR STRAP WST60 TYP. U.N.O.

OWNER/SUBDIVIDER:

2630 WALNUT AVE, STE. A TUSTIN, CA 92780

NEW DUPLEX PROJECT PROJECT ADDRESS 161 CECIL PLACE COSTA MESA, CA 92627

W.H. CONSULTANT, INC.
THACKERS OMELAND BD. SUTE 112, SAN IOSE CA 5513
SOUTHEACH STITE 12, SAN IOSE CA 5513
SOUTHEACH STITE 12, SAN IOSE CA 5513
WHENSWHENGTHEN STITE 12, SAN IOSE CA 5214
WWW. WIENGINEERINGGROUP, CON
WWW. WIENGINEERINGGROUP, NOT

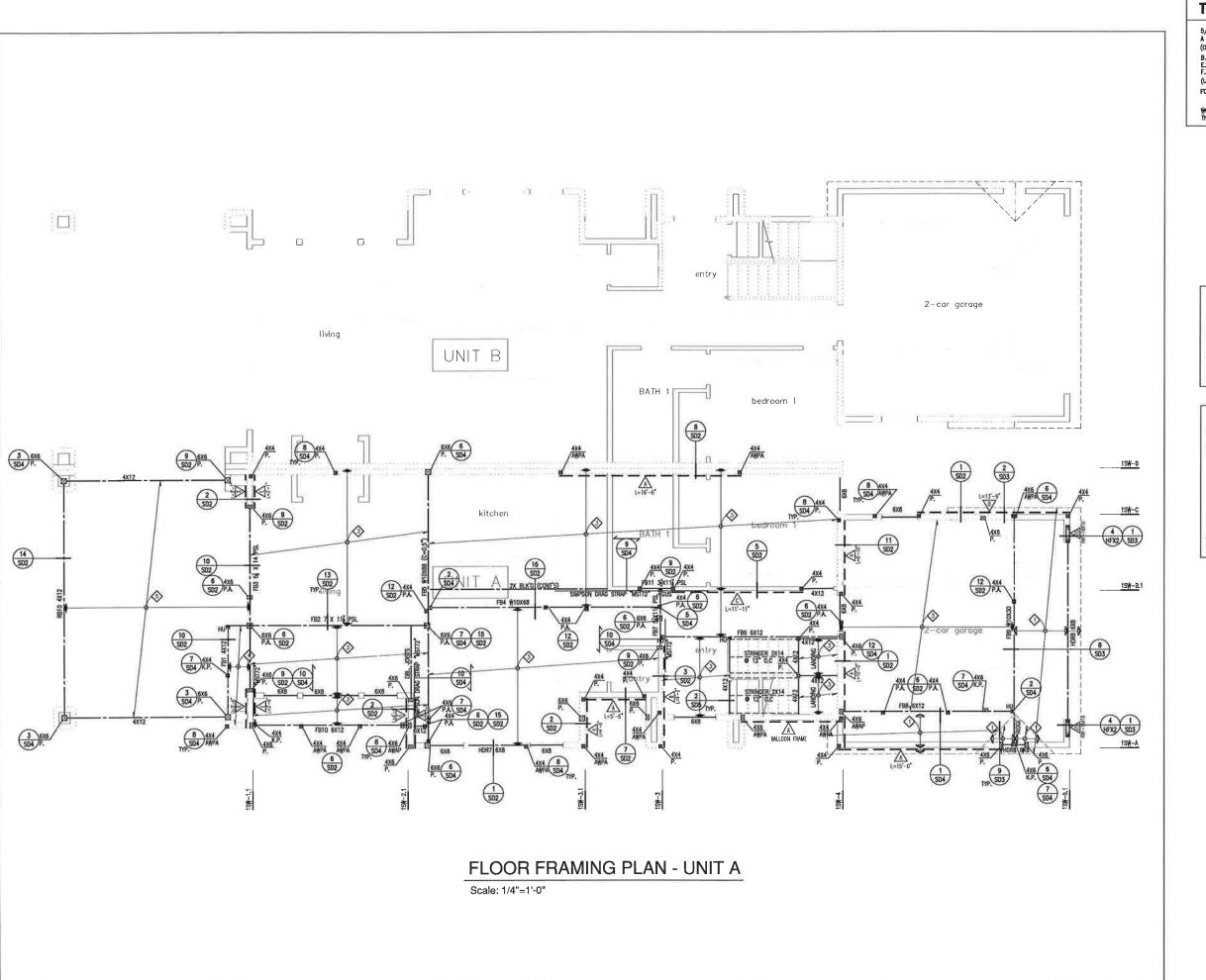
Exp.03-31-2

TITLE:

FOUNDATION PLAN (UNIT A)

PROJECT NO .: 22132

SHEET NO .: S-1.0



TYPICAL ROOF/FLOOR SHT'G

5/8" T&G APA RATED PLYWOOD A PANEL INDEX OF 24/0,

B.N.: 10d COMMON NAIL AT 8" O.C. E.N.: 10d COMMON NAIL AT 6" O.C. F.N.: 10d COMMON NAIL AT 12" O.C.

(USE COMMON NAILS)

FOR TYPICAL DIAPHRACM DET. SEE 7 FOR WORE INFORMATION.



- (1) ROOF RAFTER 2X10 DFL#2 16" O.C
- ② CEILING JOIST 2X8 DFL#2 16" O.C
- ③ FLOOR JOIST 2X12 DFL#2 18" O.C
- ◆ DECK JOIST 2X10 DFL#2 16" 0.C
- (5) PATIO JOIST 2X12 DFL#2 € 16" O.C

CONTRACTOR NOTES

CONTRACTOR TO VERIFY ALL PLACES MARKED WITH "V.I.F."

ANY WORK.

I IF SITE CONDITION OTHER THAN PLAN, CONTRACTOR NEED REPLACE THE EXISTING MEMBER WITH SIZE MARKED ON PLAN OR NOTIFY THE EKGINEER

FOR DIMENSIONS NOT SHOWN SEE ARCHITECTURAL

ADDITIONAL NOTES

1. ALL THE EXISTING STRUCTURAL ITEMS INCLUDE BUT NOT LIMITED TO ROOF MEMBERS, WALL MEMBERS, HOLDOWN, AND CONNECTIONS, ETC. WHICH DID NOT SHOW JAERHONGED ON PLAN SHOULD BE REMAINED. IT IS THE SOLE RESPONSIBILITY OF CONTRACTOR AND HAS NOT BEEN TAKEN INTO CONSIDERATION BY STRUCTURAL ENGINEER.

2. THIS PROJECT ONLY INCLUDED 2 NEW CUSTOM HOME.

3. THE DESIGN, ADEQUACY, AND OVERALL SAFETY OF ANY ERECTION BRACING, SHORING, TEMPORARY SUPPORTS, ETC. IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND HAS NOT BEEN TAKEN INTO CONSIDERATION BY THE STRUCTURAL ENGINEER.

SYMBOLS & LEGENDS

SPAN & DIRECTION OF ROOF TRUSS/RAFTER

SPAN & DIRECTION CEILING/FLOOR/DECK JOIS

BEAM OR HEADER

WOOD POST PER PLAN U.N.O.

SHEAR PANEL NUMBER, MIN.
LENGTH MOTED, REFER TO
"SHEAR WALL SCHEDULE" ON
S-0 FOR MORE INFRO
(LENGTH IS FROM CENTER OF 4 POST TO CENTER OF POST)

HARDY-FRAME STRONG WALL SEE DETAIL SHEETS HFX1-3 FOR ADDITIONAL DETAILS (IT IS THE SOLE RESPONSIBILITY OF CONTRACTOR TO VERIFY THE HEIGHT ON SITE AND REPORT TO ENGINEERILL)

HORIZONTAL COLLECTOR STRAF

OWNER/SUBDIVIDER:

MR, JACK HERRON 2630 WALNUT AVE, STE, A TUSTIN, CA 92780

NEW DUPLEX PROJECT PROJECT ADDRESS 161 CECIL PLACE COSTA MESA, CA 92627

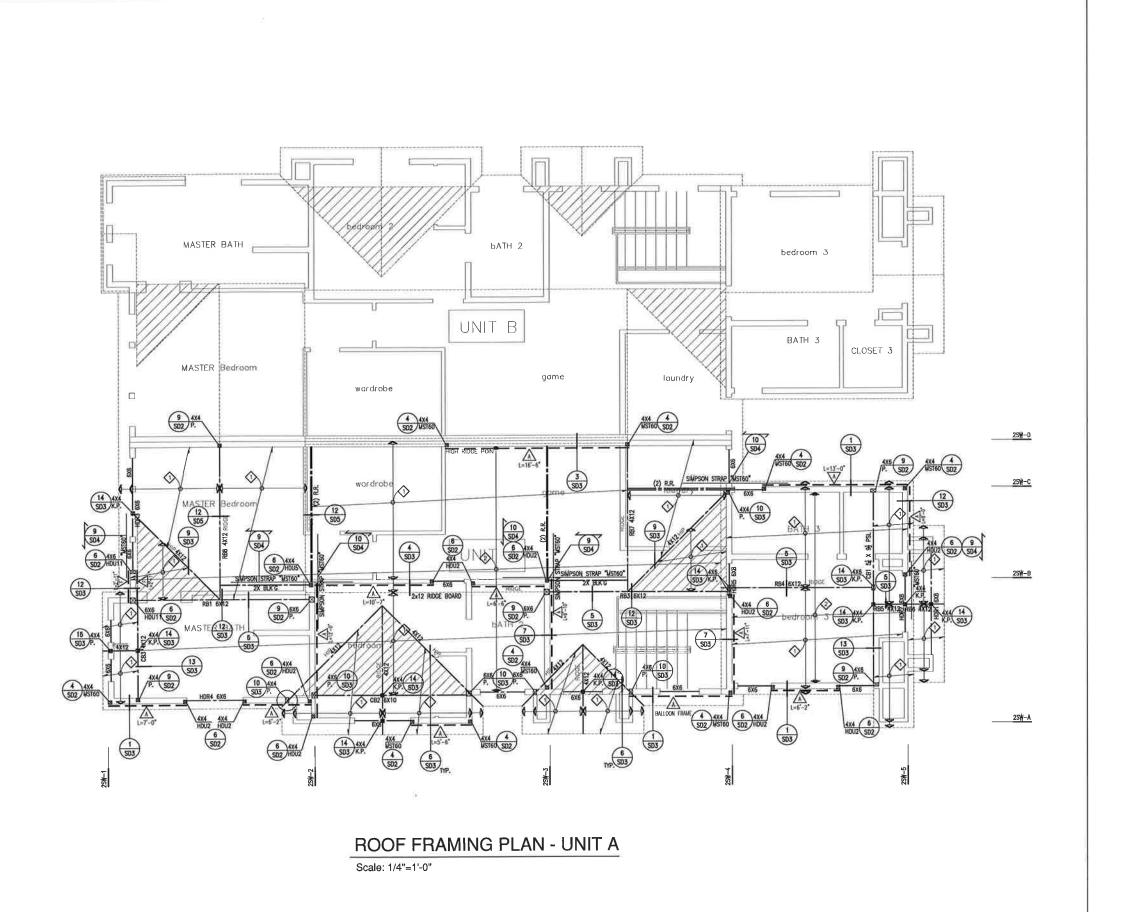


TITLE:

FLOOR FRAMING PLAN (UNIT A)

PROJECT NO.: 22132

SHEET NO .: S-2.0



TYPICAL ROOF SHT'G

5/6" T&G APA RÁTED PLYWOOD A PÁNEL INDEX OF 24/0, (ORIENTED STRÁND BOÁRD).

B.N.: 10d COMMON WAL AT 6" O.C. E.N.: 10d COMMON WAL AT 6" O.C. F.N.: 10d COMMON WAL AT 12" O.C. (USE COMMON NAILS)

FOR TYPICAL DIAPHRACHI DET. SEE 7 FOR MORE INFORMATION.

OWNER/SUBDIVIDER:

MR. JACK HERRON 2630 WALNUT AVE, STE, A TUSTIN, CA 92780

PROJECT ADDRESS 161 CECIL PLACE COSTA MESA, CA 92627

NEW DUPLEX PROJECT

WOOD STRUCTURAL PANELS, WHEN USED STRUCTURALLY, SHALL CONFORM TO THE REQUIREMENTS FOR THEIR TYPE IN DOC PSI-95 AND/ OR PS2-92.



- (1) ROOF RAFTER 2X10 DFL#2 16" O.C
- ② CEILING JOIST 2X8 DFL#2 16" O.C
- ③ FLOOR JOIST 2X12 DFL#2 16" O.C
- ◆ DECK JOIST 2X10 DFL#2 16" O.C
- (\$\bar{6}\$) PATIO JOIST 2X12 DFL#2 @ 16 0.C

CONTRACTOR NOTES

CONTRACTOR TO VERIFY ALL PLACES MARKED WITH "V.I.F."
AND EXISTING FRAMING/CONDITIONS AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES IMMEDIATELY PRIOR TO COMMERCING ANY WORK.

IF SITE CONDITION OTHER THAN PLAN, CONTRACTOR NEED REPLACE THE EXISTING MEMBER WITH SIZE MARKED ON PLAN OR NOTIFY THE ENGINEER
FOR DIMENSIONS NOT SHOWN SEE ARCHITECTURAL DRAWINGS. (VERIFY ALL DIMENSION WITH ARCHITECTURAL PLANS)

ADDITIONAL NOTES

1. ALL THE EXISTING STRUCTURAL ITEMS INCLUDE BUT NOT LIMITED TO ROOF MEMBERS, WALL MEMBERS, HOLDOWN, AND CONNECTIONS, ETC. WHICH DID NOT SHOW //MENTIONED ON PLAN SHOULD BE REMANED, IT IS THE SOLE RESPONSIBILITY OF CONTRACTOR AND HAS NOT BEEN TAKEN INTO CONSIDERATION BY STRUCTURAL ENGINEER.

2. THIS PROJECT ONLY INCLUDED 2 NEW CUSTOM HOME.

3. THE DESIGN, ADEQUACY, AND OVERALL SAFETY OF ANY ERECTION BRACING, SHORING, TEMPORARY SUPPORTS, ETC. IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND HAS NOT BEEN TAKEN INTO CONSIDERATION BY THE STRUCTURAL ENGINEER.

4. OBSERVATION VISITS TO THE SITE BY STRUCTURAL ENGINEER ONLY CONSTITUTE INSPECTION OF ALL THE NEW MEMBERS AND CONNECTIONS ON PLANS.

SYMBOLS & LEGENDS

SPÁN & DIRECTION OF ROOF TRUSS/RAFTER

TRIBUTARY WIDTH OF JOIST

BEAM OR HEADER ₩00D POST PER PLAN U.N.O.



ALIGN WITH POST ABOVE

WOOD WALL STUD PER ARCH (MIN. 2X4 • 16° O.C)

☐☐☐☐☐ ₩ALL STUDS ABOVE

SHEAR PANEL NUMBER, MIN. LENGTH MOTED, REFER TO "SHEAR WALL SCHEDULE" ON S-0 FOR MORE INFRO (LENGTH IS FROM CENTER OF POST TO CENTER OF POST)

HARDY-FRAME STRONG WALL SEE DETAIL SHEETS HFX1-3 FOR ADDITIONAL DETAILS (IT IS THE SOLE RESPONSIBILITY OF CONTRACTOR TO VERIFY THE HEIGHT ON STRE AND REPORT TO ENGINEERILI)





HORIZONTAL COLLECTOR STRAP

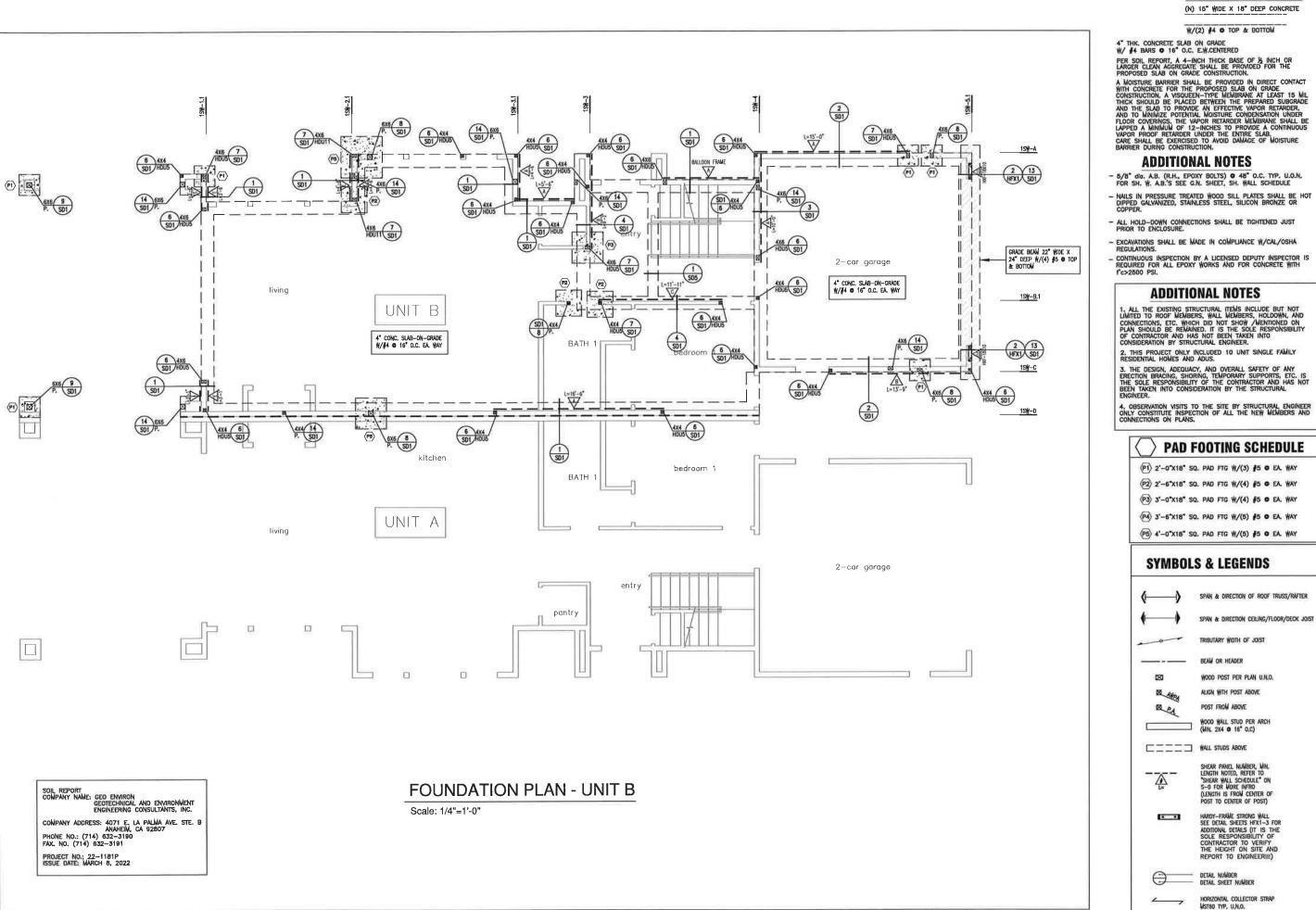
TITLE:

Exp.03-31-

ROOF FRAMING PLAN (UNIT A)

PROJECT NO .: 22132

SHEET NO.: S-3.0



STRUCTURAL NOTES

(N) 15" WIDE X 18" DEEP CONCRETE

₩/(2) #4 O TOP & BOTTOM

PER SOIL REPORT, A 4-INCH THICK BASE OF 1/2 INCH OR LARGER CLEAN AGGREGATE SHALL BE PROVIDED FOR THE PROPOSED SLAB ON GRADE CONSTRUCTION.

PROPOSED SLAB ON GRADE CONSTRUCTION.

A MOISTURE BARRIER SHALL BE PROPOSED IN DIRECT CONTACT WITH CONCRETE FOR THE PROPOSED SLAB ON GRADE CONSTRUCTION, A VISQUEEN-TYPE MEMBRANE AT LEAST 15 MILL THICK SHOULD BE PILECED BETWEEN THE PREPARED SUBGRADE AND THE SLAB TO PROVIDE AN EFFECTIVE VAPOR RETARDER, AND TO MINIMIZE POTENTIAL MOISTURE CONDENSATION UNDER FLOOR COVERINGS, THE VAPOR RETARDER MEMBRANE SHALL BE LEXERCH UNDER THE ENTIRE SLAB. CARE SHALL BE EXERCISED TO AVOID DAMAGE OF MOISTURE BARRIER DURING CONSTRUCTION.

ADDITIONAL NOTES

- 6/8" dio. A.B. (R.H., EPOXY BOLTS) 48" O.C. TYP, U.O.N. FOR SH. W. A.B.'S SEE G.N. SHEET, SH. WALL SCHEDULE
- ALL HOLD-DOWN CONNECTIONS SHALL BE TIGHTENED JUST PRIOR TO ENCLOSURE.
- EXCAVATIONS SHALL BE MADE IN COMPLIANCE W/CAL/OSHA REGULATIONS.
- Continuous inspection by a licensed deputy inspector is required for all epoxy works and for concrete with 1°c>2500 psi.

ADDITIONAL NOTES

1, ALL THE EXISTING STRUCTURAL ITEMS INCLUDE BUT NOT LIMITED TO ROOF MEMBERS, WALL MEMBERS, HOLDOWN, AND CONNECTIONS, ETC. WHICH DID NOT SHOW / MEMTIONED ON PLAN SHOULD BE REMAINED. IT IS THE SOLE RESPONSIBILITY OF CONTRACTOR AND HAS NOT BEEN TAKEN INTO CONSIDERATION BY STRUCTURAL ENGINEER.

2. THIS PROJECT ONLY INCLUDED 10 UNIT SINGLE FAMILY RESIDENTIAL HOMES AND ADUS.

3. THE DESIGN, ADEQUACY, AND OVERALL SAFETY OF MAY ERECTION BRACING, SHORING, TEMPORARY SUPPORTS, ETC. IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND HAS NOT BEEN TAKEN INTO CONSIDERATION BY THE STRUCTURAL ENGINEER.

PAD FOOTING SCHEDULE

- (P1) 2'-0"X18" SQ. PAD FTG W/(3) \$5 . EA. WAY
- (P2) 2"-6"X18" SQ. PAD FTG W/(4) \$5 . EA. WAY
- (P3) 3'-0"X18" SQ. PAD FTG W/(4) #5 @ EA. WAY
- (P4) 3'-6"X18" SQ. PAD FTG W/(5) \$5 0 EA. WAY
- (P5) 4'-0"X18" SQ. PAD FTG W/(5) \$5 0 EA. WAY

SYMBOLS & LEGENDS

SPAN & DIRECTION OF ROOF TRUSS/RAFTER

WOOD POST PER PLAN U.N.O. ALICH WITH POST ABOVE

WOOD WALL STUD PER ARCH (WIN, 2X4 0 16" O.C)

WALL STUDS ABOVE

SHEAR PANEL NUMBER, WIN. LENGTH NOTED, REFER TO "SHEAR WALL SCHEDULE" ON 5-0 FOR MORE INFRO (LENGTH IS FROM CENTER OF POST TO CENTER OF POST)

HARDY-FRAVE STRONG WALL SEE DETAIL SHEETS HEXT-3 FOR ADDITIONAL DETAILS (IT IS THE SOLE RESPONSIBILITY OF CONTRACTOR TO VERIFY THE HEIGHT ON SITE AND REPORT TO ENGINEERIII)

S-1.

OWNER/SUBDIVIDER: MR. JACK HERRON 2630 WALNUT AVE, STE, A TUSTIN, CA 92780

NEW DUPLEX PROJECT PROJECT ADDRESS 161 CECIL PLACE COSTA MESA, CA 92627

W.H. CONSULTANT, INC.

No.C88467 Exp.03-31-2

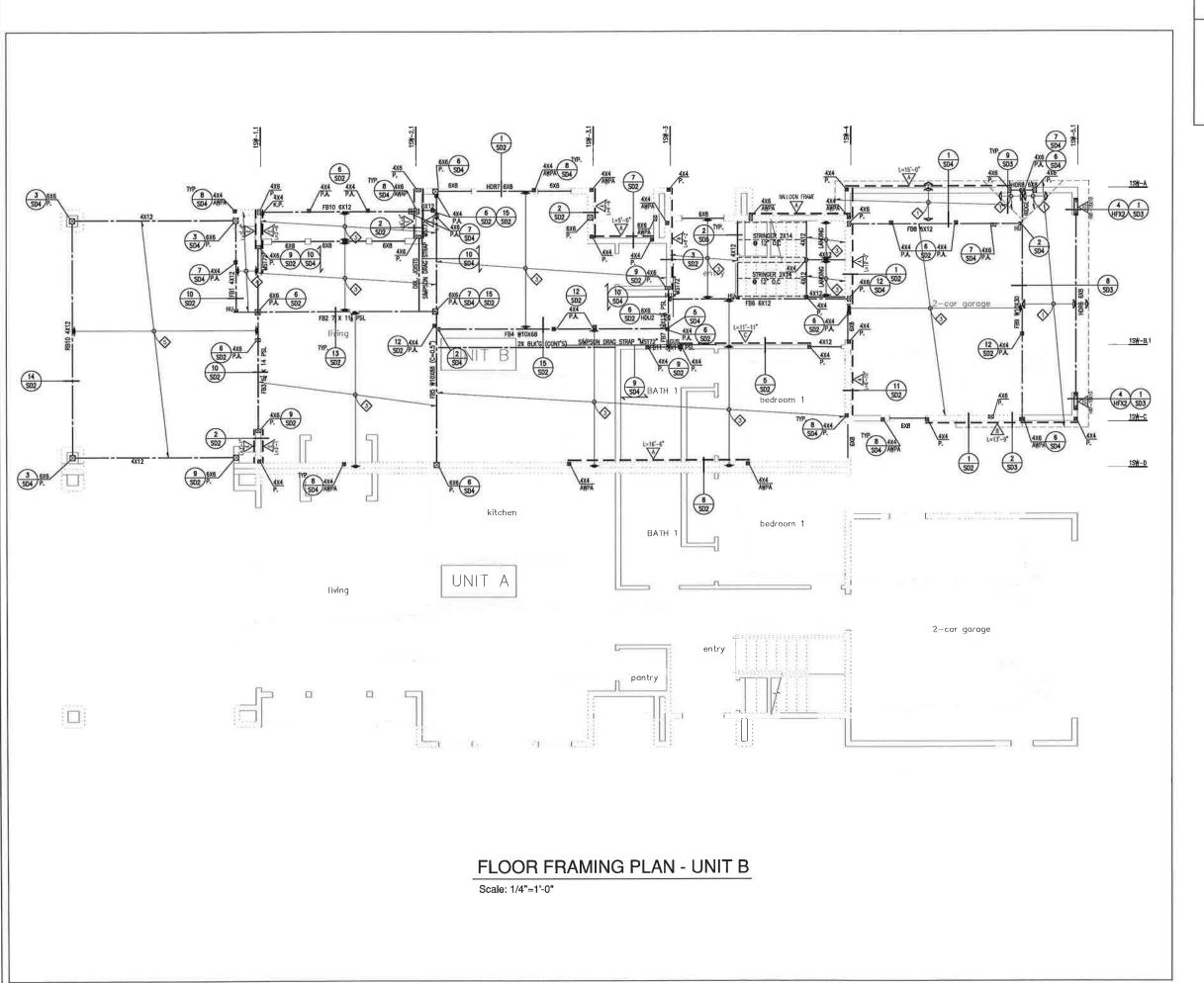
TITLE:

FOUNDATION

PLAN (UNIT B)

PROJECT NO .: 22132

SHEET NO .:



TYPICAL ROOF/FLOOR SHT'G

5/6" T&G APA RATED PLYWOOD A PANEL INDEX OF 24/0, (ORIENTED STRAND BOARD).

B.N.: 10d COMMON NAIL AT 6" O.C. E.N.: 10d COMMON NAIL AT 6" O.C. F.N.: 10d COMMON NAIL AT 12" O.C.

(USE COMMON NAILS)

FOR TYPICAL DIAPHRACK DET. SEE 7
FOR KYORE INFORMATION

WOOD STRUCTURAL PANELS, WHEN USED STRUCTURALLY, SHALL CONFORM TO THE REQUIREMENTS FOR THEIR TYPE IN DOC PSI-95 AND/ OR PS2-92.



- (1) ROOF RAFTER 2X10 DFL#2 16" O.C
- ② CEILING JOIST 2X8 DFL#2 16° O.C
- ③ FLOOR JOIST 2X12 DFL#2 16 0.C
- ◆ DECK JOIST 2X10 DFL#2 16" 0.C
- (5) PATIO JOIST 2X12 DFL#2 @ 16" O.C

CONTRACTOR NOTES

CONTRACTOR TO VERIFY ALL PLACES MARKED WITH "V.I.F."
AND EXISTING FRAMING/CONDITIONS AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES IMMEDIATELY PRIOR TO COMMENCING ANY WORK.
 IF SITE CONDITION OTHER THAN PLAN, CONTRACTOR NEED REPLACE THE EXISTING MEMBER WITH SIZE MARKED ON PLAN OR NOTIFY THE ENGINEER
 FOR DIMENSIONS NOT SHOWN SEE ARCHITECTURAL DRAWINGS. (VERIFY ALL DIMENSION WITH ARCHITECTURAL PLANS)

ADDITIONAL NOTES

ALL THE EXISTING STRUCTURAL ITEMS INCLUDE BUT NOT TED TO ROOF MEMBERS, WALL MEMBERS, HOLDOWN, AND INECTIONS, ETC. WHICH OID NOT SHOW //WENTINED ON N SHOULD BE REMANED. IT IS THE SOLE RESPONSIBILITY CONTRACTOR AND HAS NOT BEEN TAKEN INTO SIDERATION BY STRUCTURAL ENGINEER.

2. THIS PROJECT ONLY INCLUDED 2 NEW CUSTOM HOME.

3. THE DESIGN, ADEQUACY, AND OVERALL SAFETY OF ANY ERECTION BRACING, SHORING, TEMPORARY SUPPORTS, ETC. IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND HAS NOT BEEN TAKEN INTO CONSIDERATION BY THE STRUCTURAL ENGINEER.

4. OBSERVATION VISITS TO THE SITE BY STRUCTURAL ENGINEER ONLY CONSTITUTE INSPECTION OF ALL THE NEW MEMBERS AND CONNECTIONS ON PLANS.

SYMBOLS & LEGENDS

TRIBUTÁRY WIDTH OF JOIST BEAM OR HEADER



WOOD POST PER PLAN U.N.O. ALIGN WITH POST ABOVE



SHEAR PANEL NUMBER, MIN. LENGTH NOTED, REFER TO "SHEAR WALL SCHEDULE" ON S-0 FOR MORE INFRO (LENGTH IS FROM CENTER OF POST TO CENTER OF POST)

HARDY-FRAME STRONG WALL
SEE DETAIL SHEETS HEXT-3 FOR
ADDITIONAL DETAILS (IT IS THE
SOLE RESPONSIBILITY OF
CONTRACTOR TO VERIFY
THE HEIGHT ON SITE AND
REPORT TO ENGINEERILL)



OWNER/SUBDIVIDER:

MR. JACK HERRON 2630 WALNUT AVE, STE, A TUSTIN, CA 92780

NEW DUPLEX PROJECT PROJECT ADDRESS 161 CECIL PLACE COSTA MESA, CA 92627

W.H. CONSULTANT, INC. IORIGONAL SAN OSE. CA 83131 SOUTH-CA.: SPAN OSE CA 83131 SOUTH-CA.: SAN OSE CA 83131 SOUTH-C

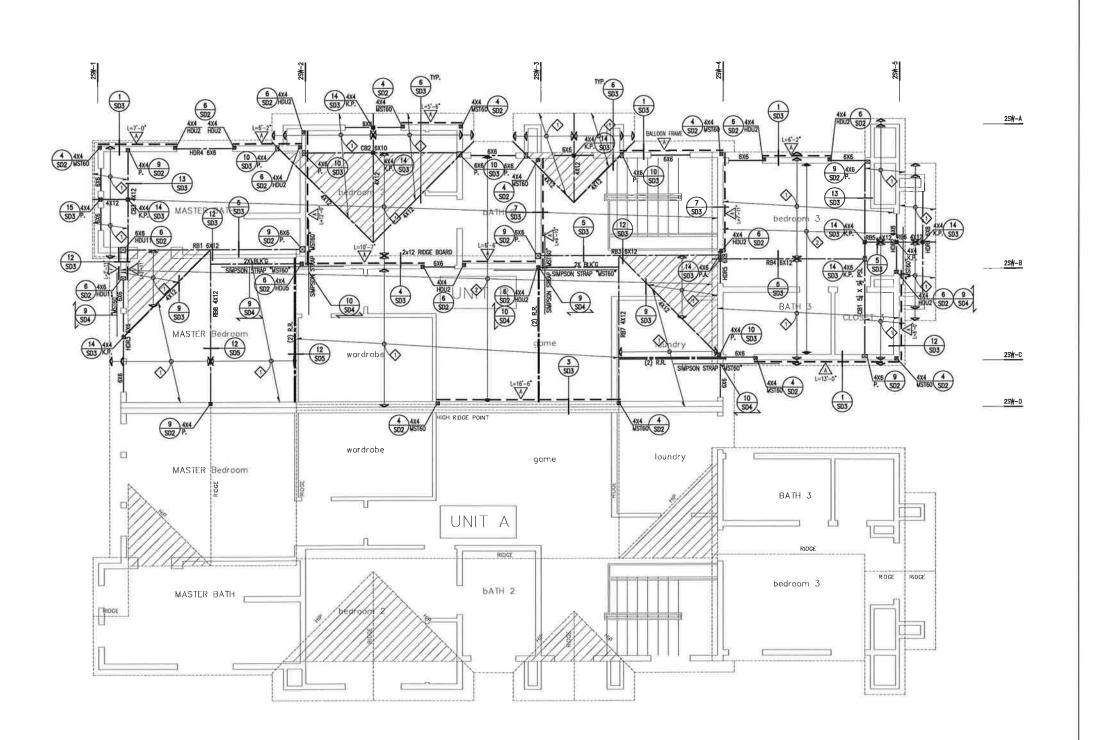
No.C88467 Exp.03-31-2

TITLE:

FLOOR FRAMING PLAN (UNIT B)

PROJECT NO .: 22132

SHEET NO.: S-2.



ROOF FRAMING PLAN - UNIT B

Scale: 1/4"=1'-0"

TYPICAL ROOF SHT'G

5/8" T&G APA RATED PLYWOOD A PANEL INDEX OF 24/0, (ORIENTED STRAND BOARD).

B.N.: 10d COMMON NAIL AT 8" O.C. EN.: 10d COMMON NAIL AT 6" O.C. F.N.: 10d COMMON NAIL AT 12" O.C. (USE COMMON NAILS)

FOR TYPICAL DIAPHRACH DET. SEE 7 FOR MORE INFORMATION

WOOD STRUCTURAL PANELS, WHEN USED STRUCTURALLY, SHALL CONFORM TO THE REQUIREMENTS FOR THEIR TYPE IN DOC PSI-95 AND/ OR PS2-92.



- ↑ ROOF RAFTER 2X10 DFL#2 16" O.C
- ② CEILING JOIST 2X8 DFL#2 16" O.C
- ③ FLOOR JOIST 2X12 DFL#2 ♥ 16" O.C
- ◆ DECK JOIST 2X10 DFL#2 16" O.C
- (5) PATIO JOIST 2X12 DFL#2 @ 16" O.C

CONTRACTOR NOTES

CONTRACTOR TO VERIFY ALL PLACES MARKED WITH "V.I.F."
AND EXISTING FRAMING/CONDITIONS AND NOTIFY THE ENGINEER
OF ANY DISCREPANCIES IMMEDIATELY PRIOR TO COMMENCING
ANY WORK.
 IF SITE CONDITION OTHER THAN PLAN, CONTRACTOR NEED
REPLACE THE EXISTING MEMBER WITH SIZE MARKED ON PLAN
OR NOTIFY THE ENGINEER
 FOR DIMENSIONS NOT SHOWN SEE ARCHITECTURAL
DRAWINGS. (YERIFY ALL DIMENSION WITH ARCHITECTURAL PLANS)

ADDITIONAL NOTES

1. ALL THE EXISTING STRUCTURAL ITEMS INCLUDE BUT NOT LIMITED TO ROOF MEMBERS, WALL MEMBERS, HOLDOWN, AND CONNECTIONS, ETC. WHICH DID NOT SHOW, AMENIONED ON PLAN SHOULD BE REMAINED. IT IS THE SOLE RESPONSIBILITY OF CONTRACTOR AND HAS NOT BEEN TAKEN INTO CONSIDERATION BY STRUCTURAL ENGINEER.

2. THIS PROJECT ONLY INCLUDED 2 NEW CUSTOM HOME.

3. THE DESIGN, ADEQUACY, AND OVERALL SAFETY OF ANY ERECTION BRACING, SHORING, TEMPORARY SUPPORTS, ETC. IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND HAS NOT BEEN TAKEN INTO CONSIDERATION BY THE STRUCTURAL ENGINEER.

SYMBOLS & LEGENDS

SPAN & DIRECTION OF ROOF TRUSS/RAFTER SPAN & DIRECTION CEILING/FLOOR/DECK JOIST

TRIBUTARY WIDTH OF JOIST

BEAM OR HEADER WOOD POST PER PLAN U.N.O.

ALIGN WITH POST ABOVE POST FROM ABOVE

₩000 ₩ALL STUD PER ARCH (NIN. 2X4 @ 16" O.C)

☐☐☐☐☐ ₩ALL STUDS ABOYE

SHEAR PANEL NUMBER, MIN. LENGTH NOTED, REFER TO "SHEAR WALL SCHEDULE" ON S-D FOR MORE INFRO (LENGTH IS FROM CENTER OF POST TO CENTER OF POST)

. .

HARDY-FRAME STRONG WALL
SEE DETAIL SHEETS HEXT-3 FOR
ADDITIONAL DETAILS (IT IS THE
SOLE RESPONSIBILITY OF
CONTRACTOR TO VERIFY
THE HEIGHT ON SITE AND

detáil number Detáil shéet number

HORIZONTAL COLLECTOR STRAP MST60 TYP. U.N.O.

OWNER/SUBDIVIDER:

MR. JACK HERRON 2630 WALNUT AVE, STE. A TUSTIN, CA 92760

NEW DUPLEX PROJECT PROJECT ADDRESS 161 CECIL PLACE COSTA MESA, CA 92627

W.H. CONSULTANT, INC.
ONTH-CAL590 OAKLAND RD, SUTTE 112, SAN JOSE CA 95131
SOUTH-CA. 25 MAIOTHY, SUITE 21 RYINE, CA 92618
WWW. WIRDOUTERNOGROUP, COM
WWW. WIRDOUTERNOGROUP, CA

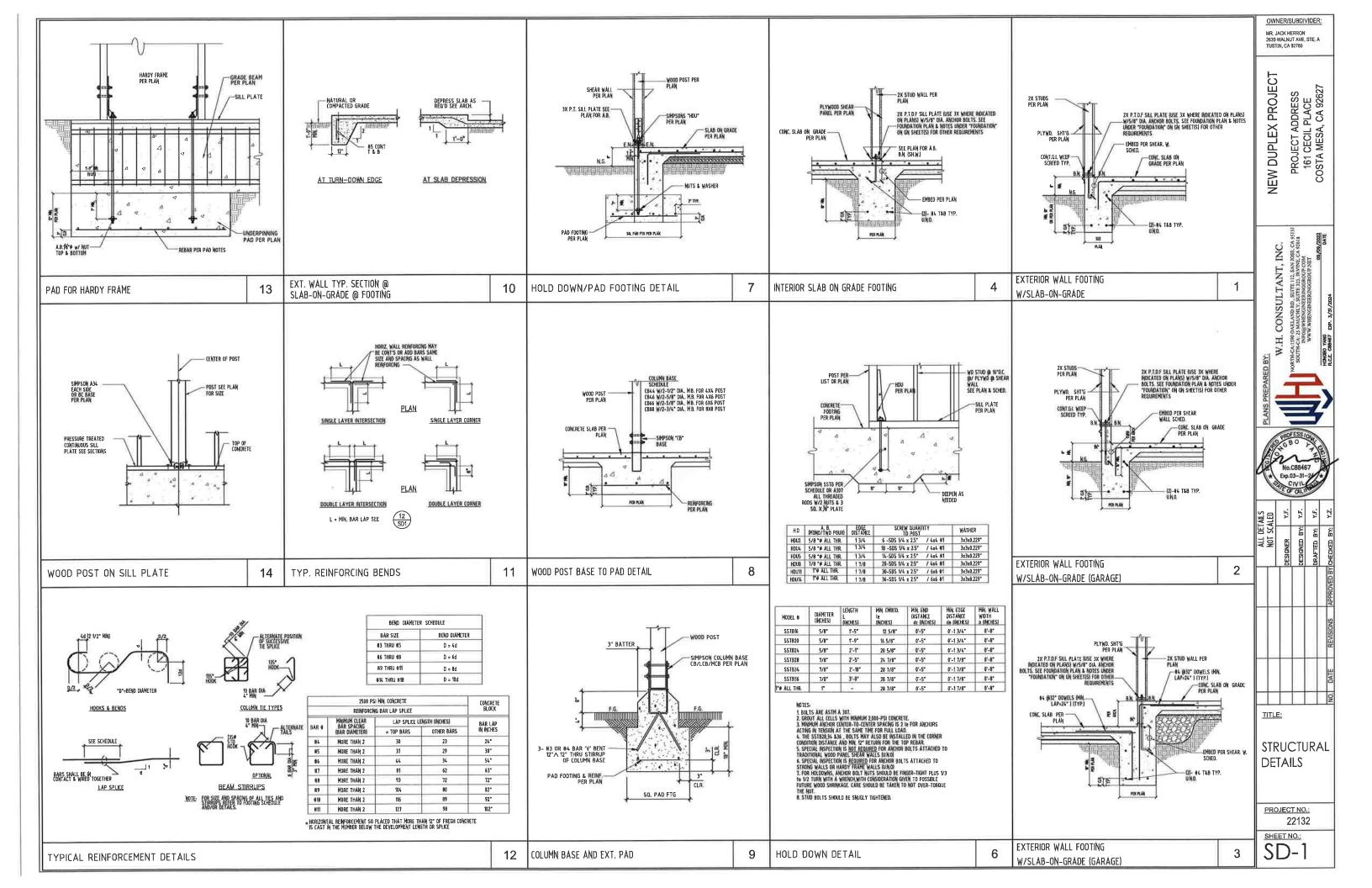


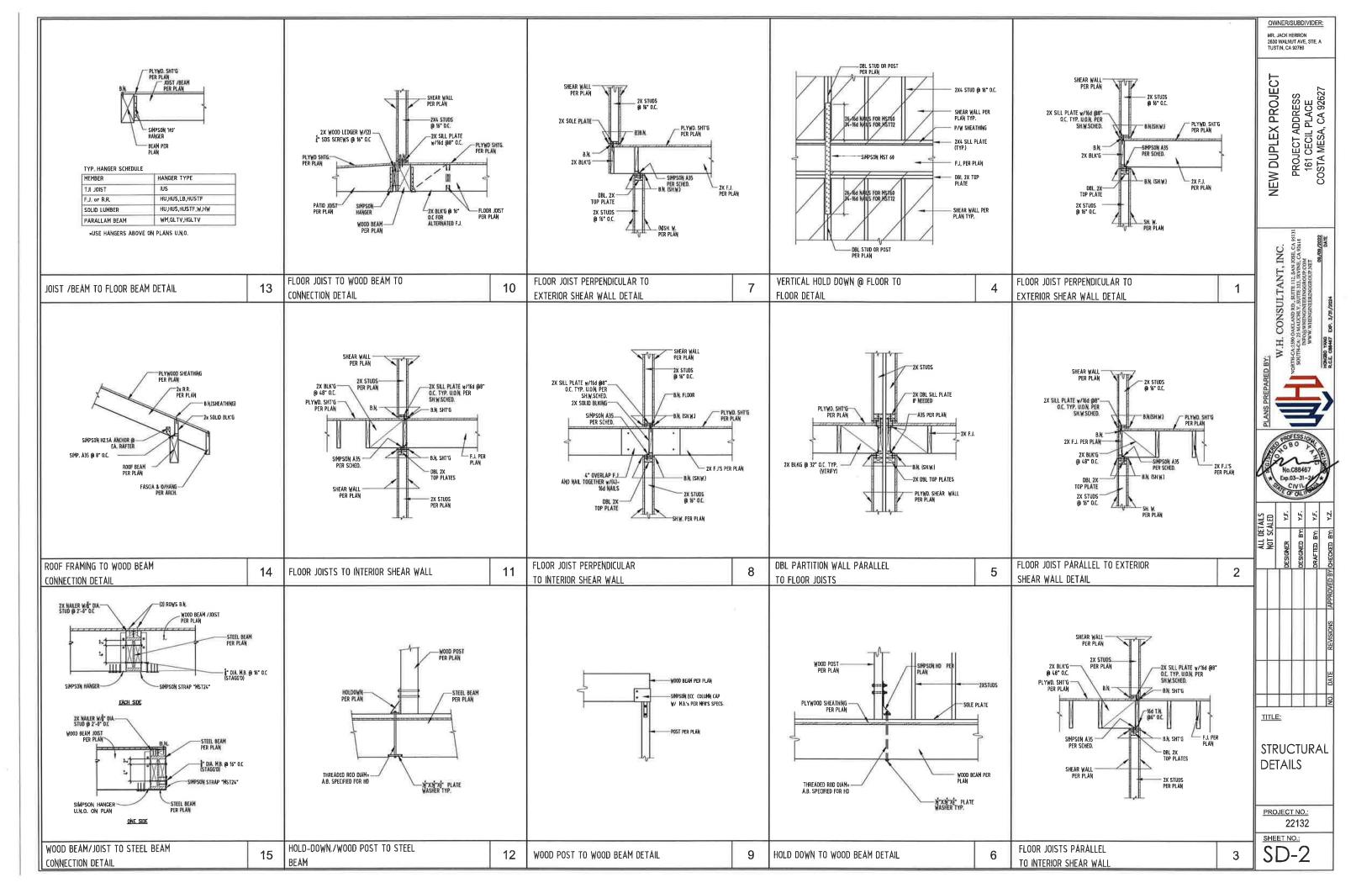
TITLE:

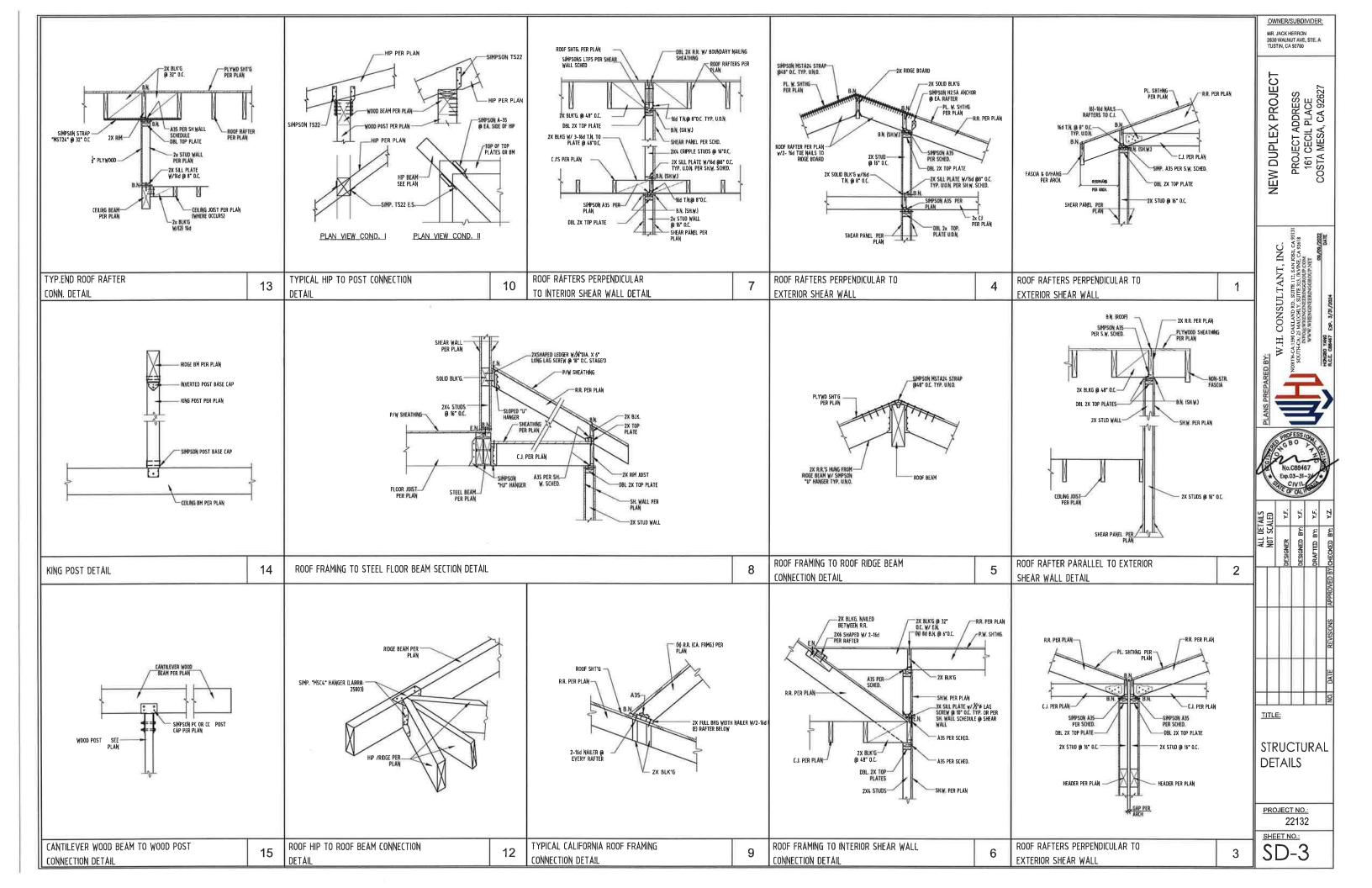
ROOF FRAMING PLAN (UNIT B)

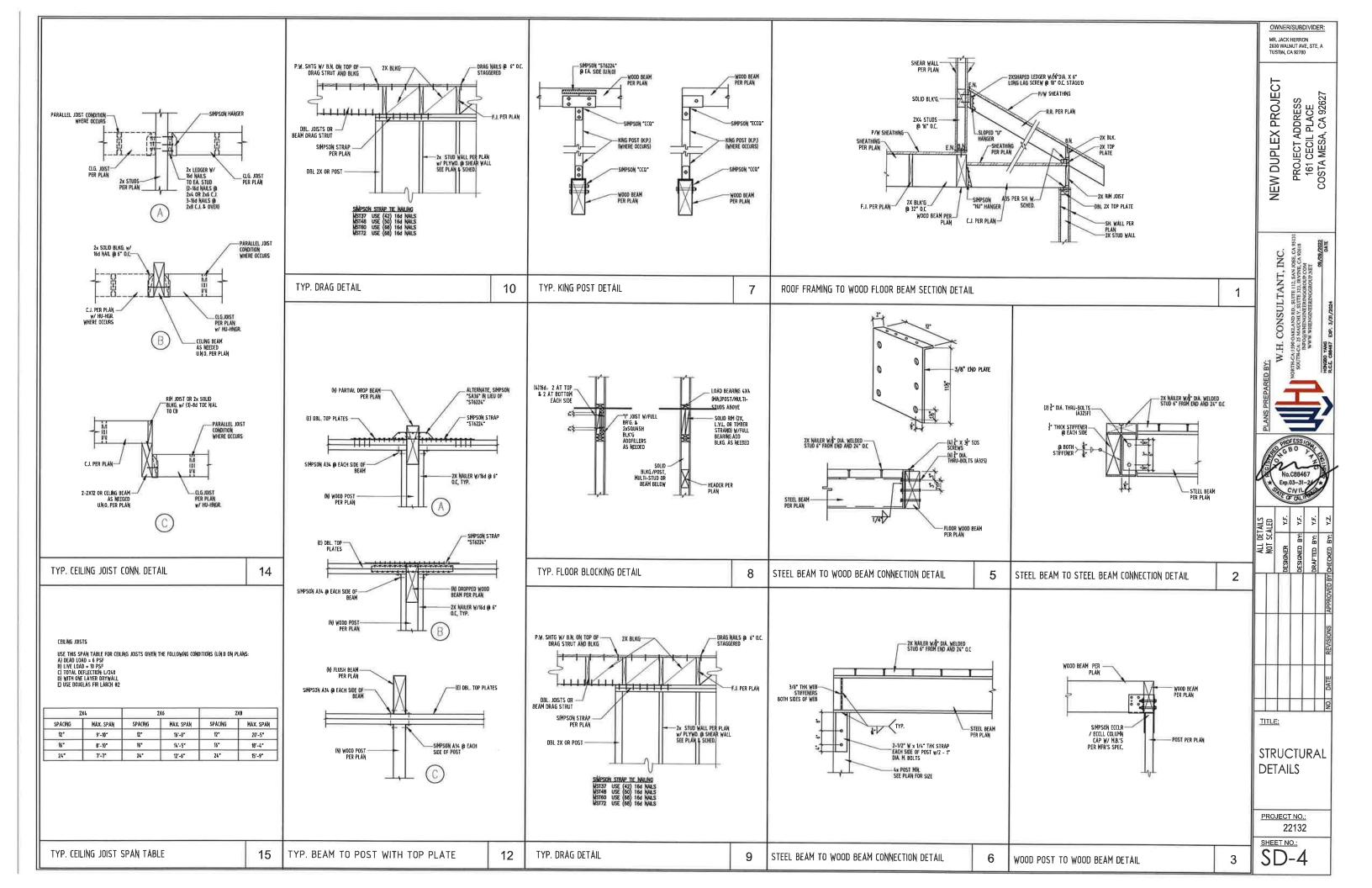
PROJECT NO.: 22132

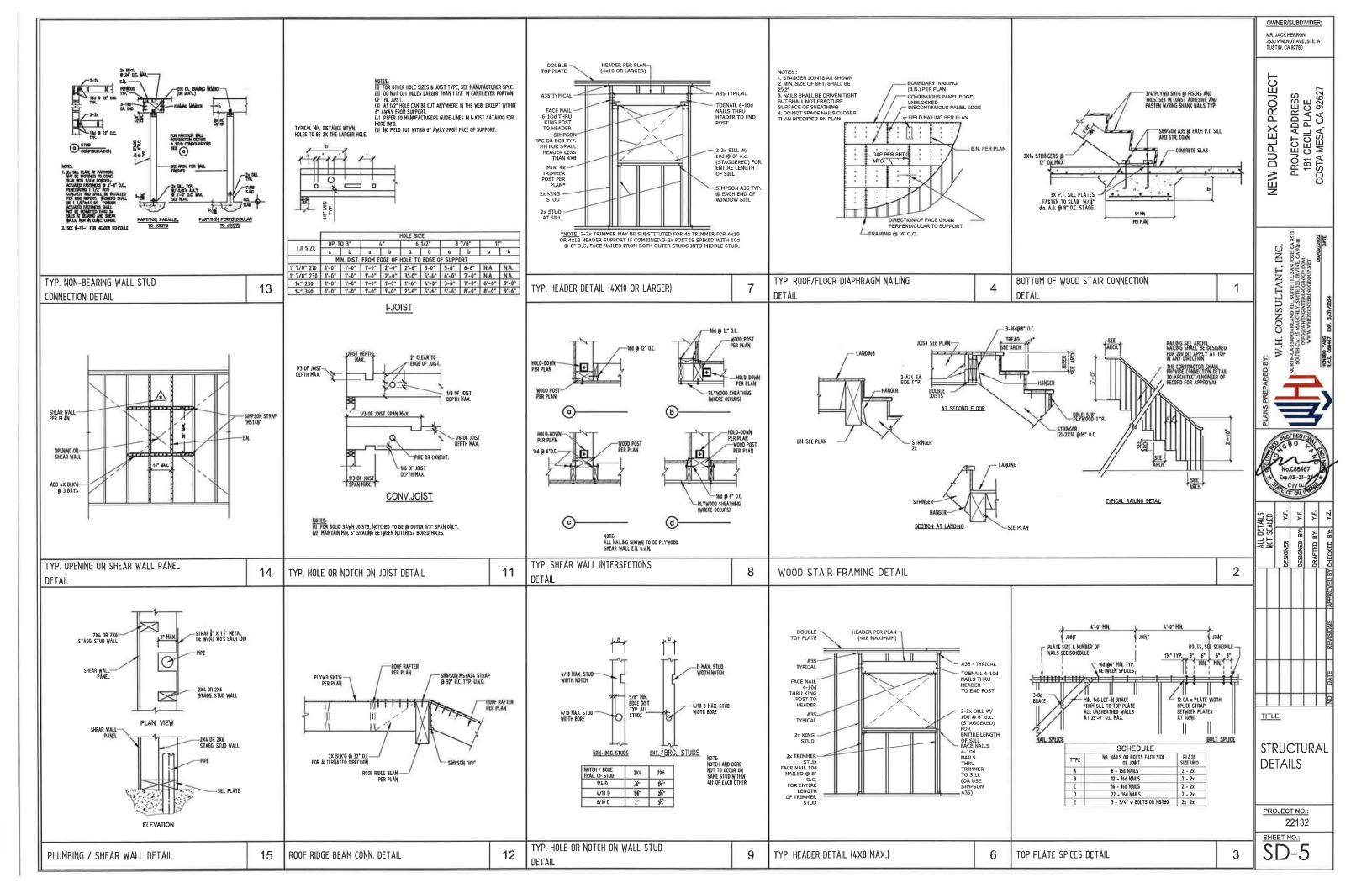
SHEET NO .: S-3.1

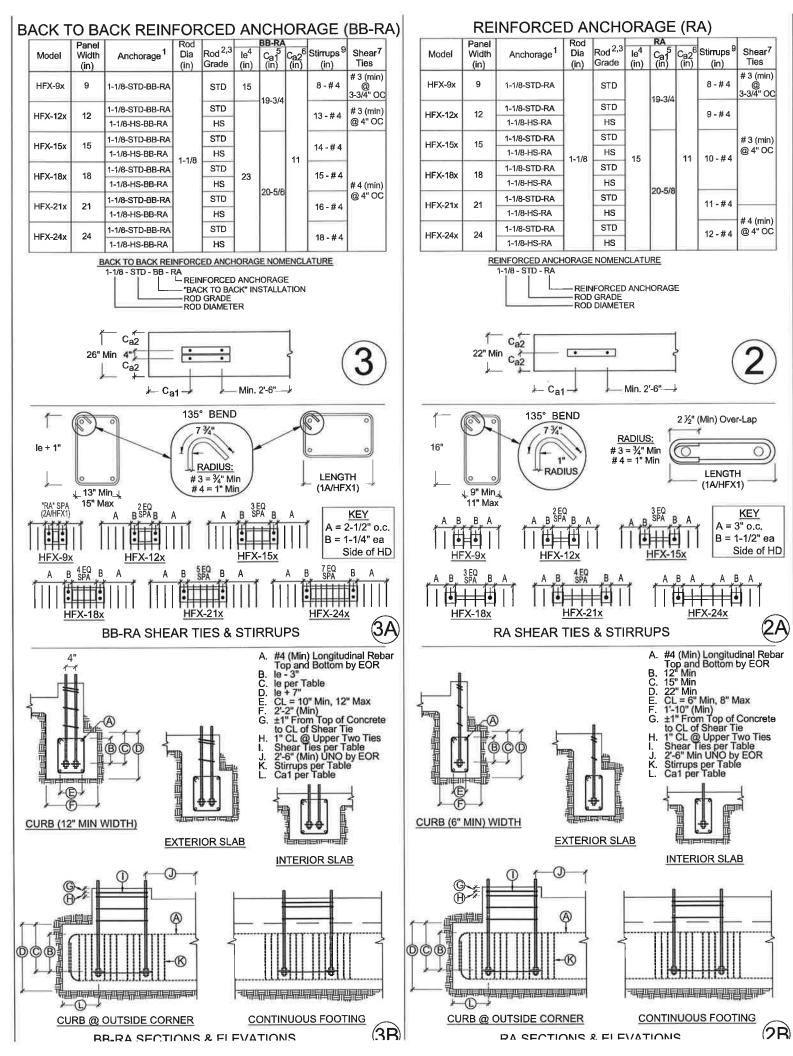


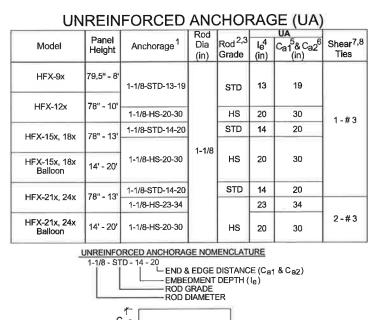


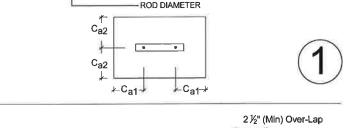








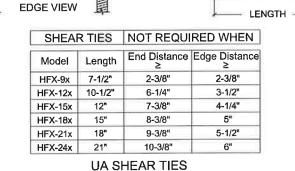


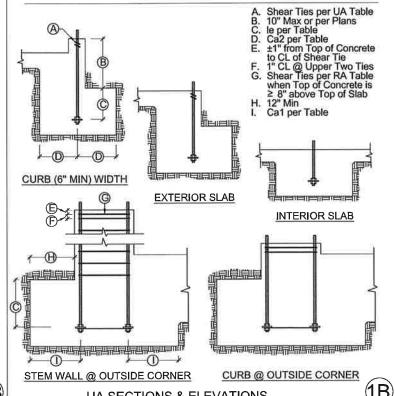


RADIUS:

3 = 3/4" Min

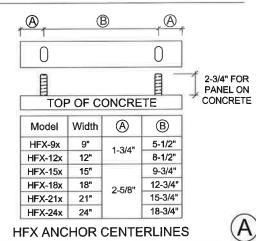
4 = 1" Min





LIA SECTIONS & ELEVATIONS

- DESIGNS ARE TO RESIST LOADING PER ACI 318-14, SEC 17.2.3.4.3. STD INDICATES ANCHORS COMPLYING WITH ASTM F1554 GRADE 36 WITH A HARDY FRAME BOLT BRACE (HFXBB) INSTALLED WITH STD OR GRADE 8 DOUBLE NUTS ON THE EMBED END.
- HS INDICATES ANCHORS COMPLYING WITH ASTM A193 GRADE B7 WITH A 1/2"x3"x3"(MIN) HFPW PLATE WASHER INSTALLED WITH DOUBLE NUTS ON THE EMBED END (HFXBB NOT REQUIRED).
- LE = LENGTH OF EMBEDMENT FROM THE TOP OF FOOTING OR GRADE BEAM TO THE TOP OF THE HFXBB BOLT BRACE (TOP OF THE EMBEDDED HFPW PLATE WASHER @ HS ANCHORS)
- CA1 = DISTANCE FROM HD CENTERLINE TO THE END OF THE FOOTING OR GRADE BEAM.
- CA2 = DISTANCE FROM HD CENTERLINE TO BOTH THE FRONT AND THE BACK FACE OF THE FOOTING OR GRADE BEAM.
- SHEAR TIES ARE GRADE 60 (MIN) REBAR AND REQUIRED FOR NEAR EDGE DISTANCE CONDITIONS PER ACI-318-14, F'C = 2,500 PSI. CURBS AND STEM WALLS MUST BE 6 INCH (MIN) WIDTH FOR UA AND RA, 12 INCH (MIN) WIDTH FOR BB-RA.
- FOR UA APPLICATIONS, ADDITIONAL TIES MAY BE REQUIRED AT STEM WALLS. SHEAR TIES ARE NOT REQUIRED FOR INSTALLATION AWAY FROM EDGE (SEE DETAIL 1A), INSTALLATION ON WOOD FRAMING, OR FOR IRC BRACED WALL PANEL APPLICATIONS
- STIRRUPS ARE GRADE 60 (MIN) REBAR. SEE TABLE FOR SIZE AND SPACING, SEE "STIRRUP LAYOUT" DIAGRAMS AND "KEY" FOR LAYOUT PATTERNS.
- 10. CONCRETE EDGE DISTANCES MUST COMPLY WITH ACI 318-14, SECTION 17.7.2. COATED REINFORCEMENT MAY BE SPECIFIED BY THE EOR TO LIMIT EXPOSURE AND THEREFORE REDUCE MINIMUM CONCRETE COVER, COATED REINFORCEMENT MUST COMPLY WITH ACI 318-14, SECTION 20.6.2.



IMPORTANT!

- ANCHORAGE IS DESIGNED FOR TENSION AND SHEAR TRANSFER ONLY, FOUNDATION DESIGN PER EOR.
- 2. REINFORCEMENT SHOWN IS THE MINIMUM REQUIREMENT AND IS NOT INTENDED TO REPLACE REINFORCEMENT DESIGNED BY THE EOR.
- FOR RA AND BB-RA INSTALLATIONS, THE HFXBB BOLT BRACE MAY BE PLACED ON TOP OF THE STIRRUPS WITH DOUBLE-NUTS INSTALLED AT EMBED END OF STANDARD GRADE ANCHOR RODS. (NOTE: 1/2" x 3" x 3" MIN. HFPW PLATE WASHERS ARE REQUIRED TO BE DOUBLE-NUTTED AT EMBED END OF HIGH STRENGTH ANCHOR RODS.)
- HIGH STRENGTH ALL-THREAD RODS PROVIDED BY HARDY FRAMES ARE STAMPED ON BOTH ENDS.

MiTek

SHEAR WALL SYSTE 1732 PALMA DRIVE, SUITE 200, VENTURA, CA 1 TELEPHONE: 800 754-3030 / www.hardyframe,

8

ARDY

S

PANEL

HX

S

ETAIL:

ANCHORAGE

THIS DETAIL SHEET IS NOT PROPRIETARY AND IS NOT REQUIRED FOR PLAN SUBMITTAL WITH HARDY FRAME PRODUCTS

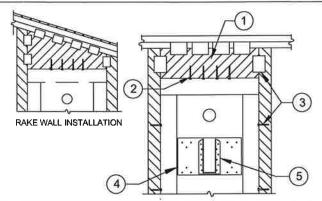
DATE: 1-1-2020

B HFX1

INADODTANT NOTES

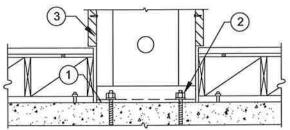
B7

BACK TO BACK INSTALLATION



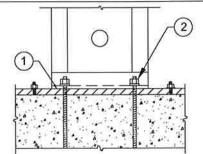
- WOOD FILLER WITH USP MP4F CONNECTORS BOTH SIDES, QUANTITY BY BUILDING DESIGN PROFESSIONAL. (ADD (4) AT EACH SIDE)
- 1/4" x 3" (MINIMUM) WS SCREWS, QUANTITY PER TABLES
- ADJACENT FRAMING WITH 1/4" DIAMETER SCREWS INSTALLED THROUGH PRE-PUNCHED HOLES IN PANEL EDGES REQUIRED WHEN INSTALLING A FILLER GREATER THAN 1-1/2" ABOVE TO BRACE OUT-OF-PLANE HINGE OR WHEN SPECIFIED BY THE DESIGN PROFESSIONAL.
- PRE-DRILL 3/16" DIA. HOLES, EVENLY SPACED IN FACE OF PANEL NO LESS THAN 2-1/4" OC AND INSTALL 1/4" DIA. WOOD SCREWS INTO 2x (MIN.) WOOD "LEDGER" IN PANEL CAVITY.
- 5. CONNECTOR AND ATTACHMENT BY BUILDING DESIGN PROFESSIONAL

FILLER GREATER THAN 1-1/2 IN.



- 15# FELT OR EQUIVALENT MOISTURE BARRIER RECOMMENDED BETWEEN PANEL BASE AND CONCRETE.
- NUTS AND WASHERS PER TABLE NOTE 1.
- ADJACENT FRAMING WITH 1/4" DIAMETER SCREWS INSTALLED AT THE PANEL EDGES WHEN INSTALLING A FILLER GREATER THAN 1-1/2" ABOVE OR WHEN SPECIFIED BY DESIGN PROFESSIONAL

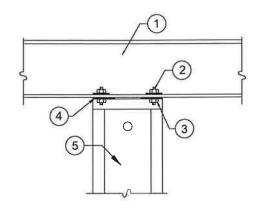
RAISED FLOOR HEAD-OUT



ALLOWABLE VALUES ON 2x PLATE ARE LESS THAN INSTALLATION ON CONCRETE

- 15# FELT OR EQUIVALENT MOISTURE BARRIER RECOMMENDED BETWEEN PANEL BASE AND TREATED PLATE.
- NUTS AND WASHERS PER TABLE NOTE 1.

INICTALL ATION ON 20 DI ATE



STEEL BEAM PER PLANS

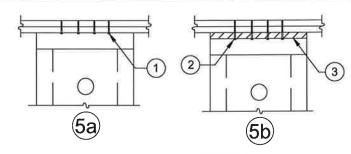
3

6

(8)

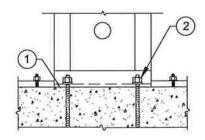
- ALL THREAD RODS THRU-BOLTED TO STEEL BEAM BY BUILDING **DESIGN PROFESSIONAL**
- NUTS AND WASHERS PER TABLE NOTE 1.
- HARDY FRAME" STACKING WASHERS (HFSW) REQUIRED TO BE WELDED INSIDE TOP CHANNEL OF LOWER PANEL.
- HARDY FRAME "STK" PANEL WITH STACKING WASHERS WELDED INSIDE THE TOP CHANNEL BY MANUFACTURER.

STEEL BEAM ABOVE THRU-BOLT



- 1/4" x 3" (MINIMUM) WS SCREWS, QUANTITY PER TABLES
- 2. 1/4" x 4-1/2" (MINIMUM) WS SCREWS, QUANTITY PER TABLES 3. 2x WOOD FILLER.

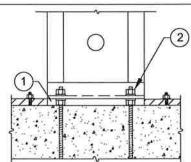
TOP PLATE CONNECTIONS



- 15# FELT OR EQUIVALENT MOISTURE BARRIER RECOMMENDED BETWEEN
- PANEL BASE AND CONCRETE.

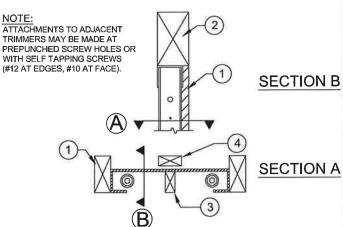
 2. NUTS AND WASHERS PER TABLE NOTE 1.

INSTALLATION ON CONCRETE



ALLOWABLE VALUES ON N&W ARE LESS THAN INSTALLATION ON CONCRETE

- PLUS OR MINUS 1-1/2" GAP TO BE FILLED WITH 5,000 PSI NON-SHRINK
- NUT AND WASHER GRADES PER TABLE NOTE 1.

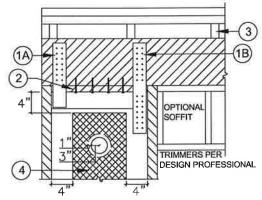


- TRIMMERS PROVIDE FULL BEARING FOR HEADER ABOVE, DESIGN AND CONNECTIONS BY BUILDING DESIGN PROFESSIONAL.
- WOOD MEMBERS FOR BACKING MAY BE INSERTED VERTICALLY OR HORIZONTALLY IN THE PANEL CAVITY AS NEEDED.
 WOOD MEMBER FLUSH TO FACE OF WALL FOR BACKING AS NEEDED.

6x HEADER ABOVE-SECTIONS

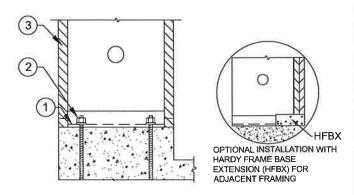
(5)

TO PREVENT DRILLING ADDITIONAL HOLES ORIENT THE PANEL CAVITY TOWARD THE FIXTURE BEING INSTALLED.



- (A) PRE-WELDED STRAPS ARE PROVIDED ON 78" AND 79-1/2" PANEL HEIGHTS. THEY ARE AVAILABLE FOR OTHER HEIGHTS UPON REQUEST. (B) FIELD INSTALLED STRAPS WITH SELF TAPPING SCREWS ARE PERMITTED. THE DESIGN AND CONNECTION IS BY THE DESIGN PROFESSIONAL. A 2x WOOD FILLER WITH 1/4"x4-1/2" (MIN.) WS SCREWS IS PERMITTED.
- WHEN CRIPPLE STUDS OCCUR, SHEAR TRANSFER DESIGN TO BE PER THE BUILDING DESIGN PROFESSIONAL.
- A 1" DIA. HOLE MAY BE ADDED IN THE PANEL FACE WHEN IT IS LOCATED IN THE UPPER HALF OF THE PANEL HEIGHT AND IS 4" MINIMUM FROM ANY EDGE. FOR PANELS MORE THAN 12" WIDE, ADDITIONAL HOLES MUST BE OFFSET 1" MINIMUM FROM THE 3" DIA. PREPUNCHED HOLE. FOR HOLES LARGER THAN 1" DIAMETER OR TO ADD MORE THAN ONE HOLE CONTACT MITEK HARDY FRAME TECHNICAL SUPPORT AT (800) 754-3030.

TOP CONNECTION TO HEADER



- 15# FELT OR EQUIVALENT MOISTURE BARRIER RECOMMENDED BETWEEN PANEL BASE AND CONCRETE.
- NUTS AND WASHERS PER TABLE NOTE 1. 3. ADJACENT FRAMING OPTIONAL U.N.O. BY BUILDING DESIGN PROFESSIONAL

INSTALLATION ON CURR

) H	HFX PANELS 78	IN. T	HRO	UGH N	OMINAL	13 FEET	REVISION
	Model Number	Net Height (in)	Depth (in)	Hold Down Diameter ¹ (in)		Screw Qty Available at Edges (ea) ³	

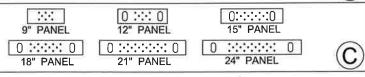
	Model Number	Net Height (in)	Depth (in)	Hold Down Diameter ¹ (in)	Top Screw Qty ² (ea)	Available Edges (ea
	HFX-12,15,18,21 & 24x78	78			9" Width = 5	
	HFX-9x79.5	79-1/2			5 Widin = 5	
	HFX-12,15,18,21 & 24x8	92-1/4			12" Width = 6	4
	HFX-9x8	93-3/4	3-1/2	1-1/8	15" Width = 8	
	HFX-12,15,18,21 & 24x9	104-1/4				
- 1	HFX-12,15,18,21 & 24x10	116-1/4			18" Width = 10	5
	HFX-15,18,21 & 24x11	128-1/4			21" Width = 12	_
	HFX-15,18,21 & 24x12	140-1/4				6
Δ	HEX-15 18 21 & 24x13	152-1/4			24" Width = 14	۰

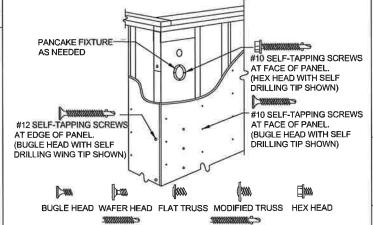
MFX-15, 16,21 & 24X 13	102-1	/4				
BALLOON PANELS 14 FEET THROUGH 20 FEET						
Model Number	Net Height (in)	Depth (in)	Hold Dowr Diameter ¹ (in)		Screw Qty Available at Edges (ea) ³	
HFX-15,18,21 & 24x14 HFX-15,18,21 & 24x15				15" Width = 8	6	
HFX-15,18,21 & 24x16				18" Width = 10		
HFX-15,18,21 & 24x17			1-1/8	21" Width = 12	7	
HFX-15,18,21 & 24x18 HFX-15,18,21 & 24x19						
HFX-15,18,21 & 24x20				24" Width = 14	8	

- FOR STD OR HS GRADE HOLD DOWN ANCHOR BOLTS CONNECT TO THE PANEL BASE WITH HARDENED ROUND WASHERS BELOW GRADE 8 NUTS. ALTERNATE WASHERS ARE (2 EA) ROUND-FLAT OR (2 EA) SAE WASHERS ON EACH BOLT. ALTERNATE NUTS ARE 2H HEAVY HEX.
- 1/4" DIAMETER MITEK®PRO SERIES™WS SCREWS, LENGTH IS 3" (MINIMUM) WHEN ATTACHED DIRECTLY TO THE COLLECTOR AND 4-1/2" (MINIMUM) WHEN INSTALLING A 2x FILLER ABOVE THE PANEL
- ADJACENT FRAMING WITH 1/4" DIAMETER SCREWS IS REQUIRED AT THE PANEL EDGES WHEN INSTALLING A FILLER ABOVE THE TOP CHANNEL THAT IS GREATER THAN 1-1/2" OR WHEN SPECIFIED BY THE DESIGN

- INSTALLATION INSTRUCTIONS

 1. WHEN INSTALLING ON CONCRETE CONNECT WITH (1 EA) HARDENED ROUND WASHER BELOW (1 EA) GRADE 8 NUT, SECURE WITH A DEEP SOCKET (RECOMMENDED) UNTIL SNUG TIGHT, ALTERNATE WASHERS AND NUTS ÀRE PROVIDED IN TABLE NOTE 1.
- INSTALLATION ON CONCRETE PROVIDES THE HIGHEST ALLOWABLE VALUES. CONFIRM WITH THE DESIGN PROFESSIONAL BEFORE INSTALLING ON OTHER SUPPORTING SURFACES.
- USE 1/4"X4-1/2" MITEK_PRO SERIES WS SCREWS AT TOP CONNECTIONS WITH A 2x FILLER. IF THE TOP OF PANEL IS IN DIRECT CONTACT WITH THE COLLECTOR ABOVE (TOP PLATES, HEADER, BEAM, ETC.) USE1/4 x 3" (MIN)
- FOR INSTALLATIONS WITH A FILLER GREATER THAN 1-1/2" ABOVE, OR WHEN SPECIFIED BY THE DESIGN PROFESSIONAL, ADJACENT KING POSTS TO BRACE THE OUT-OF-PLANE HINGE CAN BE CONNECTED WITH 1/4" DIA. SCREWS THROUGH PRE-PUNCHED HOLES AT THE PANEL EDGES.





SELF DRILLING TIP

NOTES:

A. SURFACE FINISHES, CONNECTORS AND FIXTURES ARE ATTACHED TO THE PANEL

SELF DRILLING WING TIP

- FACE WITH # 10 SELF-TAPPING SCREWS SPACED NO LESS THAN 2-1/4" OC. ATTACHMENTS TO THE PANEL EDGES ARE MADE WITH # 12 SELF-TAPPING SCREWS
- STRUCTURAL CONNECTIONS ARE TO BE DESIGNED BY THE DESIGN PROFESSIONAL STRUCTURAL HARDWARE USED TO TRANSFER LOADS SHOULD NOT EXCEED 12

THIS DETAIL SHEET IS NOT PROPRIETARY AND IS NOT REQUIRE FOR PLAN SUBMITTAL WITH MITEK® *HARDY FRAME*® PRODUCTS PANEL HFX

S ETAIL; **FRAMING**

(B)

2

MiTek

DATE: 1-1-2020

HFX2

(11) INSTALLATION ON NUTS & WASHERS (10)