



CITY OF COSTA MESA

P.O. BOX 1200 • 77 FAIR DRIVE • CALIFORNIA 92628-1200

ECONOMIC & DEVELOPMENT SERVICES DEPARTMENT – PLANNING DIVISION

December 22, 2022

Josh Martinez
18627 Brookhurst Street, #205
Fountain Valley, CA 92708

RE: DEVELOPMENT REVIEW 22-02 - 161 CECIL PLACE

Dear Josh Martinez:

The Development Review for the above-referenced project has been completed. The Development Review, as described in the attached project description, has been approved based on the findings and subject to the conditions of approval (attached). The decision will become final at 5 PM on January 5, 2023 unless appealed by an affected party (including filing of the necessary application and payment of the appropriate fee) or is called up for review by a member of the City Council. Any appeal must be filed by 5 PM on the date listed above, pursuant to CMMC Sections 2-305(2) and 2-307.

This report also serves as an official public notice for the adjacent property owners of the pending approval of proposed project, which includes the construction of two new, two-story single family residences on a single parcel.

If you have any questions regarding the above items, please contact the project planner, Froylan Garcia at froylan.garcia@costamesaca.gov.

Sincerely,

A handwritten signature in blue ink, appearing to read "Jennifer Le", with the word "FOR" written in blue ink below it.

Jennifer Le
Director of Economic and Development Services

cc: 161 Cecil Place LLC.
2472 Chambers Road, #150
Tustin, CA 92780-6798

Engineering
Fire Marshal
Building Division

Adjacent Property Owners:

Douglas G & Lauren Conrady
2246 Elden Ave
Costa Mesa, CA 92627

Pageant Realty LLC
1789 Tahiti Dr
Costa Mesa, CA 92626

Patrick & Maria Elena Di Caprio
203 PARK VALLEY LN
Cary, NC 27519-6649

James M Werner & J/Werner L Family Trust
164 VIRGINIA PL
Costa Mesa, CA 92627-6705

Robert B Shwartz
2611 Redlands Dr
Costa Mesa, CA 92627-6705

John F Warman
1410 NE Sommer D
Grants Pass, OR 97526-3569

PLANNING APPLICATION SUMMARY

Location:	161 Cecil Place	Application No:	DR-22-02
Request:	Development Review to construct two, two-story single family dwelling units.		

SUBJECT PROPERTY:

SURROUNDING PROPERTY:

Zone:	R2-MD (Multiple-Family Residential, Medium Density)	North:	R2-MD; Multiple-Family Residential, Medium Density
General Plan:	MDR: (Medium Density Residential)	South:	R2-MD; Multiple-Family Residential, Medium Density
Lot Dimensions:	Approx. 60 FT x 140 FT	East:	R2-MD; Multiple-Family Residential, Medium Density
Lot Area:	8,288.5 SF	West:	R2-MD; Multiple-Family Residential, Medium Density
Existing Development:	Two single story homes. (To be demolished).		

DEVELOPMENT STANDARD COMPARISON

Development Standard	Required / Allowed R2-MD Standards	Proposed / Provided
Density/Intensity:		
Zoning	1 DU / 3,630 SF	1 DU / 3,750 SF
General Plan	1 DU / 3,630 SF	
Building Coverage (Development Lot):		
Buildings	NA	39.8% (3,300 SF)
Paving	NA	7.7% (642.66 SF)
Open Space (Overall)	40% (3,388 SF)	52.4% (4,345.84 SF)
TOTAL:		100% (8,288.5SF)
Building Height	2 stories / 27 FT	2 stories / 27 FT
% ratio of 2 nd floor to 1 st floor	Max. 100%	First Unit: 89% Second Unit: 89%
Setbacks:		
Front	20 FT	20 FT
Side (left / right)	5 FT / 5 FT	5 FT / 5 FT
Rear (1 st floor)	10 FT	25 FT 1 IN
Rear (2 nd floor)	20 FT	42 FT 7 IN
Parking:		
Covered	2	4
Tenant Open	5	3
Guest Open	1	1
TOTAL:	8	8
Minimum Clear Interior Garage Dimensions	20 FT x 20 FT (two-car) 20 FT x 20 FT (two-car)	20 FT x 20 FT 20 FT x 20 FT
Driveway Width	10 FT	16 FT
CEQA Review	Exempt – 15303 – New Construction/Small Conversion	
Final Action	Planning Division/Director of Economic and Development Services	

PROJECT DESCRIPTION

Location

The subject property is located at 161 Cecil Place in a multi-family neighborhood on the east side of Costa Mesa. The property is located on Cecil Place between Elden Avenue and Orange Avenue, near Newport Boulevard and State Route 55 to the north of the property. The 0.19-acre site is currently developed with two detached single-story homes. The property is zoned R2-MD (Multiple-Family Residential District, Medium Density) and has a General Plan Land Use Designation of Medium Density Residential. The adjacent properties to the north, west, south, and east are also zoned R2-MD and have a General Plan Land Use Designation of Medium Density Residential.

Proposed Project

The proposed project is a request to demolish two existing single-story homes and construct two new two-story residential units. Each unit will be 2,694 square feet (SF) with a 432 SF garage. The proposed residences would have a mirrored design. The first floor of both units would consist of a bedroom, bathroom, kitchen, and a living room. The second floor of both units would consist of a master bedroom with a full bath, two smaller bedrooms with a full bath, a game room and a laundry room. Pursuant to the City of Costa Mesa Municipal Code (CMMC) Section 13-28 (e), a Development Review (DR) application approval is required for two-story residential construction that is located within the R2-MD zoning district and that is compliant with the City's Residential Design Guidelines.

Parking for the residences will be provided in two car garages that will be attached to the front of each residence. Each residence will also have two open parking spaces in the driveways fronting the attached two car garages.

ANALYSIS

Multiple-family residential units are permitted by right in the R2-MD zoning district; however, due to the proposed second-story addition, the proposal requires approval of a Development Review application. Pursuant to the CMMC, second-story development is subject to specific design standards and noticing requirements pursuant to the City of Costa Mesa Residential Design Guidelines and zoning code.

All planning applications are reviewed pursuant to CMMC Section 13-29 (e) to ensure the proposal is compatible with the surrounding area, and in compliance with applicable zoning standards and General Plan policies. Compliance with applicable development standards of the City of Costa Mesa Zoning Code, Residential Design Guidelines and General Plan policies are discussed in detailed in the following sections

Review Criteria

Pursuant to CMMC Section 13-29, the following applicable review criteria have been considered:

(1) Compatible and harmonious relationship between the proposed building and site development, and use(s), and the building and site developments, and uses that exist or have been approved for the general neighborhood.

The proposed development is compatible and harmonious with the surrounding development and uses in that the adjacent development includes a mixture of one and two-story single family and multiple family residences.

(2) Safety and compatibility of the design of buildings, parking area, landscaping, luminaries and other site features which may include functional aspects of the site development such as automobile and pedestrian circulation.

Safety and compatibility of the design of buildings, parking area, landscaping, luminaries and other site features which may include functional aspects of the site development such as automobile and pedestrian circulation have been considered for the proposed project. The parking area, driveway, and open space area conforms to the zoning code requirements and a new sidewalk is proposed in compliance with city guidelines to improve pedestrian circulation.

(3) Compliance with any performance standards as prescribed elsewhere in this Zoning Code.

The project, as proposed and conditioned, will comply with the performance standards prescribed in the Zoning Code, including the development standards, and landscape requirements.

(4) Consistency with the general plan and any applicable specific plan.

The proposed project is consistent with the General Plan and is not located within a Specific Plan area. The Medium Density Residential General Plan Land Use Designation of the property allows a maximum density of 12 dwelling units per acre or one unit per 3,630 square feet of lot area. The existing lot size is 0.19 acres (8,477 square feet), which would allow a maximum of two units on the property; two units currently exist on the property and are proposed to be demolished and replaced with two new units. As such, the project does not exceed the maximum density allowed in within the Medium Density Residential General Plan Land Use Designation. The following analysis further evaluates the proposed project's consistency with specific policies and objectives of the 2015-2035 General Plan.

1. **Policy LU-3.1** Protect existing stabilized residential neighborhoods, including mobile home parks (and manufactured housing parks), from the encroachment of incompatible or potentially disruptive land uses and/or activities.

Consistency: The subject neighborhood is intended for residential development and therefore the proposed two-units would be compatible and not disrupt the existing adjacent residences.

2. **Objective LU-2A:** Promote land use patterns and development that contribute to community and neighborhood identity.

Consistency: The proposed project will construct two attached units that incorporates modern farmhouse architectural design elements and water-wise landscaping. The project will improve the visual appeal from and to the public right of way. The public right of way will include new landscaping and sidewalk constructed to City's standards. The existing residential neighborhood includes single-family and multiple-family development with varying architectural styles, including craftsman, ranch and modern farmhouse. The existing residential development within this neighborhood also varies in height from including both single and two-story residences. The proposed project would not be out of character for this neighborhood and provide investment and aesthetic improvement to what currently exists on the project site.

3. **6th Cycle Housing Policy HOU-2.1:** Facilitate the development of housing that meets the needs of all segments of the population including affordable housing and households with specialized needs. Implementation Program 2E: Encourage Development of Housing Options for Large-Family Households. Objective: Promote and work with applicants who propose for-rent residential projects to encourage 4-bedroom units as part of proposed development.

Consistency: The proposed project achieves the objective of policy HOU 2.1 and the associated Implementation Program 2E by providing housing suitable for large-family household. Each of the proposed units include three bedrooms and a master suite.

(5) The planning application is for a project-specific case and is not to be construed to be setting a precedent for future development.

The application is for a project-specific case to modify an existing residential property. The project meets all applicable development standards and design guidelines for two-story residential units permitted in the R2-MD zoning district. The proposed development would not be precedent setting.

(6) For residential developments, consistency with any applicable design guidelines adopted by City Council resolution.

The project is consistent with the City of Costa Mesa Residential Design Guidelines. The Design Guidelines are intended to implement the goals and objectives of the General Plan as they relate to residential development. The design of the new two-story residential units, as proposed, will comply with the City's Residential Design Guideline in that the residence will incorporate appropriate building mass and form, will provide distinct architectural features, have varying heights, and considers window placement for purposes of maintaining privacy.

- Second Story Design: Second-story floor area should not exceed 100% of the first-story floor area. The intent of this guideline is to promote two-story structures designed with articulation and off-sets to avoid a boxy appearance from the street

and neighboring views. Both residences propose an 89.4% second-floor to first-floor ratio.

- Elevation Treatments, Building Mass, Roof Forms and Form Considerations:
The design of the proposed project complies with the building mass and form, setbacks, elevation treatments, and architectural consistency guidelines. The proposed residences include elevations with varied roof forms and facade treatments to enhance visual interest. The varied roof forms help avoid the residences having a boxy appearance from the street and neighboring properties. The use of a combination of materials and finishes including smooth stucco and vertical siding avoids long unbroken façades. The use of wood in the shutters and doors also provide design contrast.
- Second Story Side Setbacks: The Residential Design Guidelines allow for a minimum five-foot interior side setback for both stories when a new construction unit will be over 2,700 square feet in area (not including the garage) with up to 50 percent lot coverage as defined by Article 2 of Title 13 (Zoning Code). The proposed building is over 2,700 square feet and the lot coverage is 48 percent. The new residences will be placed on the property with a minimum five-foot interior side setbacks.
- Window Placement:
The applicant considered the setbacks of existing neighboring structures and the placement of second-story windows in the design. The project does not propose window placements are not in a direct line of sight to the neighboring residences windows, as shown on Sheet A-7of the project plans. A view is considered direct when the centerlines of the windows of the proposed project and the windows of the adjacent residence are less than 10 feet apart horizontally. The windows of the adjacent residential units are further than 20 feet away from the adjacent property line. The existing second-story window on 2246 Elden Avenue is twenty-five feet from the subject property line. The existing second-story window located on 2248 Elden Avenue is located eighty feet from the subject property line. Due to the distance between proposed windows and windows on neighboring residences, substantial privacy impacts are not anticipated. The remainder of adjacent homes are all single-story homes that have a six-foot fence and existing landscape that provides privacy.

ENVIRONMENTAL DETERMINATION

The project has been reviewed for compliance with the California Environmental Quality Act (CEQA), the CEQA Guidelines, and the City environmental procedures, and is exempt under Section 15303, Class 3, New Construction or Conversion of Small Structures, of the CEQA Guidelines. This exemption applies to a duplex or similar multiple-family residential structure, totaling no more than four dwelling units designed for not more than six dwelling units; this project consist of two dwelling units in total. Furthermore, none of the exceptions that bar the application of a categorical exemption pursuant to CEQA Guidelines Section 15300.2 apply. The project would not result in a cumulative impact; would not have a significant effect on the environment due to unusual circumstances; would not result in damage to scenic resources; is not located on a hazardous site or location; and would not impact any historic resources.

CONDITIONS OF APPROVAL

- Plng. 1. The applicant shall defend, indemnify, and hold harmless the City, its elected and appointed officials, agents, officers and employees from any claim, legal action, or proceeding (collectively referred to as "proceeding") brought against the City, its elected and appointed officials, agents, officers and/or employees arising out of, or which are in any way related to, the applicant's project, or any approvals granted by City related to the applicant's project. The indemnification shall include, but not be limited to, damages, fees and/or costs awarded against the City, if any, and cost of suit, attorney's fees, and other costs, liabilities and expenses incurred in connection with such proceeding whether incurred by the applicant, the City and/or the parties initiating or bringing such proceeding. This indemnity provision shall include the applicant's obligation to indemnify the City for all the City's costs, fees, and damages that the City incurs in enforcing the indemnification provisions set forth in this section. City shall have the right to choose its own legal counsel to represent the City's interests, and applicant shall indemnify City for all such costs incurred by the City.
2. The conditions of approval, code requirements, and special district requirements for DR-22-02 shall be blueprinted on the face of the site plan as part of the plan check submittal package.
3. The applicant shall contact the Planning Division to arrange Planning inspection of the site prior to the Building Division's final inspections. This inspection is to confirm that the conditions of approval and Code requirements have been satisfied.
4. Address assignment shall be requested from the Planning Division prior to submittal of working drawings for plan check. The approved address of individual units, suites, buildings, etc., shall be blueprinted on the site plan and on all floor plans in the working drawings.
5. No modification(s) of the approved building elevations including, but not limited to, changes that increase the building height, additional second-story windows, removal of building articulation, or a change of the finish material(s), shall be made during construction without prior Planning Division written approval. Failure to obtain prior Planning Division approval of the modification could result in the requirement of the applicant to (re)process the modification through a discretionary review process such as a design review or a variance, or in the requirement to modify the construction to reflect the approved plans.
6. It is recommended that the project incorporate green building design and construction techniques where feasible. The applicant may contact the Building Safety Division at (714) 754-5273 for additional information.
7. Prior to issuance of final building inspections, the applicant shall provide a scaled and dimensioned digital site plan(s) for the project site, on either a CD or thumb drive, to the Planning Division. All site plans shall include an accurate and precise drawing of all building footprints and property line locations for the entire project site. All buildings shall be annotated with its corresponding address and suites if applicable.

- Pkwys 8. All City trees shall be protected during the construction phase of this projects. All trees damaged will be replaced with a 24-inch box tree or bigger. Tree species shall be determined by the City's Arborist.

CODE REQUIREMENTS

The following list of federal, state, and local laws applicable to the project has been compiled by staff for the applicant's reference. Any reference to "City" pertains to the City of Costa Mesa.

- Plng. 1. Approval of the design review application is valid for two years from the effective date of this approval and will expire at the end of that period unless a building permit has been issued and construction has commenced, and a valid building permit has been maintained by making satisfactory progress as determined by the Building Official. A time extension can be requested no less than 30 days or more than 60 days before the expiration date of the permit and submitted with the appropriate fee for review to the Planning Division. The Director of Development Services may extend the time for an approved permit or approval to be exercised up to 180-days subject to specific findings listed in Title 13, Section 13-29 (k) (6). Only one request for an extension of 180 days may be approved by the Director. Any subsequent extension requests shall be considered by the original approval authority.
2. Development shall comply with all requirements of Article 1, Chapter 5, Title 13, of the Costa Mesa Municipal Code relating to development standards for residential projects.
 3. Prior to the issuance of building permits, the applicant shall contact the U.S. Postal Service with regard to location and design of mail delivery facilities. Such facilities shall be shown on the site plan, floor plan, and/or landscape plan.
 4. Street addresses shall be displayed in a manner visible to the street. Street address numerals shall be a minimum of 6 inches in height with not less than 1/2 -inch stroke and shall contrast sharply with the background.
 5. Installation of all utility meters shall be performed in a manner so as to obscure the installation from view from any place on or off the property. The installation vault, wall cabinet, or wall box under the direction of the Planning Division.
 6. Fencing shall comply with the requirements set forth in the Costa Mesa Municipal Code Section 13-75, as well as the City's Walls, Fences and Landscaping Standards.
 7. The landscaping of this project shall comply with the City's landscaping requirements and any applicable guidelines (i.e. Water Efficient Landscape Guidelines). The final landscape plan shall meet tree count, tree selection, shrub count, ground cover and turf requirements per the City's Zoning Code requirements.
 8. Two sets of detailed landscape and irrigation plans, which meet the requirements set forth in the Costa Mesa Municipal Code Sections 13-101 through 13-108 and the City's Water Efficient Landscape Guidelines,

shall be required as part of the project plan check review and approval process. Plans shall be forwarded to the Planning Division for final approval prior to the issuance of building permits.

9. Landscaping and irrigation shall be installed in accordance with the approved plans prior to final inspection or occupancy clearance.
10. All unpaved areas visible from public right-of-ways shall be landscaped and the landscaping shall be maintained in a healthy condition, free of dying, dead, diseased, decayed, discarded, and/or overgrown vegetation.
11. Trash facilities shall be screened from view, and designed and located appropriately to minimize potential noise and odor impacts to neighbors.
12. Installation of all new utility meters shall be performed in a manner so as to obscure the installation from view from any place on or off the property. The installation shall be in a manner acceptable to the public utility and shall be in the form of a vault, wall cabinet, or wall box, under the direction of the Planning Division.
13. Any mechanical equipment such as air-conditioning equipment and duct work shall be screened from view in a manner approved by the Planning Division.
14. Transformers, backflow preventers, and any other approved above-ground utility improvements shall be located outside of the required street setback area and shall be screened from view, under direction of Planning staff. Any deviation from this requirement shall be subject to review and approval of the Development Services Director.
- Bldg. 15. Comply with the requirements of the adopted, 2019 California Residential Code, the 2019 California Building Code, 2019 California Electrical Code, 2019 California Mechanical Code, 2019 California Plumbing Code, 2019 California Green Building Standards Code and 2019 California Energy Code (or the applicable adopted, California Residential Code, California Building Code, California Electrical Code, California Mechanical Code, California Plumbing Code, California Green Building Standards and California Energy Code at the time of plan submittal or permit issuance) and California Code of Regulations also known as the California Building Standards Code, as amended by the City of Costa Mesa. Two separate plans for each address shall be submitted to the Building Division for review. For other Departments or Divisions one set can be submitted.
16. All noise-generating construction activities shall be limited to 7 AM to 7 PM, Monday through Friday and 9 AM to 6 PM, Saturday. Noise-generating construction activities shall be prohibited on Sunday and the following Federal holidays: New Year's Day, Memorial Day, Independence Day, Labor Day, Thanksgiving Day and Christmas Day.
17. Submit a precise grading plans, an erosion control plan and a hydrology study. If it is determined that a grading plan is not required a drainage plan shall be provided. Prior to issuing the Building permit, the rough grading certificate shall be submitted to the Building Division.

18. Submit a soils report for this project. Soil's Report recommendations shall be blueprinted on both the architectural and the precise grading plans.
19. The ground adjacent immediately to the foundation shall be sloped away from the building at a slope of not less than 5% for a minimum distance of 10 feet measured perpendicular to the face of the wall CBC sec. 1804.3. See also exception. On graded sites the top of exterior foundation shall extend above the elevation of the street gutter at point of discharge or the inlet of an approved discharge devise a minimum of 12 inches plus 2 percent 2019 California Building Code sec. 1808.7.4
20. Maximum allowable area of new construction and additions shall be determined in accordance with the applicable provisions of 2019 California Building Code Section 506.2
21. Maximum area of exterior wall openings shall be determined in accordance with the applicable provisions of 2019 California Building Code Section 705.8 and Table 705.8.
22. On graded sites the top of exterior foundation shall extend above the elevation of the street gutter at point of discharge or the inlet of an approved discharge devise a minimum of 12 inches plus two percent. 2019 California Residential Code CRC 403.1.7.3
23. Lots shall be graded to drain surface water away from foundation walls. The grade shall fall a minimum of six inches within the first 10 feet. CRC R401.3
- Eng. 24. At the time of development, submit for approval of an Offsite Plan to the Engineering Division, and Grading Plan to the Building Division that shows sewer, water, existing parkway improvements and the limits of work on the site, and hydrology calculations, both prepared by a registered Civil Engineer or Architect. Construction Access approval must be obtained prior to Building or Engineering Permits being issued by the City of Costa Mesa. Pay Offsite Plan Check fee per Section 13-231 of the C.C.M.M.C. and an approved Offsite Plan shall be required prior to Engineering Permits being issued by the City of Costa Mesa.
25. Maintain the public Right-of-Way in a "wet-down" condition to prevent excessive dust and remove any spillage from the public Right-of-Way by sweeping or sprinkling.
26. Pay Offsite Plan Check fee per Section 13-231 of the C.C.M.M.C. and an approved Offsite Plan shall be required prior to Engineering Permits being issued by the City of Costa Mesa.
27. Obtain an encroachment permit from the Engineering Division for any work in the City public right-of-way. Pay required permit fee & cash deposit or surety bond to guarantee construction of off-site street improvements at time of permit per section 15-31 & 15-32, C.C.M.M.C. as approved by City Engineer. Cash deposit or surety bond amount to be determined by City Engineer.
28. Obtain a permit from the City of Costa Mesa, Engineering Division, at the time of development and then construct P.C.C. driveway approach per City of Costa Mesa Standards as shown on the Offsite Plan. Location and dimensions are subject to the approval of the

- Transportation Services Manager. ADA compliance required for new driveway approaches.
29. Obtain a permit from the City of Costa Mesa, Engineering Division, at the time of development and then reconstruct the existing residential sidewalk per City of Costa Mesa Standards as shown on the Offsite Plan, including four (4) feet clear around obstructions in the sidewalk.
30. Fulfill Drainage Fee requirements per City of Costa Mesa Ordinance No. 06-19 prior to approval of Final Map/Approval of Plans.
31. Dedicate a 3-foot public sidewalk easement behind existing right of way line on Cecil Place.
- Trans. 32. Construct drive approaches per City standard 513, w=16' and x=4'. Plan shows the x at 3', this change can be made prior to building permit.
- Fire 33. Comply with the California Fire Code as adopted and amended by the City of Costa Mesa.
34. Residential fire sprinklers shall be added to the new residential units.
- Bus. 35. All contractors and subcontractors must have valid business licenses to do business in the City of Costa Mesa. Final inspections, final occupancy and utility releases will not be granted until all such licenses have been obtained.
- Lic.

SPECIAL DISTRICT REQUIREMENTS

The requirements of the following special districts are hereby forwarded to the applicant:

- AQMD 1. Applicant shall contact the Air Quality Management District (800) 288-7664 for potential additional conditions of development or for additional permits required by AQMD.
2. Prior to the Building Division (AQMD) issuing a demolition permit, contact South Coast Air Quality Management District located at:
21865 Copley Dr.
Diamond Bar, CA 91765-4178
Tel: 909-396-2000

OR

Visit their web site:

<http://www.costamesaca.gov/modules/showdocument.aspx?documentid=23381>

The Building Division will not issue a demolition permit until an identification number is provided by AQMD.

- Cable 3. The applicant shall contact the current cable company prior to issuance of building permits to arrange for pre-wiring for future cable communication service.
- Sani. 4. It is recommended that the applicant contact the Costa Mesa Sanitary District at (949) 645-8400 for current district requirements.
- School 5. Pay applicable Newport Mesa Unified School District Fees to the Building Division prior to issuance of building permits.

- State 6. Comply with the requirements of the California Department of Food and Agriculture (CDFA) to determine if red imported fire ants (RIFA) exist on the property prior to any soil movement or excavation. Call CDFA at (714) 708-1910 for information.
- Water 7. Customer shall contact the Mesa Water District – Engineering Desk and submit an application and plans for project review. Customer must obtain a letter of approval and a letter of project completion from Mesa Water District.
- 8. Prior to the issuance of a connection permit, the applicant shall pay the applicable water connection fees.

LEGAL DESCRIPTION

PROJECT ADDRESS

161 CECIL PL, COSTA MESA, CA 92627

SUBJECT LOT INFORMATION

LEGAL DESCRIPTION:	N TR 269 BLK LOT 19
APN:	426-062-06
ZONING:	R2-MD
USE:	MULTIPLE FAMILY RESIDENTIAL, MEDIUM DENSITY
ORIGINAL LOT SIZE:	6,477 SQUARE FEET
EXISTING # OF UNITS:	(2) SINGLE-STORY UNITS
EXISTING SQUARE FEET:	1,700 SQUARE FEET
YEAR BUILT:	1912 & 1962

PROPOSED UNIT(S) STATISTICS

161 CECIL PL UNIT A	4 BEDS & 4 BATHS
1ST FLOOR	1,218 SQUARE FEET
2ND FLOOR	1,476 SQUARE FEET
GARAGE (2-CAR)	432 SQUARE FEET

COVERED PATIO 392 SQUARE FEET

161 CECIL PL UNIT B	4 BEDS & 4 BATHS
1ST FLOOR	1,218 SQUARE FEET
2ND FLOOR	1,476 SQUARE FEET
GARAGE (2-CAR)	432 SQUARE FEET

COVERED PATIO 392 SQUARE FEET

PROPOSED AREA BREAKDOWN

ORIGINAL LOT AREA	8,470 SQUARE FEET
NEW DEVELOPMENT LOT AREA	8,288.50 SQUARE FEET
1ST FLOOR(S)	2,436 SQUARE FEET
2ND FLOOR(S)	2,952 SQUARE FEET
DRIVEWAYS)	642.66 SQUARE FEET
GARAGE(S)	864 SQUARE FEET
LOT COVERAGE	48% (3,942.66 SQUARE FEET)
OPEN SPACE	52% (4,345.84 SQUARE FEET)
2ND FLOOR(S)	89% (2,952 SF TOTAL)
2ND FLOOR LIMIT	3,300 SQUARE FEET

CODE REVIEW

ALL DESIGN, PLANS, WORK AND MATERIALS SHALL CONFORM STRICTLY TO:

CITY OF COSTA MESA LOCAL ORDINANCES AND CALIFORNIA CODES:
2019 CRC, 2019 CBC, 2019 CFC
2019 CPC, 2019 DEC, 2019 CMC
2019 DEES (CA ENERGY), 2019 CB (CAL GREEN)
ALL OTHER FEDERAL, STATE AND LOCAL CODE

OCCUPANCY TYPE:	R-3
TYPE OF CONSTRUCTION:	V-8
FIRE SPRINKLERS:	NFPA-13D
NUMBER OF STORIES:	2-STORIES

DEFERRED SUBMITTALS

- FIRE SPRINKLERS
- SOLAR PANELS
- SITE WALLS
- SITE FENCES
- SOUND ATTENUATION DESIGN FOR HVAC UNIT

NOTE:

- DEFERRED SUBMITTALS TO BE REVIEWED BY PROJECT ARCHITECT OR ENGINEER OF RECORD AND CERTIFIED PRIOR TO SUBMITTAL FOR PLAN CHECK OR APPROVAL BY THE CITY.
- FIRE SPRINKLER DESIGN CALCULATIONS AND PLANS TO BE REVIEWED BY BUILDING DESIGNER TO CERTIFY CONFORMANCE WITH ARCHITECTURAL PLANS PRIOR TO SUBMITTAL TO THE CITY OF COSTA MESA BUILDING DIVISION REVIEW.

PROJECT TEAM

DESIGNER: RBD INC. 18627 BROOKHURST ST #205 FOUNTAIN VALLEY, CA 92708 RBDINCORP@GMAIL.COM 714-488-3327	OWNER: 161 CECIL PL LLC 2472 CHAMBERS RD TUSTIN, CA 92780 JACK.HERRON@GMAIL.COM 949-633-7103	STRUCTURAL ENGINEERS: HONGBO YANG, P.E. & JACK WANG 25 MAUCHLY, SUITE 323 IRVINE, CA 92618 JACK@WHENOENGINEERINGGROUP.COM 949-229-3357
CIVIL ENGINEER: WAI CHEK, P.E. 8 WHATNEY, SUITE 100, IRVINE, CA 92618 WAI@WHENOENGINEERINGGROUP.COM 949-229-1413	SOILS ENGINEER: FAHAD MASUD 4071 E. LA PALMA AVE. STE B ANAHEIM, CA 92807 FAHAD282@GMAIL.COM 714-632-3190	LAND SURVEYOR: PAUL CRAFT APEX LAND SURVEYING INC. HUNTINGTON BEACH, CA 92646 APEXLSINC@GMAIL.COM 714-488-5008

SCOPE OF WORK

DESCRIPTION

THE SUBJECT LOT ZONED FOR R-2-MD IS LOCATED IN THE EASTSIDE COSTA MESA AREA AND CONTAINS (2) EXISTING SINGLE-STORY DWELLING UNITS. THE FIRST UNIT IS 935 SQUARE FEET CONTAINING 2 BEDROOMS, 1 BATH, AND 2 CAR GARAGE BUILT-IN 1962. THE SECOND UNIT IS A 700 SQUARE FEET UNIT CONTAINING 1 BEDROOM AND 1 BATH COTTAGE BUILT-IN 1912. EXISTING UNITS (1,700 SQUARE FEET APPROXIMATE) ARE TO BE DEMOLISHED FOR THE PROPOSED (2) 2-STORY DWELLING UNIT DEVELOPMENT FEATURING (2) 3,126 SF BUILDINGS WITH 4 BEDROOMS & 4 BATHS, AND A 2-CAR GARAGE IN EACH UNIT.

CONSTRUCTION REQUIREMENTS

PLUMBING

- WATER CLOSETS TO HAVE A SIDE CLEARANCE OF 15 INCHES ON EACH SIDE MEASURED FROM THE CENTERLINE OF THE WATER CLOSET TO THE WALLS OR OTHER OBSTRUCTIONS. (CPC 402.5)
- THE FOLLOWING WATER-CONSERVING PLUMBING FIXTURE FLOW RATES
 - WATER CLOSET TO BE 1.28 GALLONS PER FLUSH MAXIMUM OR DUAL FLUSH PER CPC 411.2
 - KITCHEN FAUCET TO BE 1.8 GALLONS PER MINUTE, MAXIMUM, PER CPC 420.2.1 & 420.2.2
 - RESIDENTIAL LAVATORY FAUCET TO BE 1.2 GALLONS PER MINUTE, MAXIMUM PER CPC 402.2.2
 - SHOWER HEADS TO BE 1.8 GALLONS PER MINUTE, MAXIMUM PER CPC 408.2

ELECTRICAL

- EXTERIOR LIGHTING LUMINAIRES TO MEET THE FOLLOWING REQUIREMENTS, AS APPLICABLE PER DEC 150.000(3)
 - CONTROLLED BY A MANUAL ON AND OFF SWITCH THAT DOES NOT OVERRIDE TO ON THE AUTOMATIC ACTIONS OF ITEMS B OR C BELOW; AND
 - CONTROLLED BY PHOTOCELL AND MOTION SENSOR. CONTROLS THAT OVERRIDE TO ON SHALL NOT BE ALLOWED UNLESS THE OVERRIDE AUTOMATICALLY REACTIVATES THE MOTION SENSOR WITHIN 6 HOURS; OR
 - CONTROLLED BY ONE OF THE FOLLOWING METHODS:
 - PHOTOCONTROL AND AUTOMATIC TIME SWITCH CONTROL
 - ASTRONOMICAL TIME CLOCK
 - ENERGY MANAGEMENT CONTROL SYSTEM
- PROVIDE A SMOKE AND CARBON MONOXIDE DETECTOR OUTSIDE THE VICINITY OF SLEEPING ROOMS PER (CRC 314.3 AND CRC R315.3)

MECHANICAL

- ROOMS CONTAINING BATHTUBS, SHOWERS, SPAS AND SIMILAR FIXTURES SHALL BE PROVIDED WITH AN EXHAUST FAN WITH HUMIDITY CONTROL SENSOR HAVING A MINIMUM CAPACITY OF 50 CFM DUCTED TO TERMINATE OUTSIDE THE BUILDING. (CRC R303.3, CAL GREEN 4.506.1, CBC 1202.6.2.1, CMC 402.5)
- WHERE WATER CLOSET COMPARTMENT IS INDEPENDENT OF THE BATHROOM OR SHOWER AREA, A FAN WILL BE REQUIRED IN EACH AREA. BATHROOMS SHALL HAVE AN EXHAUST FAN WITH HUMIDITY CONTROL SENSOR, MIN. 50 CFM CAPACITY. (CRC R303.3)
- EXHAUST DUCTS SHALL TERMINATE 3'-0" FROM OPENINGS INTO THE BUILDING. (CMC 502.2)

BATHROOM

- BATHTUB AND SHOWER FLOORS AND WALLS ABOVE WITH BATHTUBS INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR. (CRC R307.2)
- GYPSON BOARD SHALL NOT BE USED WHERE THERE WILL BE DIRECT EXPOSURE TO WATER, OR IN AREAS SUBJECT TO CONTINUOUS HIGH HUMIDITY. (CRC R702.3.7)
- WALL COVERING OF SHOWERS OR TUBS WITH SHOWERS SHALL BE OF CEMENT PLASTER, TILE, OR APPROVED EQUAL, TO A HEIGHT OF NOT LESS THAN 72 INCHES ABOVE DRAIN INLET. BACKING FOR TILE SHALL BE CEMENT BOARD OR CEMENT PLASTER. (CRC R307.2, CBC 1209.2.3)
- CLEARANCE FOR WATER CLOSET TO BE A MINIMUM OF 24 INCHES IN FRONT, AND 15 INCHES FROM ITS CENTER TO ANY SIDE WALL OR OBSTRUCTION. (CPC 402.5)
- WINDOW TO BE TEMPER GLAZED WHERE WINDOWS ARE 60 INCHES OR LESS ABOVE THE TUB OR SHOWER FLOOR. (CRC R308.4.5)

STAIRS

- MAXIMUM RISE OF 7.75 INCHES AND MINIMUM RUN (TREAD) OF 10 INCHES. R311.7.6
- PROVIDE A NOSING BETWEEN 0.75" AND 1.25" ON STAIRWAYS WITH SOLID RISERS WHERE TREAD DEPTH IS LESS THAN 11". R311.7.6.3 AND EXCEPTION 1
- MINIMUM WIDTH OF 36 INCHES. R311.7.1
- MINIMUM HEADROOM OF 8 FT. 6 INCHES. R311.7.2
- ALTERNATING TREAD DEVICES AND SHIP LADDERS SHALL NOT BE USED AS AN ELEMENT OF A MEANS OF EGRESS. R311.7.11 AND R311.7.12

HANDRAILS

- PROVIDE A MINIMUM OF ONE CONTINUOUS HANDRAIL ON STAIRWAYS WITH 4 OR MORE RISERS AND AT ALL OPEN SIDES. R311.7.8
- HANDRAIL HEIGHT SHALL BE 34 TO 38 INCHES ABOVE THE NOSING OF TREADS. R311.7.8.1
- HANDRAIL WITH CIRCULAR CROSS-SECTIONS SHALL HAVE A DIAMETER OF 1.25 TO 2 INCHES. R311.7.8.3 ITEM 1.
- HANDRAILS WITH OTHER THAN CIRCULAR CROSS-SECTIONS SHALL HAVE A PERIMETER DIMENSION OF 4 TO 6.25 INCHES WITH A MAXIMUM CROSS-SECTION OF 2.25 INCHES. R311.7.8.3 ITEM 1
- HANDRAILS WITH A PERIMETER GREATER THAN 6.25 INCHES SHALL COMPLY WITH R311.7.8.3 ITEM 2.
- HANDRAIL SHALL BE CONTINUOUS WITHOUT INTERRUPTION BY NEWEL POST OR OTHER OBSTRUCTION, EXCEPT AT THE LANDING, VOLUTE, OR TURNOUT ON LOWEST TREAD. R311.7.8.2, EXCEPTION 1 & 2.
- CLEAR SPACE BETWEEN HANDRAIL AND WALL SHALL BE 1.5 INCHES MINIMUM. R311.7.8.2

MEANS OF EGRESS

- SLEEPING ROOMS SHALL HAVE AT LEAST ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING. SUCH OPENINGS SHALL OPEN DIRECTLY INTO A PUBLIC WAY, YARD OR COURT THAT OPENS TO A PUBLIC WAY, PROVIDE DETAILS ON PLANS. (CS10.1 CRC).
 - EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A NET CLEAR OPENING OF 8.7 SF.
 - MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24 INCHES.
 - MINIMUM NET CLEAR OPENING WIDTH DIMENSION SHALL BE 20 INCHES.
 - EMERGENCY ESCAPE AND RESCUE OPENING SHALL HAVE A SILL HEIGHT NOT MORE THAN 44 INCHES ABOVE THE FLOOR. (CS10.2.2)

WINDOW FALL PROTECTION

- WINDOW FALL PROTECTION SHALL BE PROVIDED IN ACCORDANCE WITH SECTIONS 9R312.2.1 AND R312.2.2.
 - WINDOW SILLS, IN DWELLING UNITS, WHERE THE TOP OF THE SILL OF AN OPERABLE WINDOW OPENING IS LOCATED LESS THAN 24 INCHES ABOVE THE FINISHED FLOOR AND GREATER THAN 72 INCHES ABOVE THE FINISHED GRADE OR OTHER SURFACE BELOW.
 - OPERABLE WINDOWS WITH OPENINGS THAT WILL NOT ALLOW A 4 INCHES DIAMETER SPHERE TO PASS THROUGH THE OPENING WHERE THE OPENING IS IN ITS LARGEST OPENED POSITION.
 - OPENINGS THAT ARE PROVIDED WITH WINDOW FALL PREVENTION DEVICES THAT COMPLY WITH ASTM F 2090.
 - WINDOWS THAT ARE PROVIDED WITH WINDOW OPENING CONTROL DEVICES THAT COMPLY WITH SECTION R312.2.2.

WINDOW OPENING CONTROL DEVICES

- WINDOW OPENING CONTROL DEVICES SHALL COMPLY WITH ASTM F 2090. THE WINDOW OPENING CONTROL DEVICE, AFTER OPERATION TO RELEASE THE CONTROL DEVICE ALLOWING THE WINDOW TO FULLY OPEN, SHALL NOT REDUCE THE MINIMUM NEW CLEAR OPENING AREA OF THE WINDOW UNIT TO LESS THAN THE AREA REQUIRED BY SECTION R310.1.1. (R312.2.2)

KITCHEN ISLAND SINK

- EACH ISLAND VENT SHALL SERVE ONLY ONE FIXTURE.
- ALL FITTINGS FOR THE LOOP VENT, FOOT VENT, AND RETURN VENT SHALL BE DRAINAGE TYPE FITTINGS.
- THE LOOP BEND SHALL CONSIST OF ONE FITTING OR ONE 1/4 BEND AND TWO 1/8TH BENDS. IT SHALL RISE AS HIGH AS POSSIBLE BEFORE TURNING DOWNWARD.
- THE RETURN VENT SHALL CONNECT TO THE HORIZONTAL DRAIN DIRECTLY BELOW THE CONNECTION BETWEEN THE RETURN VENT AND THE FOOT VENT WITH A WYE TYPE FITTING.
- THE FOOT VENT SHALL EXTEND FROM THE RETURN VENT IN THE VERTICAL POSITION IMMEDIATELY BELOW THE FLOOR WITH A WYE TYPE FITTING.
- THE FOOT VENT SHALL EXTEND FROM THE RETURN VENT TO A POINT IMMEDIATELY BELOW THE FLOOR WITH A WYE TYPE FITTING.
- CLEANOUTS SHALL BE PROVIDED IN THE DRAIN BELOW THE FIXTURE TRAP AND IN THE VERTICAL PART OF THE FOOT VENT ABOVE THE FLOOR.

GUARDS

ELEVATED PORCHES, LANDINGS, DECKS OR FLOORS THAT ARE 30" OR MORE ABOVE GRADE OR FLOOR BELOW MUST HAVE A GUARD AT LEAST 42" HIGH. IT MUST BE RIGID AND SECURE AND STRONG ENOUGH TO ACCEPT A SIDEWAYS PUSH OF 20 POUNDS PER FOOT THROUGHOUT ITS LENGTH. IT IS TYPICAL TO USE BOLTS OR METAL BRACKETS INSTEAD OF NAILS TO SECURE GUARD POSTS. OPEN GUARDS SHALL HAVE BALUSTERS OR ORNAMENTAL PATTERNS SUCH THAT A 4 INCH SPHERE CANNOT PASS THROUGH ANY OPENING. CONSULT SECTION 1013 OF THE CALIFORNIA BUILDING CODE FOR ADDITIONAL CODE REQUIREMENTS AND EXCEPTIONS.

EXIT DOORS

PROVIDE AT LEAST ONE EXIT DOOR WITH A LOCK OR LATCH THAT IS OPENABLE FROM THE INSIDE WITHOUT USING A KEY (NO DOUBLE KEY DEAD BOLTS) AND WITHOUT ANY SPECIAL KNOWLEDGE (NO COMBINATION LOCKS) OR EFFORT (NO HEAVY CROSS BARS). THE LOCK OR LATCH MUST BE NO MORE THAN 48" FROM THE FLOOR. THE LANDING AT AN EXTERIOR DOORWAY SHALL NOT BE MORE THAN 7 3/4" BELOW THE TOP OF THE THRESHOLD, PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING. THE LANDING WIDTH SHALL NOT BE LESS THAN THE DOOR SERVED AND SHALL BE A 36 INCHES. THE MINIMUM LANDING LENGTH SHALL BE 36 INCHES

EMERGENCY EXITS

SLEEPING ROOMS MUST BE PROVIDED WITH A MEANS TO EXIT DIRECTLY TO THE OUTSIDE IN CASE OF FIRE. SLEEPING ROOMS MUST HAVE A WINDOW OR DOOR THAT IS OPENABLE FROM THE INSIDE WITHOUT TOOLS. THESE WINDOWS MUST BE LARGE ENOUGH TO LET OCCUPANTS ESCAPE AND FIREMENT TO CLIMB IN. SUCH WINDOWS MUST HAVE A NET CLEAR OPENING OF AT LEAST 5.7 SQ FT. ON THE SECOND FLOOR AND 5.0 SQ FT. ON THE FIRST FLOOR. THEY MUST HAVE A MINIMUM NET CLEAR WIDTH OF 20". THE FINISHED SILL HEIGHT MAY NOT EXCEED 44". BARS, GRILLS, GRATES, ETC., MUST BE OPENABLE FROM THE INSIDE WITHOUT KEY OR SPECIAL KNOWLEDGE OR EFFORT AND, IF THEY ARE INSTALLED, THE BUILDING MUST BE EQUIPPED WITH SMOKE DETECTORS. NOTE THAT MOST MANUFACTURERS ARE AWARE OF THESE REGULATIONS AND CLEARLY INDICATE WHICH OF THEIR PRODUCTS ARE "C.B.C. APPROVED FOR EGRESS".

HALLWAYS

HALLWAYS MUST BE AT LEAST THREE FEET WIDE.

SAFETY GLASS

SAFETY GLAZING IS REQUIRED IN DOORS OF ALL TYPES, SHOWER ENCLOSURES, BATH ENCLOSURES, WHIRLPOOL ENCLOSURES, ETC., WINDOW GLAZING THAT IS WITHIN 24" OF A DOOR UNLESS IT IS 6" ABOVE THE FLOOR, WINDOWS GREATER THAN 9 SQ. FT. AND WITHIN 18" OF THE FLOOR, AND GLASS IN GUARDRAILS AND HANDRAILS. NOTE THAT THE MANUFACTURERS OF DOORS AND SHOWER ENCLOSURES ARE GENERALLY AWARE OF THESE REQUIREMENTS. USE CAUTION WHEN ORDERING WINDOWS THAT MAY BE LOCATED NEAR DOORS BECAUSE WINDOWS ARE NOT NORMALLY EQUIPPED WITH SAFETY GLAZING. CONSULT THE 2007 CALIFORNIA BUILDING CODE FOR MORE INFORMATION.

SMOKE DETECTORS

PROVIDE SMOKE DETECTORS ON THE CEILING OR WALL OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF BEDROOMS; IN EACH ROOM USED FOR SLEEPING PURPOSES; IN EACH STORY WITHIN A DWELLING UNIT, INCLUDING BASEMENTS; IN DWELLINGS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS. PLACE ONE ABOVE THE TOP OF THE STAIRS LEADING TO UPPER LEVEL SLEEPING AREAS. PROVIDE SMOKE DETECTORS WITH POWER FROM THE HOUSE WIRING IN ALL NEW CONSTRUCTION. USE BATTERY TYPE ELSEWHERE. DETECTORS ARE REQUIRED TO BE INSTALLED THROUGHOUT THE HOUSE WHENEVER YOU REMODEL. THEY ARE ONE OF THE MOST IMPORTANT THINGS YOU CAN DO TO YOUR HOUSE TO SAFEGUARD YOUR FAMILY. CONSULT THE 2007 CALIFORNIA BUILDING CODE -SECTION 907.2.10.1.2

LIGHTS & RECEPTACLES

PLAN ON ONE SWITCHABLE RECEPTACLE OR LIGHT IN EVERY ROOM AND HALL. PLAN ON A LIGHT OUTSIDE EXIT DOORS. IF LIGHTS ARE PLANNED IN CLOSETS CONSULT ARTICLE 410.8 OF THE 2007 C.E.C. PLAN TO INSTALL AN ELECTRICAL RECEPTACLE WITHIN 6 FEET OF ALL POINTS ALONG THE WALL IN ALL HABITABLE ROOMS. PLAN ON ONE GFCI PROTECTED RECEPTACLE AT THE BATHROOM SINK. RECEPTACLES MUST BE PLACED EVERY TWO FEET ABOVE KITCHEN COUNTERS AND BE GFCI PROTECTED. ALL LIGHTING MUST COMPLY WITH THE 2007 CALIFORNIA ENERGY CODE. CHECK FOR TITLE 24 REQUIREMENTS.

TOILETS

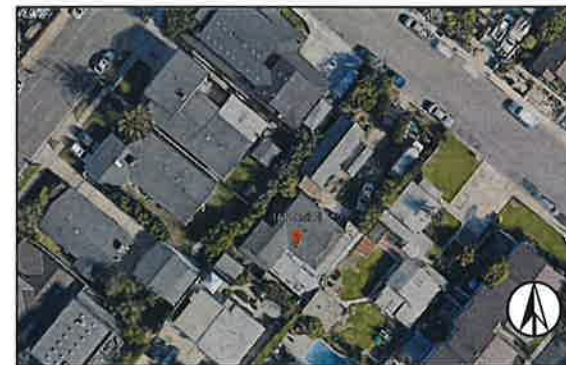
PLAN A SPACE AT LEAST 30" WIDE FOR THE TOILET. THE SPACE MUST BE DEEP ENOUGH TO ALLOW 24" OF CLEAR SPACE IN FRONT OF THE FIXTURE. CONSULT SECTION 407.6 OF THE CALIFORNIA PLUMBING CODE.

CLOTHES DRYERS

THE LENGTH OF DUCTS IS LIMITED. PLACE THESE APPLIANCES NEAR AN OUTSIDE WALL AND CONSULT THE INSTALLATION DIRECTIONS. IF YOU CANNOT PLACE THEM AT AN OUTSIDE WALL THEN CONSULT THE 2007 CALIFORNIA MECHANICAL CODE (C.M.C.).



VICINITY NOT TO SCALE



AERIAL VIEW NOT TO SCALE

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5.	C-1	PRECISE GRADING TITLE SHEET
6.	C-2	PRECISE GRADING PLAN
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10.	A-3	SECOND FLOOR PLAN & DOOR/WINDOW SCHEDULE
11.	A-4	ROOF PLAN
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14.	A-7	PRIVACY IMPACT EXHIBIT - 2ND FLOOR
15.	A-8	BUILDING SECTIONS A-C & PRIVACY IMPACT STUDY
16.	A-9	BUILDING SECTIONS D-E & PRIVACY IMPACT STUDY
17.	A-10	BUILDING SECTIONS F-H (UPON BUILDING PLAN CHECK)
18.	AF-1	AREA BREAKDOWN

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FOR 161 CECIL PL LLC
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PROJECT DESIGNER:
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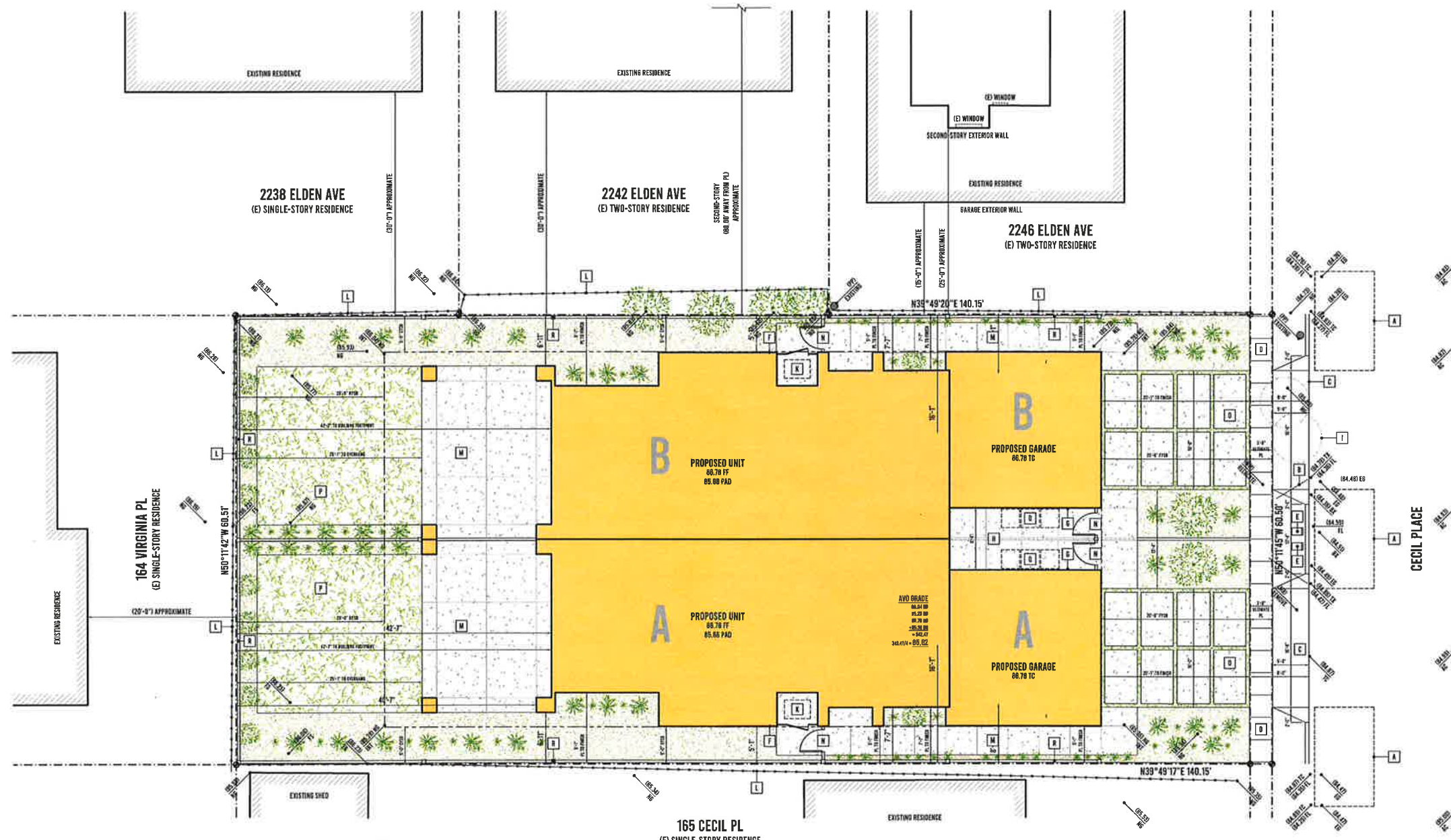
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REVISIONS

T-1

SHEET 1 OF 17



SITE PLAN
SCALE: 1/8"=1'-0"

- SITE PLAN LEGEND**
- BUILDING OUTLINE
 - - - HILLSIDE CONTOURS
 - KEYNOTE TAG
 - - - PROPERTY LINE
 - - - SETBACK LINE
 - 🌳 TREES & PLANTS PER LANDSCAPE PLAN

PROPOSED DEVELOPMENT STATISTICS

LOT AREA	8,288 SQ. FT.
NUMBER OF DWELLING UNITS	2 DWELLING UNITS TOTAL UNIT A: 4 BEDROOMS UNIT B: 4 BEDROOMS
NUMBER OF PARKING SPACES	8 PARKING SPACES TOTAL UNIT A: 2 CAR GARAGE & 2 CAR DRIVEWAY UNIT B: 2 CAR GARAGE & 2 CAR DRIVEWAY
AREA OF OPEN SPACE (AREA THAN BUILDINGS, DRIVEWAYS & PARKING)	4,346 SF (52% OPEN SPACE)
LIVING AREA	UNIT A: 2,594 SF & UNIT B: 2,694 SF
BUILDING AREA	UNIT A: 3,126 SF & UNIT B: 3,126 SF
AREA OF DRIVEWAY	UNIT A: 322 SF & UNIT B: 322 SF (8% LOT DEVOTED)

- SITE NOTES**
- A PUBLIC WORKS DEPARTMENT ENCROACHMENT PERMIT INSPECTION IS REQUIRED BEFORE THE BUILDING DEPARTMENT PERMIT FINAL CAN BE ISSUED. AT THE TIME OF PUBLIC WORKS DEPARTMENT INSPECTION, IF ANY OF THE EXISTING PUBLIC IMPROVEMENTS SURROUNDING THE SITE IS DAMAGED, NEW CONCRETE SIDEWALK, CURB AND GUTTER, AND ALLEY/STREET PAVEMENT WILL BE REPAIRED AND 100% PAID BY OWNER, SAID DETERMINATION AND THE EXTENT OF THE REPAIR WORK SHALL BE MADE AT THE DISCRETION OF THE PUBLIC WORKS INSPECTOR.
 - A CITY ENCROACHMENT AGREEMENT IS REQUIRED FOR ALL NONSTANDARD PRIVATE IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY.
 - AN APPROVED ENCROACHMENT PERMIT IS REQUIRED FOR ALL WORK ACTIVITIES WITHIN THE PUBLIC RIGHT-OF-WAY.
 - THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO SOLID WASTE, PETROLEUM BYPRODUCTS, SOIL, PARTICULATE, CONSTRUCTION WASTE MATERIALS, OR WASTEWATER GENERATED ON CONSTRUCTION SITES OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED, CONVEYED OR DISCHARGED INTO THE STREET, GUTTER OR STORM DRAIN SYSTEM.
 - ALL WORK RELATED TO WASTEWATER IN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED BY C-42 LICENSED SANITATION SEWER CONTRACTOR OR AN A LICENSED GENERAL ENGINEERING CONTRACTOR.

- KEYNOTES**
- A. OFF-STREET PARKING LOCATION(S)
 - B. EXISTING DRIVEWAY APRON TO BE REMOVED
 - C. NEW CONCRETE DRIVEWAY APRON PER CITY OF COSTA MESA STANDARDS
 - C.1. CONSTRUCT PROPOSED RESIDENTIAL DRIVE APPROACHES PER CITY STANDARDS. DIMENSIONS SHALL BE 4'-4" AND 8'-10"
 - D. NEW H.C. ACCESSIBLE SIDEWALK (TYP.) PER CITY OF COSTA MESA STANDARDS
 - E. NEW MAIL BOX LOCATION PER CITY OF COSTA MESA STANDARDS
 - F. NEW GAS METER LOCATION
 - G. NEW ELECTRICAL METER LOCATION (200 AMP)
 - G.1. 3'-0" MIN. CLEARANCE FACE OF METER TO ANY OBSTRUCTION OF WALL SURFACE
 - H. COMMON LOT AREA TO BE SHARED BETWEEN CONDO HOMEOWNERS
 - I. REMOVE EXISTING TREES & NON-COMFORMING LANDSCAPE IN THE PUBLIC RIGHT-OF-WAY
 - J. EXISTING TREES TO REMAIN
 - K. PROPOSED AIR CONDENSER LOCATION
 - L. EXISTING NEIGHBOR FENCE TO REMAIN EXISTING FENCE LOCATED OUTSIDE SUBJECT LOT
 - M. COLORED CONCRETE HARDSCAPE
 - M.1. PROVIDE CONTROL JOINTS & EXPANSION JOINT AT BASE OF HOUSE AGAINST ANY WALLS
 - N. WOOD ENTRY GATE (TO MATCH HOUSE TRIM)
 - O. COLORED CONCRETE DRIVE PADS (8" THICK) SURROUNDED WITH "H" SYNTHETIC TURF
 - O.1. SYNTHETIC TURF TO BE DUPONT SELECT LX BY FOREVERLAWN
 - P. NEW LAWN AREA
 - Q. TRASH AREA
 - R. PROPOSED VINYL FENCE (6'-0" TYPICAL)

STATUS: DEVELOPMENT REVIEW

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REVISIONS

A-1

SHEET 3 OF 17

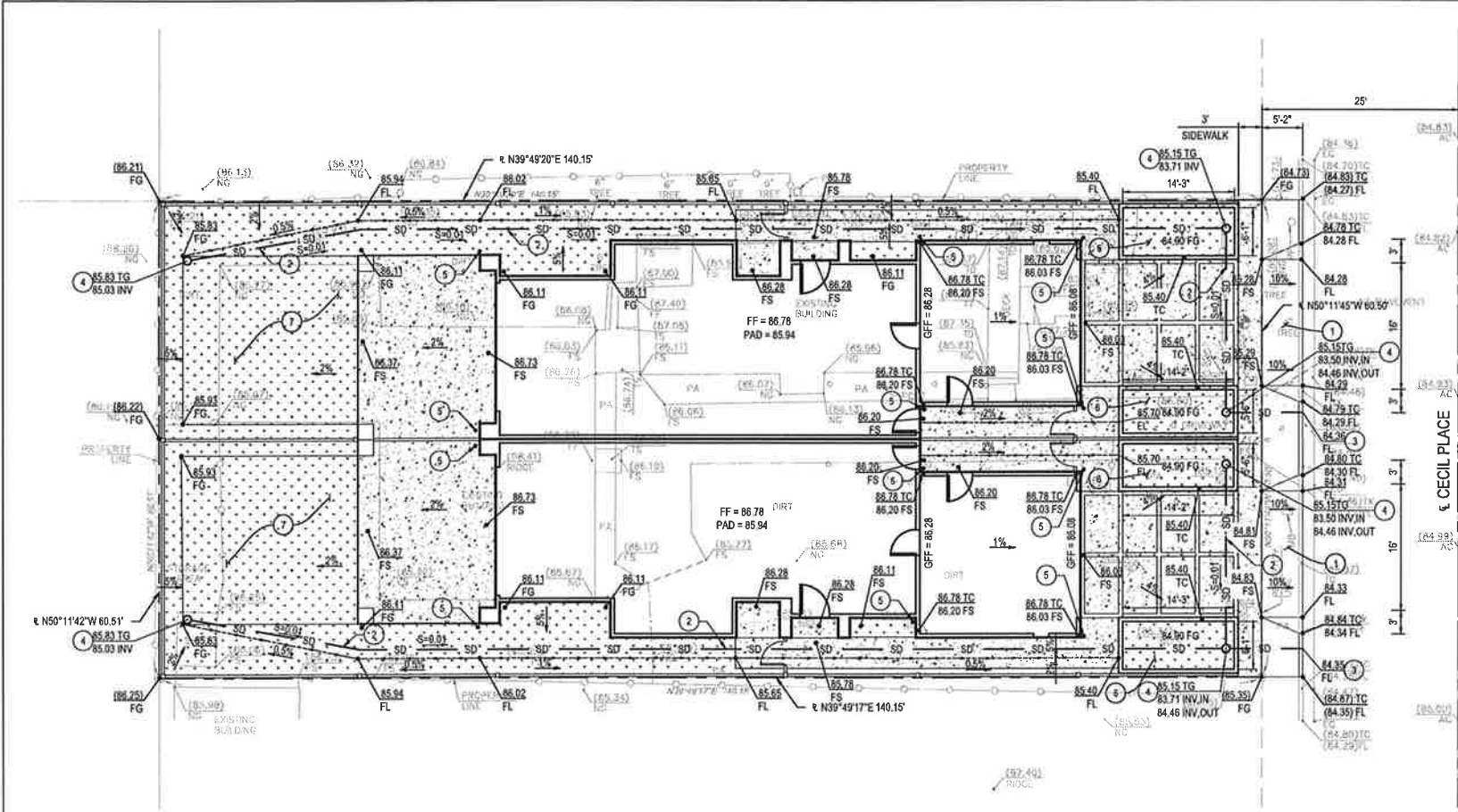
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FOR 161 CECIL PL, LLC
PROJECT ADDRESS:
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MANAGING MEMBER:
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PRELIMINARY GRADING PLAN
SCALE 1"=10'

NOTE:

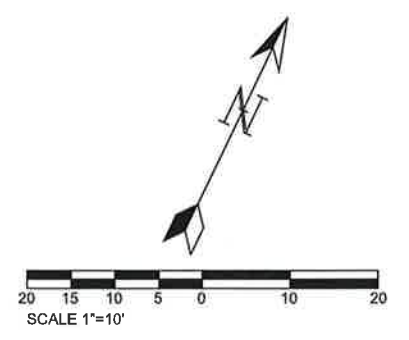
SLAB SHALL BE UNDERLAIN BY MINIMUM OF 4-IN GRADED GRAVEL OR CRUSHED STONE.

CONSTRUCTION NOTE

- 1 CONSTRUCT RESIDENTIAL DRIVEWAY APPROACH TYPE 1 PER CITY STANDARD 513.
- 2 INSTALL 4" DIA. PVC SCHEDULE 40 OR SDR 35 PIPE DRAIN SYSTEM.
- 3 CONSTRUCT PARKWAY DRAIN NO. 2 PER CITY STANDARD 418.
- 4 INSTALL 6" DIA. SCHEDULE 40 ATRIUM DRAIN.
- 5 INSTALL DOWNSPOUT.
- 6 INSTALL BIO-FILTRATION PLANTER.
- 7 IMPERVIOUS DISPERSION PLANTER AREA.

LEGEND

- 100 --- EXISTING CONTOUR
- PROPOSED CONTOUR
- 100ES SPOT ELEVATION
- PROPOSED HARDSCAPE
- SD PROPOSED STORM DRAIN
- EXIST WALL
- PROPOSED PLANTER WALL
- FLOW LINE
- PROPERTY LINE
- X.X% SURFACE SLOPE
- S-X% STORM DRAIN SLOPE
- DF DEEPEINED FOOTING
- PAD PROPOSED PAD ELEVATION
- FS PROPOSED FINISHED SURFACE
- FG PROPOSED FINISHED GROUND
- FF PROPOSED FINISHED FLOOR
- INV INVERT OF PIPE
- TG TOP OF GRATE
- PL PROPERTY LINE
- TW TOP OF WALL
- TF TOP OF FOOTING
- HP HIGH POINT
- LP LOW POINT



OWNER/SUBDIVIDER:
181 CECIL PL LLC
161 CECIL PLACE
COSTA MESA, CA 92627

PROJECT NAME
PRELIMINARY GRADING PLAN
PROJECT ADDRESS
161 CECIL PLACE
COSTA MESA, CA 92627

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PROJECT NO.: 202217							
SHEET NO.: C-2							

OWNER/SUBDIVIDER:
 161 CECIL PL, LLC
 161 CECIL PLACE
 COSTA MESA, CA 92627

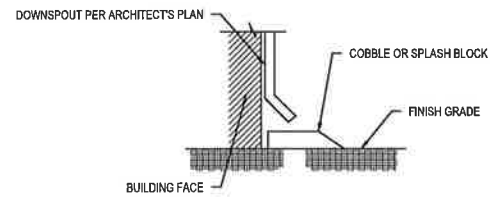
PROJECT NAME
 SECTIONS & DETAILS
 PROJECT ADDRESS
 161 CECIL PLACE
 COSTA MESA, CA 92627

PLANS PREPARED BY:
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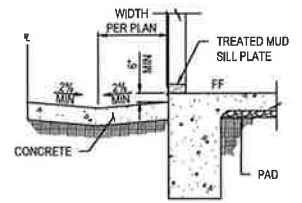


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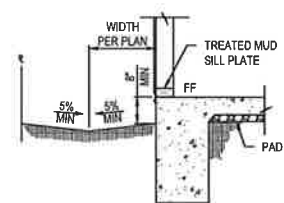
PROJECT NO.:
 202217
 SHEET NO.:
 C-3



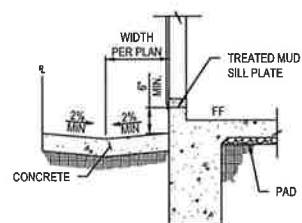
DETAIL 5
 DOWNSPOUT
 NOT TO SCALE



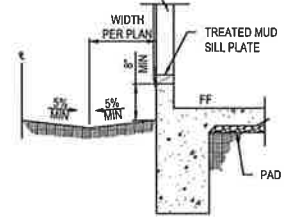
DETAIL 3
 BUILDING DRAINAGE AT HARDSCAPE
 NOT TO SCALE



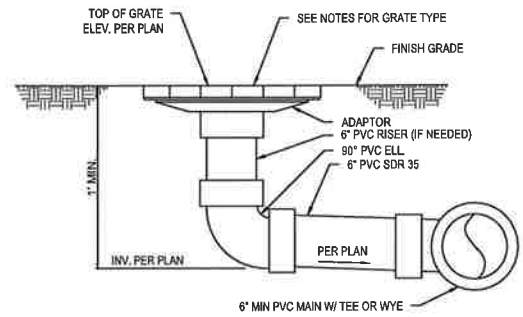
DETAIL 4
 BUILDING DRAINAGE AT LANDSCAPE
 NOT TO SCALE



DETAIL 2
 BUILDING DRAINAGE AT HARDSCAPE
 NOT TO SCALE

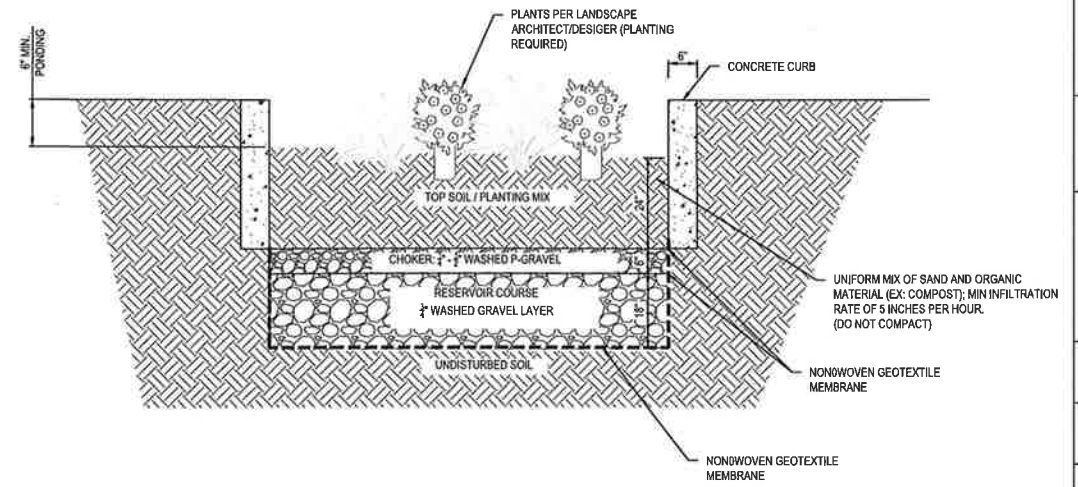
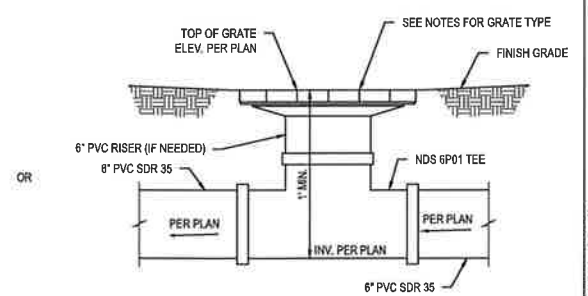


DETAIL 4
 BUILDING DRAINAGE AT LANDSCAPE
 NOT TO SCALE

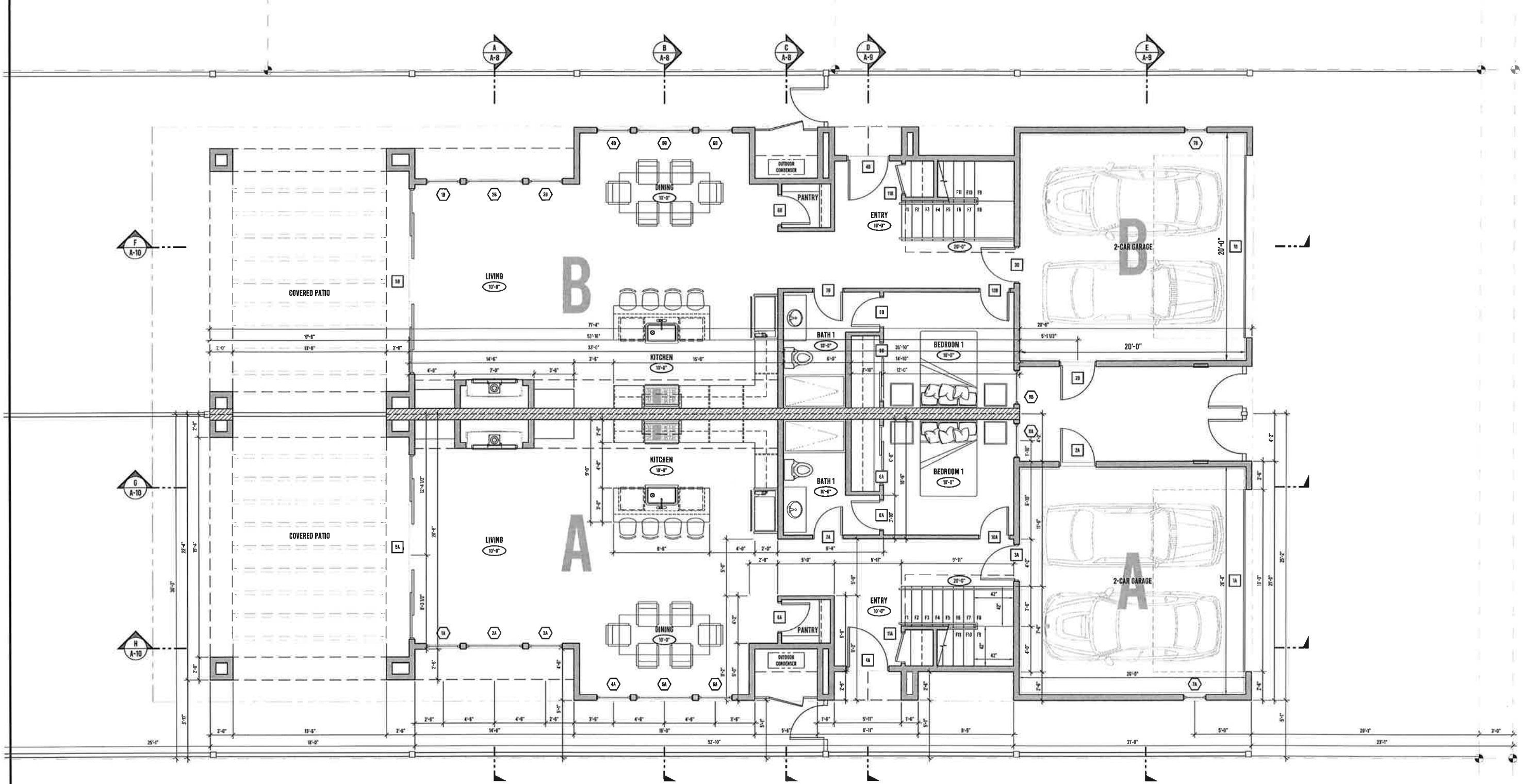


- NOTE:
 1. ALL FITTINGS BY: NDS, INC. (OR EQUAL) PHONE: 1-800-726-1994
 2. REFER TO GRADING PLAN FOR FINISH GRADING.
 3. DO NOT GLUE GRATE OR RISER TO PIPE.
 4. GLUE "1.P.S. WELD ON" #773 SOLVENT (MEDIUM BODIED FAST SET) FOR PIPE THRU 6" Ø.
 5. ALL PIPES TO BE 6" Ø PVC SDR 35.

DETAIL 1
 INLET DRAIN
 NOT TO SCALE



DETAIL 6
 STORM WATER PLANTER
 NOT TO SCALE



1ST FLOOR
SCALE: 1/4"=1'-0"

FLOOR PLAN LEGEND

- DOOR TAG
- ⬡ WINDOW TAG
- ⊙ KEYNOTE TAG

WALL LEGEND

- 2x4 WALL FRAME
- 2x6 WALL FRAME
- 3/4" FIRE & 5/8" SIC SOUND RATED
- PRIVITY FENCE

KEYNOTE LEGEND

A -

DOOR SCHEDULE

#	TAG	SIZE	DESCRIPTION	SWING	JAMB	BORE	HANDLE	MATERIAL	TEMPERED	COMMENTS
UNIT A										
1	1A	10'-0" x 8'-0"	GARAGE SECTIONAL	SECTIONAL	7"	-	-	MANUFACTURER	-	-
2	2A	3'-0" x 8'-0"	GARAGE EXTERIOR	BI OS	7"	DOUBLE	PRIVITY/DCK HANDLE	WOOD	-	-
3	3A	3'-0" x 8'-0"	GARAGE INTERIOR	LH IS	5"	DOUBLE	PRIVITY/DCK HANDLE	MDF	-	-
4	4A	3'-0" x 8'-0"	ENTRY	LH IS	7"	DOUBLE	BEARHOL/ENTRY HANDLE	WOOD	-	-
5	5A	10'-0" x 8'-0"	4-PANEL SLIDERS	OS OS	7"	-	PRIVITY/DCK HANDLE	ALUMINUM	X	-
6	6A	2'-0" x 8'-0"	PANTRY	LH IS	4.75"	SINGLE	PASSAGE	MDF	-	-
7	7A	2'-0" x 8'-0"	BATH 1	BI IS	4.75"	SINGLE	PRIVITY	MDF	-	-
8	8A	2'-0" x 8'-0"	BEDROOM 1 TO BATH 1	BI IS	4.75"	SINGLE	PRIVITY	MDF	-	-
9	9A	8'-0" x 8'-0"	BEDROOM 1 CLOSET	SLIDERS	4.75"	SINGLE	PASSAGE	MDF	-	-
10	10A	2'-0" x 8'-0"	BEDROOM 1	BI IS	4.75"	SINGLE	PRIVITY	MDF	-	-
11	11A	2'-0" x 8'-0"	ENTRY CLOSET	BI OS	4.75"	SINGLE	PASSAGE	MDF	-	-
UNIT B										
12	12	10'-0" x 8'-0"	GARAGE SECTIONAL	SECTIONAL	7"	-	-	MANUFACTURER	-	-
13	13	3'-0" x 8'-0"	GARAGE EXTERIOR	LH OS	7"	DOUBLE	PRIVITY/DCK HANDLE	WOOD	-	-
14	14	3'-0" x 8'-0"	GARAGE INTERIOR	BI IS	5"	DOUBLE	PRIVITY/DCK HANDLE	MDF	-	-
15	15	3'-0" x 8'-0"	ENTRY	BI OS	7"	DOUBLE	BEARHOL/ENTRY HANDLE	WOOD	-	-
16	16	10'-0" x 8'-0"	4-PANEL SLIDERS	OS OS	7"	-	PRIVITY/DCK HANDLE	ALUMINUM	X	-
17	17	2'-0" x 8'-0"	PANTRY	BI IS	4.75"	SINGLE	PASSAGE	MDF	-	-
18	18	2'-0" x 8'-0"	BATH 1	LH IS	4.75"	SINGLE	PRIVITY	MDF	-	-
19	19	2'-0" x 8'-0"	BEDROOM 1 TO BATH 1	LH IS	4.75"	SINGLE	PRIVITY	MDF	-	-
20	20	8'-0" x 8'-0"	BEDROOM 1 CLOSET	SLIDERS	4.75"	SINGLE	PASSAGE	MDF	-	-
21	21	2'-0" x 8'-0"	BEDROOM 1	LH IS	4.75"	SINGLE	PRIVITY	MDF	-	-
22	22	2'-0" x 8'-0"	ENTRY CLOSET	BI OS	4.75"	SINGLE	PASSAGE	MDF	-	-

WINDOW SCHEDULE

#	TAG	SIZE	DESCRIPTION	FINISH	TEMPERED	GLAZING	COMMENTS
UNIT A							
1	1A	3050	LH CASSEMENT	VNYL FRAME	X	15 SF	-
2	2A	5050	FIXED	VNYL FRAME	-	25 SF	-
3	3A	3050	RH CASSEMENT	VNYL FRAME	-	15 SF	-
4	4A	3050	LH CASSEMENT	VNYL FRAME	-	15 SF	-
5	5A	5050	FIXED	VNYL FRAME	-	25 SF	-
6	6A	3050	RH CASSEMENT	VNYL FRAME	-	15 SF	-
7	7A	3050	FIXED	VNYL FRAME	-	15 SF	-
8	8A	3050	RH CASSEMENT	VNYL FRAME	X	15 SF	PROVIDE BESICURE SURFACE TEXTURE
UNIT B							
9	9B	3050	RH CASSEMENT	VNYL FRAME	X	15 SF	PROVIDE BESICURE SURFACE TEXTURE
10	10B	5050	FIXED	VNYL FRAME	-	25 SF	-
11	11B	3050	LH CASSEMENT	VNYL FRAME	-	15 SF	-
12	12B	3050	RH CASSEMENT	VNYL FRAME	-	15 SF	-
13	13B	5050	FIXED	VNYL FRAME	-	25 SF	-
14	14B	3050	LH CASSEMENT	VNYL FRAME	-	15 SF	-
15	15B	2300	FIXED	VNYL FRAME	-	5 SF	-
16	16B	3050	LH CASSEMENT	VNYL FRAME	X	15 SF	PROVIDE BESICURE SURFACE TEXTURE

STATUS: DEVELOPMENT REVIEW

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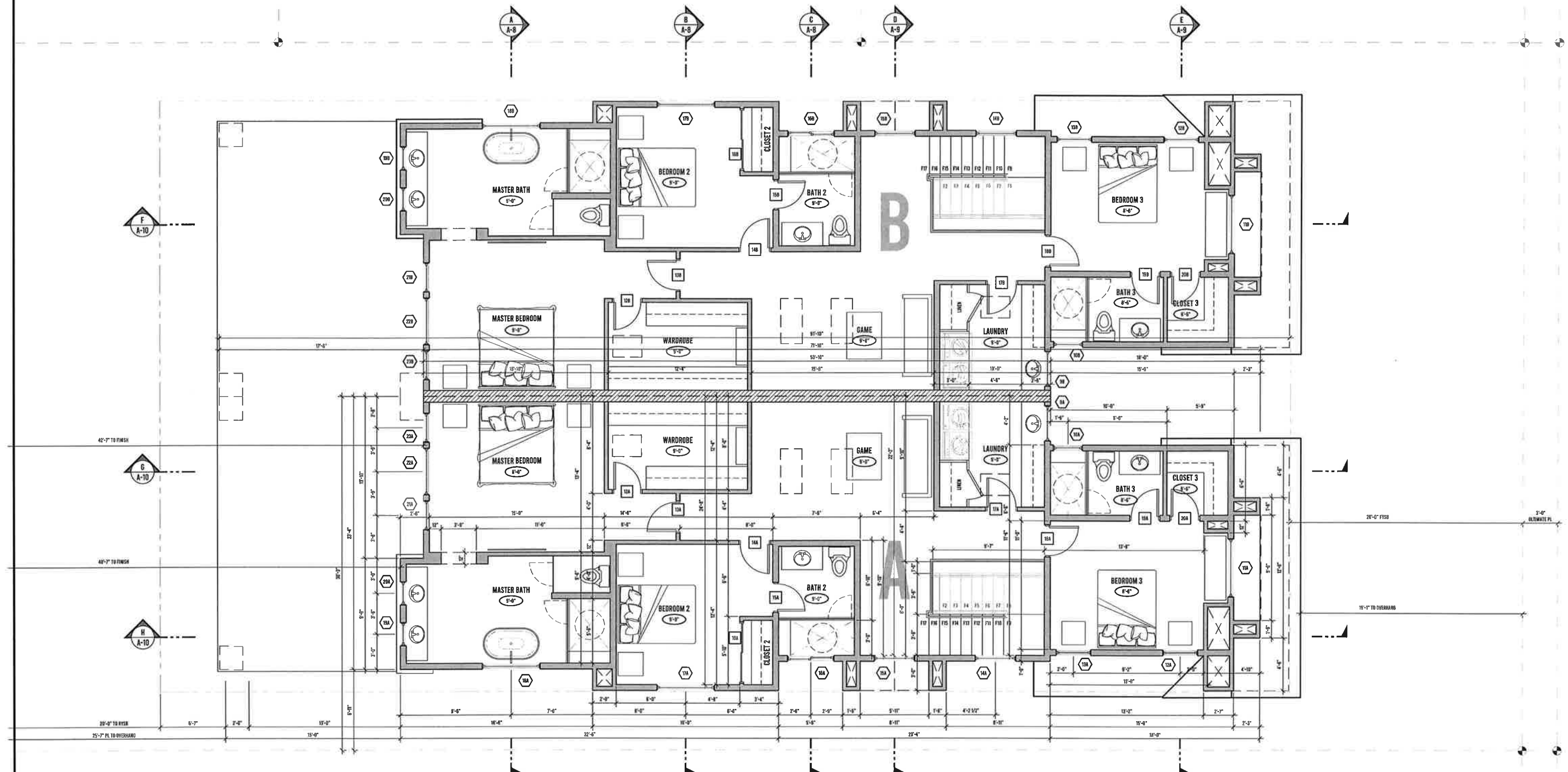
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FOR 161 CECIL PL LLC
PROJECT ADDRESS:
161 CECIL PLACE
COSTA MESA, CA 92627

PROJECT DESIGNER:
JOSH MARTINEZ

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2ND FLOOR
SCALE: 1/4"=1'-0"

FLOOR PLAN LEGEND

- 1 DOOR TAG
- 2 WINDOW TAG
- 3 KEYNOTE TAG

WALL LEGEND

- 224 WALL FRAME
- 225 WALL FRAME
- 1-HR FIRE & 60-54 STC SOUND RATED
- PRIVACY FENCE

KEYNOTE LEGEND

- A

DOOR SCHEDULE

#	TAG	SIZE	DESCRIPTION	SWING	JAMB	BORE	HANDLE	MATERIAL	TEMPERED	COMMENTS
23	12A	2'-0" X 8'-0"	WARDROBE	LH IS	4.75"	SINGLE	PASSAGE	MF		
24	13A	2'-0" X 8'-0"	MASTER BEDROOM	LH IS	4.75"	SINGLE	PRIVACY	MF		
25	14A	2'-0" X 8'-0"	BEDROOM 2	LH IS	4.75"	SINGLE	PRIVACY	MF		
26	15A	2'-0" X 8'-0"	BATH 2	RH IS	4.75"	SINGLE	PRIVACY	MF		
27	16A	6'-0" X 8'-0"	CLOSET 2	SLIDERS	4.75"	SINGLE	PASSAGE	MF		
28	17A	2'-0" X 8'-0"	LAUNDRY	LH IS	4.75"	SINGLE	PRIVACY	MF		
29	18A	2'-0" X 8'-0"	BEDROOM 3	LH IS	4.75"	SINGLE	PRIVACY	MF		
30	19A	2'-0" X 8'-0"	BATH 3	RH IS	4.75"	SINGLE	PRIVACY	MF		
31	20A	5'-0" X 8'-0"	CLOSET 3	LH IS	4.75"	SINGLE	PASSAGE	MF		
32	12B	2'-0" X 8'-0"	WARDROBE	RH IS	4.75"	SINGLE	PASSAGE	MF		
33	13B	2'-0" X 8'-0"	MASTER BEDROOM	RH IS	4.75"	SINGLE	PRIVACY	MF		
34	14B	2'-0" X 8'-0"	BEDROOM 2	RH IS	4.75"	SINGLE	PRIVACY	MF		
35	15B	2'-0" X 8'-0"	BATH 2	LH IS	4.75"	SINGLE	PRIVACY	MF		
36	16B	6'-0" X 8'-0"	CLOSET 2	SLIDERS	4.75"	SINGLE	PASSAGE	MF		
37	17B	2'-0" X 8'-0"	LAUNDRY	RH IS	4.75"	SINGLE	PRIVACY	MF		
38	18B	2'-0" X 8'-0"	BEDROOM 3	RH IS	4.75"	SINGLE	PRIVACY	MF		
39	19B	2'-0" X 8'-0"	BATH 3	LH IS	4.75"	SINGLE	PRIVACY	MF		
40	20B	5'-0" X 8'-0"	CLOSET 3	RH IS	4.75"	SINGLE	PASSAGE	MF		

WINDOW SCHEDULE

#	TAG	SIZE	DESCRIPTION	FINISH	TEMPERED GLAZING	COMMENTS
17	61	3050	RH CASSEMENT	WNYL FRAME	X	15 SF
18	10A	2020	RH CASSEMENT	WNYL FRAME	-	0.25 SF
19	11A	5050	RH CASSEMENT	WNYL FRAME	-	25 SF
20	12A	3050	RH CASSEMENT	WNYL FRAME	-	15 SF
21	13A	3050	LH CASSEMENT	WNYL FRAME	-	15 SF
22	14A	3050	FIXED	WNYL FRAME	X	21 SF
23	15A	3050	LH CASSEMENT	WNYL FRAME	X	21 SF
24	16A	4020	FIXED	WNYL FRAME	X	10 SF
25	17A	5050	LH CASSEMENT	WNYL FRAME	X	25 SF
26	18A	5050	LH CASSEMENT	WNYL FRAME	X	25 SF
27	19A	2020	FIXED	WNYL FRAME	-	4 SF
28	20A	2020	FIXED	WNYL FRAME	-	4 SF
29	21A	2050	RH CASSEMENT	WNYL FRAME	-	12.5 SF
30	22A	3050	FIXED	WNYL FRAME	-	15 SF
31	23A	2050	LH CASSEMENT	WNYL FRAME	-	12.5 SF
32	6B	3050	LH CASSEMENT	WNYL FRAME	X	15 SF
33	10B	2020	LH CASSEMENT	WNYL FRAME	-	0.25 SF
34	11B	5050	RH CASSEMENT	WNYL FRAME	-	25 SF
35	12B	3050	FIXED	WNYL FRAME	-	6 SF
36	13B	3020	FIXED	WNYL FRAME	-	6 SF
37	14B	3050	FIXED	WNYL FRAME	X	21 SF
38	15B	3050	RH CASSEMENT	WNYL FRAME	X	21 SF
39	16B	4020	FIXED	WNYL FRAME	X	10 SF
40	17B	5050	RH CASSEMENT	WNYL FRAME	X	25 SF
41	18B	5050	RH CASSEMENT	WNYL FRAME	X	25 SF
42	19B	2020	FIXED	WNYL FRAME	-	4 SF
43	20B	2020	FIXED	WNYL FRAME	-	4 SF
44	21B	2050	LH CASSEMENT	WNYL FRAME	-	12.5 SF
45	22B	3050	FIXED	WNYL FRAME	-	15 SF
46	23B	2050	RH CASSEMENT	WNYL FRAME	-	12.5 SF

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PROJECT NAME:
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FOR 161 CECIL PL LLC
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PROJECT DESIGNER:
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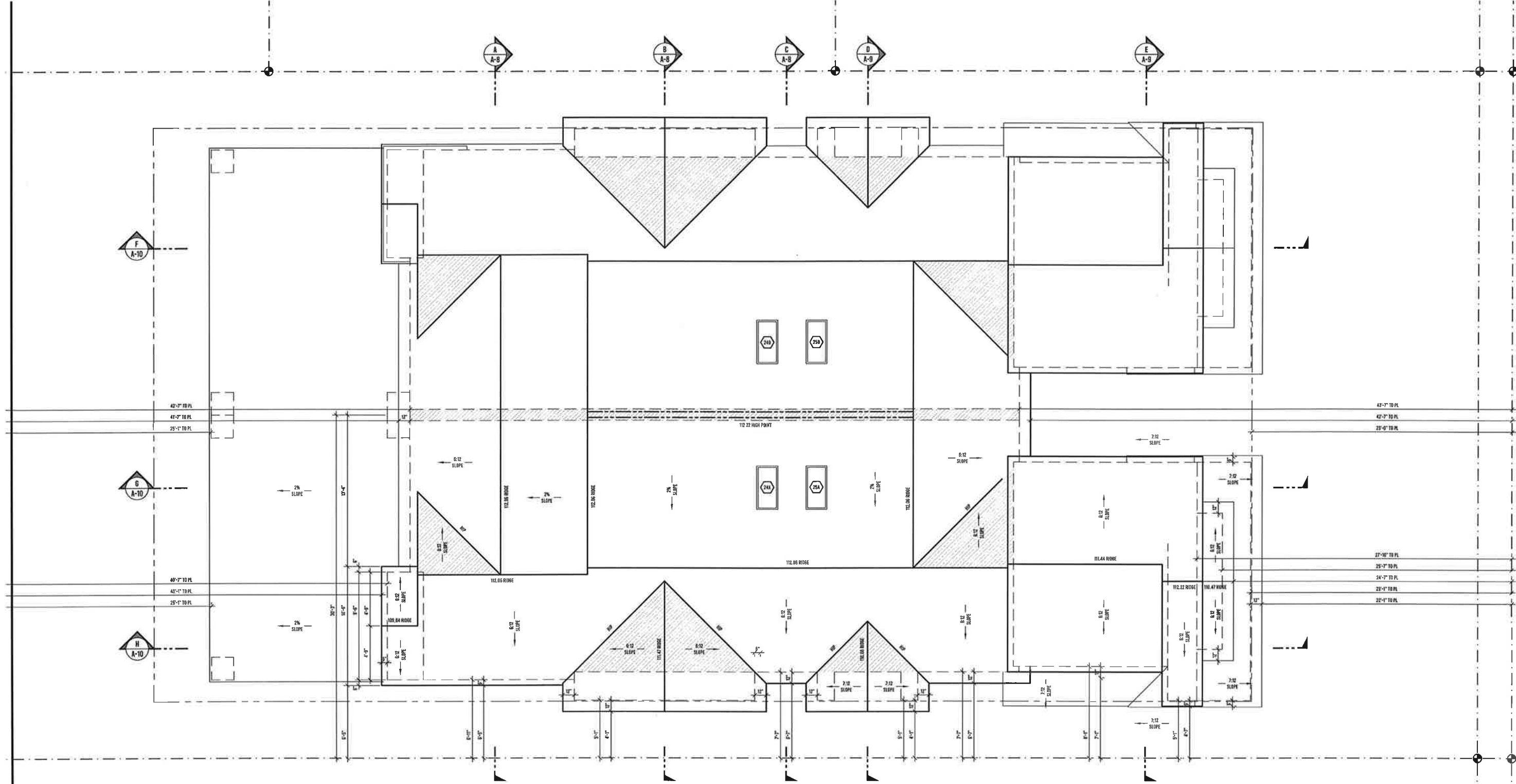
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REVISIONS

A-3

SHEET 10 OF 17



ROOF
SCALE: 1/4"=1'-0"

ROOF PLAN LEGEND

- SKYLIGHT TAG
- KEYNOTE TAG
- CALIFORNIA FRAMING IN THIS AREA

KEYNOTE LEGEND

A -

WINDOW SCHEDULE

#	TAG	SIZE	DESCRIPTION	FINISH	TEMPERED GLAZING	COMMENTS
47	24A	2040	FIXED SKYLIGHT	VINYL FRAME	-	0 SF LAMINATED LOW-E3 GLASS
48	25A	2040	FIXED SKYLIGHT	VINYL FRAME	-	0 SF LAMINATED LOW-E3 GLASS
49	24B	2040	FIXED SKYLIGHT	VINYL FRAME	-	0 SF LAMINATED LOW-E3 GLASS
50	25A	2040	FIXED SKYLIGHT	VINYL FRAME	-	0 SF LAMINATED LOW-E3 GLASS

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RENOVATIONS
BUILDERS & DEVELOPERS
INCORPORATED

A-4

SHEET 11 OF 17



FRONT ELEVATION - UNIT A
SCALE: 1/4"=1'-0"

FRONT ELEVATION - UNIT B
SCALE: 1/4"=1'-0"



ELEVATION MATERIALS LEGEND



LEFT ELEVATION - UNIT A
SCALE: 1/4"=1'-0"

KEYNOTES

A. METAL ROOF A.1. MANUFACTURER: PAC-CLAD (PETERSON ALUMINUM CORPORATION) A.2. COLOR: SLATE GRAY	D. EXTERIOR DOORS D.1. MANUFACTURER: EL AND EL WOOD PRODUCTS D.2. STYLE: VISTARRANDE SERIES GLASS DOORS D.3. PAINT COLOR: VINYL GRAY	G. SHING G.1. MANUFACTURER: JAMESHARDIE G.2. STYLE: HARDIE PANEL VERTICAL SHING (SMOOTH) G.3. COLOR: NIGHT GRAY	J. TRADITIONAL WOOD SHUTTERS J.1. STYLE: JOINED BOARD AND BATTEN COMPOSITE J.2. COLOR: MEDIUM GRAY	M. ROOF GUTTERS & DOWNSPOUTS M.1. COLOR: ALUMINUM BLACK
B. PRESIDENTIAL SHAKE 1L RESIDENTIAL ROOFING B.1. MANUFACTURER: ROOFING CERTAIN FEED B.2. COLOR: CHARCOAL GREY	E. EXTERIOR MODERN FARMHOUSE WALL SOURCE E.1. SIZE: 17.00" W X 6.00" H E.2. COLOR: NATURAL SLACK FINISH E.3. MODEL: UNLESS THE DUNNY COLLECTION BY URBAN AMBIANCE	H. STUCCO H.1. STYLE: SMOOTH SANTA BARBARA FINISH H.2. COLOR: ARCTIC WHITE	K. ROOF GUTTERS & DOWNSPOUTS K.1. COLOR: ALUMINUM BLACK	P. BUILDING CENTERLINE FOR REFERENCE
C. WINDOWS C.1. MANUFACTURER: ANDERSEN WINDOWS C.2. SERIES: 100 VINYL GRAY	F. GARAGE DOOR F.1. CUSTOM ORDER TO MATCH AS DRAWN F.2. COLOR: MEDIUM GRAY	I. ENTRY DOOR I.1. MANUFACTURER: EL AND EL WOOD PRODUCTS I.2. STYLE: BUTCHER DOOR I.3. PAINT COLOR: BLACK OR DARK GRAY	L. COVERED PATIO	Q. SIDE YARD PRIVACY DATE FOR REFERENCE (SEE SITE PLAN)
			M. DECORATIVE ATTIC VENT	

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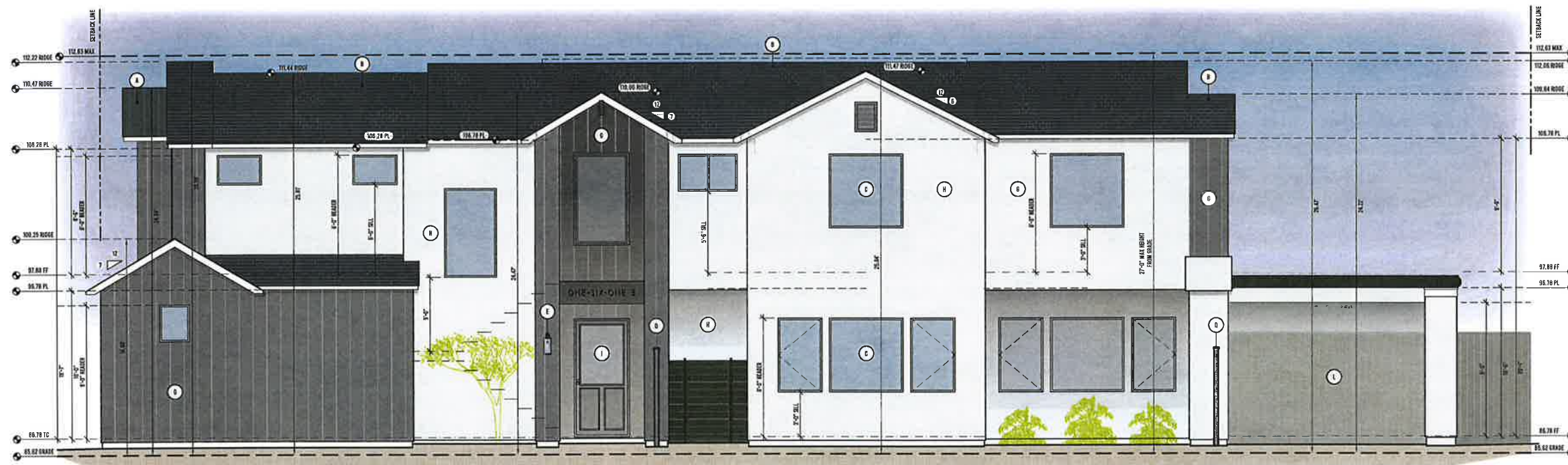
A-5

SHEET 12 OF 17



REAR ELEVATION - UNIT B
SCALE: 1/4"=1'-0"

REAR ELEVATION - UNIT A
SCALE: 1/4"=1'-0"



RIGHT ELEVATION - UNIT B
SCALE: 1/4"=1'-0"

KEYNOTES

- | | | | | |
|--|---|--|--|--|
| <p>A. METAL ROOF
A.1. MANUFACTURER: PAC-CLAD OF ECKEN ALUMINUM CORPORATION
A.2. COLOR: SLATE GRAY</p> <p>B. PRESIDENTIAL SHAKE TL RESIDENTIAL ROOFING
B.1. MANUFACTURER: ROOFING CERTAIN TEED
B.2. COLOR: CHARCOAL GREY</p> <p>C. WINDOWS
C.1. MANUFACTURER: ANDERSEN WINDOWS
C.2. SERIES: 100 VINYL GRAY</p> | <p>D. EXTERIOR DOORS
D.1. MANUFACTURER: EL AND EL WOOD PRODUCTS
D.2. STYLE: VISTARHARRE SERIES GLASS DOORS
D.3. PAINT COLOR: VINYL GRAY</p> <p>E. EXTERIOR MODERN FARMHOUSE WALL SCHEME
E.1. SIZE: 12'0" W X 8'0" H
E.2. COLOR: NATURAL BLACK FINISH
E.3. MODEL: SOLI 1331 THE QUINCY COLLECTION BY URBAN AMBIANCE</p> <p>F. GARAGE DOOR
F.1. CUSTOM ORDER TO MATCH AS DRAWN
F.2. COLOR: MEDIUM GRAY</p> | <p>G. SIDING
G.1. MANUFACTURER: JAMBERKARD
G.2. STYLE: HARKNE PANEL VERTICAL SIDING (SMOOTH)
G.3. COLOR: NIGHT GREY</p> <p>H. STUCCO
H.1. STYLE: SMOOTH SANTA BARBARA FINISH
H.2. COLOR: ARCTIC WHITE</p> <p>I. ENTRY DOOR
I.1. MANUFACTURER: EL AND EL WOOD PRODUCTS
I.2. STYLE: OUTDOOR DOOR
I.3. PAINT COLOR: BLACK OR DARK GREY</p> | <p>J. TRADITIONAL WOOD SHUTTERS
J.1. STYLE: JOINED BOARD AND BUTTER COMPOSITE
J.2. COLOR: MEDIUM GRAY</p> <p>K. ROOF GUTTERS & DOWNSPOUTS
K.1. COLOR: ALUMINUM BLACK</p> <p>L. COVERED PATIO</p> <p>M. DECORATIVE ATTIC VENT</p> | <p>N. ROOF GUTTERS & DOWNSPOUTS
N.1. COLOR: ALUMINUM BLACK</p> <p>O. BUILDING CENTERLINE FOR REFERENCE</p> <p>P. ROOF CRACKER FOR REFERENCE</p> <p>Q. SIDE YARD PRIVACY GATE FOR REFERENCE (SEE SITE PLAN)</p> |
|--|---|--|--|--|



ELEVATION MATERIALS LEGEND

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REVISIONS

A-6

SHEET 13 OF 17

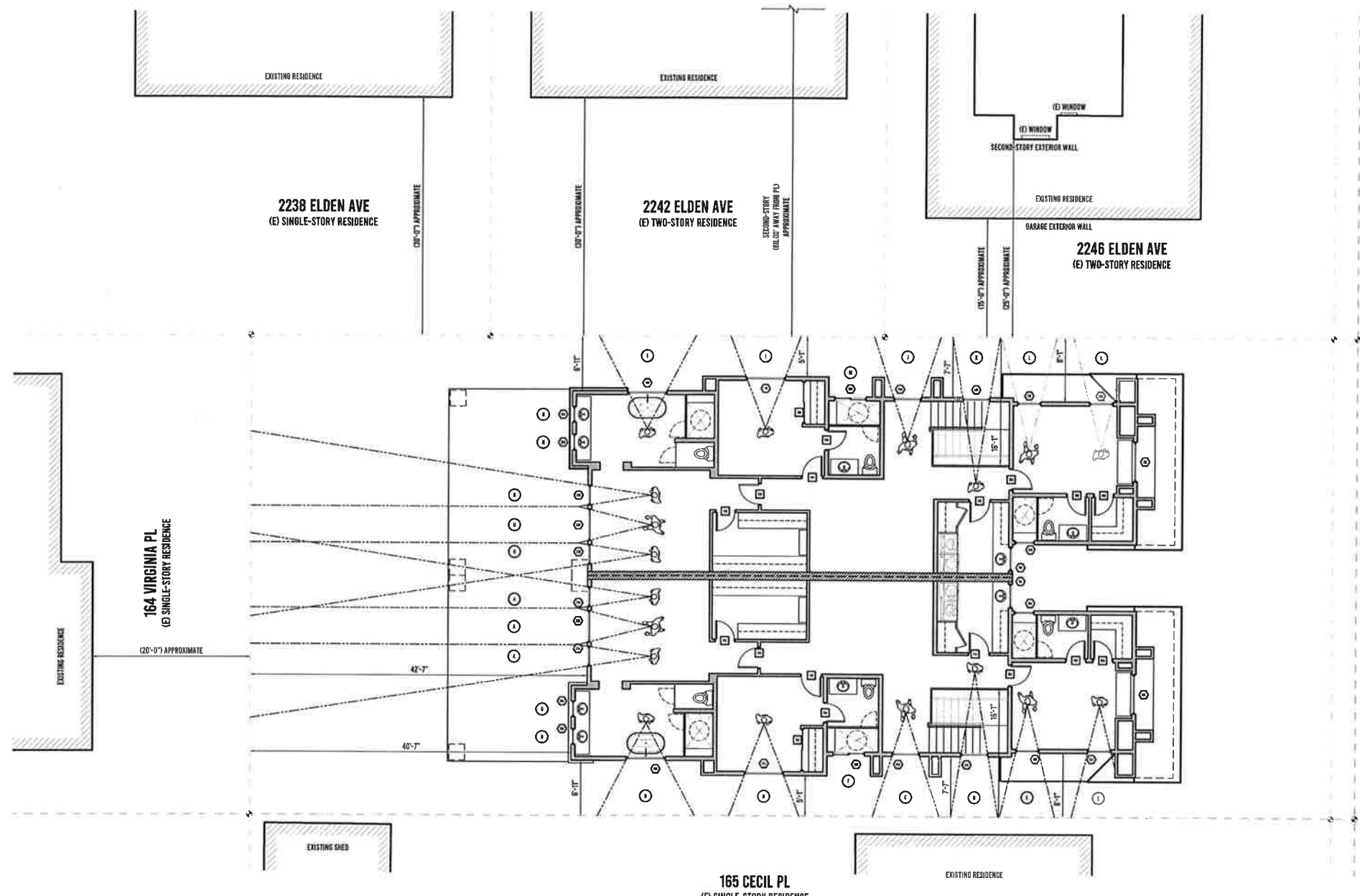
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PRIVACY IMPACT STUDY
SCALE: 1/8"=1'-0"

LEGEND

- DOOR TAG
- ⬠ WINDOW TAG
- KEYNOTE TAG

KEYNOTE LEGEND

TAG	WINDOWS)	SILL HEIGHT	NOTES
A	21A, 22A, 23A	3'-0"	VIEW IS OVER PROPOSED COVERED PATIO BELOW & FACING NEAR NEIGHBOR'S EXISTING SINGLE-STORY FLAT ROOF
B	17A, 18A	2'-0"	VIEW IS FACING SIDE NEIGHBOR'S EXISTING OPEN AIR SPACE
C	15A	2'-0"	VIEW IS FACING SIDE NEIGHBOR'S EXISTING SINGLE-STORY ROOF(S)
D	16A	6'-0" FROM LANDING	VIEW IS OVER PROPOSED OPEN VOLUME AT STAIRWAY & FACING SIDE NEIGHBOR'S EXISTING SINGLE-STORY ROOF(S)
E	12A, 13A	3'-0"	VIEW IS OVER PROPOSED SIDE YARD & FACING SIDE NEIGHBOR'S EXISTING SINGLE-STORY ROOF(S)
F	16A	5'-0"	WINDOW IS OBSCURE AT BATH & NO VIEW AT THIS LOCATION
G	15A, 20A	6'-0"	VIEW IS ABOVE EYE LEVEL & NO VIEW AT THIS LOCATION
H	21B, 22B, 23B	3'-0"	VIEW IS OVER PROPOSED COVERED PATIO BELOW & FACING NEAR NEIGHBOR'S EXISTING SINGLE-STORY ROOF
I	17B, 18B	2'-0"	VIEW IS FACING SIDE NEIGHBOR'S EXISTING SINGLE-STORY ROOF(S) & NEIGHBOR'S EXISTING 2ND-STORY IS APPROXIMATELY 8'-0" FROM PROPERTY LINE
J	15B	2'-0"	VIEW IS FACING SIDE NEIGHBOR'S EXISTING OPEN AIR SPACE & SINGLE-STORY ROOF(S)
K	16B	6'-0" FROM LANDING	VIEW IS OVER PROPOSED OPEN VOLUME AT STAIRWAY & FACING SIDE NEIGHBOR'S EXISTING SINGLE-STORY ROOF(S)
L	12B, 13B	6'-0"	VIEW IS FACING SIDE NEIGHBOR'S EXISTING 2-STORY RESIDENCE & PROPOSED WINDOWS ARE ABOVE EYE LEVEL
M	16B	5'-0"	WINDOW IS OBSCURE AT BATH & NO VIEW AT THIS LOCATION
N	15B, 20B	6'-0"	VIEW IS ABOVE EYE LEVEL & NO VIEW AT THIS LOCATION

STATUS: DEVELOPMENT REVIEW

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REVISIONS

A-7

SHEET 14 OF 17

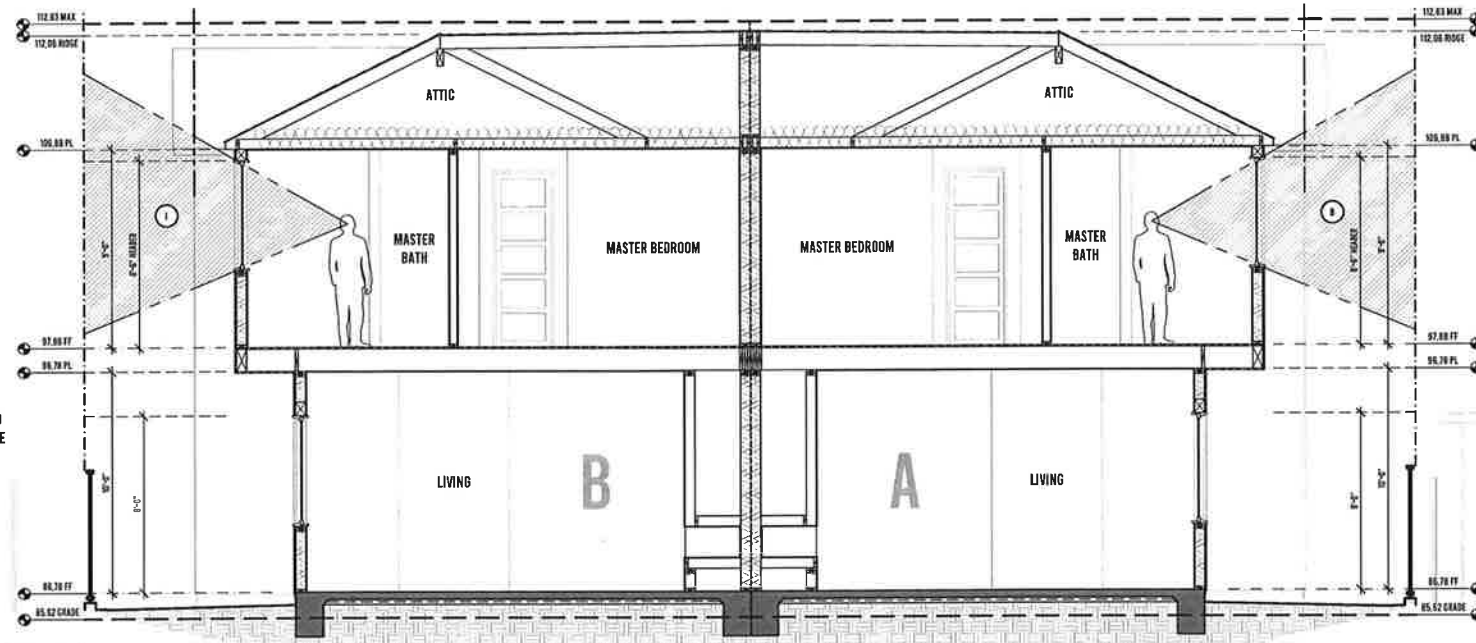
PROJECT NAME:
NEW DUPLEX PROJECT FOR 161 CECIL PL LLC
PROJECT ADDRESS:
161 CECIL PLACE
COSTA MESA, CA 92627

PROJECT DESIGNER:
JOSH MARTINEZ

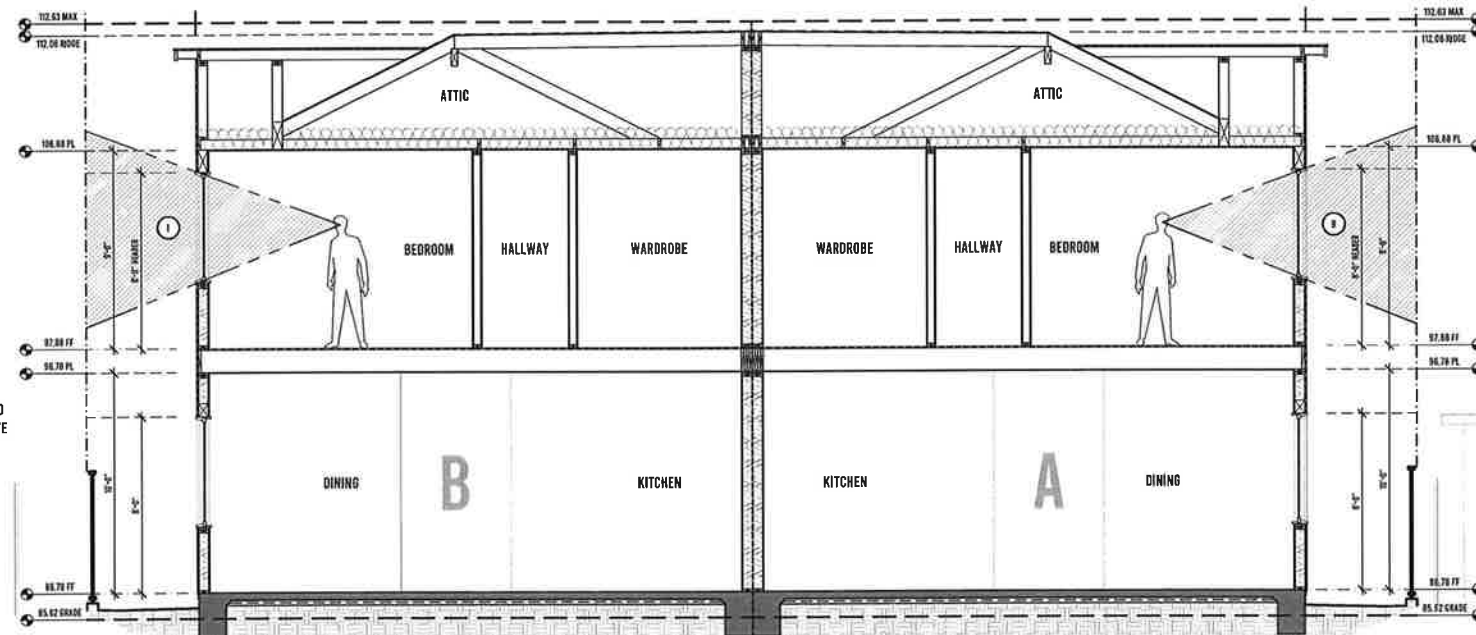
RBD INNOVATIONS
BUILDERS & DEVELOPERS INCORPORATED

PROJECT DESIGNER:
RBD INC.
18627 BROOKHURST ST #205
FOUNTAIN VALLEY, CA 92708
RBDINCORP@GMAIL.COM
JOSE - (714) 488-3327
JOEY - (714) 580-7189

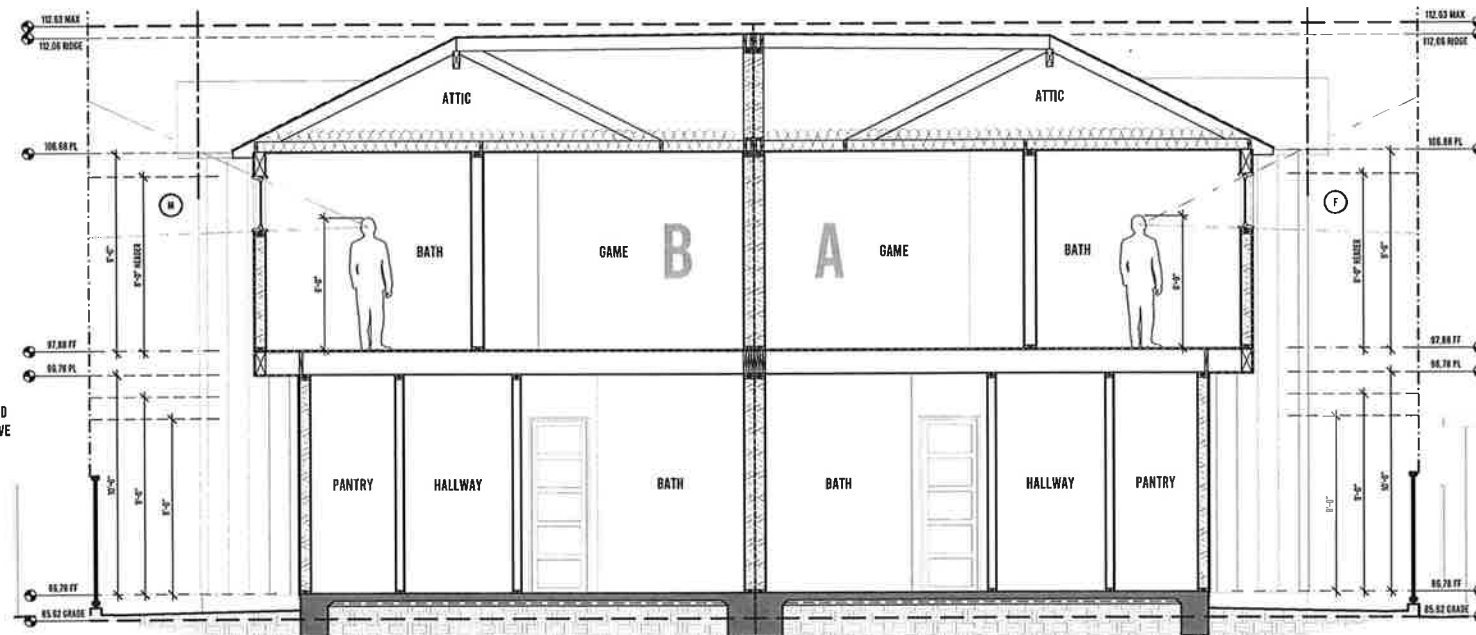
MANAGING MEMBER:
JACK HERRON
JACK.HERRON@GMAIL.COM
949 632-7103



SECTION A
SCALE: 1/4"=1'-0"



SECTION B
SCALE: 1/4"=1'-0"



SECTION C
SCALE: 1/4"=1'-0"

KEYNOTE LEGEND

UNIT	TAG	WINDOW(S)	SILL HEIGHT	NOTES
UNIT A	A	210, 224, 226	3'-0"	VIEW IS OVER PROPOSED COVERED PATIO BELOW & FACING REAR NEIGHBOR'S EXISTING SINGLE-STORY FLAT ROOF
	B	179, 181	2'-0"	VIEW IS FACING SIDE NEIGHBOR'S EXISTING OPEN AIR SPACE
	C	184	2'-0"	VIEW IS FACING SIDE NEIGHBOR'S EXISTING SINGLE-STORY ROOF(S)
	D	144	5'-0" FROM LANDING	VIEW IS OVER PROPOSED OPEN VOLUME AT STAIRWAY & FACING SIDE NEIGHBOR'S EXISTING SINGLE-STORY ROOF(S)
	E	124, 134	3'-0"	VIEW IS OVER PROPOSED SIDE YARD & FACING SIDE NEIGHBOR'S EXISTING SINGLE-STORY ROOF(S)
UNIT B	F	184	5'-0"	PROPOSED WINDOW IS OBTUSCLE FOR BATH PRIVACY & NO VIEW AT THIS LOCATION
	G	154, 204	6'-0"	VIEW IS ABOVE EYE LEVEL & NO VIEW AT THIS LOCATION
	H	210, 224, 226	3'-0"	VIEW IS OVER PROPOSED COVERED PATIO BELOW & FACING REAR NEIGHBOR'S EXISTING SINGLE-STORY ROOF
	I	179, 180	3'-0"	VIEW IS FACING SIDE NEIGHBOR'S EXISTING SINGLE-STORY ROOF(S) & NEIGHBOR'S EXISTING 2ND-STORY IS APPROXIMATELY 8'-0" FROM PROPERTY LINE
	J	180	2'-0"	VIEW IS FACING SIDE NEIGHBOR'S EXISTING OPEN AIR SPACE & SINGLE-STORY ROOF(S)
	K	140	5'-0" FROM LANDING	VIEW IS OVER PROPOSED OPEN VOLUME AT STAIRWAY & FACING SIDE NEIGHBOR'S EXISTING SINGLE-STORY ROOF(S)
	L	128, 130	6'-0"	VIEW IS FACING SIDE NEIGHBOR'S EXISTING 2-STORY RESIDENCE & PROPOSED WINDOW(S) ARE ABOVE EYE LEVEL
	M	180	5'-0"	PROPOSED WINDOW IS OBTUSCLE FOR BATH PRIVACY & NO VIEW AT THIS LOCATION
	N	180, 200	6'-0"	VIEW IS ABOVE EYE LEVEL & NO VIEW AT THIS LOCATION

LEGEND



EXISTING YARD
2242 ELDEN AVE

EXISTING YARD
165 CECIL PL

EXISTING YARD
2242 ELDEN AVE

EXISTING YARD
165 CECIL PL

EXISTING YARD
2246 ELDEN AVE

EXISTING YARD
165 CECIL PL

MANAGING MEMBER:
JACK HERRIN
JACKHERRIN@GMAIL.COM
949-633-7003

PROJECT NAME:
NEW DUPLEX PROJECT
FOR 161 CECIL PL LLC
PROJECT ADDRESS:
161 CECIL PLACE
COSTA MESA, CA 92627

PROJECT DESIGNER:
JOSH MARTINEZ
JOSH.MARTINEZ@RBDINC.COM

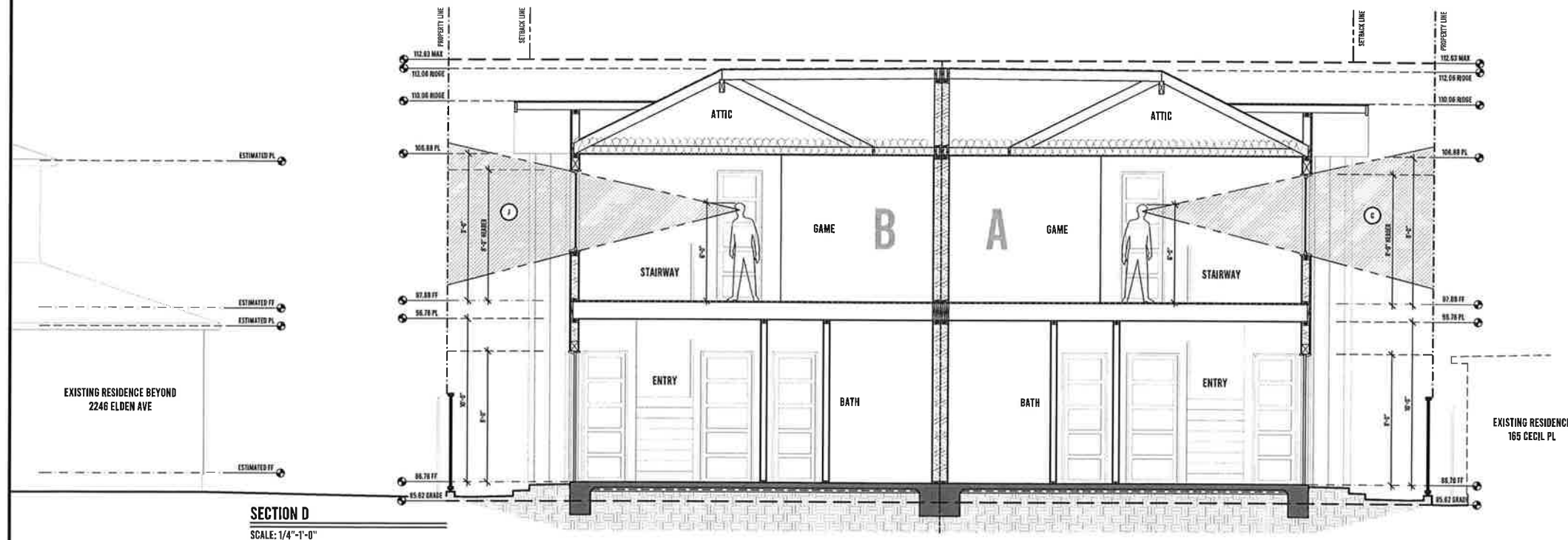


PROJECT DESIGNER:
RBD INC.
18627 BROOKHURST ST #205
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RBDINC@GMAIL.COM
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JOEY - (714) 580-7189

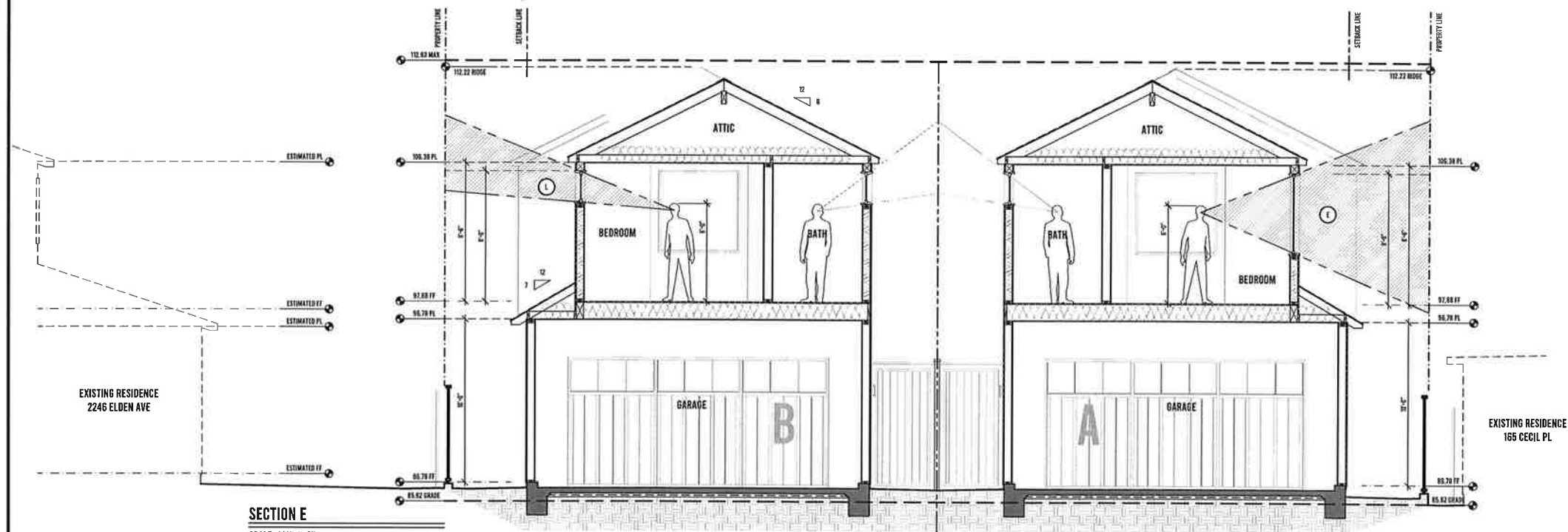
STATUS: DEVELOPMENT REVIEW

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REVISIONS



SECTION D
SCALE: 1/4"=1'-0"



SECTION E
SCALE: 1/4"=1'-0"

KEYNOTE LEGEND

UNIT	TAG	WINDOW(S)	SILL HEIGHT	NOTES
UNIT A	A	214, 224, 224	3'-0"	VIEW IS OVER PROPOSED COVERED PATIO BELOW & FACING NEAR NEIGHBOR'S EXISTING SINGLE-STORY FLAT ROOF
	B	17A, 18A	3'-0"	VIEW IS FACING SIDE NEIGHBOR'S EXISTING OPEN AIR SPACE
	C	16A	2'-0"	VIEW IS FACING SIDE NEIGHBOR'S EXISTING SINGLE-STORY ROOF(S)
	D	14A	5'-0" FROM LANDING	VIEW IS OVER PROPOSED OPEN VOLUME AT STAIRWAY & FACING SIDE NEIGHBOR'S EXISTING SINGLE-STORY ROOF(S)
	E	12A, 13A	5'-0"	VIEW IS OVER PROPOSED SIDE YARD & FACING SIDE NEIGHBOR'S EXISTING SINGLE-STORY ROOF(S)
UNIT B	F	16A	5'-0"	PROPOSED WINDOW IS OBLSCURE FOR BATH PRIVACY & NO VIEW AT THIS LOCATION
	G	19A, 20A	6'-6"	VIEW IS ABOVE EYE LEVEL & NO VIEW AT THIS LOCATION
	H	219, 229, 229	3'-0"	VIEW IS OVER PROPOSED COVERED PATIO BELOW & FACING NEAR NEIGHBOR'S EXISTING SINGLE-STORY ROOF
	I	17B, 18B	3'-0"	VIEW IS FACING SIDE NEIGHBOR'S EXISTING OPEN AIR SPACE & NEIGHBOR'S EXISTING 2ND-STORY IS APPROXIMATELY 80'-0" FROM PROPERTY LINE
	J	15B	2'-0"	VIEW IS FACING SIDE NEIGHBOR'S EXISTING OPEN AIR SPACE & SINGLE-STORY ROOF(S)
UNIT C	K	14B	5'-0" FROM LANDING	VIEW IS OVER PROPOSED OPEN VOLUME AT STAIRWAY & FACING SIDE NEIGHBOR'S EXISTING SINGLE-STORY ROOF(S)
	L	12B, 13B	6'-0"	VIEW IS FACING SIDE NEIGHBOR'S EXISTING 2-STORY NEIGHBOR'S & PROPOSED WINDOW(S) ARE ABOVE EYE LEVEL
	M	15B	5'-0"	PROPOSED WINDOW IS OBLSCURE FOR BATH PRIVACY & NO VIEW AT THIS LOCATION
	N	19B, 20B	6'-6"	VIEW IS ABOVE EYE LEVEL & NO VIEW AT THIS LOCATION
	O			

LEGEND



MANAGING MEMBER:
JACK HERRON
JACK.HERRON@GMAIL.COM
949.633.7103

PROJECT NAME:
NEW DUPLEX PROJECT
FOR 161 CECIL PL LLC
PROJECT ADDRESS:
161 CECIL PL
COSTA MESA, CA 92627

PROJECT DESIGNER:
JOSE MARTINEZ

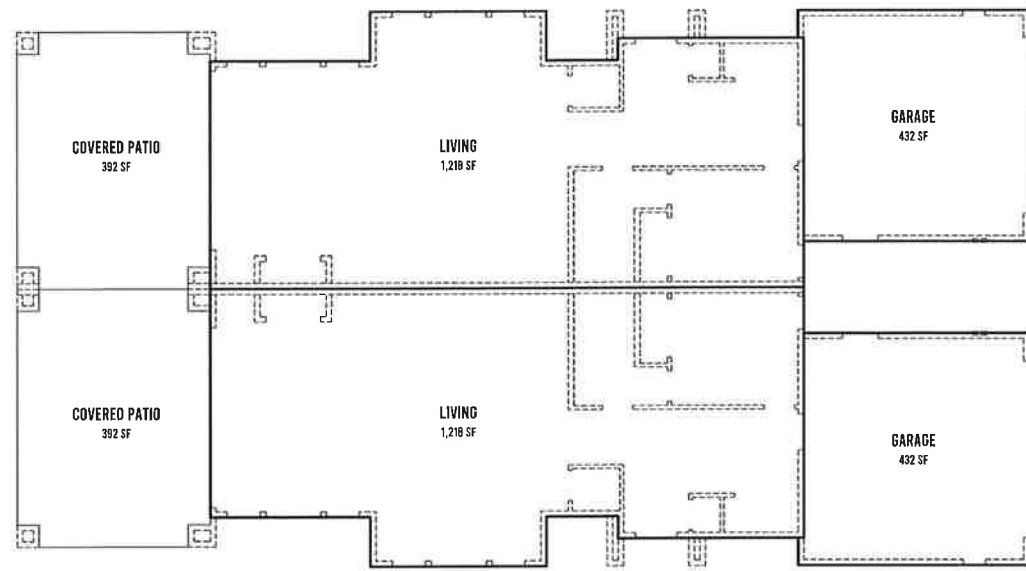


PROJECT DESIGNER:
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18627 BROOKHURST ST #205
FOUNTAIN VALLEY, CA 92708
RBDINC@GMAIL.COM
JOSE - (714) 488-3327
JOEY - (714) 580-7189

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REVISIONS

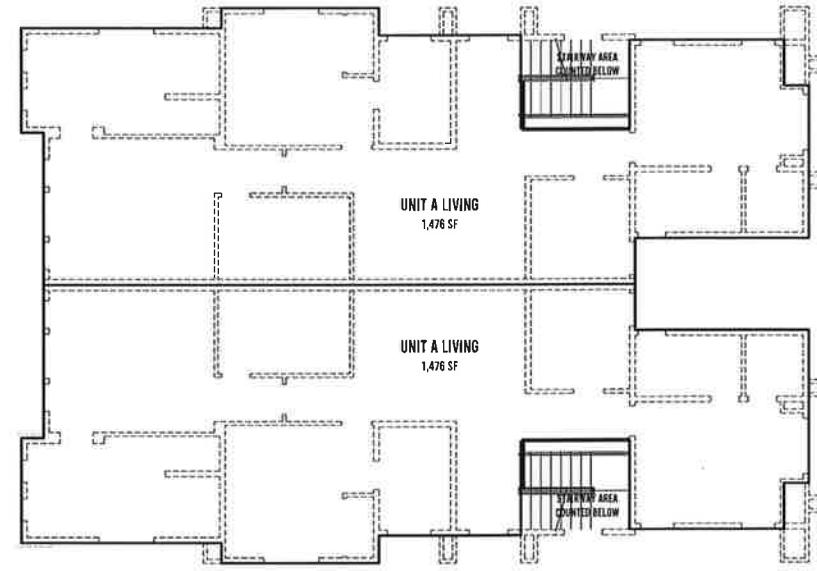
NO.	DATE	DESCRIPTION



1ST FLOOR AREA - UNIT BREAKDOWN
SCALE: 1/8"-1'-0"

UNIT AREA BREAKDOWN

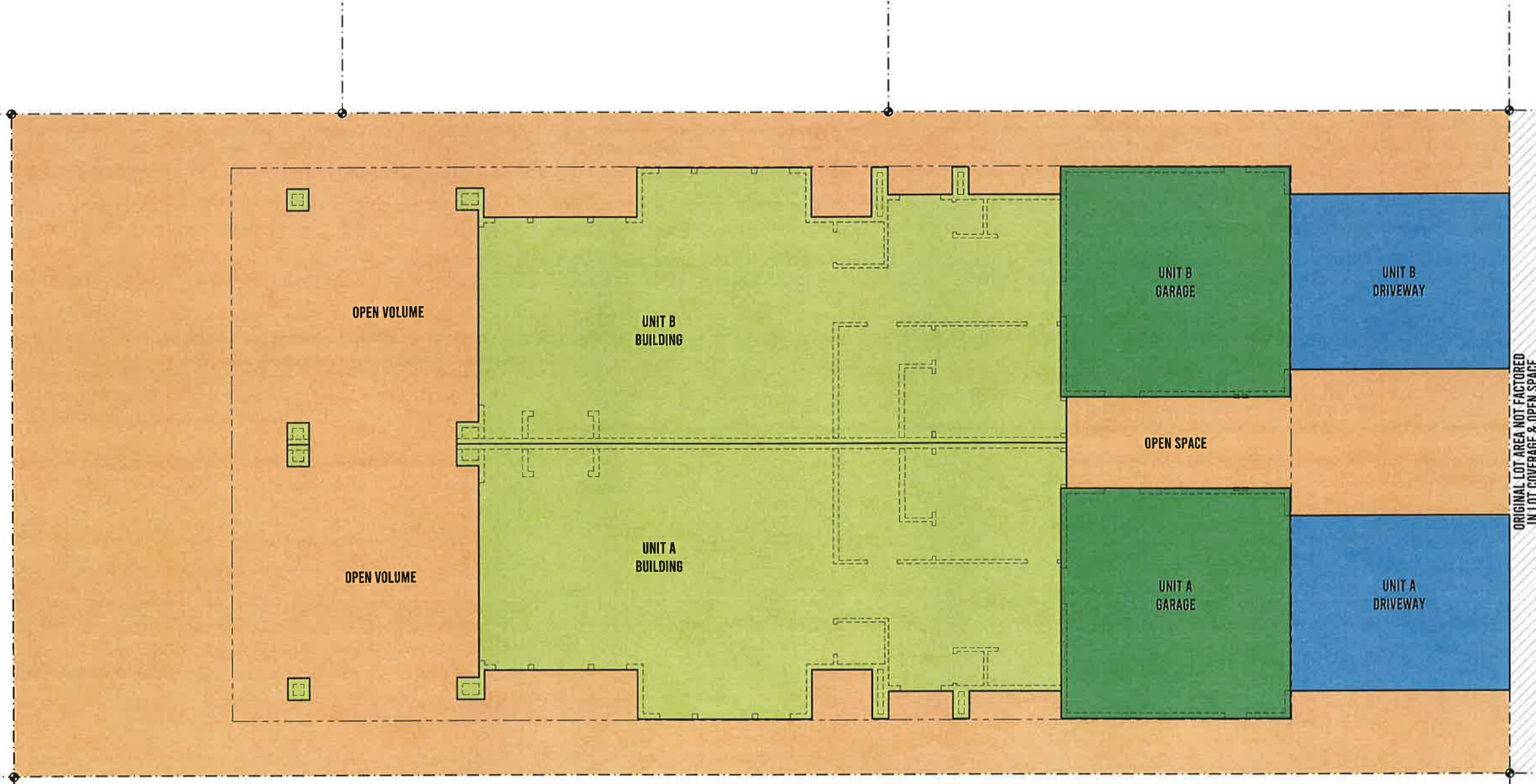
LIVING AREA
A1 1,218 SF
GARAGE AREA
G1 432 SF
COVERED PATIO
V1 392 SF
BUILDING AREA
B1 1,650 SF



2ND FLOOR AREA - UNIT BREAKDOWN
SCALE: 1/8"-1'-0"

UNIT AREA BREAKDOWN

LIVING AREA
A2 1,476 SF



PROPOSED AREA BREAKDOWN

SCALE: 3/16"-1'-0"

LOT COVERAGE	
	(1ST FLOOR AREA + GARAGE + DRIVEWAY)
LOT AREA	
OPEN SPACE	LOT AREA - LOT COVERAGE
	LOT AREA
ORIGINAL LOT AREA	= 8,470 SF
NEW DEVELOPMENT LOT AREA	= 8,288.50 SF
UNIT A & B	
PROPOSED 1ST FLOOR	= 1,218 SF X 2 (2,436 SF TOTAL)
PROPOSED 2ND FLOOR	= 1,476 SF X 2 (2,952 SF TOTAL)
GARAGE	= 432 SF X 2 (864 SF TOTAL)
DRIVEWAY	= 321.33 SF X 2 (642.66 SF TOTAL)
LOT COVERAGE CALC	
	(2,436 + 864 + 642.66)
	8,288.50
	= 3,942.66 / 8,288.50
	= 48%
OPEN SPACE CALC	
	(8,288.50 - 3,942.66)
	8,288.50
	= 4,345.84 / 8,288.50
	= 52%
2ND FLOOR LIMIT	
	1,476
	(1,218 + 321.33)
	= 1,476 / 1,650
	= 89% (UNDER 100%)

MANAGING MEMBER:
JACK HERRON
JACK.HERRON@GMAIL.COM
949 533-7703

PROJECT NAME:
NEW DUPLEX PROJECT
FOR 161 DECIL PL LLC
PROJECT ADDRESS:
161 DECIL PLACE
COSTA MESA, CA 92627

PROJECT DESIGNER:
JOSH MARTINEZ

RBD INC. BUILDERS & DEVELOPERS INCORPORATED

PROJECT DESIGNER:
RBD INC.
18527 BROOKHURST ST #205
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RBDINC@GMAIL.COM
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JOEY - (714) 560-7189

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REVISIONS

AF-1

SHEET 17 OF 17

STRUCTURAL NOTES

(N) 16" WIDE X 18" DEEP CONCRETE

W/(2) #4 @ TOP & BOTTOM

4" THK. CONCRETE SLAB ON GRADE
W/ #4 BARS @ 16" O.C. E.W.CENTERED
PER SOIL REPORT, A 4-INCH THICK BASE OF 1/2 INCH OR LARGER CLEAN AGGREGATE SHALL BE PROVIDED FOR THE PROPOSED SLAB ON GRADE CONSTRUCTION.
A MOISTURE BARRIER SHALL BE PROVIDED IN DIRECT CONTACT WITH CONCRETE FOR THE PROPOSED SLAB ON GRADE CONSTRUCTION. A VISQUEEN-TYPE MEMBRANE AT LEAST 15 MIL THICK SHOULD BE PLACED BETWEEN THE PREPARED SUBGRADE AND THE SLAB TO PROVIDE AN EFFECTIVE VAPOR RETARDER, AND TO MINIMIZE POTENTIAL MOISTURE CONDENSATION UNDER FLOOR COVERINGS. THE VAPOR RETARDER MEMBRANE SHALL BE LAPPED A MINIMUM OF 12-INCHES TO PROVIDE A CONTINUOUS VAPOR PROOF RETARDER UNDER THE ENTIRE SLAB. CARE SHALL BE EXERCISED TO AVOID DAMAGE OF MOISTURE BARRIER DURING CONSTRUCTION.

ADDITIONAL NOTES

- 5/8" dia. A.B. (R.H., EPOXY BOLTS) @ 48" O.C. TYP. U.O.M. FOR SH. W. A.B.'S SEE G.N. SHEET, SH. WALL SCHEDULE
- NAILS IN PRESSURE TREATED WOOD SILL PLATES SHALL BE HOT DIPPED GALVANIZED, STAINLESS STEEL, SILICON BRONZE OR COPPER.
- ALL HOLD-DOWN CONNECTIONS SHALL BE TIGHTENED JUST PRIOR TO ENCLOSURE.
- EXCAVATIONS SHALL BE MADE IN COMPLIANCE W/CAL/OSHA REGULATIONS.
- CONTINUOUS INSPECTION BY A LICENSED DEPUTY INSPECTOR IS REQUIRED FOR ALL EPOXY WORKS AND FOR CONCRETE WITH f' > 2800 PSI.

ADDITIONAL NOTES

1. ALL THE EXISTING STRUCTURAL ITEMS INCLUDE BUT NOT LIMITED TO ROOF MEMBERS, WALL MEMBERS, HOLD-DOWN AND CONNECTIONS, ETC. WHICH DID NOT SHOW / MENTIONED ON PLAN SHOULD BE REMAINED. IT IS THE SOLE RESPONSIBILITY OF CONTRACTOR AND HAS NOT BEEN TAKEN INTO CONSIDERATION BY STRUCTURAL ENGINEER.
2. THIS PROJECT ONLY INCLUDED 10 UNIT SINGLE FAMILY RESIDENTIAL HOMES AND ADUS.
3. THE DESIGN, ADEQUACY, AND OVERALL SAFETY OF ANY ERECTION BRACING, SHORING, TEMPORARY SUPPORTS, ETC. IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND HAS NOT BEEN TAKEN INTO CONSIDERATION BY THE STRUCTURAL ENGINEER.
4. OBSERVATION VISITS TO THE SITE BY STRUCTURAL ENGINEER ONLY CONSTITUTE INSPECTION OF ALL THE NEW MEMBERS AND CONNECTIONS ON PLANS.

PAD FOOTING SCHEDULE

- (P1) 2'-0"x18" SQ. PAD FTG W/(3) #5 @ EA. WAY
- (P2) 2'-6"x18" SQ. PAD FTG W/(4) #5 @ EA. WAY
- (P3) 3'-0"x18" SQ. PAD FTG W/(4) #5 @ EA. WAY
- (P4) 3'-6"x18" SQ. PAD FTG W/(5) #5 @ EA. WAY
- (P6) 4'-0"x18" SQ. PAD FTG W/(5) #5 @ EA. WAY

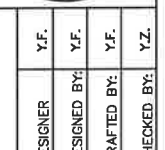
SYMBOLS & LEGENDS

- SPAN & DIRECTION OF ROOF TRUSS/RAFTER
- SPAN & DIRECTION CEILING/FLOOR/DECK JOIST
- TRIBUTARY WIDTH OF JOIST
- BEAM OR HEADER
- WOOD POST PER PLAN U.N.O.
- ALIGN WITH POST ABOVE
- POST FROM ABOVE
- WOOD WALL STUD PER ARCH (MIN. 2X4 @ 16" O.C.)
- WALL STUDS ABOVE
- SHEAR PANEL NUMBER, MIN. LENGTH NOTED, REFER TO "SHEAR WALL SCHEDULE" ON S-0 FOR MORE INFO (LENGTH IS FROM CENTER OF POST TO CENTER OF POST)
- HARDY-FRAME STRONG WALL SEE DETAIL SHEETS HF1-3 FOR ADDITIONAL DETAILS (IT IS THE SOLE RESPONSIBILITY OF CONTRACTOR TO VERIFY THE HEIGHT ON SITE AND REPORT TO ENGINEER!!!)
- DETAIL NUMBER
DETAIL SHEET NUMBER
- HORIZONTAL COLLECTOR STRAP W/60 TYP. U.N.O.

OWNER/SUBDIVIDER:
MR. JACK HERRON
2630 WALNUT AVE, STE. A
TUSTIN, CA 92780

NEW DUPLEX PROJECT
PROJECT ADDRESS
161 CECIL PLACE
COSTA MESA, CA 92627

PLANS PREPARED BY:
W.H. CONSULTANT, INC.
NORTH-CAL: 1580 OAKLAND RD., SUITE 112, SAN JOSE, CA 95131
SOUTH-CAL: 25 MAULCHLY, SUITE 323, RYVINE, CA 92668
INFO@WHCONSULTANT.COM
WWW.WHCONSULTANT.COM

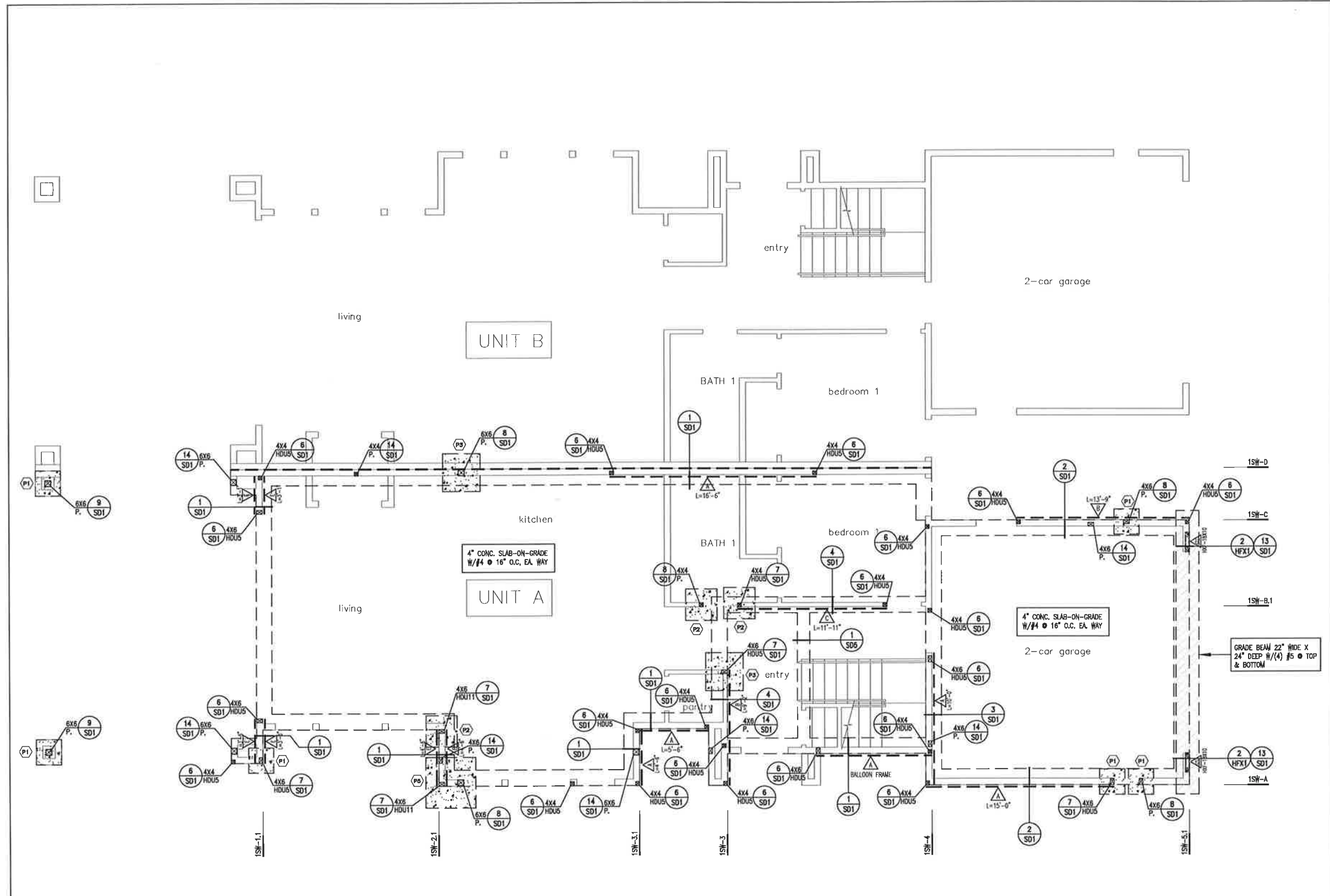


DESIGNER	Y.F.	DESIGNED BY	Y.F.	DRAFTED BY	Y.F.	CHECKED BY	Y.Z.

TITLE:
FOUNDATION PLAN (UNIT A)

PROJECT NO.:
22132

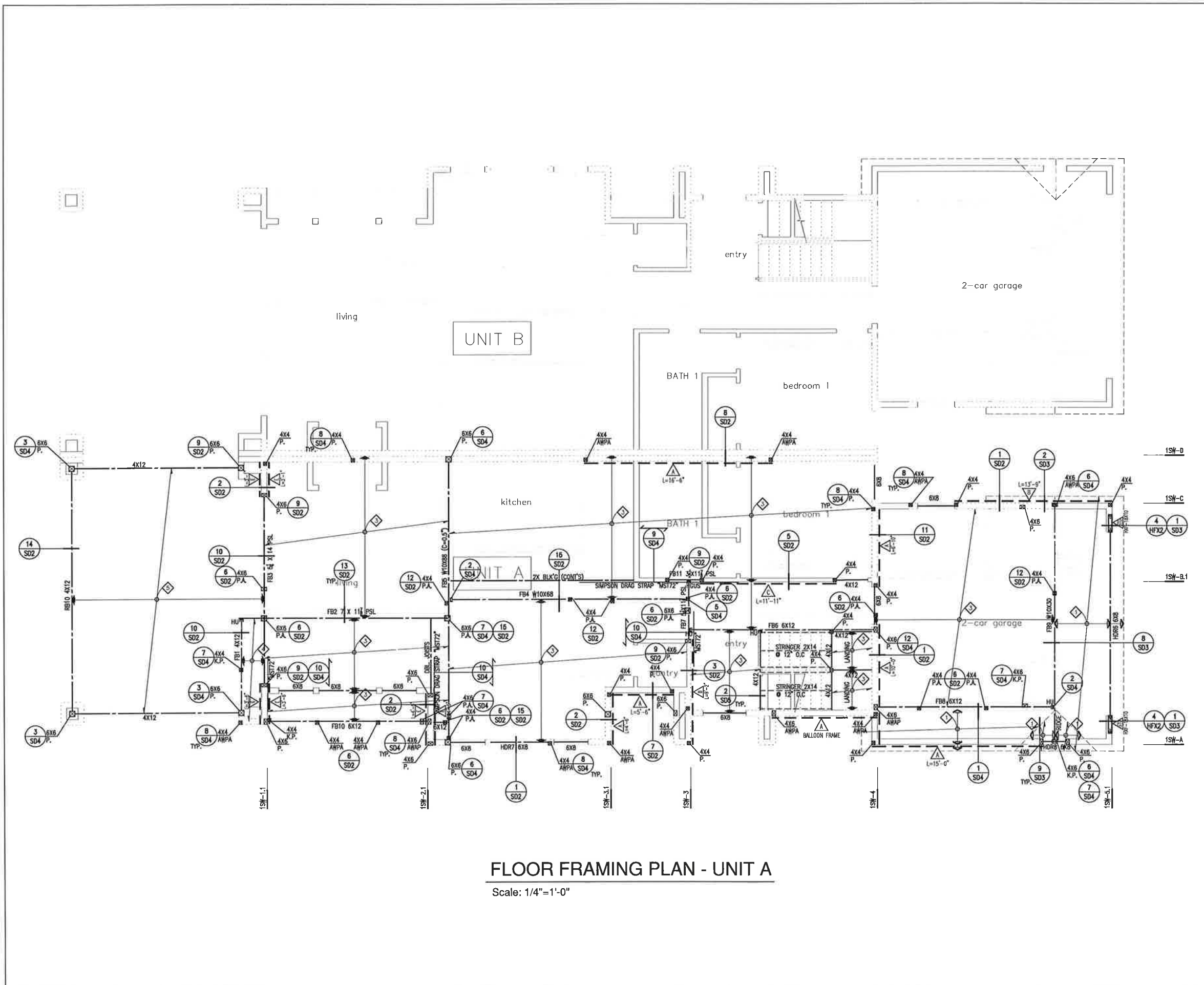
SHEET NO.:
S-1.0



FOUNDATION PLAN - UNIT A

Scale: 1/4" = 1'-0"

SOIL REPORT
COMPANY NAME: GEO ENVRON
GEOTECHNICAL AND ENVIRONMENT
ENGINEERING CONSULTANTS, INC.
COMPANY ADDRESS: 4071 E. LA PALMA AVE. STE. B
ANAHEIM, CA 92807
PHONE NO.: (714) 632-3190
FAX NO. (714) 632-3191
PROJECT NO.: 22-1181P
ISSUE DATE: MARCH 8, 2022



FLOOR FRAMING PLAN - UNIT A

Scale: 1/4" = 1'-0"

TYPICAL ROOF/FLOOR SHT'G
 5/8" T&G APA RATED PLYWOOD
 A PANEL INDEX OF 24/0.
 (ORIENTED STRAND BOARD).
 B.N.: 10d COMMON NAIL AT 6" O.C.
 E.N.: 10d COMMON NAIL AT 6" O.C.
 F.N.: 10d COMMON NAIL AT 12" O.C.
 (USE COMMON NAILS)
 FOR TYPICAL DIAPHRAGM DET. SEE 7 FOR MORE INFORMATION.
 WOOD STRUCTURAL PANELS, WHEN USED STRUCTURALLY, SHALL CONFORM TO THE REQUIREMENTS FOR THEIR TYPE IN DOC PSI-95 AND/ OR PS2-92.

- FRAMING SCHEDULE**
- 1 ROOF RAFTER 2X10 DFL#2 @ 16" O.C
 - 2 CEILING JOIST 2X8 DFL#2 @ 16" O.C
 - 3 FLOOR JOIST 2X12 DFL#2 @ 16" O.C
 - 4 DECK JOIST 2X10 DFL#2 @ 16" O.C
 - 5 PATIO JOIST 2X12 DFL#2 @ 16" O.C

- CONTRACTOR NOTES**
- CONTRACTOR TO VERIFY ALL PLACES MARKED WITH "V.I.F." AND EXISTING FRAMING/CONDITIONS AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES IMMEDIATELY PRIOR TO COMMENCING ANY WORK.
 - IF SITE CONDITION OTHER THAN PLAN, CONTRACTOR NEED REPLACE THE EXISTING MEMBER WITH SIZE MARKED ON PLAN OR NOTIFY THE ENGINEER
 - FOR DIMENSIONS NOT SHOWN SEE ARCHITECTURAL DRAWINGS. (VERIFY ALL DIMENSION WITH ARCHITECTURAL PLANS)

- ADDITIONAL NOTES**
1. ALL THE EXISTING STRUCTURAL ITEMS INCLUDE BUT NOT LIMITED TO ROOF MEMBERS, WALL MEMBERS, HOLDDOWN, AND CONNECTIONS, ETC. WHICH DID NOT SHOW /MENTIONED ON PLAN SHOULD BE REMAINED. IT IS THE SOLE RESPONSIBILITY OF CONTRACTOR AND HAS NOT BEEN TAKEN INTO CONSIDERATION BY STRUCTURAL ENGINEER.
 2. THIS PROJECT ONLY INCLUDED 2 NEW CUSTOM HOME.
 3. THE DESIGN, ADEQUACY, AND OVERALL SAFETY OF ANY ERECTION BRACING, SHORING, TEMPORARY SUPPORTS, ETC. IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND HAS NOT BEEN TAKEN INTO CONSIDERATION BY THE STRUCTURAL ENGINEER.
 4. OBSERVATION VISITS TO THE SITE BY STRUCTURAL ENGINEER ONLY CONSTITUTE INSPECTION OF ALL THE NEW MEMBERS AND CONNECTIONS ON PLANS.

SYMBOLS & LEGENDS

- SPAN & DIRECTION OF ROOF TRUSS/RAFTER
- SPAN & DIRECTION CEILING/FLOOR/DECK JOIST
- TRIBUTARY WIDTH OF JOIST
- BEAM OR HEADER
- WOOD POST PER PLAN U.N.O.
- ALIGN WITH POST ABOVE
- POST FROM ABOVE
- WOOD WALL STUD PER ARCH (MIN. 2X4 @ 16" O.C.)
- WALL STUDS ABOVE
- SHEAR PANEL NUMBER, MIN. LENGTH NOTED, REFER TO "SHEAR WALL SCHEDULE" ON S-0 FOR MORE INFO (LENGTH IS FROM CENTER OF POST TO CENTER OF POST)
- HARDY-FRAME STRONG WALL SEE DETAIL SHEETS HF01-3 FOR ADDITIONAL DETAILS (IT IS THE SOLE RESPONSIBILITY OF CONTRACTOR TO VERIFY THE HEIGHT ON SITE AND REPORT TO ENGINEER!!!)
- DETAIL NUMBER
- DETAIL SHEET NUMBER
- HORIZONTAL COLLECTOR STRAP M5760 TYP. U.N.O.

OWNER/SUBDIVIDER:
 MR. JACK HERRON
 2630 WALNUT AVE, STE. A
 TUSTIN, CA 92780

NEW DUPLEX PROJECT
 PROJECT ADDRESS
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 COSTA MESA, CA 92627

PLANS PREPARED BY:
 W.H. CONSULTANT, INC.
 NORTHCA 1500 OAKLAND RD., SUITE 112, SAN JOSE, CA 95131
 SOUTHCA: 25 MALDEN, SUITE 323, IRVINE, CA 92618
 INFO@WHENGINEERINGGROUP.COM
 WWW.WHENGINEERINGGROUP.NET

HONGBO YANG
 R.C.E. C88467 EXP. 3/21/2024 DATE

REGISTERED PROFESSIONAL ENGINEER
 HONGBO YANG
 No. C88467
 Exp. 03-31-24
 CIVIL
 STATE OF CALIFORNIA

DESIGNER	Y.F.	DESIGNED BY	Y.F.	DRAFTED BY	Y.F.	APPROVED BY	Y.Z.

NO. DATE REVISIONS

TITLE:
 FLOOR FRAMING PLAN (UNIT A)

PROJECT NO.:
 22132

SHEET NO.:
 S-2.0



DESIGNER	DESIGNED BY	DRAFTED BY	APPROVED BY	NO.	DATE	REVISIONS

TITLE:

ROOF FRAMING PLAN (UNIT A)

PROJECT NO.:
22132

SHEET NO.:
S-3.0

TYPICAL ROOF SHT'G

5/8" T&G APA RATED PLYWOOD
A PANEL INDEX OF 24/0,
(ORIENTED STRAND BOARD).
B.N.: 10d COMMON NAIL AT 6" O.C.
E.N.: 10d COMMON NAIL AT 6" O.C.
F.N.: 10d COMMON NAIL AT 12" O.C.
(USE COMMON NAILS)
FOR TYPICAL DIAPHRAGM DET. SEE (7) FOR MORE INFORMATION.

WOOD STRUCTURAL PANELS, WHEN USED STRUCTURALLY, SHALL CONFORM TO THE REQUIREMENTS FOR THEIR TYPE IN DOC. PSI-95 AND/ OR PS2-92.

- FRAMING SCHEDULE**
- 1 ROOF RAFTER 2X10 DFL#2 @ 16" O.C.
 - 2 CEILING JOIST 2X8 DFL#2 @ 16" O.C.
 - 3 FLOOR JOIST 2X12 DFL#2 @ 16" O.C.
 - 4 DECK JOIST 2X10 DFL#2 @ 16" O.C.
 - 5 PATIO JOIST 2X12 DFL#2 @ 16" O.C.

CONTRACTOR NOTES

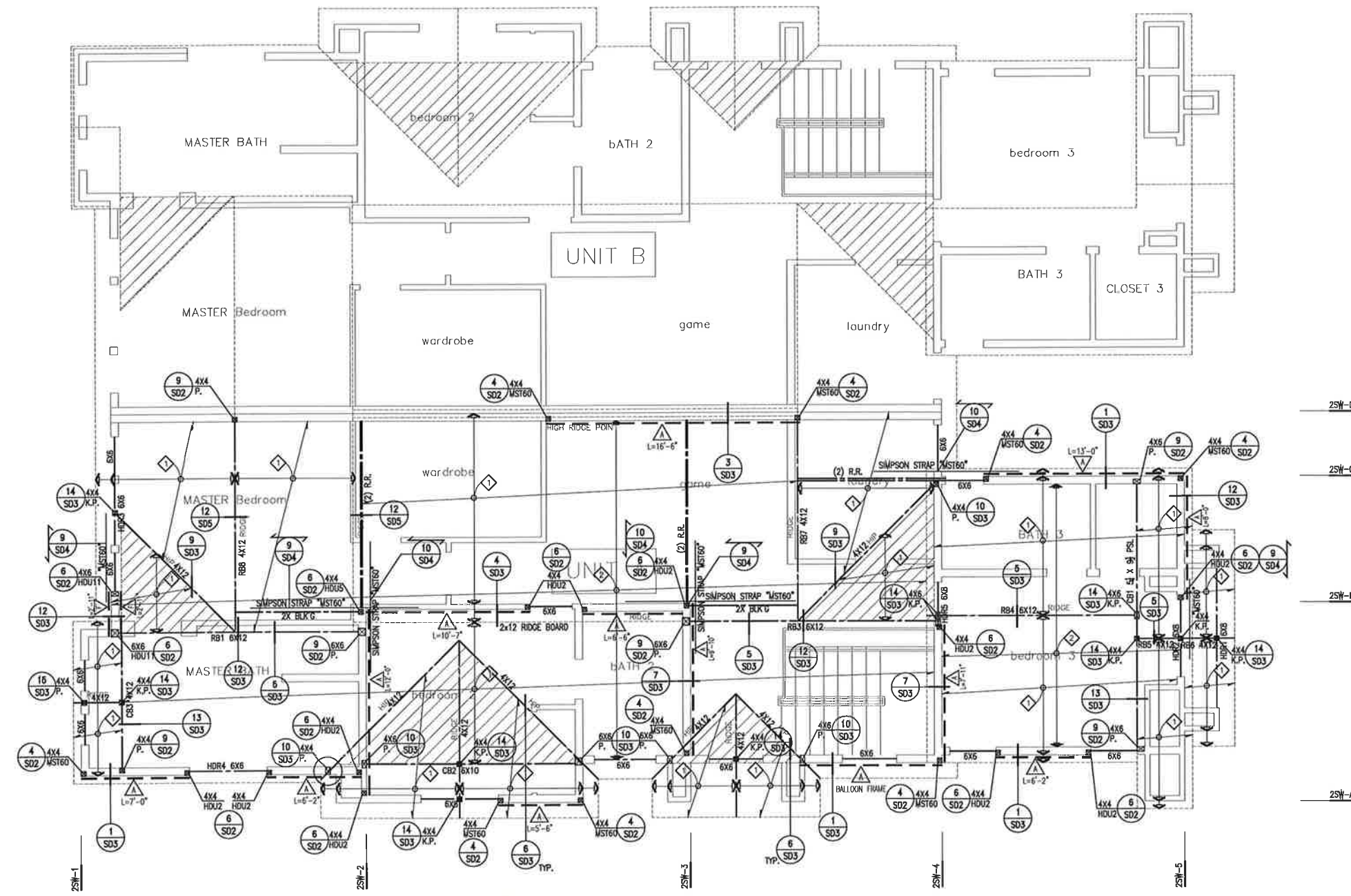
- * CONTRACTOR TO VERIFY ALL PLACES MARKED WITH "V.I.F." AND EXISTING FRAMING/CONDITIONS AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES IMMEDIATELY PRIOR TO COMMENCING ANY WORK.
- * IF SITE CONDITION OTHER THAN PLAN, CONTRACTOR NEED REPLACE THE EXISTING MEMBER WITH SIZE MARKED ON PLAN OR NOTIFY THE ENGINEER
- * FOR DIMENSIONS NOT SHOWN SEE ARCHITECTURAL DRAWINGS. (VERIFY ALL DIMENSION WITH ARCHITECTURAL PLANS)

ADDITIONAL NOTES

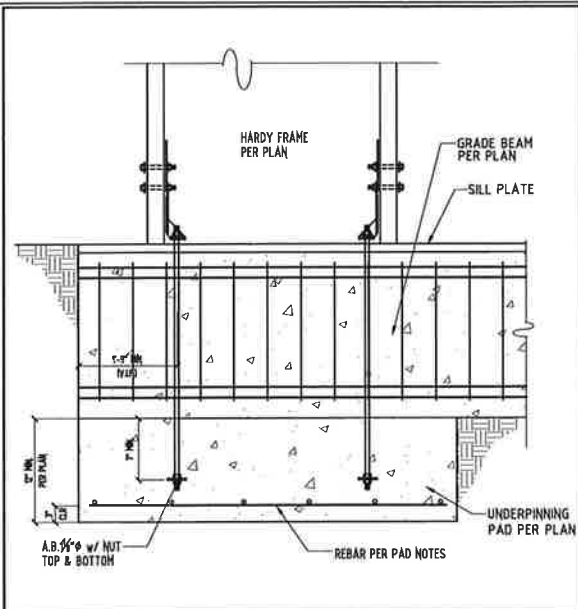
1. ALL THE EXISTING STRUCTURAL ITEMS INCLUDE BUT NOT LIMITED TO ROOF MEMBERS, WALL MEMBERS, HOLDDOWN, AND CONNECTIONS, ETC. WHICH DID NOT SHOW /MENTIONED ON PLAN SHOULD BE REMAINED. IT IS THE SOLE RESPONSIBILITY OF CONTRACTOR AND HAS NOT BEEN TAKEN INTO CONSIDERATION BY STRUCTURAL ENGINEER.
2. THIS PROJECT ONLY INCLUDED 2 NEW CUSTOM HOME.
3. THE DESIGN, ADEQUACY, AND OVERALL SAFETY OF ANY ERECTION BRACING, SHORING, TEMPORARY SUPPORTS, ETC. IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND HAS NOT BEEN TAKEN INTO CONSIDERATION BY THE STRUCTURAL ENGINEER.
4. OBSERVATION VISITS TO THE SITE BY STRUCTURAL ENGINEER ONLY CONSTITUTE INSPECTION OF ALL THE NEW MEMBERS AND CONNECTIONS ON PLANS.

SYMBOLS & LEGENDS

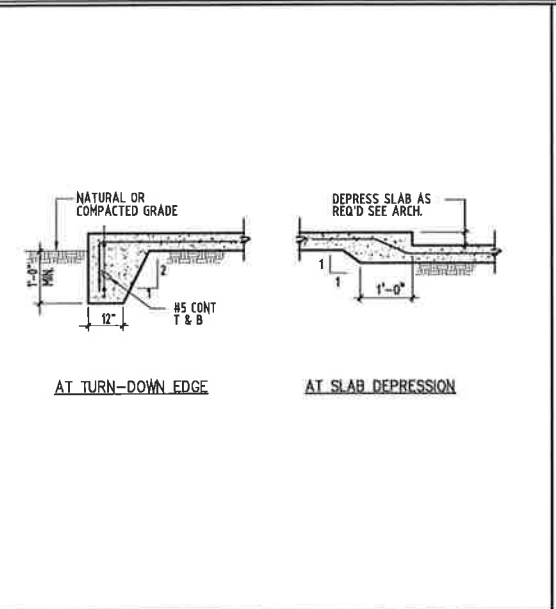
- SPAN & DIRECTION OF ROOF TRUSS/RAFTER
- SPAN & DIRECTION CEILING/FLOOR/DECK JOIST
- TRIBUTARY WIDTH OF JOIST
- BEAM OR HEADER
- WOOD POST PER PLAN U.N.O.
- ALIGN WITH POST ABOVE
- POST FROM ABOVE
- WOOD WALL STUD PER ARCH (MIN. 2X4 @ 16" O.C.)
- WALL STUDS ABOVE
- SHEAR PANEL NUMBER, MIN. LENGTH NOTED, REFER TO "SHEAR WALL SCHEDULE" ON S-0 FOR MORE INFO (LENGTH IS FROM CENTER OF POST TO CENTER OF POST)
- HARDY-FRAME STRONG WALL SEE DETAIL SHEETS HFX1-3 FOR ADDITIONAL DETAILS (IT IS THE SOLE RESPONSIBILITY OF CONTRACTOR TO VERIFY THE HEIGHT ON SITE AND REPORT TO ENGINEER!!)
- DETAIL NUMBER
DETAIL SHEET NUMBER
- HORIZONTAL COLLECTOR STRAP M160 TYP. U.N.O.



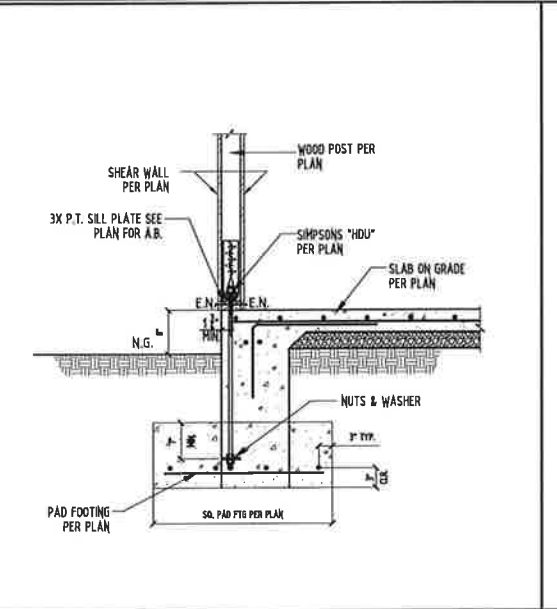
ROOF FRAMING PLAN - UNIT A
Scale: 1/4"=1'-0"



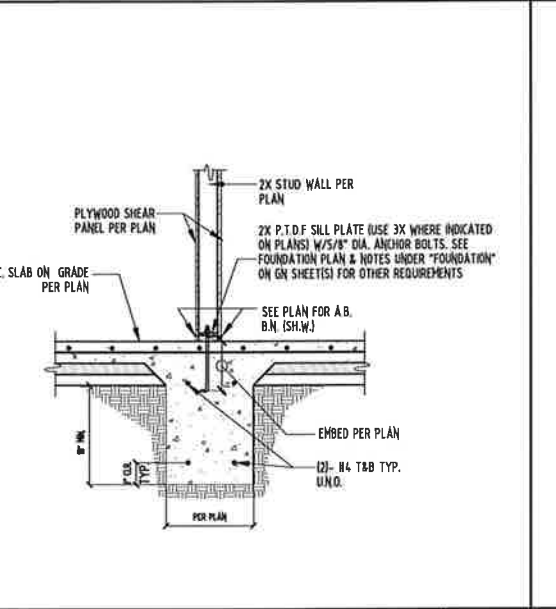
PAD FOR HARDY FRAME 13



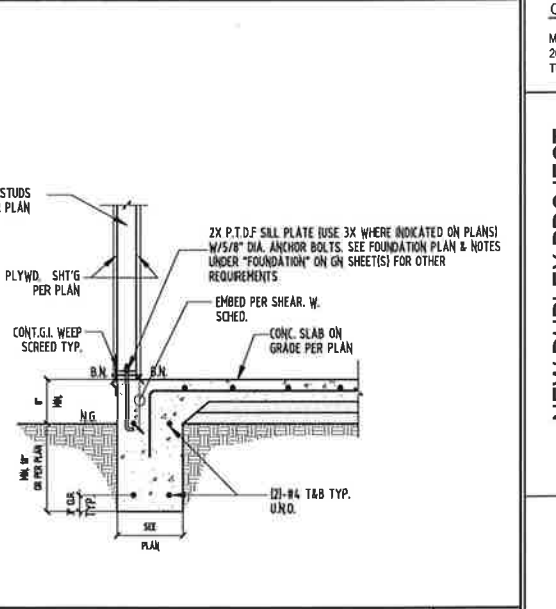
EXT. WALL TYP. SECTION @ SLAB-ON-GRADE @ FOOTING 10



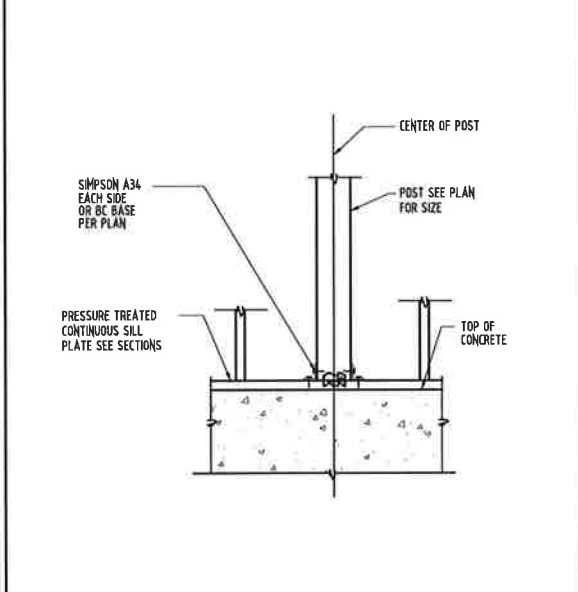
HOLD DOWN/PAD FOOTING DETAIL 7



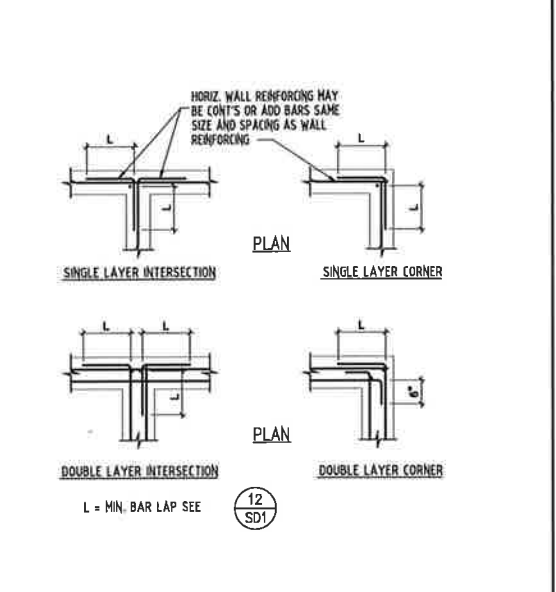
INTERIOR SLAB ON GRADE FOOTING 4



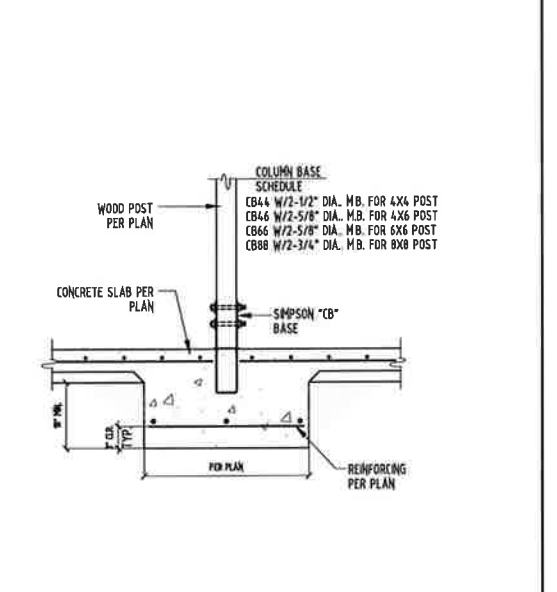
EXTERIOR WALL FOOTING W/SLAB-ON-GRADE 1



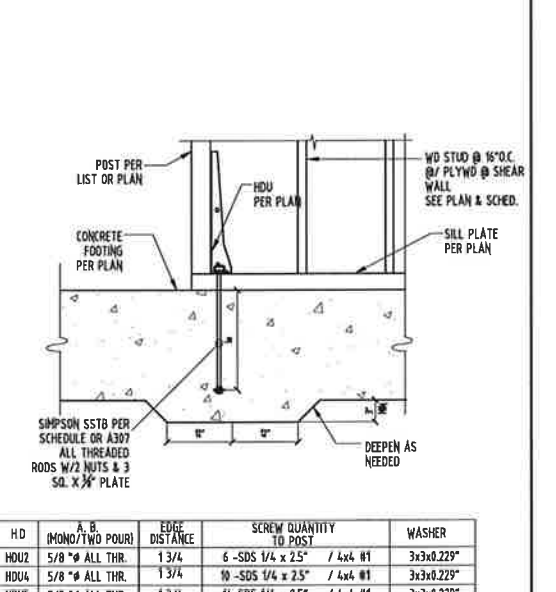
WOOD POST ON SILL PLATE 14



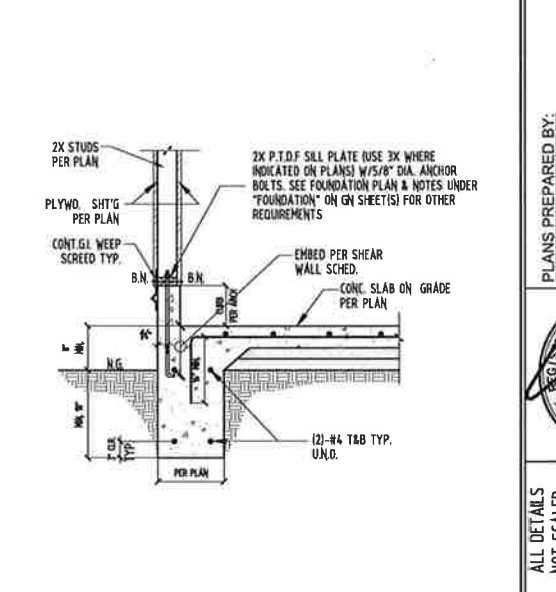
TYP. REINFORCING BENDS 11



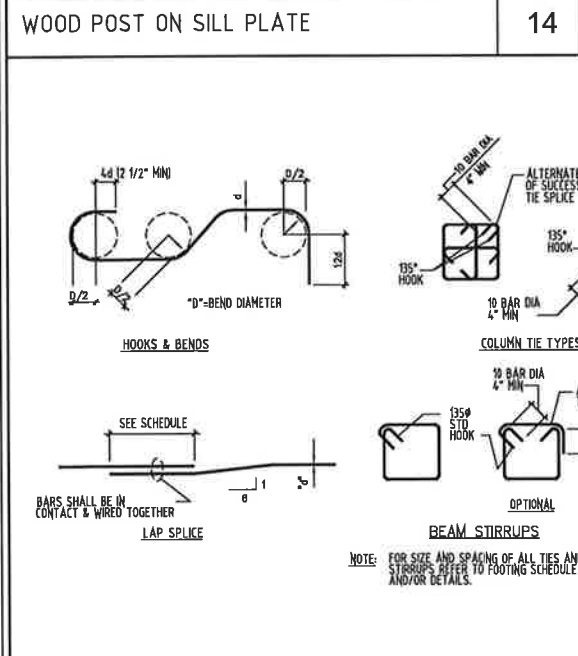
WOOD POST BASE TO PAD DETAIL 8



HOLD DOWN DETAIL 6



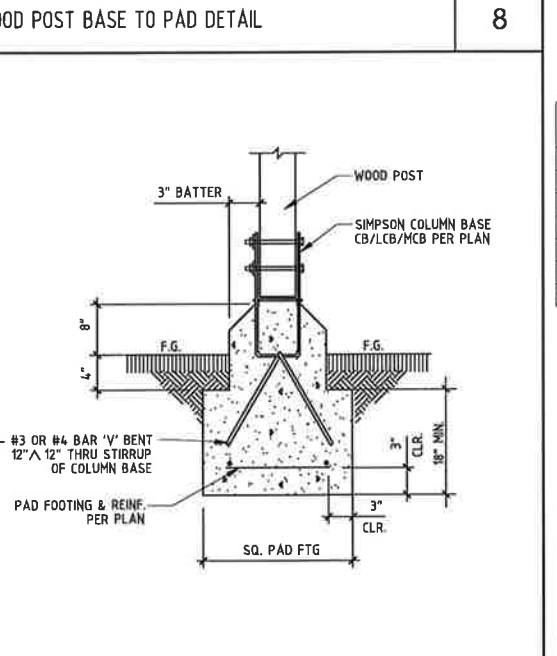
EXTERIOR WALL FOOTING W/SLAB-ON-GRADE (GARAGE) 2



BEND DIAMETER SCHEDULE		
BAR SIZE	BEND DIAMETER	
#3 THRU #5	D = 4d	
#6 THRU #8	D = 6d	
#9 THRU #11	D = 8d	
#14 THRU #18	D = 10d	

2500 PSI MIN. CONCRETE REINFORCING BAR LAP SPLICE				CONCRETE BLOCK
BAR #	MINIMUM CLEAR BAR SPACING (BAR DIAMETER)	LAP SPLICE LENGTH (INCHES)	OTHER BARS	BAR LAP IN INCHES
#4	MORE THAN 2	30	23	24"
#5	MORE THAN 2	37	29	30"
#6	MORE THAN 2	44	34	54"
#7	MORE THAN 2	81	62	63"
#8	MORE THAN 2	93	72	72"
#9	MORE THAN 2	104	80	82"
#10	MORE THAN 2	116	89	92"
#11	MORE THAN 2	127	98	102"

HORIZONTAL REINFORCEMENT SO PLACED THAT MORE THAN 12" OF FRESH CONCRETE IS CAST IN THE MEMBER BELOW THE DEVELOPMENT LENGTH OR SPLICE

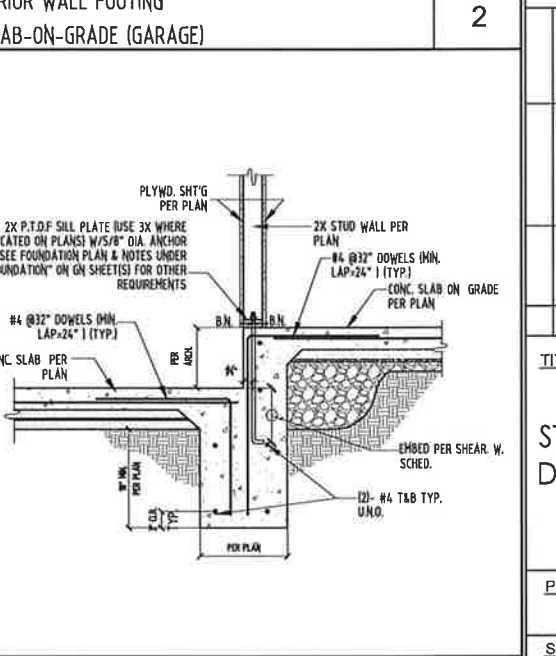


COLUMN BASE AND EXT. PAD 9

MODEL #	DIAMETER (INCHES)	LENGTH (INCHES)	MIN. EMBED. l _e (INCHES)	MIN. END DISTANCE d _c (INCHES)	MIN. EDGE DISTANCE d _e (INCHES)	MIN. WALL WIDTH b (INCHES)
SSTB16	5/8"	1'-5"	12 5/8"	0'-5"	0'-1 3/4"	0'-8"
SSTB20	5/8"	1'-9"	16 5/8"	0'-5"	0'-1 3/4"	0'-8"
SSTB24	5/8"	2'-1"	20 5/8"	0'-5"	0'-1 3/4"	0'-8"
SSTB28	7/8"	2'-5"	24 7/8"	0'-5"	0'-1 7/8"	0'-8"
SSTB34	7/8"	2'-10"	28 7/8"	0'-5"	0'-1 7/8"	0'-8"
SSTB36	7/8"	3'-0"	28 7/8"	0'-5"	0'-1 7/8"	0'-8"
1" ALL THR.	1"	-	28 7/8"	0'-5"	0'-1 7/8"	0'-8"

- BOLTS ARE ASTM A 307.
- GROUT ALL CELLS WITH MINIMUM 2,000-PSI CONCRETE.
- MINIMUM ANCHOR CENTER-TO-CENTER SPACING IS 2 IN FOR ANCHORS ACTING IN TENSION AT THE SAME TIME FOR FULL LOAD.
- THE SSTB28, 34, 436 - BOLTS MAY ALSO BE INSTALLED IN THE CORNER CONDITION DISTANCE AND MIN 12" RETURN FOR THE TOP REBAR.
- SPECIAL INSPECTION IS NOT REQUIRED FOR ANCHOR BOLTS ATTACHED TO TRADITIONAL WOOD PANEL SHEAR WALLS (N/A).
- SPECIAL INSPECTION IS REQUIRED FOR ANCHOR BOLTS ATTACHED TO STRONG WALLS OR HARDY FRAME WALLS (N/A).
- FOR HOLD-DOWNS, ANCHOR BOLT NUTS SHOULD BE FINGER-TIGHT PLUS 1/3 TO 1/2 TURN WITH A WRENCH WITH CONSIDERATION GIVEN TO POSSIBLE FUTURE WOOD SHRINKAGE. CARE SHOULD BE TAKEN TO NOT OVER-TORQUE THE NUT.
- STUD BOLTS SHOULD BE SNUGLY TIGHTENED.

HOLD DOWN DETAIL 6



EXTERIOR WALL FOOTING W/SLAB-ON-GRADE (GARAGE) 3

OWNERS/SUBDIVIDER:
MR. JACK HERRON
2630 WALNUT AVE, STE. A
TUSTIN, CA 92780

NEW DUPLEX PROJECT
PROJECT ADDRESS
161 CECIL PLACE
COSTA MESA, CA 92627

PLANS PREPARED BY:
W.H. CONSULTANT, INC.
NORTHCA 1590 OAKLAND RD., SUITE 112, SAN JOSE, CA 95131
SOUTHCA, 25 MAULCHRY, SUITE 323, IRVINE, CA 92618
INFO@WHCONSULTANT.COM
WWW.WHENENGINEERINGGROUP.COM

REGISTERED PROFESSIONAL ENGINEER
No. C88467
Exp. 03-31-20
CIVIL
STATE OF CALIFORNIA

ALL DETAILS NOT SCALED	Y.F.	Y.F.	Y.F.	Y.Z.
DESIGNER				
DESIGNED BY				
DRAFTED BY				
APPROVED BY				
NO.	DATE	REVISIONS	CHECKED BY	Y.Z.

TITLE:
STRUCTURAL DETAILS

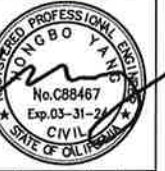
PROJECT NO.:
22132

SHEET NO.:
SD-1

OWNER/SUBDIVIDER:
MR. JACK HERRON
2630 WALNUT AVE, STE. A
TUSTIN, CA 92780

NEW DUPLEX PROJECT
PROJECT ADDRESS
161 CECIL PLACE
COSTA MESA, CA 92627

PLANS PREPARED BY:
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SOUTH-CA: 25 MALCOLM CT., SUITE 321, IRVINE, CA 92618
INFO@WHCONSULTANT.COM
WWW.WHCONSULTANT.COM



ALL DETAILS NOT SCALED

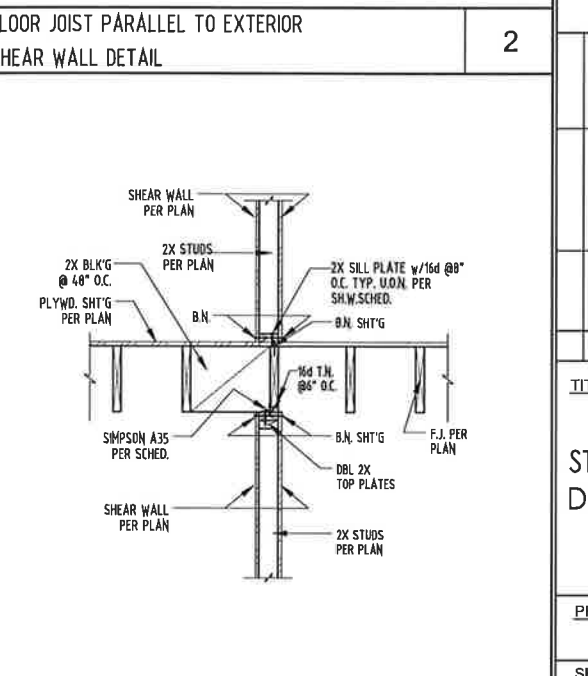
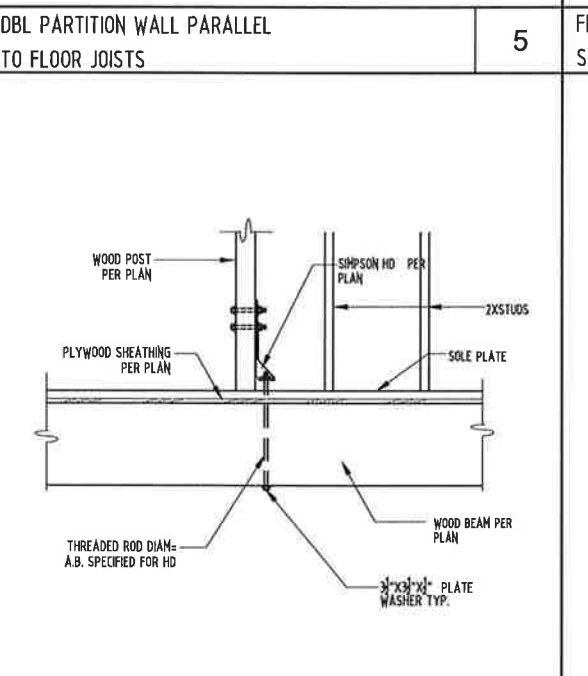
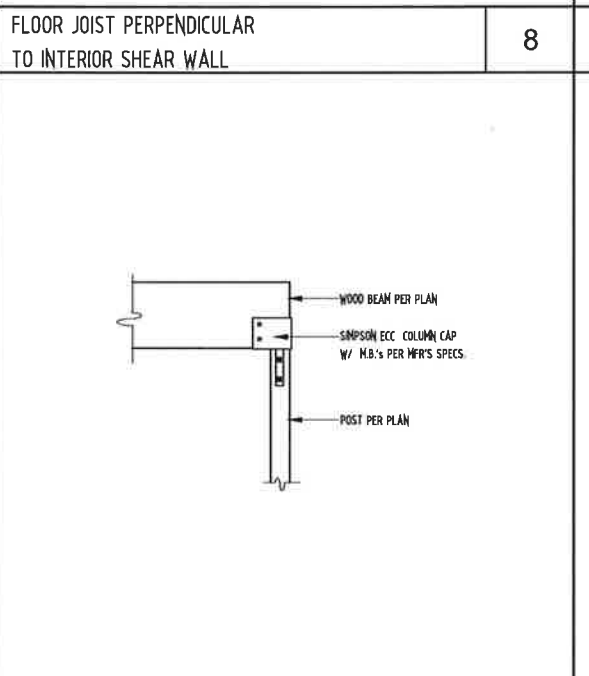
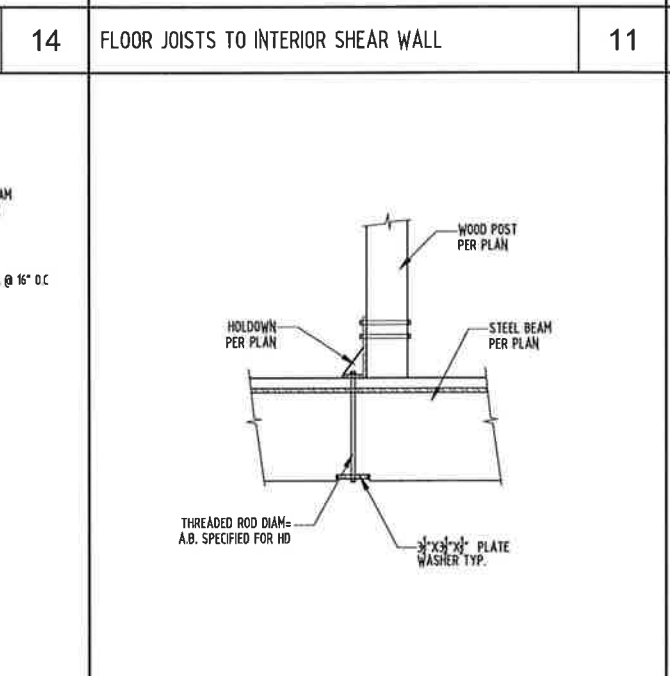
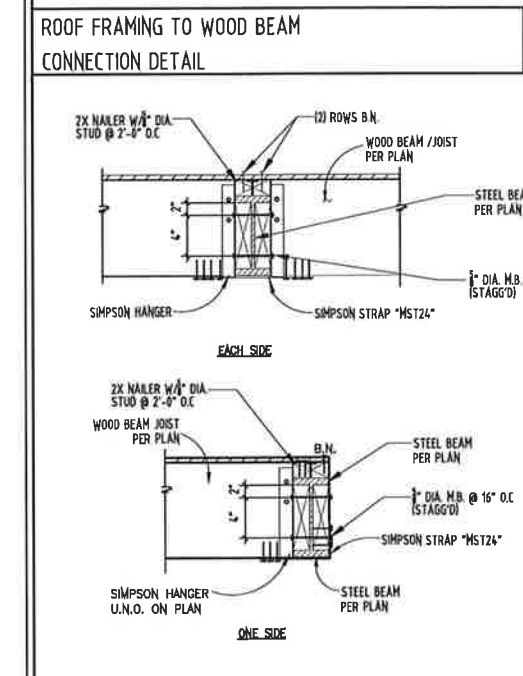
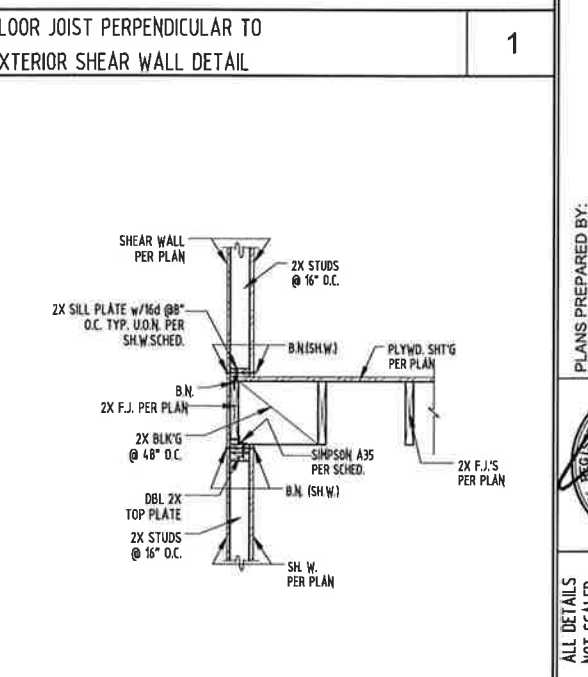
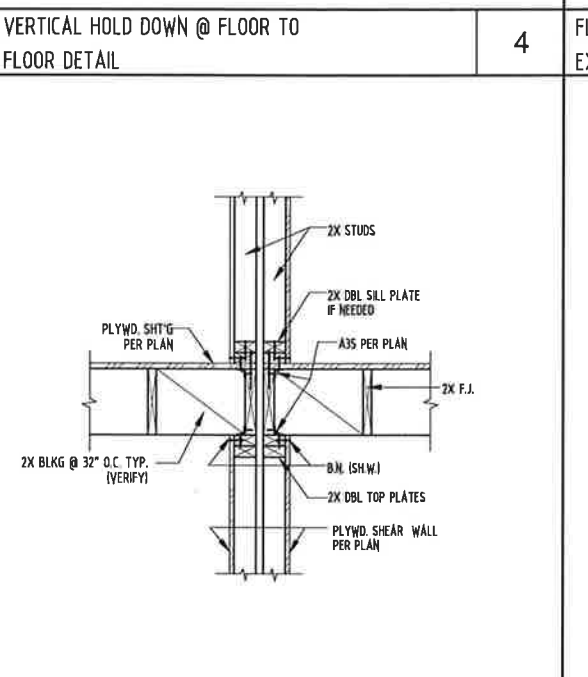
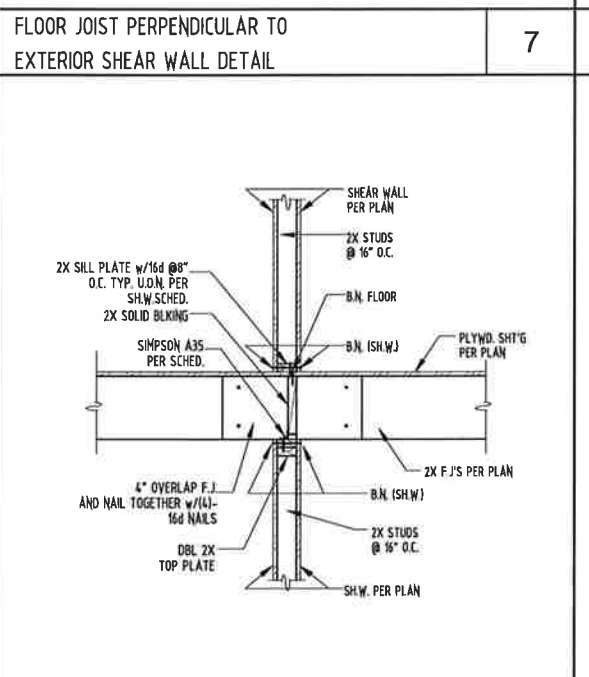
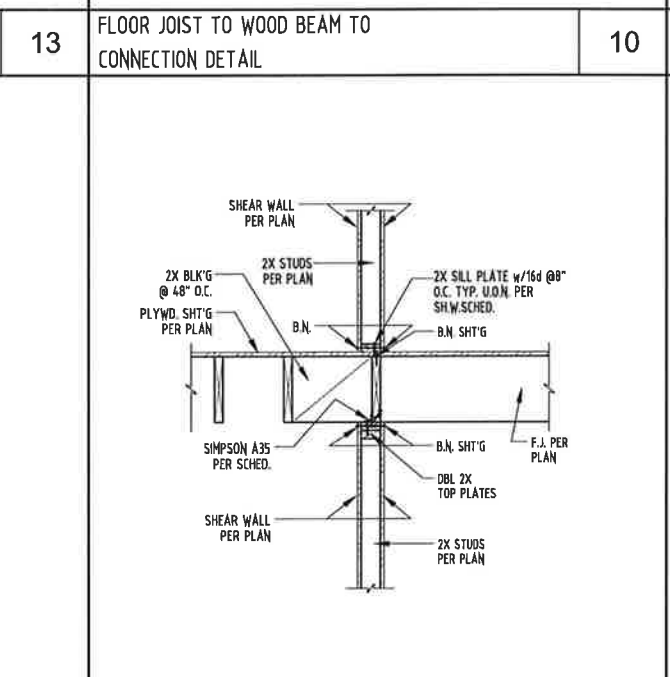
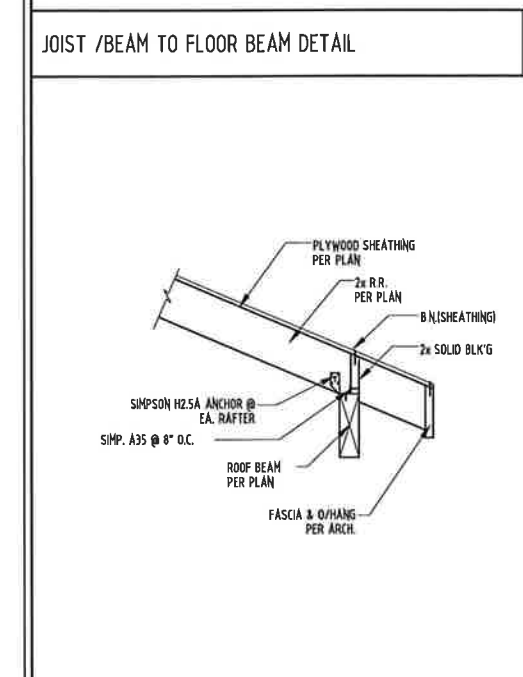
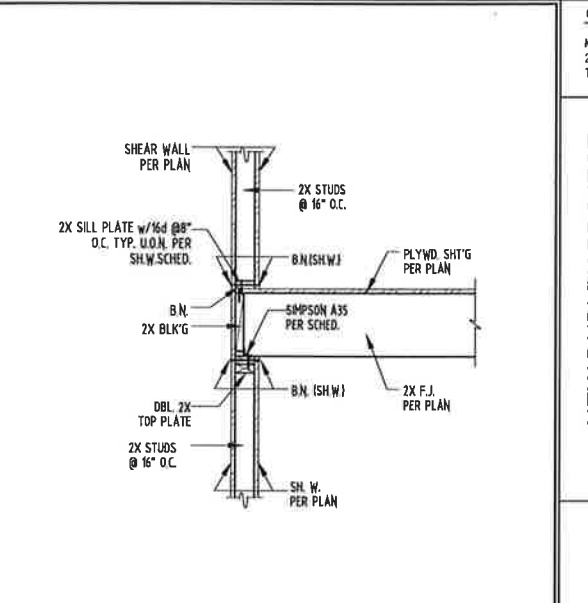
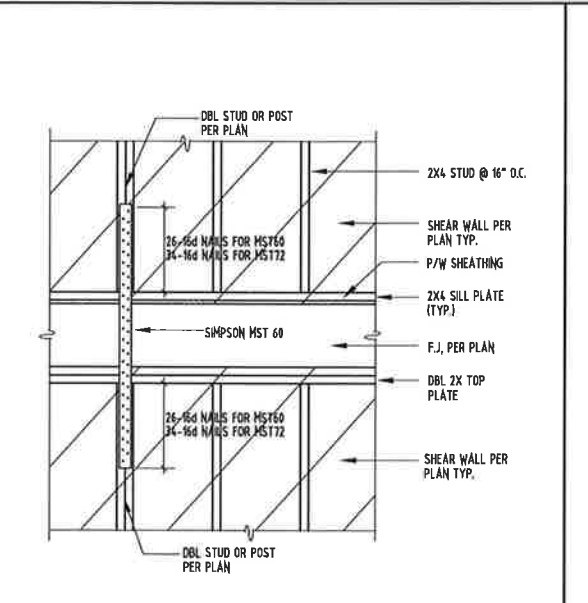
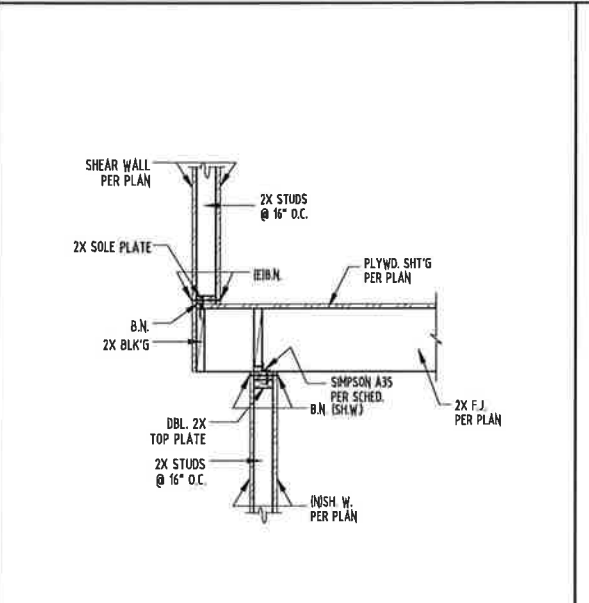
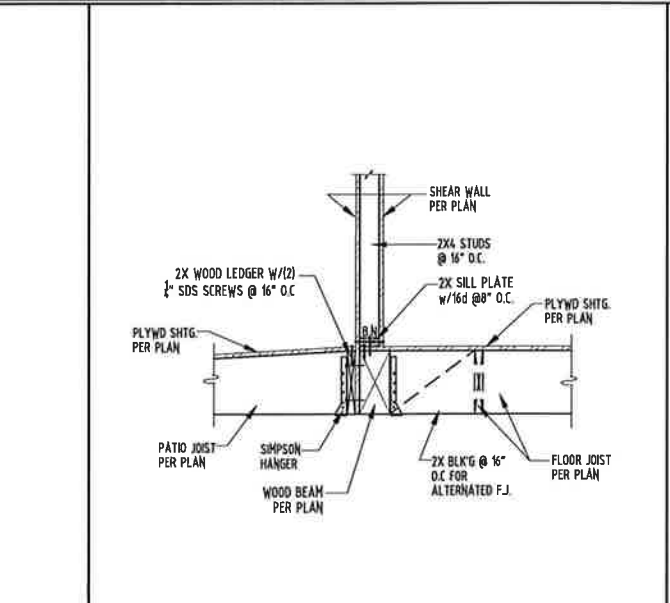
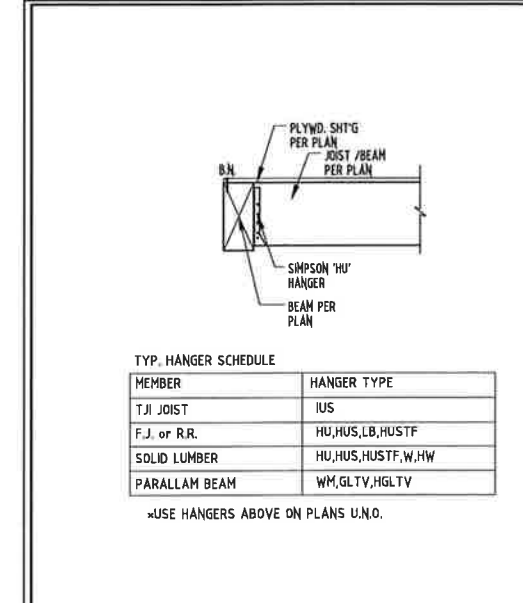
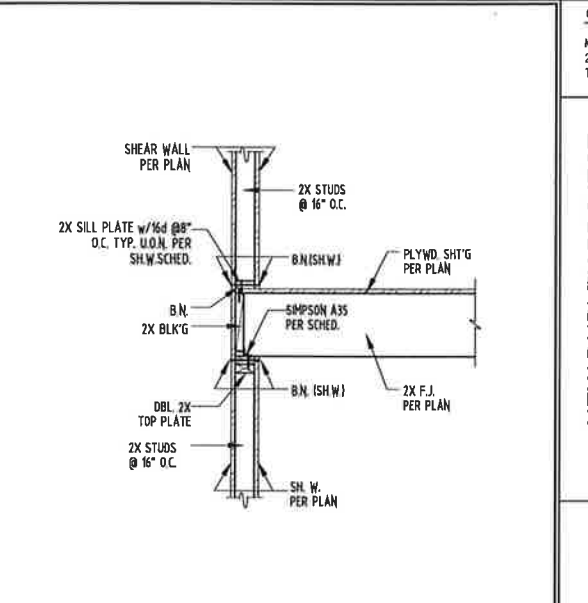
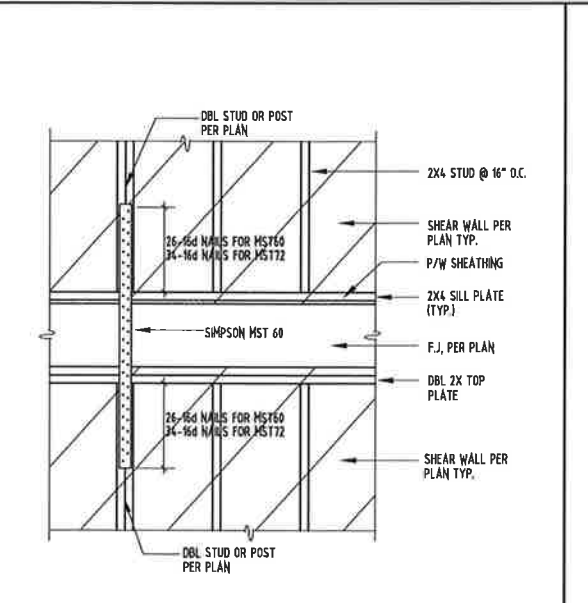
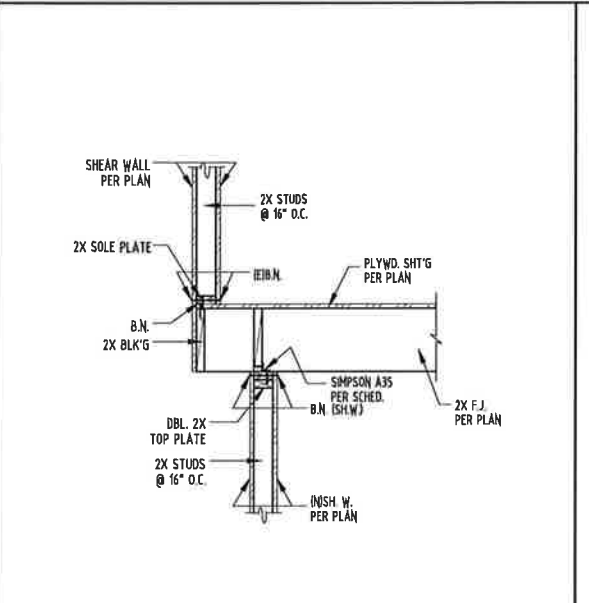
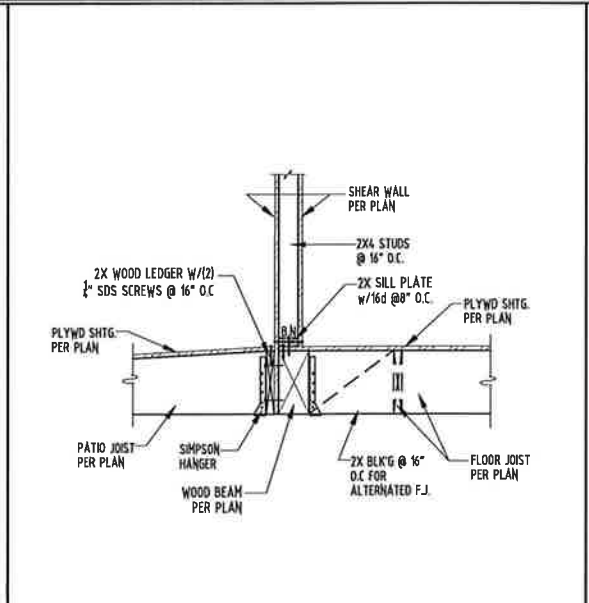
DESIGNER	Y.F.
DESIGNED BY	Y.F.
DRAFTED BY	Y.F.
APPROVED BY	Y.Z.

NO.	DATE	REVISIONS	APPROVED BY	CHECKED BY

TITLE:
STRUCTURAL DETAILS

PROJECT NO.:
22132

SHEET NO.:
SD-2



WOOD BEAM/JOIST TO STEEL BEAM CONNECTION DETAIL

HOLD-DOWN/WOOD POST TO STEEL BEAM

WOOD POST TO WOOD BEAM DETAIL

HOLD DOWN TO WOOD BEAM DETAIL

FLOOR JOISTS PARALLEL TO INTERIOR SHEAR WALL

JOIST / BEAM TO FLOOR BEAM DETAIL

FLOOR JOIST TO WOOD BEAM TO CONNECTION DETAIL

FLOOR JOIST PERPENDICULAR TO EXTERIOR SHEAR WALL DETAIL

VERTICAL HOLD DOWN @ FLOOR TO FLOOR DETAIL

FLOOR JOIST PERPENDICULAR TO EXTERIOR SHEAR WALL DETAIL

ROOF FRAMING TO WOOD BEAM CONNECTION DETAIL

FLOOR JOISTS TO INTERIOR SHEAR WALL

FLOOR JOIST PERPENDICULAR TO INTERIOR SHEAR WALL

DBL PARTITION WALL PARALLEL TO FLOOR JOISTS

FLOOR JOIST PARALLEL TO EXTERIOR SHEAR WALL DETAIL

WOOD BEAM/JOIST TO STEEL BEAM CONNECTION DETAIL

HOLD-DOWN/WOOD POST TO STEEL BEAM

WOOD POST TO WOOD BEAM DETAIL

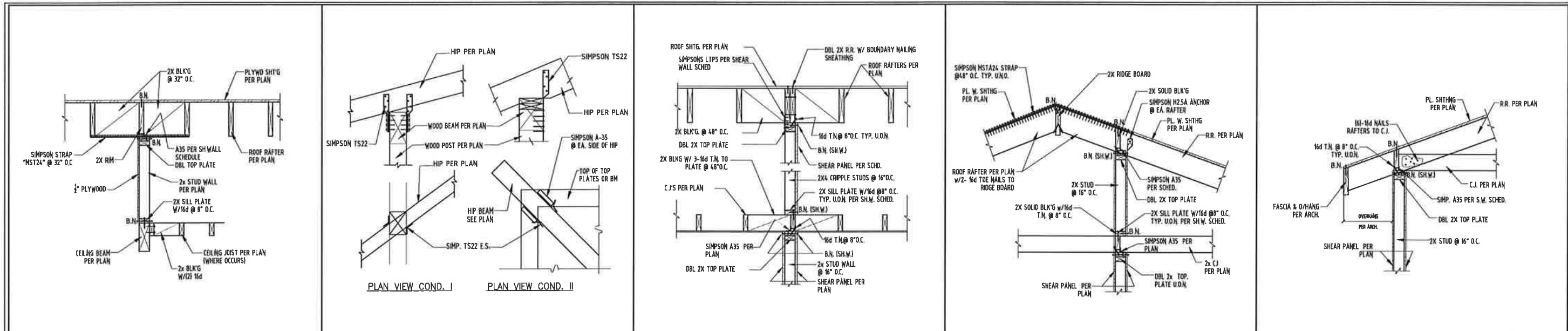
HOLD DOWN TO WOOD BEAM DETAIL

FLOOR JOISTS PARALLEL TO INTERIOR SHEAR WALL

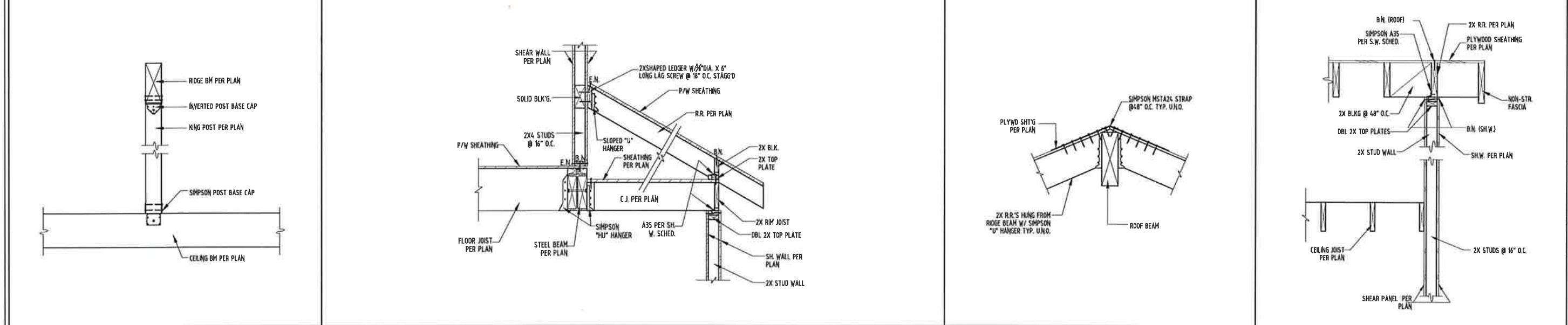
TYP. HANGER SCHEDULE

MEMBER	HANGER TYPE
T.J. JOIST	IUS
F.J. or R.R.	HU,HUS,LB,HUSTF
SOLID LUMBER	HU,HUS,HUSTF,W,HW
PARALLAM BEAM	WM,GLTV,HGLTV

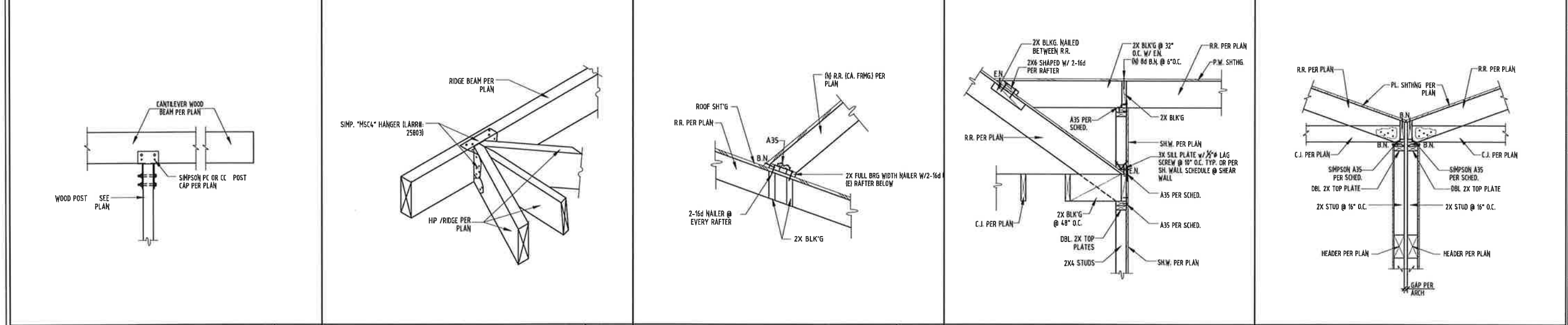
*USE HANGERS ABOVE ON PLANS U.N.O.



TYP. END ROOF RAFTER CONN. DETAIL 13 TYPICAL HIP TO POST CONNECTION DETAIL 10 ROOF RAFTERS PERPENDICULAR TO INTERIOR SHEAR WALL DETAIL 7 ROOF RAFTERS PERPENDICULAR TO EXTERIOR SHEAR WALL 4 ROOF RAFTERS PERPENDICULAR TO EXTERIOR SHEAR WALL 1



KING POST DETAIL 14 ROOF FRAMING TO STEEL FLOOR BEAM SECTION DETAIL 8 ROOF FRAMING TO ROOF RIDGE BEAM CONNECTION DETAIL 5 ROOF RAFTER PARALLEL TO EXTERIOR SHEAR WALL DETAIL 2



CANTILEVER WOOD BEAM TO WOOD POST CONNECTION DETAIL 15 ROOF HIP TO ROOF BEAM CONNECTION DETAIL 12 TYPICAL CALIFORNIA ROOF FRAMING CONNECTION DETAIL 9 ROOF FRAMING TO INTERIOR SHEAR WALL CONNECTION DETAIL 6 ROOF RAFTERS PERPENDICULAR TO EXTERIOR SHEAR WALL DETAIL 3

OWNER/SUBDIVIDER:
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2630 WALNUT AVE, STE. A
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NEW DUPLEX PROJECT
PROJECT ADDRESS
161 CECIL PLACE
COSTA MESA, CA 92627

PLANS PREPARED BY:
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SOUTH-CA 23 MAULCHLY, SUITE 323, RAYNE, CA 92618
INFO@WHENGINEERINGGROUP.COM
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HOWARD YANG
P.L.C.E. 088467 Exp. 3/31/2024

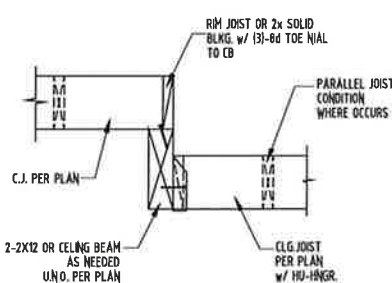
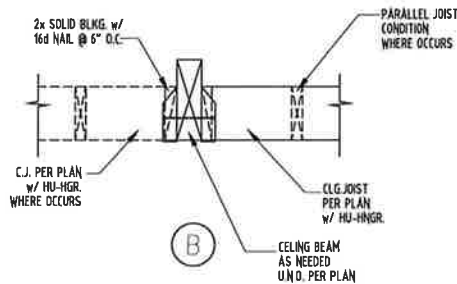
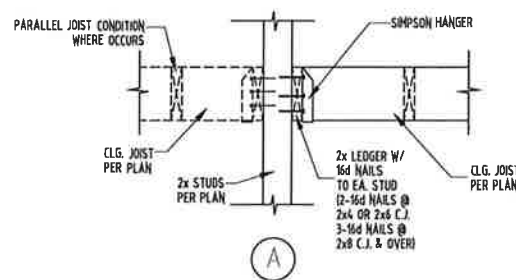
REGISTERED PROFESSIONAL ENGINEER
LONGBO YAN
No. C88467
Exp. 03-31-22
CIVIL
STATE OF CALIFORNIA

ALL DETAILS NOT SCALED	Y.F.	Y.F.	Y.F.	Y.Z.
DESIGNER				
DESIGNED BY				
DRAFTED BY				
CHECKED BY				
APPROVED BY				
NO.	DATE	REVISIONS	APPROVED BY	CHECKED BY

TITLE:
STRUCTURAL DETAILS

PROJECT NO.:
22132

SHEET NO.:
SD-3

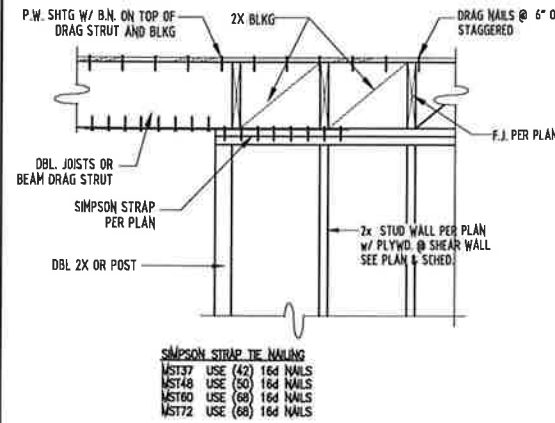


TYP. CEILING JOIST CONN. DETAIL 14

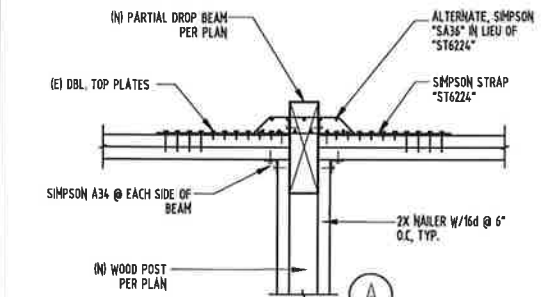
CEILING JOISTS
 USE THIS SPAN TABLE FOR CEILING JOISTS GIVEN THE FOLLOWING CONDITIONS (UNO) ON PLANS:
 A) DEAD LOAD = 6 PSF
 B) LIVE LOAD = 10 PSF
 C) TOTAL DEFLECTION L/240
 D) WITH ONE LAYER DRYWALL
 E) USE DOUGLAS FIR LARCH #2

2x4		2x6		2x8	
SPACING	MAX. SPAN	SPACING	MAX. SPAN	SPACING	MAX. SPAN
12"	9'-10"	12"	16'-0"	12"	20'-5"
16"	8'-10"	16"	14'-5"	16"	18'-4"
24"	7'-7"	24"	12'-6"	24"	15'-9"

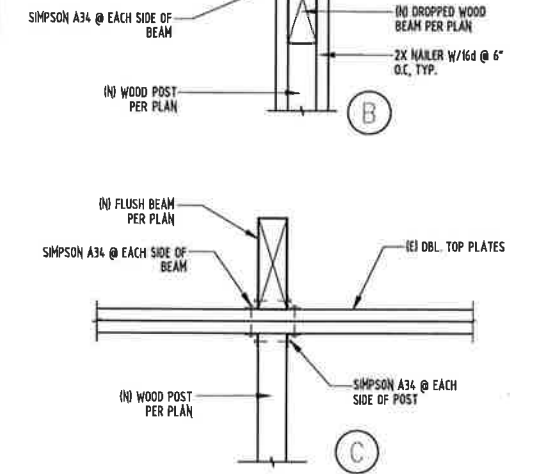
TYP. CEILING JOIST SPAN TABLE 15



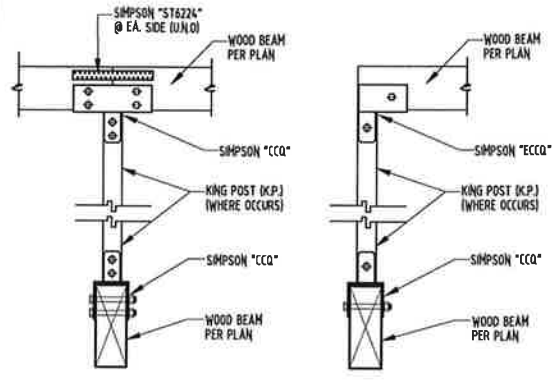
TYP. DRAG DETAIL 10



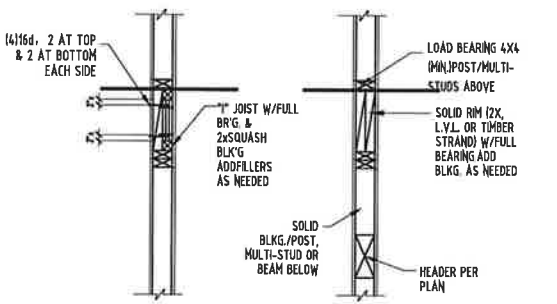
TYP. BEAM TO POST WITH TOP PLATE 12



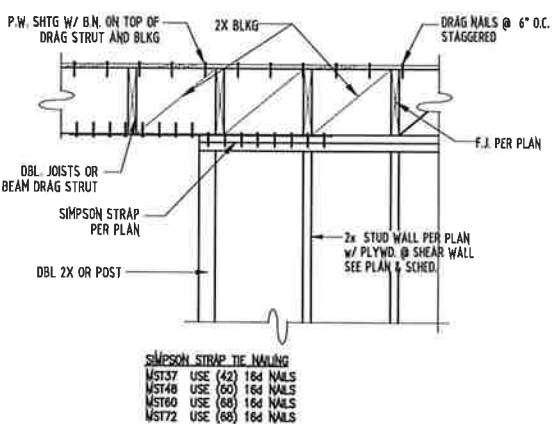
TYP. BEAM TO POST WITH TOP PLATE 12



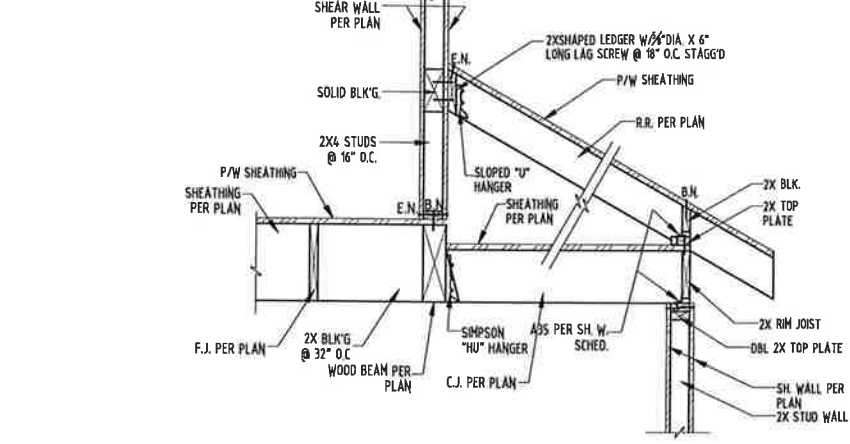
TYP. KING POST DETAIL 7



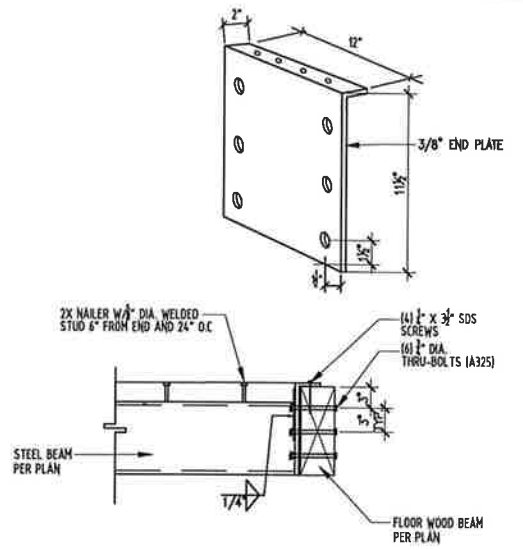
TYP. FLOOR BLOCKING DETAIL 8



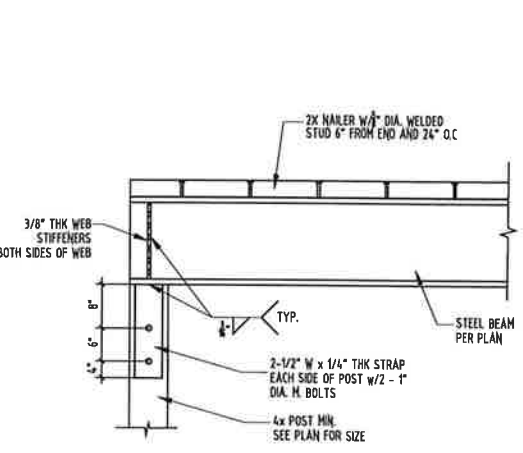
TYP. DRAG DETAIL 9



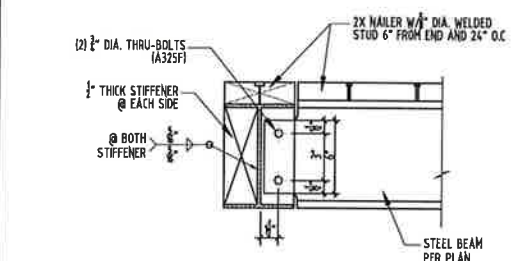
ROOF FRAMING TO WOOD FLOOR BEAM SECTION DETAIL 1



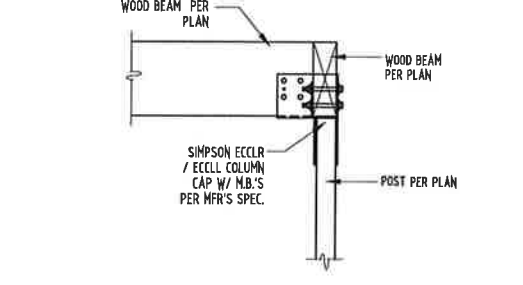
STEEL BEAM TO WOOD BEAM CONNECTION DETAIL 5



STEEL BEAM TO WOOD BEAM CONNECTION DETAIL 6



STEEL BEAM TO STEEL BEAM CONNECTION DETAIL 2

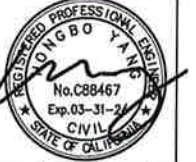


WOOD POST TO WOOD BEAM DETAIL 3

OWNER/SUBDIVIDER:
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 TUSTIN, CA 92780

NEW DUPLEX PROJECT
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 161 CECIL PLACE
 COSTA MESA, CA 92627

PLANS PREPARED BY:
 W.H. CONSULTANT, INC.
 NORTH CALIFORNIA 1590 OAKLAND RD. SUITE 112 SAN JOSE, CA 95131
 SOUTH CALIF. 23 MALCOLM, SUITE 333, RIVERSIDE, CA 92518
 INFO@WHENGINEERINGGROUP.COM
 WWW.WHENGINEERINGGROUP.NET
 HONORED VANG
 N.C.C.E. C88467 EXP. 3/31/2024



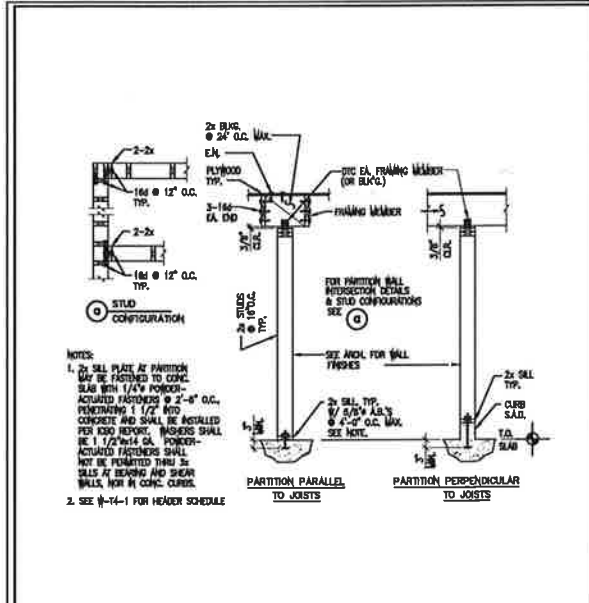
ALL DETAILS NOT SCALED	Y.F.	Y.F.	Y.F.	Y.Z.
DESIGNER	DESIGNED BY	DRAFTED BY	CHECKED BY	

NO.	DATE	REVISIONS	APPROVED BY	CHECKED BY

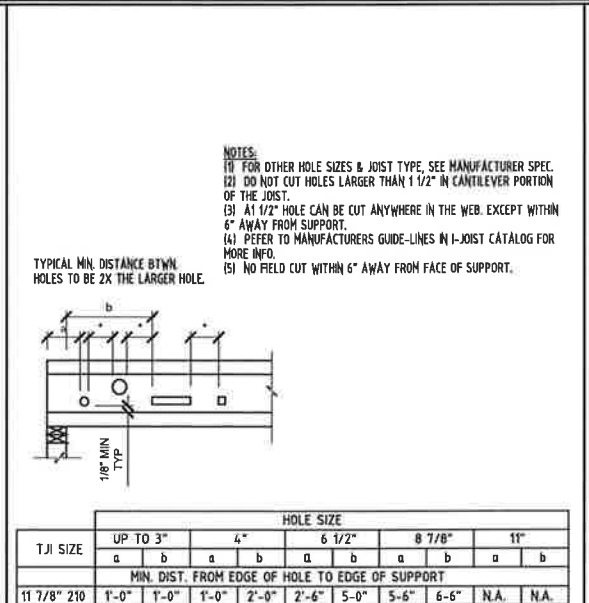
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 STRUCTURAL DETAILS

PROJECT NO.:
 22132

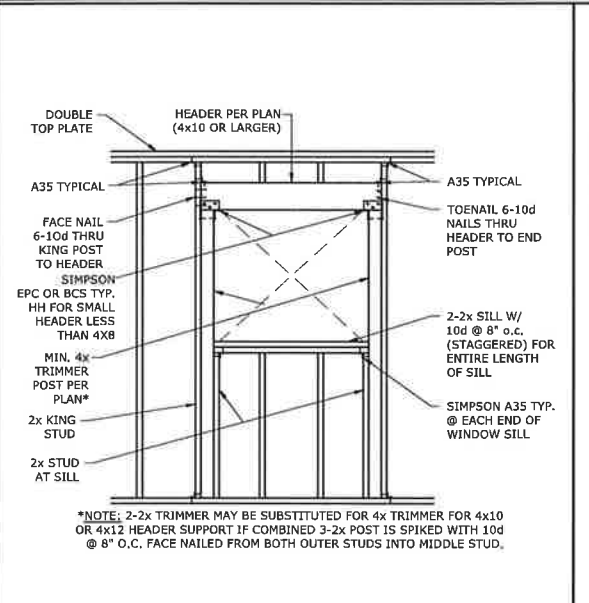
SHEET NO.:
 SD-4



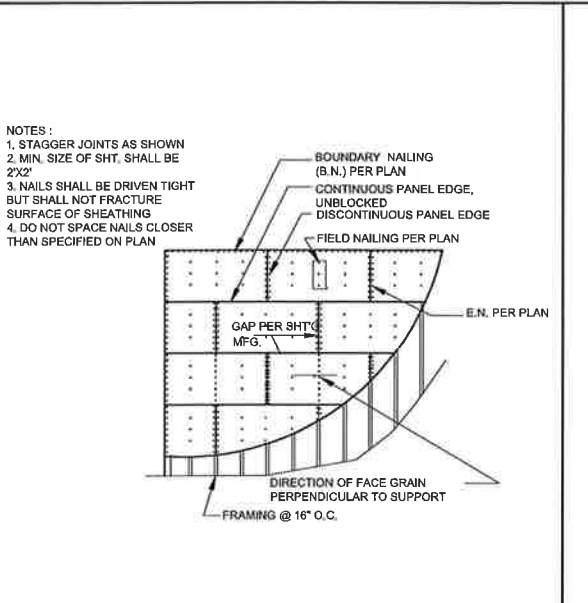
TYP. NON-BEARING WALL STUD CONNECTION DETAIL 13



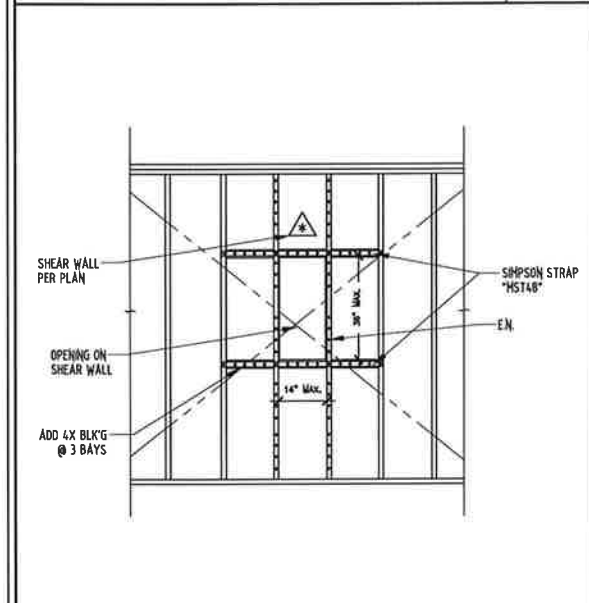
TYP. HEADER DETAIL (4x10 OR LARGER) 7



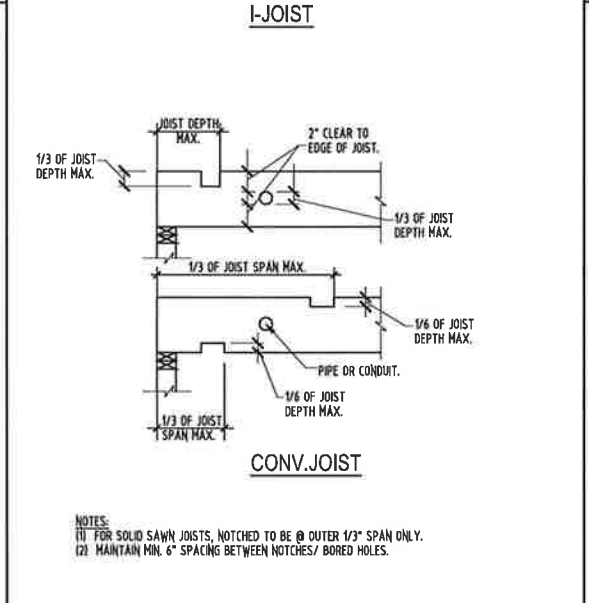
TYP. ROOF/FLOOR DIAPHRAGM NAILING DETAIL 4



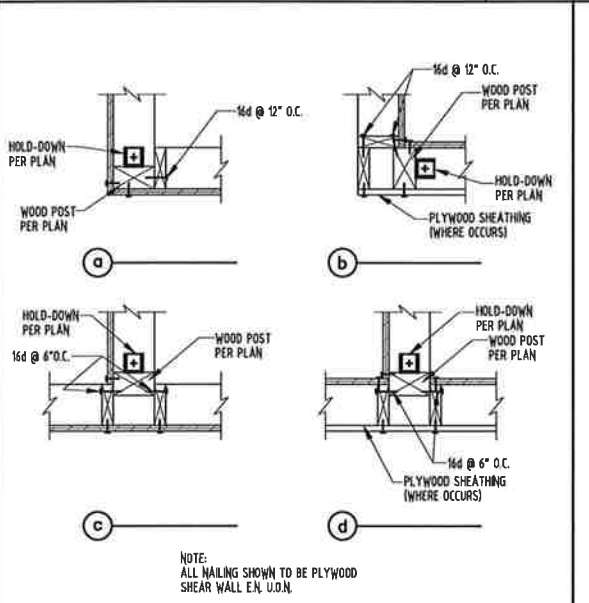
BOTTOM OF WOOD STAIR CONNECTION DETAIL 1



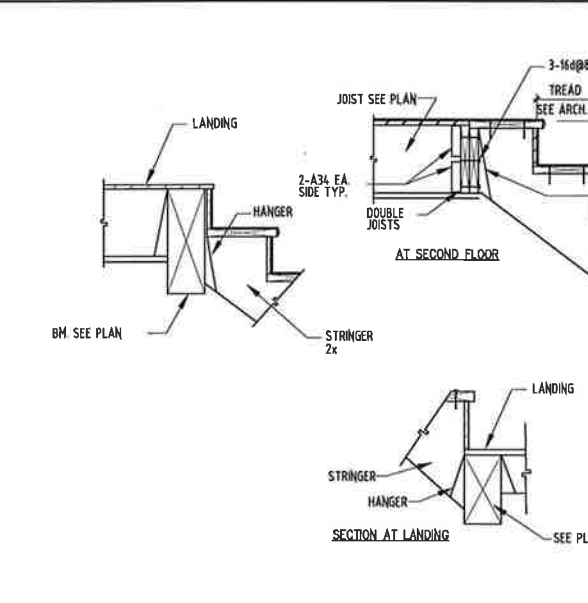
TYP. OPENING ON SHEAR WALL PANEL DETAIL 14



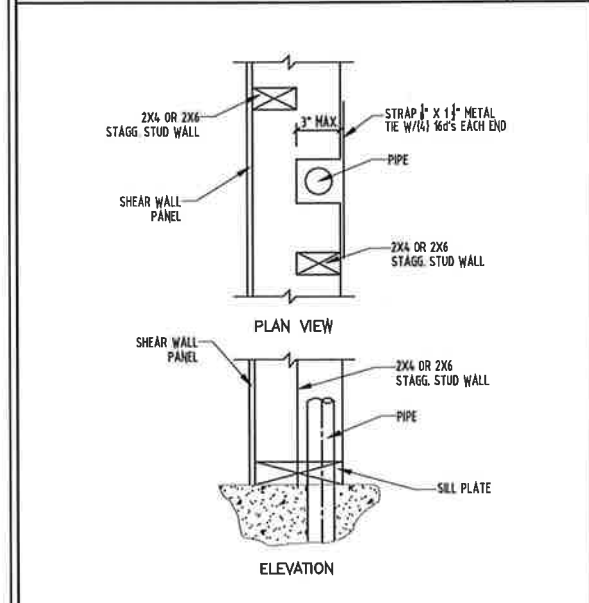
TYP. HOLE OR NOTCH ON JOIST DETAIL 11



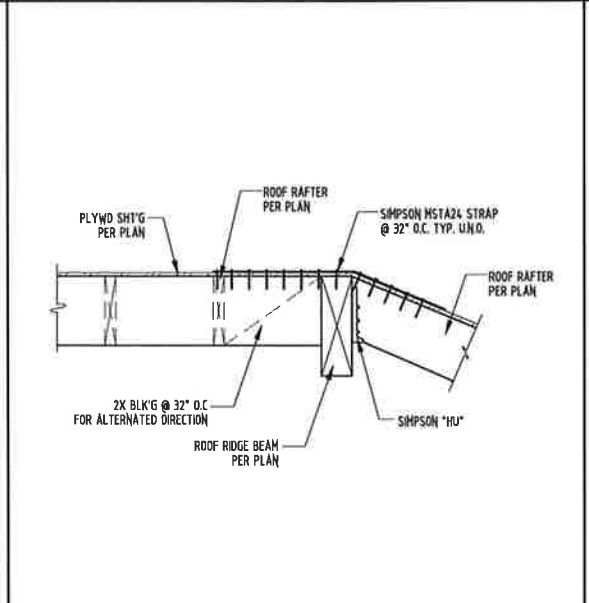
TYP. SHEAR WALL INTERSECTIONS DETAIL 8



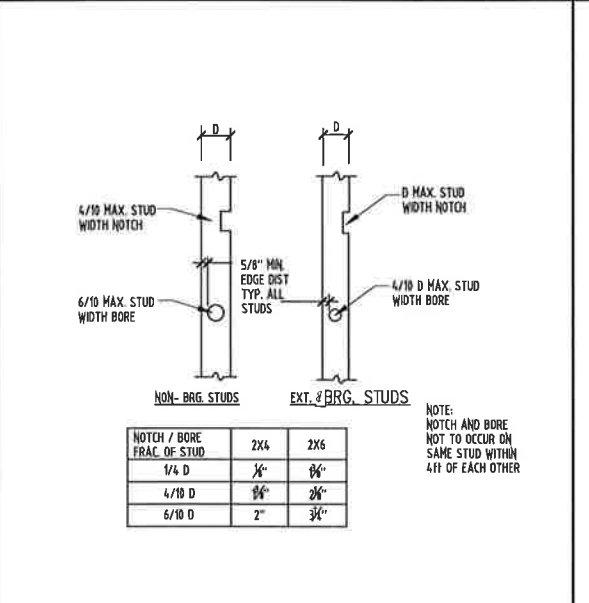
WOOD STAIR FRAMING DETAIL 2



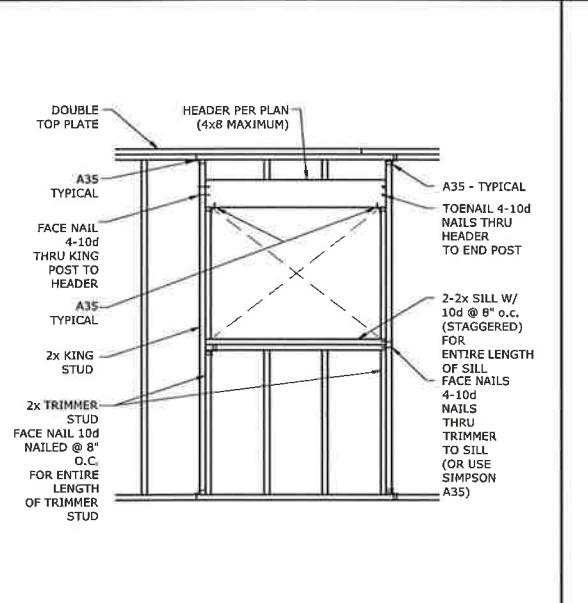
PLUMBING / SHEAR WALL DETAIL 15



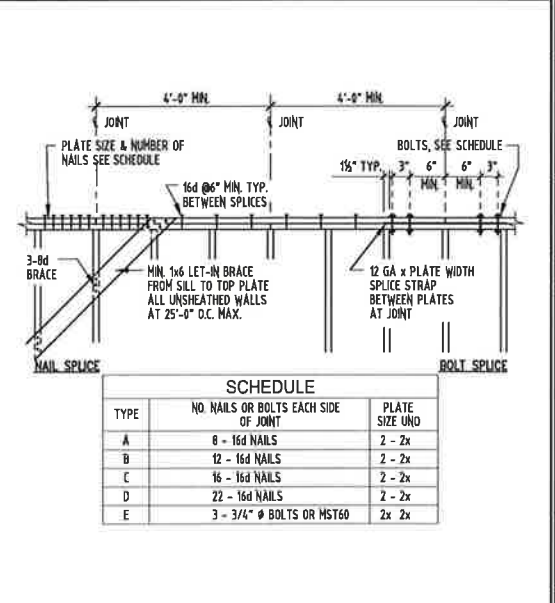
ROOF RIDGE BEAM CONN. DETAIL 12



TYP. HOLE OR NOTCH ON WALL STUD DETAIL 9

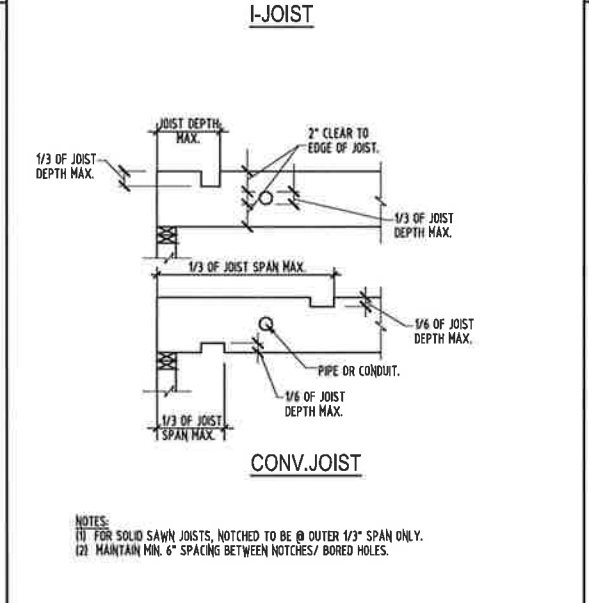


TYP. HEADER DETAIL (4x8 MAX.) 6



TOP PLATE SPICES DETAIL 3

TJI SIZE	HOLE SIZE											
	UP TO 3"		4"		6 1/2"		8 7/8"		11"			
	a	b	a	b	a	b	a	b	a	b	a	b
11 7/8" 210	1'-0"	1'-0"	1'-0"	2'-0"	2'-6"	5'-0"	5'-6"	6'-6"	N.A.	N.A.		
11 7/8" 230	1'-0"	1'-0"	1'-0"	2'-0"	3'-0"	5'-0"	5'-6"	7'-0"	N.A.	N.A.		
14" 230	1'-0"	1'-0"	1'-0"	1'-6"	4'-0"	3'-6"	7'-0"	6'-6"	9'-0"			
14" 360	1'-0"	1'-0"	1'-0"	1'-0"	2'-6"	5'-6"	8'-0"	8'-0"	9'-6"			



TYP. HOLE OR NOTCH ON JOIST DETAIL 11

NOTCH / BORE FRAC. OF STUD	NON-BRG. STUDS		EXT. & BRG. STUDS	
	2x4	2x6	2x4	2x6
1/4 D	3/8"	3/4"	3/8"	3/4"
4/10 D	3/8"	3/4"	3/8"	3/4"
6/10 D	2"	3"	2"	3"

TYP. HOLE OR NOTCH ON WALL STUD DETAIL 9

TYPE	NO. NAILS OR BOLTS EACH SIDE OF JOINT	PLATE SIZE UNO
A	8 - 16d NAILS	2 - 2x
B	12 - 16d NAILS	2 - 2x
C	16 - 16d NAILS	2 - 2x
D	22 - 16d NAILS	2 - 2x
E	3 - 3/4" # BOLTS OR HST60	2x 2x

OWNER/SUBDIVIDER:
MR. JACK HERRON
2630 WALNUT AVE, STE. A
TUSTIN, CA 92780

NEW DUPLEX PROJECT
PROJECT ADDRESS
161 CECIL PLACE
COSTA MESA, CA 92627

PLANS PREPARED BY:
W.H. CONSULTANT, INC.
NORTH-CA: 1590 OAKLAND RD., SUITE 112, SAN JOSE, CA 95131
SOUTH-CA: 25 MALIBU CT., SUITE 232, IRVINE, CA 92618
WWW.WHENENGINEERINGGROUP.COM

REGISTERED PROFESSIONAL ENGINEER
No. C88467
Exp. 03-31-21
CIVIL
STATE OF CALIFORNIA

ALL DETAILS NOT SCALED

DESIGNER	Y.F.	DESIGNED BY	Y.F.	DRAFTED BY	Y.F.	CHECKED BY	Y.Z.

NO. DATE REVISIONS APPROVED BY

TITLE:
STRUCTURAL DETAILS

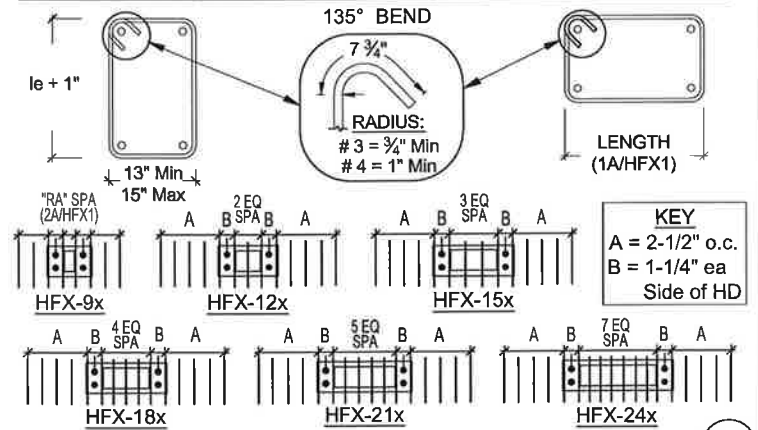
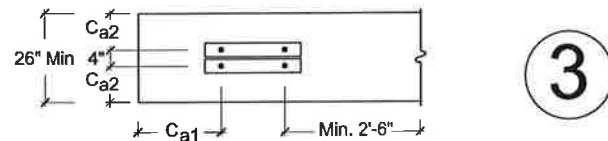
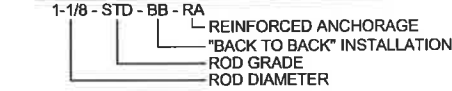
PROJECT NO.:
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SHEET NO.:
SD-5

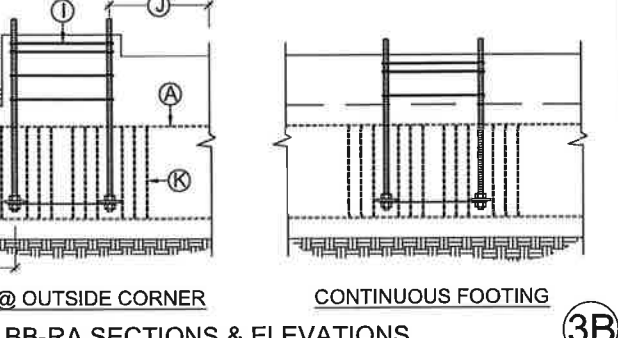
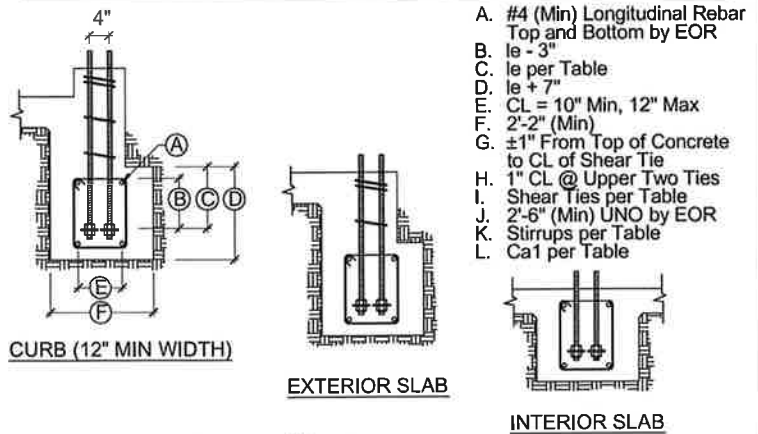
BACK TO BACK REINFORCED ANCHORAGE (BB-RA)

Model	Panel Width (in)	Anchorage 1	Rod Dia (in)	Rod 2,3 Grade	le ⁴ (in)	Ca ₁ ⁵ (in)	Ca ₂ ⁶ (in)	Stirrups ⁹ (in)	Shear ⁷ Ties
HFX-9x	9	1-1/8-STD-BB-RA	1-1/8	STD	15	19-3/4		8 - #4	#3 (min) @ 3-3/4" OC
HFX-12x	12	1-1/8-STD-BB-RA 1-1/8-HS-BB-RA	1-1/8	STD HS				13 - #4	#3 (min) @ 4" OC
HFX-15x	15	1-1/8-STD-BB-RA 1-1/8-HS-BB-RA	1-1/8	STD HS				14 - #4	
HFX-18x	18	1-1/8-STD-BB-RA 1-1/8-HS-BB-RA	1-1/8	STD HS	23	20-5/8		15 - #4	#4 (min) @ 4" OC
HFX-21x	21	1-1/8-STD-BB-RA 1-1/8-HS-BB-RA	1-1/8	STD HS				16 - #4	
HFX-24x	24	1-1/8-STD-BB-RA 1-1/8-HS-BB-RA	1-1/8	STD HS				18 - #4	

BACK TO BACK REINFORCED ANCHORAGE NOMENCLATURE



BB-RA SHEAR TIES & STIRRUPS

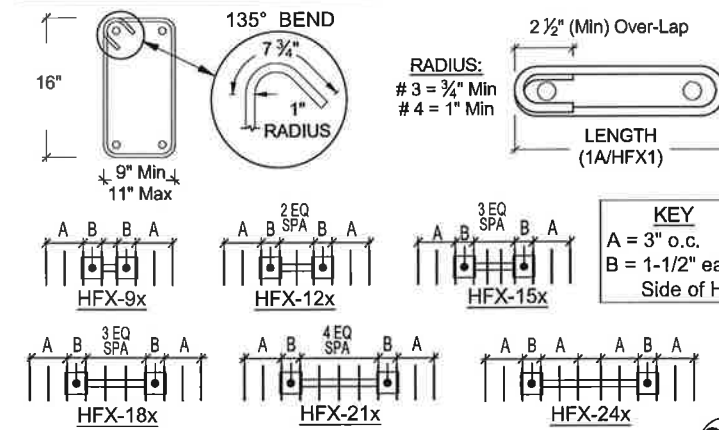
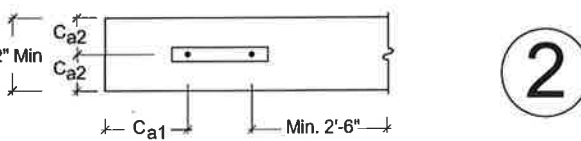
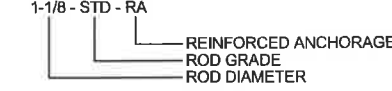


BB-RA SECTIONS & ELEVATIONS

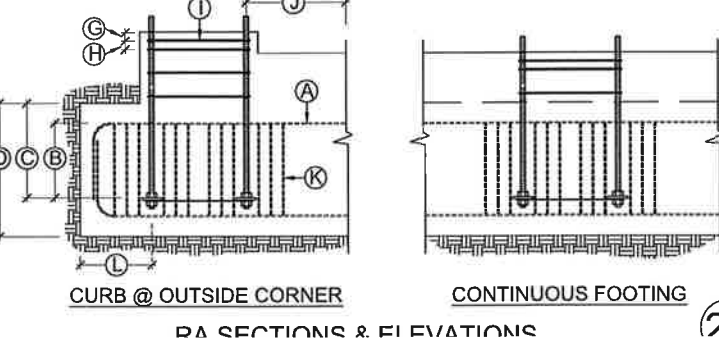
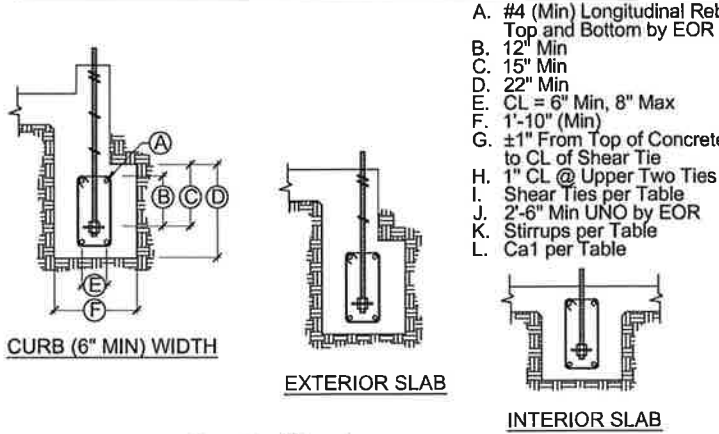
REINFORCED ANCHORAGE (RA)

Model	Panel Width (in)	Anchorage 1	Rod Dia (in)	Rod 2,3 Grade	le ⁴ (in)	Ca ₁ ⁵ (in)	Ca ₂ ⁶ (in)	Stirrups ⁹ (in)	Shear ⁷ Ties
HFX-9x	9	1-1/8-STD-RA	1-1/8	STD				8 - #4	#3 (min) @ 3-3/4" OC
HFX-12x	12	1-1/8-STD-RA 1-1/8-HS-RA	1-1/8	STD HS				9 - #4	
HFX-15x	15	1-1/8-STD-RA 1-1/8-HS-RA	1-1/8	STD HS	15	11		10 - #4	#3 (min) @ 4" OC
HFX-18x	18	1-1/8-STD-RA 1-1/8-HS-RA	1-1/8	STD HS				11 - #4	
HFX-21x	21	1-1/8-STD-RA 1-1/8-HS-RA	1-1/8	STD HS				12 - #4	#4 (min) @ 4" OC
HFX-24x	24	1-1/8-STD-RA 1-1/8-HS-RA	1-1/8	STD HS					

REINFORCED ANCHORAGE NOMENCLATURE



RA SHEAR TIES & STIRRUPS

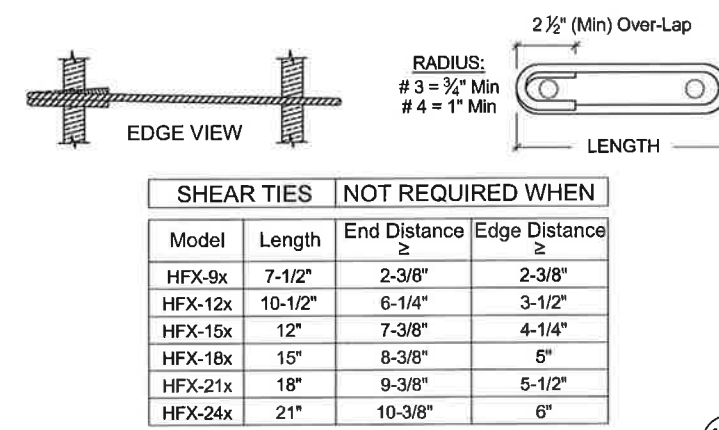
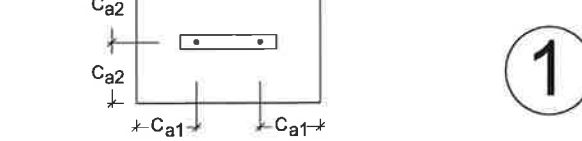
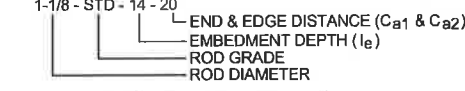


RA SECTIONS & ELEVATIONS

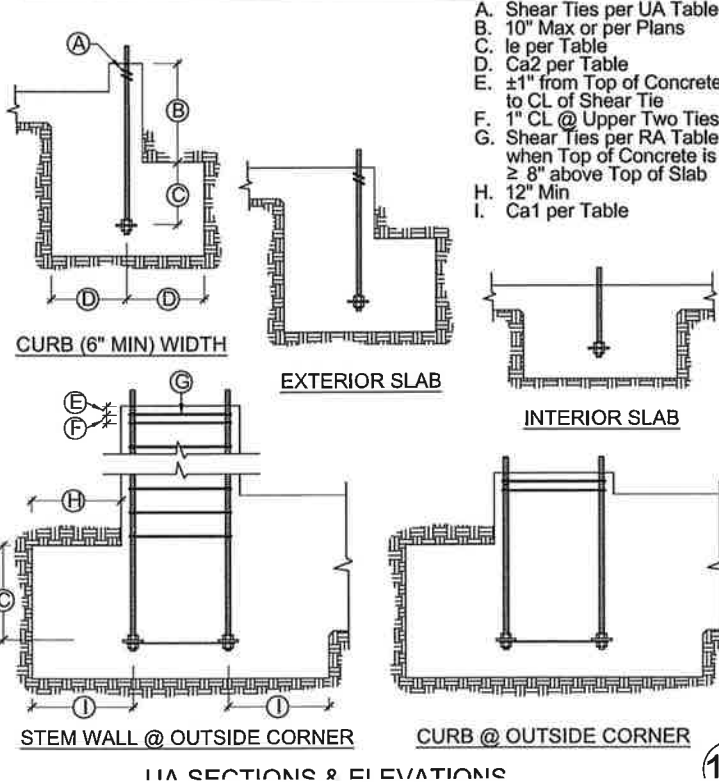
UNREINFORCED ANCHORAGE (UA)

Model	Panel Height	Anchorage 1	Rod Dia (in)	Rod 2,3 Grade	le ⁴ (in)	Ca ₁ ⁵ & Ca ₂ ⁶ (in)	Shear ^{7,8} Ties
HFX-9x	79.5" - 8'	1-1/8-STD-13-19	1-1/8	STD		13 19	
HFX-12x	78" - 10'	1-1/8-HS-20-30	1-1/8	HS		20 30	1 - #3
HFX-15x, 18x	78" - 13'	1-1/8-STD-14-20	1-1/8	STD		14 20	
HFX-15x, 18x Balloon	14' - 20'	1-1/8-HS-20-30	1-1/8	HS		20 30	
HFX-21x, 24x	78" - 13'	1-1/8-STD-14-20 1-1/8-HS-23-34	1-1/8	STD HS		14 20 23 34	
HFX-21x, 24x Balloon	14' - 20'	1-1/8-HS-20-30	1-1/8	HS		20 30	2 - #3

UNREINFORCED ANCHORAGE NOMENCLATURE



UA SHEAR TIES



UA SECTIONS & ELEVATIONS

- DESIGNS ARE TO RESIST LOADING PER ACI 318-14, SEC 17.2.3.4.3.
- STD INDICATES ANCHORS COMPLYING WITH ASTM F1554 GRADE 36 WITH A HARDY FRAME BOLT BRACE (HFXBB) INSTALLED WITH STD OR GRADE 8 DOUBLE NUTS ON THE EMBED END.
- HS INDICATES ANCHORS COMPLYING WITH ASTM A193 GRADE B7 WITH A 1/2"x3"x3"(MIN) HFPW PLATE WASHER INSTALLED WITH DOUBLE NUTS ON THE EMBED END (HFXBB NOT REQUIRED).
- LE = LENGTH OF EMBEDMENT FROM THE TOP OF FOOTING OR GRADE BEAM TO THE TOP OF THE HFXBB BOLT BRACE (TOP OF THE EMBEDDED HFPW PLATE WASHER @ HS ANCHORS)
- CA1 = DISTANCE FROM HD CENTERLINE TO THE END OF THE FOOTING OR GRADE BEAM.
- CA2 = DISTANCE FROM HD CENTERLINE TO BOTH THE FRONT AND THE BACK FACE OF THE FOOTING OR GRADE BEAM.
- SHEAR TIES ARE GRADE 60 (MIN) REBAR AND REQUIRED FOR NEAR EDGE DISTANCE CONDITIONS PER ACI-318-14, F'C = 2,500 PSI. CURBS AND STEM WALLS MUST BE 6 INCH (MIN) WIDTH FOR UA AND RA, 12 INCH (MIN) WIDTH FOR BB-RA.
- FOR UA APPLICATIONS, ADDITIONAL TIES MAY BE REQUIRED AT STEM WALLS. SHEAR TIES ARE NOT REQUIRED FOR INSTALLATION AWAY FROM EDGE (SEE DETAIL 1A), INSTALLATION ON WOOD FRAMING, OR FOR IRC BRACED WALL PANEL APPLICATIONS.
- STIRRUPS ARE GRADE 60 (MIN) REBAR. SEE TABLE FOR SIZE AND SPACING. SEE "STIRRUP LAYOUT" DIAGRAMS AND "KEY" FOR LAYOUT PATTERNS.
- CONCRETE EDGE DISTANCES MUST COMPLY WITH ACI 318-14, SECTION 17.7.2. COATED REINFORCEMENT MAY BE SPECIFIED BY THE EOR TO LIMIT EXPOSURE AND THEREFORE REDUCE MINIMUM CONCRETE COVER. COATED REINFORCEMENT MUST COMPLY WITH ACI 318-14, SECTION 20.6.2.

HFX ANCHOR CENTERLINES

Model	Width	(A)	(B)
HFX-9x	9"	1-3/4"	5-1/2"
HFX-12x	12"		8-1/2"
HFX-15x	15"		9-3/4"
HFX-18x	18"	2-5/8"	12-3/4"
HFX-21x	21"		15-3/4"
HFX-24x	24"		18-3/4"

HFX ANCHOR CENTERLINES

- IMPORTANT!**
- ANCHORAGE IS DESIGNED FOR TENSION AND SHEAR TRANSFER ONLY, FOUNDATION DESIGN PER EOR.
 - REINFORCEMENT SHOWN IS THE MINIMUM REQUIREMENT AND IS NOT INTENDED TO REPLACE REINFORCEMENT DESIGNED BY THE EOR.
 - FOR RA AND BB-RA INSTALLATIONS, THE HFXBB BOLT BRACE MAY BE PLACED ON TOP OF THE STIRRUPS WITH DOUBLE-NUTS INSTALLED AT EMBED END OF STANDARD GRADE ANCHOR RODS. (NOTE: 1/2" x 3" x 3" MIN. HFPW PLATE WASHERS ARE REQUIRED TO BE DOUBLE-NUTTED AT EMBED END OF HIGH STRENGTH ANCHOR RODS.)
 - HIGH STRENGTH ALL-THREAD RODS PROVIDED BY HARDY FRAMES ARE STAMPED ON BOTH ENDS.



IMPORTANT NOTES

ANCHORAGE DETAILS - HFX PANELS

THIS DETAIL SHEET IS NOT PROPRIETARY AND IS NOT REQUIRED FOR PLAN SUBMITTAL WITH HARDY FRAME PRODUCTS

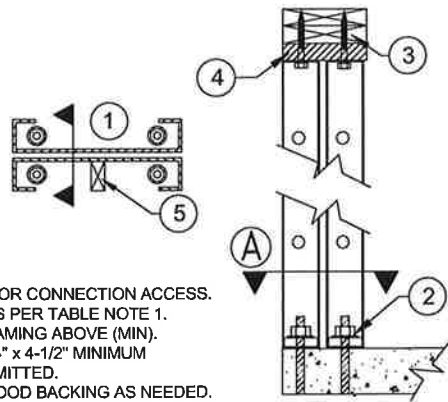
HARDY FRAME
SHEAR WALL SYSTEM
1732 PALMA DRIVE, SUITE 200, VENTURA, CA 93003
TELEPHONE: 800 754-3030 / www.hardyframe.com

MiTek

DATE: 1-1-2020

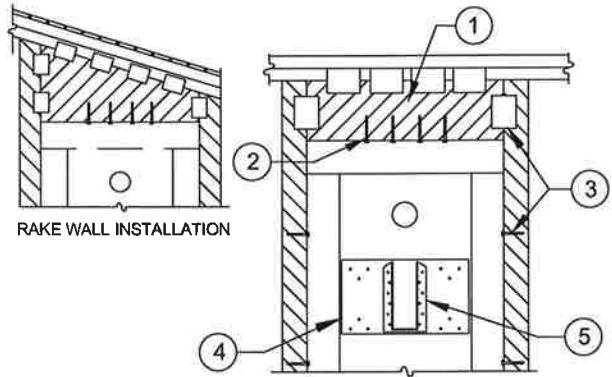
HFX1

SECTION A



1. CAVITY ORIENTED FOR CONNECTION ACCESS.
2. NUTS AND WASHERS PER TABLE NOTE 1.
3. NOMINAL 8 INCH FRAMING ABOVE (MIN).
4. A 2x FILLER WITH 1/4" x 4-1/2" MINIMUM WS SCREWS IS PERMITTED.
5. FIELD INSTALLED WOOD BACKING AS NEEDED.

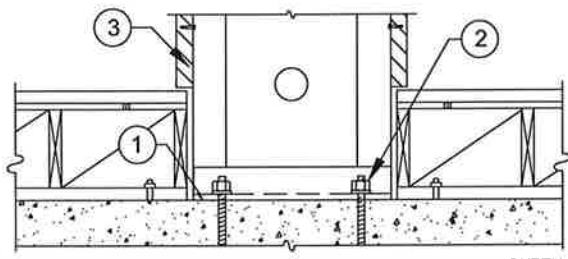
BACK TO BACK INSTALLATION



RAKE WALL INSTALLATION

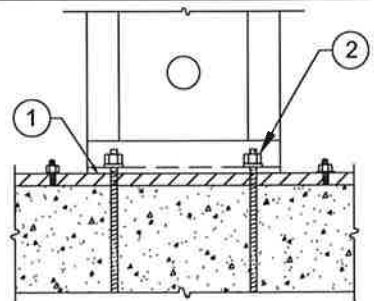
1. WOOD FILLER WITH USP MP4F CONNECTORS BOTH SIDES, QUANTITY BY BUILDING DESIGN PROFESSIONAL. (ADD (4) AT EACH SIDE)
2. 1/4" x 3" (MINIMUM) WS SCREWS, QUANTITY PER TABLES
3. ADJACENT FRAMING WITH 1/4" DIAMETER SCREWS INSTALLED THROUGH PRE-PUNCHED HOLES IN PANEL EDGES REQUIRED WHEN INSTALLING A FILLER GREATER THAN 1-1/2" ABOVE TO BRACE OUT-OF-PLANE HINGE OR WHEN SPECIFIED BY THE DESIGN PROFESSIONAL.
4. PRE-DRILL 3/16" DIA. HOLES, EVENLY SPACED IN FACE OF PANEL NO LESS THAN 2-1/4" OC AND INSTALL 1/4" DIA. WOOD SCREWS INTO 2x (MIN.) WOOD "LEDGER" IN PANEL CAVITY.
5. CONNECTOR AND ATTACHMENT BY BUILDING DESIGN PROFESSIONAL.

FILLER GREATER THAN 1-1/2 IN.



1. 15# FELT OR EQUIVALENT MOISTURE BARRIER RECOMMENDED BETWEEN PANEL BASE AND CONCRETE.
2. NUTS AND WASHERS PER TABLE NOTE 1.
3. ADJACENT FRAMING WITH 1/4" DIAMETER SCREWS INSTALLED AT THE PANEL EDGES WHEN INSTALLING A FILLER GREATER THAN 1-1/2" ABOVE OR WHEN SPECIFIED BY DESIGN PROFESSIONAL.

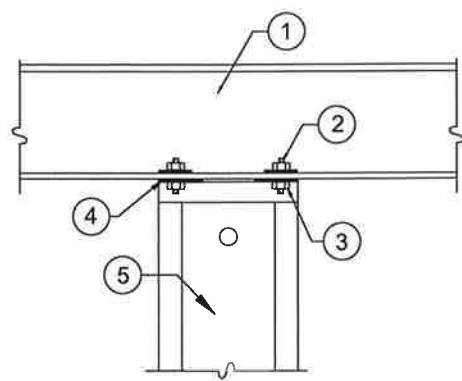
RAISED FLOOR HEAD-OUT



ALLOWABLE VALUES ON 2x PLATE ARE LESS THAN INSTALLATION ON CONCRETE

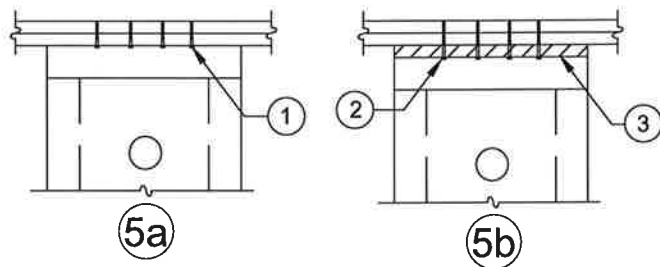
1. 15# FELT OR EQUIVALENT MOISTURE BARRIER RECOMMENDED BETWEEN PANEL BASE AND TREATED PLATE.
2. NUTS AND WASHERS PER TABLE NOTE 1.

INSTALLATION ON 2x PLATE



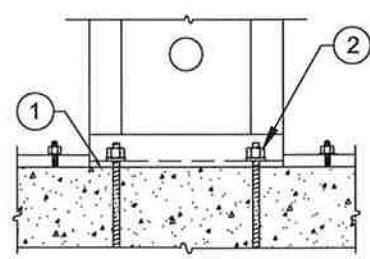
1. STEEL BEAM PER PLANS
2. ALL THREAD RODS THRU-BOLTED TO STEEL BEAM BY BUILDING DESIGN PROFESSIONAL.
3. NUTS AND WASHERS PER TABLE NOTE 1.
4. HARDY FRAME® STACKING WASHERS (HFSW) REQUIRED TO BE WELDED INSIDE TOP CHANNEL OF LOWER PANEL.
5. HARDY FRAME™STK™ PANEL WITH STACKING WASHERS WELDED INSIDE THE TOP CHANNEL BY MANUFACTURER.

STEEL BEAM ABOVE THRU-BOLT



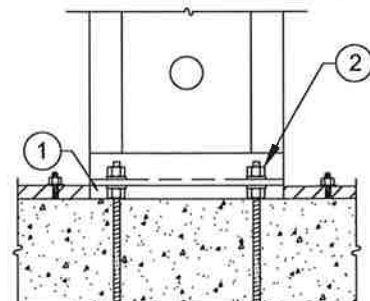
1. 1/4" x 3" (MINIMUM) WS SCREWS, QUANTITY PER TABLES
2. 1/4" x 4-1/2" (MINIMUM) WS SCREWS, QUANTITY PER TABLES
3. 2x WOOD FILLER.

TOP PLATE CONNECTIONS



1. 15# FELT OR EQUIVALENT MOISTURE BARRIER RECOMMENDED BETWEEN PANEL BASE AND CONCRETE.
2. NUTS AND WASHERS PER TABLE NOTE 1.

INSTALLATION ON CONCRETE

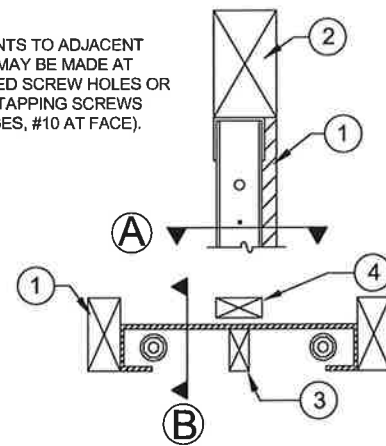


ALLOWABLE VALUES ON N&W ARE LESS THAN INSTALLATION ON CONCRETE

1. PLUS OR MINUS 1-1/2" GAP TO BE FILLED WITH 5,000 PSI NON-SHRINK GROUT (MINIMUM).
2. NUT AND WASHER GRADES PER TABLE NOTE 1.

INSTALLATION ON NUTS & WASHERS

NOTE:
ATTACHMENTS TO ADJACENT TRIMMERS MAY BE MADE AT PREPUNCHED SCREW HOLES OR WITH SELF TAPPING SCREWS (#12 AT EDGES, #10 AT FACE).



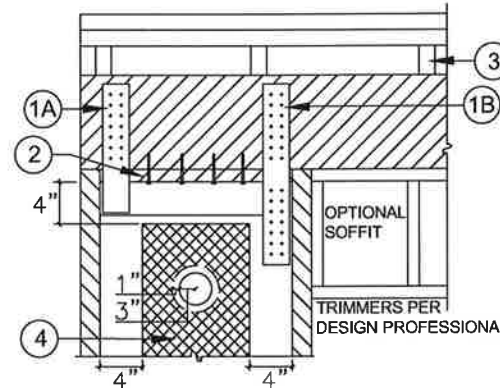
SECTION B

SECTION A

1. TRIMMERS PROVIDE FULL BEARING FOR HEADER ABOVE, DESIGN AND CONNECTIONS BY BUILDING DESIGN PROFESSIONAL.
2. 6x HEADER.
3. WOOD MEMBERS FOR BACKING MAY BE INSERTED VERTICALLY OR HORIZONTALLY IN THE PANEL CAVITY AS NEEDED.
4. WOOD MEMBER FLUSH TO FACE OF WALL FOR BACKING AS NEEDED.

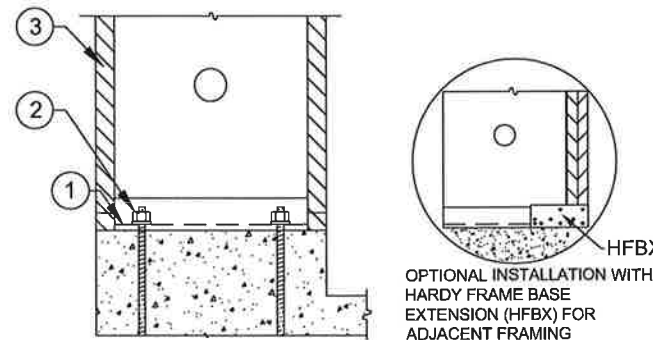
6x HEADER ABOVE-SECTIONS

NOTE:
TO PREVENT DRILLING ADDITIONAL HOLES ORIENT THE PANEL CAVITY TOWARD THE FIXTURE BEING INSTALLED.



1. (A) PRE-WELDED STRAPS ARE PROVIDED ON 78" AND 79-1/2" PANEL HEIGHTS. THEY ARE AVAILABLE FOR OTHER HEIGHTS UPON REQUEST. (B) FIELD INSTALLED STRAPS WITH SELF TAPPING SCREWS ARE PERMITTED. THE DESIGN AND CONNECTION IS BY THE DESIGN PROFESSIONAL.
2. A 2x WOOD FILLER WITH 1/4"x4-1/2" (MIN.) WS SCREWS IS PERMITTED.
3. WHEN CRIPPLE STUDS OCCUR, SHEAR TRANSFER DESIGN TO BE PER THE BUILDING DESIGN PROFESSIONAL.
4. A 1" DIA. HOLE MAY BE ADDED IN THE PANEL FACE WHEN IT IS LOCATED IN THE UPPER HALF OF THE PANEL HEIGHT AND IS 4" MINIMUM FROM ANY EDGE. FOR PANELS MORE THAN 12" WIDE, ADDITIONAL HOLES MUST BE OFFSET 1" MINIMUM FROM THE 3" DIA. PREPUNCHED HOLE. FOR HOLES LARGER THAN 1" DIAMETER OR TO ADD MORE THAN ONE HOLE CONTACT MITEK HARDY FRAME TECHNICAL SUPPORT AT (800) 754-3030.

TOP CONNECTION TO HEADER



1. 15# FELT OR EQUIVALENT MOISTURE BARRIER RECOMMENDED BETWEEN PANEL BASE AND CONCRETE.
2. NUTS AND WASHERS PER TABLE NOTE 1.
3. ADJACENT FRAMING OPTIONAL U.N.O. BY BUILDING DESIGN PROFESSIONAL.

INSTALLATION ON CURB

HFX PANELS 78 IN. THROUGH NOMINAL 13 FEET

Model Number	Net Height (in)	Depth (in)	Hold Down Diameter ¹ (in)	Top Screw Qty ² (ea)	Screw Qty Available at Edges (ea) ³
HFX-12,15,18,21 & 24x78	78	3-1/2	1-1/8	9" Width = 5	4
HFX-9x79.5	79-1/2			12" Width = 6	
HFX-12,15,18,21 & 24x8	92-1/4	3-1/2	1-1/8	15" Width = 8	5
HFX-9x8	93-3/4			18" Width = 10	
HFX-12,15,18,21 & 24x9	104-1/4	3-1/2	1-1/8	21" Width = 12	6
HFX-12,15,18,21 & 24x10	116-1/4			24" Width = 14	
HFX-15,18,21 & 24x11	128-1/4	3-1/2	1-1/8	15" Width = 8	7
HFX-15,18,21 & 24x12	140-1/4			18" Width = 10	
HFX-15,18,21 & 24x13	152-1/4	3-1/2	1-1/8	21" Width = 12	8
HFX-15,18,21 & 24x14	164-1/4			24" Width = 14	

BALLOON PANELS 14 FEET THROUGH 20 FEET

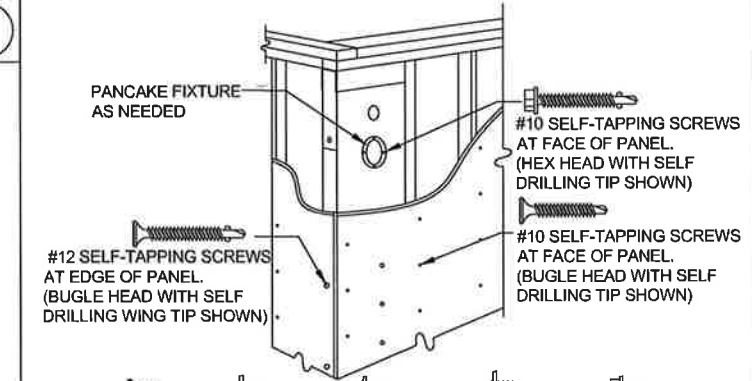
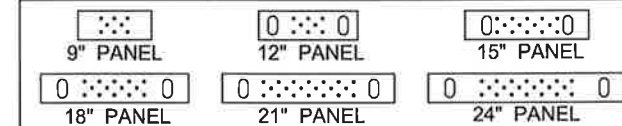
Model Number	Net Height (in)	Depth (in)	Hold Down Diameter ¹ (in)	Top Screw Qty ² (ea)	Screw Qty Available at Edges (ea) ³
HFX-15,18,21 & 24x14	164-1/4	3-1/2	1-1/8	15" Width = 8	6
HFX-15,18,21 & 24x15	176-1/4			18" Width = 10	
HFX-15,18,21 & 24x16	188-1/4	3-1/2	1-1/8	21" Width = 12	7
HFX-15,18,21 & 24x17	200-1/4			24" Width = 14	
HFX-15,18,21 & 24x18	212-1/4	3-1/2	1-1/8	15" Width = 8	8
HFX-15,18,21 & 24x19	224-1/4			18" Width = 10	
HFX-15,18,21 & 24x20	236-1/4	3-1/2	1-1/8	21" Width = 12	9
HFX-15,18,21 & 24x21	248-1/4			24" Width = 14	

TABLE NOTES

1. FOR STD OR HS GRADE HOLD DOWN ANCHOR BOLTS CONNECT TO THE PANEL BASE WITH HARDENED ROUND WASHERS BELOW GRADE 8 NUTS. ALTERNATE WASHERS ARE (2 EA) ROUND-FLAT OR (2 EA) SAE WASHERS ON EACH BOLT. ALTERNATE NUTS ARE 2H HEAVY HEX.
2. 1/4" DIAMETER MITEK®PRO SERIES™ WS SCREWS. LENGTH IS 3" (MINIMUM) WHEN ATTACHED DIRECTLY TO THE COLLECTOR AND 4-1/2" (MINIMUM) WHEN INSTALLING A 2x FILLER ABOVE THE PANEL.
3. ADJACENT FRAMING WITH 1/4" DIAMETER SCREWS IS REQUIRED AT THE PANEL EDGES WHEN INSTALLING A FILLER ABOVE THE TOP CHANNEL THAT IS GREATER THAN 1-1/2" OR WHEN SPECIFIED BY THE DESIGN PROFESSIONAL.

INSTALLATION INSTRUCTIONS

1. WHEN INSTALLING ON CONCRETE CONNECT WITH (1 EA) HARDENED ROUND WASHER BELOW (1 EA) GRADE 8 NUT, SECURE WITH A DEEP SOCKET (RECOMMENDED) UNTIL SNUG TIGHT. ALTERNATE WASHERS AND NUTS ARE PROVIDED IN TABLE NOTE 1.
2. INSTALLATION ON CONCRETE PROVIDES THE HIGHEST ALLOWABLE VALUES. CONFIRM WITH THE DESIGN PROFESSIONAL BEFORE INSTALLING ON OTHER SUPPORTING SURFACES.
3. USE 1/4"x4-1/2" MITEK PRO SERIES™ WS SCREWS AT TOP CONNECTIONS WITH A 2x FILLER. IF THE TOP OF PANEL IS IN DIRECT CONTACT WITH THE COLLECTOR ABOVE (TOP PLATES, HEADER, BEAM, ETC.) USE 1/4 x 3" (MIN) FOR INSTALLATIONS WITH A FILLER GREATER THAN 1-1/2" ABOVE, OR WHEN SPECIFIED BY THE DESIGN PROFESSIONAL, ADJACENT KING POSTS TO BRACE THE OUT-OF-PLANE HINGE CAN BE CONNECTED WITH 1/4" DIA. SCREWS THROUGH PRE-PUNCHED HOLES AT THE PANEL EDGES.



- BUGLE HEAD WAFER HEAD FLAT TRUSS MODIFIED TRUSS HEX HEAD
- SELF DRILLING TIP SELF DRILLING WING TIP

NOTES:

- A. SURFACE FINISHES, CONNECTORS AND FIXTURES ARE ATTACHED TO THE PANEL FACE WITH # 10 SELF-TAPPING SCREWS SPACED NO LESS THAN 2-1/4" OC.
- B. ATTACHMENTS TO THE PANEL EDGES ARE MADE WITH # 12 SELF-TAPPING SCREWS.
- C. STRUCTURAL CONNECTIONS ARE TO BE DESIGNED BY THE DESIGN PROFESSIONAL.
- D. STRUCTURAL HARDWARE USED TO TRANSFER LOADS SHOULD NOT EXCEED 12 GAUGE.

REVISIONS DATE

FRAMING DETAILS - HFX PANELS

THIS DETAIL SHEET IS NOT PROPRIETARY AND IS NOT REQUIRED FOR PLAN SUBMITTAL WITH MITEK®HARDY FRAME® PRODUCTS

HARDY FRAME
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1732 PALMA DRIVE, SUITE 200, VENTURA, CA 93003
TELEPHONE: 800 754-3030 / www.hardyframe.com

MiTek

DATE:
1-1-2020

HFX2