



# CITY OF COSTA MESA

P.O. BOX 1200 • 77 FAIR DRIVE • CALIFORNIA 92628-1200

ECONOMIC & DEVELOPMENT SERVICES DEPARTMENT – PLANNING DIVISION

December 22, 2022

Anthony Palmisano  
1334 North Sultana Avenue  
Ontario, CA 91764

**RE: DEVELOPMENT REVIEW 22-08- 195 Albert Place**

Dear Anthony Palmisano:

The Development Review for the above-referenced project has been completed. The Development Review, as described in the attached project description, has been approved based on the findings and subject to conditions of approval (attached). The decision will become final at 5 PM on January 5, 2023 unless appealed by an affected party (including filing of the necessary application and payment of the appropriate fee) or is called up for review by a member of the City Council. Any appeal must be filed by 5 PM on the abovementioned date, pursuant to CMMC Sections 2-305(2) and 2-307.

This report also serves as an official public notice for the adjacent property owners of the pending approval of the proposed project due to the addition of a second story loft as part of the proposed project.

If you have any questions regarding the above items, please contact the project planner, Froylan Garcia at [froylan.garcia@costamesaca.gov](mailto:froylan.garcia@costamesaca.gov).

Sincerely,

Jennifer Le  
Director of Economic and Development Services

cc: Stephen & Karin Stubblefield  
195 Albert Pl.  
Costa Mesa, CA 92627

Engineering  
Fire Marshal  
Building Division

Adjacent Property Owners:

Knobe Scott Gregory  
P.O Box 11414  
Newport Beach, CA 92658

Joseph Guy Labrusciano  
194 Cecil Pl.  
Costa Mesa, CA

John F The J Swigart & C Swigart Family TR.  
192 Cecil Pl.  
Costa Mesa, CA 92627

## PLANNING APPLICATION SUMMARY

<b>Location:</b>	195 Albert Pl	<b>Application No:</b>	DR-22-08
<b>Request:</b>	Development Review for the addition of an office, utility room, bathroom and a loft on the second floor of an existing single family residence.		

**SUBJECT PROPERTY:**

**SURROUNDING PROPERTY:**

<b>Zone:</b>	R2-MD (Multiple-Family Residential, Medium Density)	<b>North:</b>	R2-MD; Multiple-Family Residential, Medium Density
<b>General Plan:</b>	MDR (Medium Density)	<b>South:</b>	R1; Single-Family Residential
<b>Lot Dimensions:</b>	Approx. 58 FT by 138 FT	<b>East:</b>	R1; Single-Family Residential
<b>Lot Area:</b>	8,411 SF	<b>West:</b>	R2-MD; Multiple-Family Residential, Medium Density
<b>Existing Development:</b>	Two single family homes.		

### DEVELOPMENT STANDARD COMPARISON

Development Standard	Required / Allowed R2-MD Standards	Proposed / Provided
<b>Density/Intensity:</b>		
Zoning	1 DU / 3,630 SF	1 DU / 4,205.5 SF
General Plan	1 DU / 3,630 SF	
<b>Building Coverage (Development Lot):</b>		
Buildings	NA	30.7% (2,585 SF)
Paving	NA	8.1% (681 SF)
Open Space (Overall)	40% (3,364.4 SF)	61.2% (5,145 SF)
TOTAL:		100% (8,411 SF)
<b>Building Height</b>	2 stories / 27 FT	2 stories / 16 FT 10 IN
% ratio of 2 <sup>nd</sup> floor to 1 <sup>st</sup> floor	Max. 100%	23%
<b>Setbacks:</b>		
Front – 2 <sup>nd</sup> Story	20 FT	20 FT
Side (left / right)	5 FT / 5 FT	16 FT 11 IN / 10 FT
Rear	5* FT	6FT 1 ½ IN*
<b>Parking:</b>		
Covered	2	3
Open	4	3
TOTAL	6	6

\* Five foot rear yard setback allowed pursuant to Variance No.535

<b>Final Action</b>	Planning Staff/Director of Economic and Development Services
<b>CEQA Review</b>	Exempt

## **PROJECT DESCRIPTION**

### ***Location***

The subject property is located at 195 Albert Place on the east side of Costa Mesa. The project site is located at the southwest corner of the Albert Place and Orange Avenue intersection. The 8,411-square-foot lot is zoned Multiple-Family Residential District, Medium Density (R2-MD) with a General Plan land use designation of Medium Density Residential. The adjacent properties to the north and west have similar R2-MD zoning. The properties to the south and east are zoned R1- Single Family Residential. The site is currently developed with two detached single-story residences. The residential unit located at 195 Albert Place is a 962-square-foot two-bedroom home with a 407-square-foot two-car detached garage and one open parking space. The second home located at 2261 Orange Avenue is an 812 square foot two-bedroom home with one carport and one open parking space.

### ***Proposed Project***

Pursuant to the City of Costa Mesa Municipal Code (CMMC) Section 13-28 (e), a Development Review (DR) application approval is required for two-story residential construction that is located within the R2-MD zoning district and that is in compliance with City's Residential Design Guidelines. The proposed project, DR-22-08, is a request to construct a second-story addition to the home located at 195 Albert Place. The addition will include a new office with a bathroom, a utility room, and a second story loft. With the new addition, the home will include a total of two (2) bedrooms, a utility room, an office, a loft, and two (2) bathrooms. The floor area of the unit will increase from 962 square feet to 1,366 square feet (an approximate 30% increase). The existing detached garage will remain; however, with the proposed addition it will be connected to the existing residence. The proposed first floor plan consists of a living room, kitchen, an office, a utility room and two bathrooms. A second floor loft is proposed above the office. The addition is designed to incorporate the existing home architecture style in compliance with the City's Residential Design Guidelines. There are no proposed changes to the second home.

### ***Previous Entitlements***

A variance was approved for the property at 2261 Orange Avenue (Variance No. 535) which permitted a five-foot setback to the rear of the property. The proposed project does not include any modifications to this residence. Previously approved permits and entitlement records for the subject property are available at City Hall.

## **ANALYSIS**

Multiple-family residential units are intended uses in Medium Density Residential General Plan Land Use District, and are permitted by right in the R2-MD zoning district. However, pursuant to the CMMC, the proposed second-story addition is subject to specific design standards and noticing requirements pursuant to the City of Costa Mesa Residential Design Guidelines.

All planning applications are reviewed pursuant to CMMC Section 13-29 (e) 1-8 to ensure the proposal is compatible with the surrounding area, and in compliance with applicable zoning standards and General Plan policies. Discussion regarding compliance with applicable development standards of the City of Costa Mesa Zoning Code, Residential Design Guidelines and General Plan policies are further discussed below:

### **Review Criteria**

Pursuant to CMMC Section 13-29, the following applicable review criteria have been considered for this project:

***(1) Compatible and harmonious relationship between the proposed building and site development, and use(s), and the building and site developments, and uses that exist or have been approved for the general neighborhood.***

The proposed development is compatible and harmonious with the surrounding development and uses. The project site is surrounded by a mixture of single-family and multiple-family residential developments that are one and two levels. The project is consistent with the surrounding development pattern and conforms to all applicable development standards and the Residential Design Guidelines.

***(2) Safety and compatibility of the design of buildings, parking area, landscaping, luminaries and other site features which may include functional aspects of the site development such as automobile and pedestrian circulation.***

Safety and compatibility of the design of buildings, parking area, landscaping, luminaries and other site features have been considered for the proposed project. Pedestrian circulation was maintained as the project does not propose changes to the existing sidewalk. The parking area, driveway, and open space area conforms to the zoning code requirements.

***(3) Compliance with any performance standards as prescribed in the Zoning Code.***

The proposed two-story residential unit with attached garage is in compliance with the residential development standards of the zoning code. The subject property contains two separate residential units with two bedrooms per unit. Per CMMC Table 13-85 the project would require two covered parking spaces and four uncovered parking spaces. The proposed project meets this requirement, as it provides three covered parking spaces and three uncovered parking spaces. The proposed addition would not trigger an increase in required off-street parking. The proposed residential addition complies with applicable setback and open space requirements. The proposed building height is 16 feet 10 inches, which is below the maximum height limitation of the R2-MD zoning district (27 feet above grade). Lastly, the proposed addition is also both site and neighborhood compatible.

**(4) Consistency with the general plan and any applicable specific plan.**

The proposed project is consistent with the General Plan and is not located within a Specific Plan area. The project is consistent with the Medium Density Residential General Plan land use designation of the property, which allows 12 dwelling units per acre or one dwelling unit per 3,630 square feet of lot area. The existing lot size is 0.19 acres (8,398 square feet), which would allow a maximum of two units on the property. Two units currently exist and two units would remain post-construction. The following analysis further evaluates the proposed project's consistency with specific policies and objectives of the 2015-2035 General Plan.

- **Policy LU-3.12** - *Ensure that new development reflects existing design standards, qualities, and features that are in context with nearby development.*

**Consistency:** The project is an addition to an existing home that includes compatible design with existing site conditions, and is compatible with other development in the neighborhood in terms of both size and neighborhood character.

**(5) The planning application is for a project-specific case and is not to be construed to be setting a precedent for future development.**

The application is for a project-specific case to modify an existing home. The project complies with applicable development and design standards for a two-story residential unit in the R2-MD zoning district.

**(6) For residential developments, consistency with any applicable design guidelines adopted by city council resolution.**

The project is consistent with the City of Costa Mesa Residential Design Guidelines. The Design Guidelines are intended to implement the goals and objectives of the General Plan as they relate to residential development. The design of the addition, as proposed, will comply with the City's Residential Design Guidelines in that the residence will incorporate appropriate building mass and form, will provide distinct architectural features, include articulating and varying heights, considers window placement in regard to privacy, and the addition will be visually consistent with the existing home and maintain the same architectural design.

- **Second Story Design:** Pursuant to City residential design provisions, second-story floor areas should not exceed 100% of the first level development. The intent of this guideline is for two-story structures to be designed with articulation and offsets and avoid a boxy appearance from the street and neighboring views. The project proposes a 404 square-foot second floor addition and the first floor area would be 1,773 square feet (including the existing garage which was previously detached and is now proposed to be attached to the subject structure). Therefore, the proposed second-story addition would be 23% of the first floor area.

- Elevation Treatments, Building Mass, and Elevations: The design of the proposed addition complies with the building mass and form, setbacks, elevation treatments, and architectural consistency guidelines. The proposed addition includes a second story that connects the home to the previously detached garage. The proposed addition adds articulated elevations and enhanced design elements to create visual interest. The new addition will have a similar finish to the existing home and it would incorporate similar building materials. The new addition will not exceed the 27-foot maximum height requirement. In comparison to the adjacent neighborhood, the proposed addition will be lower in height when compared to adjacent residences.
- Second Story Side Setbacks: The City's Residential Design Guidelines allows for a minimum five-foot interior side setback for both stories when the unit is less than 2,700 square feet. The proposed building, with attachment of the existing detached garage, is less than 2,700 square feet (1,773 square feet). The new second floor will be placed on the property with minimum ten-foot interior side setbacks.
- Window Placement: Window placement will not result in direct views into the windows of neighboring structures. The applicant's project plans show that while there could be a direct line of sight between the proposed second-story loft window on the west elevation to a bedroom window of the neighboring residence to the west, the distance between the two windows will be more than 26 feet and therefore privacy issues not anticipated. There is also landscaping located on the west side of the property line in the form of trees that prevent direct line of sight between the windows.
- Integration of Second-Story Construction: The height of the first-story is 11 feet 5 inches and the height of the second story is 16 feet 10 inches. The second-story is in proportion with the first-story and does not result in a "over-weighted" second-level massing. The second-story addition follows the first floor architecture design, slope and similar materials will be used.
- Site Planning Considerations: The proposal will expand the square footage of an existing home on a site that has been previously disturbed by development. There are no natural undisturbed environments that will be impacted by the proposed addition.
- Consistency in Architectural Design: As mentioned above, the project is designed to be consistent with the existing residential unit's architectural style. The architectural design elements are consistent throughout the exterior of the home. Similar wood siding will be used in order to keep a consistent design on the exterior. Additionally, the second floor addition will have a similar roof slope to keep a consistent design.

## **ENVIRONMENTAL DETERMINATION**

The project has been reviewed for compliance with the California Environmental Quality Act (CEQA), the CEQA Guidelines, and the City environmental procedures, and has been found to be exempt under Section 15303, Class 3, New Construction or Conversion of Small Structures, of the CEQA Guidelines. This exemption applies to new construction of a duplex or similar multi-family residential structures, totaling no more than four dwelling units; the subject property includes two dwelling units in total and the project involves only an addition to one of the existing residences. Furthermore, none of the exceptions that bar the application of a categorical exemption pursuant to CEQA Guidelines Section 15300.2 apply. The Project would not result in a cumulative impact; would not have a significant effect on the environment due to unusual circumstances; would not result in damage to scenic resources; is not located on a hazardous site or location, and would not impact any historic resources.

## **CONDITIONS OF APPROVAL**

- Plng. 1. The applicant, the property owner and the operator (collectively referred to as "indemnitors") shall each jointly and severally defend, indemnify, and hold harmless the City, its elected and appointed officials, agents, officers and employees from any claim, legal action, or proceeding (collectively referred to as "proceeding") brought against the City, its elected and appointed officials, agents, officers or employees arising out of City's approval of the project, including but not limited to any proceeding under the California Environmental Quality Act. The indemnification shall include, but not be limited to, damages, fees and/or costs awarded against the City, if any, and cost of suit, attorney's fees, and other costs, liabilities and expenses incurred in connection with such proceeding whether incurred by the applicant, the City and/or the parties initiating or bringing such proceeding. This indemnity provision shall include the indemnitors' joint and several obligation to indemnify the City for all the City's costs, fees, and damages that the City incurs in enforcing the indemnification provisions set forth in this section.
2. The use shall be limited to the type of operation described in the staff report. Any change in the operational characteristics shall be subject to Planning Division review and may require an amendment to the minor/conditional use permit, subject to either Zoning Administrator or Planning Commission approval, depending on the nature of the proposed change. The applicant is reminded that Code allows the Planning Commission to modify or revoke any planning application based on findings related to public nuisance and/or noncompliance with conditions of approval [Title 13, Section 13-29(o)].
3. The conditions of approval, code requirements, and special district requirements for DR-22-08 shall be blueprinted on the face of the site plan as part of the plan check submittal package.
4. The applicant shall contact the Planning Division to arrange Planning inspection of the site prior to the Building Division's final inspections.



This inspection is to confirm that the conditions of approval and Code requirements have been satisfied.

5. No modification(s) of the approved building elevations including, but not limited to, changes that increase the building height, additional second story windows, removal of building articulation, or a change of the finish material(s), shall be made during construction without prior Planning Division written approval. Failure to obtain prior Planning Division approval of the modification could result in the requirement of the applicant to (re)process the modification through a discretionary review process such as a design review or a variance, or in the requirement to modify the construction to reflect the approved plans.
6. It is recommended that the project incorporate green building design and construction techniques where feasible. The applicant may contact the Building Safety Division at (714) 754-5273 for additional information.
7. Prior to issuance of final building inspections, the applicant shall provide a scaled and dimensioned digital site plan(s) for the project site, on either a CD or thumb drive, to the Planning Division. All site plans shall include an accurate and precise drawing of all building footprints and property line locations for the entire project site. All buildings shall be annotated with its corresponding address and suites if applicable.
8. Prior to issuance of building permits a Land Use Restriction shall be recorded. The Land Use Restriction shall state that the approval involves the addition of an office and a loft above, on a property that contains two, two bedroom, units.

## **CODE REQUIREMENTS**

The following list of federal, state, and local laws applicable to the project has been compiled by staff for the applicant's reference. Any reference to "City" pertains to the City of Costa Mesa.

- Ping.
1. Approval of the design review application is valid for two years from the effective date of this approval and will expire at the end of that period unless a building permit has been issued and construction has commenced, and a valid building permit has been maintained by making satisfactory progress as determined by the Building Official. A time extension can be requested no less than 30 days or more than 60 days before the expiration date of the permit and submitted with the appropriate fee for review to the Planning Division. The Director of Development Services may extend the time for an approved permit or approval to be exercised up to 180-days subject to specific findings listed in Title 13, Section 13-29 (k) (6). Only one request for an extension of 180 days may be approved by the Director. Any

- subsequent extension requests shall be considered by the original approval authority.
2. Development shall comply with all requirements of Article 1, Chapter 5, Title 13, of the Costa Mesa Municipal Code relating to development standards for residential projects.
  3. Trash facilities shall be screened from view, and designed and located appropriately to minimize potential noise and odor impacts to neighbors.
  4. Installation of all new utility meters shall be performed in a manner so as to obscure the installation from view from any place on or off the property. The installation shall be in a manner acceptable to the public utility and shall be in the form of a vault, wall cabinet, or wall box, under the direction of the Planning Division.
  5. Any mechanical equipment such as air-conditioning equipment and duct work shall be screened from view in a manner approved by the Planning Division.
  6. Transformers, backflow preventers, and any other approved above-ground utility improvements shall be located outside of the required street setback area and shall be screened from view, under direction of Planning staff. Any deviation from this requirement shall be subject to review and approval of the Development Services Director.
  - Bldg. 7. Comply with the requirements of the adopted, 2019 California Residential Code, the 2019 California Building Code, 2019 California Electrical Code, 2019 California Mechanical Code, 2019 California Plumbing Code, 2019 California Green Building Standards Code and 2019 California Energy Code (or the applicable adopted, California Residential Code, California Building Code, California Electrical Code, California Mechanical Code, California Plumbing Code, California Green Building Standards and California Energy Code at the time of plan submittal or permit issuance) and California Code of Regulations also known as the California Building Standards Code, as amended by the City of Costa Mesa.
  8. All noise-generating construction activities shall be limited to 7 AM to 7 PM, Monday through Friday and 9 AM to 6 PM, Saturday. Noise-generating construction activities shall be prohibited on Sunday and the following Federal holidays: New Year's Day, Memorial Day, Independence Day, Labor Day, Thanksgiving Day and Christmas Day.
  - Bus. Lic. 9. All contractors and subcontractors must have valid business licenses to do business in the City of Costa Mesa. Final inspections, final occupancy and utility releases will not be granted until all such licenses have been obtained.
  - Trans 11. Submit a detailed plan showing the drive approach dimensions, parkway and street widths prior to building plan check.

**SPECIAL DISTRICT REQUIREMENTS**

The requirements of the following special districts are hereby forwarded to the applicant:

- AQMD
1. Applicant shall contact the Air Quality Management District (800) 288-7664 for potential additional conditions of development or for additional permits required by AQMD.
  2. Prior to the Building Division (AQMD) issuing a demolition permit, contact South Coast Air Quality Management District located at:  
21865 Copley Dr.  
Diamond Bar, CA 91765-4178  
Tel: 909-396-2000

OR

Visit their web site:

<http://www.costamesaca.gov/modules/showdocument.aspx?documentid=23381>

The Building Division will not issue a demolition permit until an identification number is provided by AQMD.

- Sani.
4. It is recommended that the applicant contact the Costa Mesa Sanitary District at (949) 645-8400 for current district requirements.
- Water
7. Customer shall contact the Mesa Water District – Engineering Desk and submit an application and plans for project review. Customer must obtain a letter of approval and a letter of project completion from Mesa Water District.
  8. Prior to the issuance of a connection permit, the applicant shall pay the applicable water connection fees.



**CERTIFICATE OF COMPLIANCE**  
 Project Name: Stubblefield Addition  
 Calculation Date/Time: 2021-10-26T20:40:56-07:00  
 Calculation Description: Stubblefield Addition  
 Input File Name: Stubblefield.rbd19  
 CF1R-PRF-01E (Page 7 of 9)

01	02	03	04	05	06	07	08	09	10	11	12	13	14
Name	Heating Element Type	Thnk Type	# of Units	Tank Vol. (gal)	Energy Factor or Efficiency	Input Rating (kW)	Tank Insulation R-value (in./Eq.)	Standby Loss or Recovery Eff.	1st Hr. Rating or Flow Rate	NEEA Heat Pump Brand or Model	Tank Location or Ambient Condition	Status	Verified Existing Condition
Gas Storage	Gas	Consumer Storage	1	50	0.53-UEF	< 75 kWh/yr	0	78	80 gal	n/a	n/a	Existing	No

01	02	03	04	05	06	07	08
Name	Pipe Insulation	Parallel Piping	Compact Distribution	Compact Distribution Type	Recirculation Control	Control DHW Distribution	Shower Drain Water Heat Recovery
Exst DHW System - 1/1	Not Required	Not Required	Not Required	Not Required	Not Required	Not Required	Not Required

01	02	03	04	05	06	07	08	09	10	11
Name	System Type	Heating Unit Name	Cooling Unit Name	Fan Name	Distribution Name	Required Thermostat Type	Status	Verified Existing Condition	Heating Equipment Count	Cooling Equipment Count
New HVAC System	Heat pump heating cooling	Heat Pump System 1	Heat Pump System 1	n/a	n/a	Setback	New	No	1	1

01	02	03	04	05	06	07	08	09	10	11
Name	System Type	Number of Units	Heating HSPF/COP	Cap 47	Cap 17	Cooling EER/CEER	Zonally Controlled	Compressor Type	HERS Verification	
Heat Pump System 1	ductless MiniSplit HP	1	8.2	10900	7000	14	11.7	Not Zonal	Single Speed	Heat Pump System 1-Heat Pump

Registration Number: 221-P010225880A-000-000-0000000-0000  
 CA Building Energy Efficiency Standards - 2019 Residential Compliance  
 Registration Date/Time: 2021-10-26 20:54:49  
 Report Version: 2019.1.300  
 Schema Version: rev 20200901  
 HERS Provider: CalCERTS, Inc.  
 Report Generated: 2021-10-26 20:41:22

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 CF1R-PRF-01E (Page 8 of 9)

01	02	03	04	05	06	07	08	09
Name	Verified Airflow	Airflow Target	Verified EER	Verified SEER	Verified Refrigerant Charge	Verified HSPF	Verified Heating Cap 47	Verified Heating Cap 17
Heat Pump System 1-Heat Pump	Not Required	0	Not Required	Not Required	Yes	No	No	No

01	02	03	04	05	06	07	08	09	10	11
Name	System Type	Number of Units	Heating HSPF/COP	Cap 47	Cap 17	Cooling EER/CEER	Zonally Controlled	Compressor Type	HERS Verification	
Heat Pump System 1	ductless MiniSplit HP	1	8.2	10900	7000	14	11.7	Not Zonal	Single Speed	Heat Pump System 1-Heat Pump

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 CF1R-PRF-01E (Page 9 of 9)

**DOCUMENTATION AUTHOR'S DECLARATION STATEMENT**  
 I, certify that this Certificate of Compliance documentation is accurate and complete.

Documentation Author Name: Anthony Palmisano  
 Signature Date: 2021-10-26 20:54:49  
 Address: 1334 North Sultana Avenue, Ontario, CA 91764  
 Phone: 909-844-5151

**RESPONSIBLE PERSON'S DECLARATION STATEMENT**  
 I, certify that the energy features and performance specifications identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency and approved with this building permit application.

Responsible Designer Name: Anthony Palmisano  
 Signature Date: 2021-10-26 20:54:49  
 Address: 1334 North Sultana Avenue, Ontario, CA 91764  
 Phone: 909-844-5151

Digitally signed by CalCERTS. This digital signature is provided in order to secure the content of this registered document, and in no way implies Registration Provider responsibility for the accuracy of the information.

Registration Number: 221-P010225880A-000-000-0000000-0000  
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01	02	03	04	05	06	07	08	09	10	11	12	13	14	15	16
Name	Type	Surface	Orientation	Altitude	Width (ft)	Height (ft)	Mult	Area (ft <sup>2</sup> )	U-factor	SHGC	SHGC Source	Exterior Shading	Status	Verified Existing Condition	
Existing Front Window	Window	Ex Front	Front	0	2	8	6	48	0.31	NFRC	0.25	NFRC	Bug Screen	Existing	No
Existing Left Window	Window	Ex Left	Left	90	2	3	3	18	0.32	NFRC	0.25	NFRC	Bug Screen	Existing	No
Existing Rear 1 Window	Window	Ex Back	Back	180	2	3	2	12	0.32	NFRC	0.25	NFRC	Bug Screen	Existing	No
Existing Rear 2 Window	Window	Ex Back	Back	180	3	3	1	9	0.32	NFRC	0.25	NFRC	Bug Screen	Existing	No
Existing Right Window	Window	Ex Right	Right	270	3	4	3	36	0.32	NFRC	0.25	NFRC	Bug Screen	Existing	No
Add Back Window	Window	Add Back	Back	180	4	2	2	16	0.32	NFRC	0.25	NFRC	Bug Screen	New	n/a
Add Right Window	Window	Add Right	Right	270	2	3	4	24	0.32	NFRC	0.25	NFRC	Bug Screen	New	n/a

01	02	03	04	05	06
Name	Side of Building	Area (ft <sup>2</sup> )	U-factor	Status	Verified Existing Condition
Entry	Ex Front	20	0.5	Existing	No
Backdoor 2	Ex Back	20	0.5	Existing	No
Backdoor 3	Ex Right	20	0.5	Existing	No
Addition Door	Add Front	20	0.5	Existing	No

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01	02	03	04	05	06	07	08
Construction Name	Surface Type	Construction Type	Framing	Total Cavity R-value	Interior / Exterior Continuous R-value	U-factor	Assembly Layers
Existing Stud Wall	Exterior Walls	Wood Framed Wall	2x4 @ 16 in. O. C.	R-11	None / None	0.11	Inside Finish: Gypsum Board Cavity / Frame: R-11 / 2x4 Exterior Finish: 3 Coat Stucco
R-19 Wall Stucco	Exterior Walls	Wood Framed Wall	2x6 @ 16 in. O. C.	R-19	None / None	0.067	Inside Finish: Gypsum Board Cavity / Frame: R-19 in 5-1/2 in. (R-18) / 2x6 Sheathing / Insulation: Wood Siding/Sheathing/Decking Exterior Finish: 3 Coat Stucco
Asphalt Shingle	Attic Roofs	Wood Framed Ceiling	2x4 Top Chord of Roof Truss @ 24 in. O. C.	R-0	None / None	0.644	Roofing: Light Roof (Asphalt Shingle) Roof Deck: Wood Siding/Sheathing/Decking Cavity / Frame: no Insul / 2x4 Top Chrd
Asphalt RB	Attic Roofs	Wood Framed Ceiling	2x4 Top Chord of Roof Truss @ 24 in. O. C.	R-0	None / None	0.644	Roofing: Light Roof (Asphalt Shingle) Roof Deck: Wood Siding/Sheathing/Decking Cavity / Frame: no Insul / 2x4 Top Chrd
Raised Crawl RD	Floors Over Crawlspace	Wood Framed Floor	2x6 @ 16 in. O. C.	R-0	None / None	0.22	Floor Surface: Carpeted Floor Deck: Wood Siding/Sheathing/Decking Cavity / Frame: no Insul / 2x6
Ceiling R11	Ceilings (below attic)	Wood Framed Ceiling	2x4 @ 16 in. O. C.	R-11	None / None	0.083	Over Ceiling Joists: R-11 Insul. Cavity / Frame: R-11 / 2x4 Inside Finish: Gypsum Board
R-38 Ceiling	Ceilings (below attic)	Wood Framed Ceiling	2x4 @ 16 in. O. C.	R-38	None / None	0.025	Over Ceiling Joists: R-38 Insul. Cavity / Frame: R-11 / 2x4 Inside Finish: Gypsum Board

Registration Number: 221-P010225880A-000-000-0000000-0000  
 CA Building Energy Efficiency Standards - 2019 Residential Compliance  
 Registration Date/Time: 2021-10-26 20:54:49  
 Report Version: 2019.1.300  
 Schema Version: rev 20200901  
 HERS Provider: CalCERTS, Inc.  
 Report Generated: 2021-10-26 20:41:22

**CERTIFICATE OF COMPLIANCE**  
 Project Name: Stubblefield Addition  
 Calculation Date/Time: 2021-10-26T20:40:56-07:00  
 Calculation Description: Stubblefield Addition  
 Input File Name: Stubblefield.rbd19  
 CF1R-PRF-01E (Page 6 of 9)

01	02	03	04	05	06	07	08
Construction Name	Surface Type	Construction Type	Framing	Total Cavity R-value	Interior / Exterior Continuous R-value	U-factor	Assembly Layers
Addition Floor over Crawlspace	Interior Floors	Wood Framed Floor	2x10 @ 16 in. O. C.	R-38	None / None	0.05	Floor Surface: Carpeted Floor Deck: Wood Siding/Sheathing/Decking Cavity / Frame: R-38 in 9-1/4 in. (R-35) / 2x10

01	02	03	04
Quality Insulation Installation (QII)	High R-value Spray Foam Insulation	Building Envelope Air Leakage	CFR60
Not Required	Not Required	Not Required	n/a

01	02	03	04	05	06	07	08	09	10	11
Name	System Type	Distribution Type	Water Heater Name (H)	Solar Heating System	Compact Distribution	HERS Verification	Status	Verified Existing Condition	Water Heating System	
Exst DHW System	Domestic Hot Water (DHW)	Standard Distribution System	Gas Storage (H)	n/a	None	n/a	Existing	No		

Registration Number: 221-P010225880A-000-000-0000000-0000  
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 CF1R-PRF-01E (Page 1 of 9)

01	02	03	04	05	06	07	08	09	10	11	12	13	14	15	16
Project Name	Stubblefield Addition	Run Title	Stubblefield Addition	Project Location	195 Albert Place	City	Costa Mesa, CA	Standards Version	2019	Software Version	CIIECC-Res 2019.1.3	Climate Zone	6	Front Orientation (deg/ Cardinal)	0
Zip code	92617	Building Type	Single Family	Project Scope	Addition/Alteration	Number of Dwelling Units	1	Number of Bedrooms	3	Number of Stories	2	Addition Cond. Floor Area (ft <sup>2</sup> )	404	Number of Stories	2
Existing Cond. Floor Area (ft <sup>2</sup> )	1200	Penetration Average U-Factor	0.33	Total Cond. Floor Area (ft <sup>2</sup> )	1604	Glazing Percentage (%)	10.41%	ADU Bedroom Count	n/a	ADU Conditioned Floor Area	n/a	Is Natural Gas Available?	Yes		

01	02	03	04	05	06	07	08	09	10	11
Energy Use (kBtu/ft <sup>2</sup> -yr)	Standard Design	Proposed Design	Compliance Margin	Percent Improved						
Space Heating	14.52	15.2	-0.68	-4.7						
Space Cooling	11.17	10.41	0.76	6.8						
IAQ Ventilation	0	0	0	0						
Water Heating	27.63	27.63	0	0						
Self Utilization/Resiliability Credit	n/a	0	0	n/a						
Compliance Energy Total	53.32	53.24	0.08	0.2						

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 Input File Name: Stubblefield.rbd19  
 CF1R-PRF-01E (Page 2 of 9)

01	02	03	04	05	06	07
Project Name	Stubblefield Addition	Conditioned Floor Area (ft <sup>2</sup> )	Number of Dwelling Units	Number of Bedrooms	Number of Zones	Number of Water Heating Systems
Stubblefield Addition	1604	1	3	2	0	1

01	02	03	04	05	06	07
Zone Name	Zone Type	HVAC System Name	Zone Floor Area (ft <sup>2</sup> )	Avg. Ceiling Height	Water Heating System 1	Water Heating System 2
House	Conditioned	New HVAC System	1200	8	Exst DHW System	N/A
Addition	Conditioned	New HVAC System	404	8	Exst DHW System	N/A

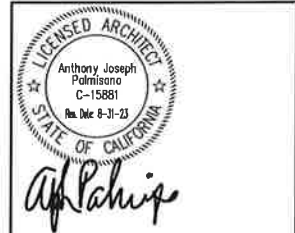
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 CF1R-PRF-01E (Page 3 of 9)

01	02	03	04	05	06	07	08	09	10	11
Name	Zone	Construction	Admuth	Orientation	Gross Area (ft <sup>2</sup> )	Window and Door Area (ft <sup>2</sup> )	TR (deg)	Wall Exceptions	Status	Verified Existing Condition
Ex Front	House	Existing Stud Wall	0	Front	211	68	90	none	Existing	No
Ex Left	House	Existing Stud Wall	90	Left	330	30	90	none	Existing	No
Ex Back	House	Existing Stud Wall	180	Back	211	41	90	none	Existing	No
Ex Right	House	Existing Stud Wall	270	Right	330	56	90	none	Existing	No
Add Front	Addition	R-19 Wall Stucco	0	Front	211	20	90	none	New	n/a
Add Left	Addition	R-19 Wall Stucco	90	Left	330	0	90	none	New	n/a
Add Back	Addition	R-19 Wall Stucco	180	Back	211	8	90	none	New	n/a
Add Right	Addition	R-19 Wall Stucco	270	Right	330	24	90	none	New	n/a
Ceiling	House	R-38 Ceiling	n/a	n/a	1200	n/a	n/a	n/a	Altered	No
Addition Ceiling	Addition	R-38 Ceiling	n/a	n/a	404	n/a	n/a	n/a	New	n/a
Floor Over Crawlspace 1	House	Raised Crawl	n/a	n/a	1200	n/a	n/a	n/a	Existing	No
Inertior Floor 2	Addition	Addition Floor over Crawlspace	n/a	n/a	404	n/a	n/a	n/a	New	n/a

01	02	03	04	05	06	07	08	09	10
Name	Construction	Type	Roof Rise (ft in 12)	Roof Reflectance	Roof Barrier	Radiant Barrier	Cool Roof	Status	Verified Existing Condition
Attic	Asphalt Shingle	Ventilated	3	0.1	0.85	No	No	Existing	No
Addition Attic	Asphalt RB	Ventilated	3	0.1	0.85	Yes	No	New	n/a

Registration Number: 221-P010225880A-000-000-0000000-0000  
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**Addition**  
 Owner:  
 Stubblefield  
 195 Albert Place  
 Costa Mesa, California 92627

APPROVED

APPROVED

APPROVED

APPROVED

APPROVED

APPROVED

APPROVED

**TITLE 24 FORMS**

DRAWN TONY  
 CHECKED TONY  
 DATE 10/06/2021  
 SCALE NONE  
 JOB NO. 1-1.1



2019 Low-Rise Residential Mandatory Measures Summary

Table with 2 columns: Measure ID (e.g., § 150.00A) and Description (e.g., Clearances. Air conditioner and heat pump outdoor condensing units must have a clearance of at least five feet from the outlet of any dryer).



2019 Low-Rise Residential Mandatory Measures Summary

Table with 2 columns: Measure ID (e.g., § 150.00A) and Description (e.g., Energy Switches and Controls. An energy management control system (EMCS) may be used to comply with control requirements if it provides functionality of the specified controls according to § 110.6; meets the Installation Certificate requirements of § 150.4; meets the EMCs requirements of § 150.0(e); and meets all other requirements in § 150.000).



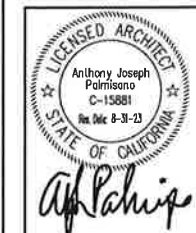
2019 Low-Rise Residential Mandatory Measures Summary

Table with 2 columns: Measure ID (e.g., § 110.6(a)(1)) and Description (e.g., Air Leakage. Manufactured fenestration, exterior doors, and exterior pet doors must limit air leakage to 0.3 CFM per square foot or less when tested per NFRC-600, ASTM E283 or AIAA/WMAA-CSA 1015.5/2044-2011).



2019 Low-Rise Residential Mandatory Measures Summary

Table with 2 columns: Measure ID (e.g., § 150.00(a)) and Description (e.g., Requirements for Ventilation and Indoor Air Quality. All dwelling units must meet the requirements of ASHRAE Standard 62.2, Ventilation and Acceptable Indoor Air Quality in Residential Buildings subject to the amendments specified in § 150.001).



Signature of Anthony Joseph Perricone

Addition
Owner: Stubblefield Place
195 Albert Place
Costa Mesa, California 92627

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Table with 4 columns: NO, DATE, BY, REMARKS

TITLE 24 FORMS
DRAWN TONY
CHECKED TONY
DATE 10/06/2021
SCALE NONE
JOB NO. 1-12

2019 CALGREEN RESIDENTIAL MANDATORY MEASURES EFFECTIVE JANUARY 1, 2020 HCD SHL 615 (New 01/20)	
See specific referenced sections for complete details on CALGreen mandatory requirements.	
2019 CALGREEN CODE	
SECTION	REQUIREMENTS
<b>Multiple EV spaces required (similar to 4.106.4.2.4)</b>	
4.106.4.3.4	<ul style="list-style-type: none"> <li>Construction documents shall indicate the raceway termination point and proposed location of future EV spaces and EV chargers. Construction documents shall also provide information on ampere of future EVSE, raceway method(s), wiring schematics and electrical load calculations to verify electrical panel service capacity and electrical system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all EVs at all required EV spaces at the full rated ampere of the EVSE.</li> <li>Plan design shall be based upon a 40-ampere minimum branch circuit.</li> <li>Required raceways and related components planned to be installed underground, enclosed, inaccessible or, in concealed areas and spaces shall be installed at the time of original construction.</li> </ul>
<b>Identification (similar to 4.106.4.2.5)</b>	
4.106.4.3.5	Service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code.
<b>Accessible EV spaces</b>	
4.106.4.3.6	In addition to the requirements in Section 4.106.4.3, EV spaces for hotels/motels and all EVSE, when installed, shall comply with the accessibility provisions for EV charging stations in the California Building Code, Chapter 11B.
<b>Division 4.2 – ENERGY EFFICIENCY</b>	
<b>Scope</b>	
4.201.1 & 5.201.1	<ul style="list-style-type: none"> <li>Energy efficiency requirements for low-rise residential (Section 4.201.1) and high-rise residential/motels/motels (Section 5.201.1) are now in both residential and nonresidential chapters of CALGreen.</li> <li>Standards for residential buildings do not require compliance with levels of minimum energy efficiency beyond those required by the 2019 California Energy Code.</li> </ul>

Page 7 of 16

2019 CALGREEN RESIDENTIAL MANDATORY MEASURES EFFECTIVE JANUARY 1, 2020 HCD SHL 615 (New 01/20)	
See specific referenced sections for complete details on CALGreen mandatory requirements.	
2019 CALGREEN CODE	
SECTION	REQUIREMENTS
<b>Single EV space required</b>	
4.106.4.2.3	<ul style="list-style-type: none"> <li>Install a listed raceway capable of accommodating a 208/240-volt dedicated branch circuit.</li> <li>Raceway shall not be less than trade size 1 (nominal 1-inch inside diameter).</li> <li>Raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or enclosure in close proximity to the proposed location of the EV space.</li> <li>Construction documents shall identify the raceway termination point.</li> <li>Service panel and/or subpanel shall provide capacity to install a 40-ampere minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device.</li> </ul>
<b>Multiple EV spaces required</b>	
4.106.4.2.4	<ul style="list-style-type: none"> <li>Construction documents shall indicate the raceway termination point and proposed location of future EV spaces and EV chargers. Construction documents shall also provide information on ampere of future EVSE, raceway method(s), wiring schematics, and electrical load calculations to verify electrical panel service capacity and electrical system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all EVs at all required EV spaces at the full rated ampere of the EVSE.</li> <li>Plan design shall be based upon a 40-ampere minimum branch circuit.</li> <li>Required raceways and related components planned to be installed underground, enclosed, inaccessible or in concealed areas and spaces shall be installed at the time of original construction.</li> </ul>
<b>Identification</b>	
4.106.4.2.5	Service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code.

Page 6 of 16

2019 CALGREEN RESIDENTIAL MANDATORY MEASURES EFFECTIVE JANUARY 1, 2020 HCD SHL 615 (New 01/20)	
See specific referenced sections for complete details on CALGreen mandatory requirements.	
2019 CALGREEN CODE	
SECTION	REQUIREMENTS
<b>EV charging: 1- &amp; 2-family dwellings/townhouses with attached private garages</b>	
4.106.4.1	<ul style="list-style-type: none"> <li>Install a listed raceway to accommodate a dedicated 208/240-volt branch circuit for each dwelling unit.</li> <li>Raceway shall not be less than trade size 1 (nominal 1-inch inside diameter).</li> <li>Raceway shall originate at the main service or subpanel and terminate into a listed cabinet, box or other enclosure in close proximity to the proposed location of an EV charger.</li> <li>Raceways are required to be continuous at enclosed, inaccessible, or concealed areas and spaces.</li> <li>Service panel and/or subpanel shall provide capacity to install a 40-ampere minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device.</li> </ul>
<b>Identification</b>	
4.106.4.1.1	Service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging as "EV CAPABLE". The raceway termination location shall be permanently and visibly marked as "EV CAPABLE."
<b>EV charging for multifamily dwellings</b>	
4.106.4.2	<ul style="list-style-type: none"> <li>Applies to all multifamily dwelling units with parking facilities on the site.</li> <li>10% of the total number of parking spaces provided for all types of parking facilities, but in no case less than 1, shall be electric vehicle charging spaces (EV spaces) capable of supporting future EVSE. Calculations for the number of EV spaces shall be rounded up to the nearest whole number.</li> </ul> <p>Note: Construction documents are intended to demonstrate the project's capability and capacity for facilitating future EV charging. There is no requirement for EV spaces to be constructed or available until EV chargers are installed for use.</p>

Page 3 of 16

2019 CALGREEN RESIDENTIAL MANDATORY MEASURES EFFECTIVE JANUARY 1, 2020 HCD SHL 615 (New 01/20)	
See specific referenced sections for complete details on CALGreen mandatory requirements.	
2019 CALGREEN CODE	
SECTION	REQUIREMENTS
<b>Chapter 1 – ADMINISTRATION</b>	
<b>Scope</b>	
101.3.1	Applies to ALL newly constructed residential buildings: low-rise, high-rise, and hotels/motels.
102.3	Requires a completed Residential Occupancies Application Checklist or alternate method acceptable to the enforcing agency to be used for documentation of conformance.
<b>Chapter 3 – GREEN BUILDING</b>	
<b>Additions and alterations</b>	
301.1.1	<ul style="list-style-type: none"> <li>Applies to additions or alterations of residential buildings where the addition or alteration increases the building's conditioned area, volume, or size.</li> <li>Requirements only apply within the specific area of the addition or alteration.</li> </ul>
<b>Low-rise and high-rise residential buildings</b>	
301.2	Banners identify provisions applying to low-rise only [LR] or high-rise only [HR].
<b>Mixed occupancy buildings</b>	
Requires each portion of mixed occupancy buildings to comply with CALGreen measures applicable for the specific occupancy.	
<b>Exceptions:</b>	
302.1	<ul style="list-style-type: none"> <li>Accessory structures and accessory occupancies serving residential buildings to comply with Chapter 4 and Appendix A4, as applicable.</li> <li>Live/work units complying with the California Building Code Section 419 shall not be considered a mixed occupancy. Live/work units are required to comply with Chapter 4 and Appendix A4, as applicable.</li> </ul>

Page 1 of 16

2019 CALGREEN RESIDENTIAL MANDATORY MEASURES EFFECTIVE JANUARY 1, 2020 HCD SHL 615 (New 01/20)	
See specific referenced sections for complete details on CALGreen mandatory requirements.	
2019 CALGREEN CODE	
SECTION	REQUIREMENTS
<b>Division 4.3 – WATER EFFICIENCY AND CONSERVATION</b>	
<b>Water conserving plumbing fixtures and fittings</b>	
Plumbing fixtures and fittings shall comply with the following:	
4.303.1.1	Water closets: ≤ 1.28 gal/flush.
4.303.1.2	Wall mounted urinals: ≤ 0.125 gal/flush; all other urinals ≤ 0.5 gal/flush.
4.303.1.3.1	Single showerheads: ≤ 1.8 gpm @ 80 psi.
4.303.1.3.2	Multiple showerheads: combined flow rate of all showerheads controlled by single valve shall not exceed 1.8 gpm @ 80 psi, or only 1 shower outlet is to be in operation at a time.
4.303.1.4.1	Residential lavatory faucets: maximum flow rate ≤ 1.2 gpm @ 60 psi; minimum flow rate ≥ 0.8 gpm @ 20 psi.
4.303.1.4.2	Lavatory faucets in common and public use areas of residential buildings: ≤ 0.5 gpm @ 60 psi.
4.303.1.4.3	Metering faucets: ≤ 0.2 gallons per cycle.
4.303.1.4.4	Kitchen faucets: ≤ 1.8 gpm @ 60 psi; temporary increase to 2.2 gpm allowed but shall default to 1.8 gpm.
<b>Standards for plumbing fixtures and fittings</b>	
4.303.2	Plumbing fixtures and fittings shall be installed in accordance with the California Plumbing Code, and shall meet applicable standards referenced in Table 1701.1 of the California Plumbing Code.
<b>Outdoor potable water use in landscape areas</b>	
4.304.1	New residential developments shall comply with a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent.
<b>Division 4.4 – MATERIAL CONSERVATION &amp; RESOURCE EFFICIENCY</b>	
<b>Rodent proofing</b>	
4.406.1	Annular spaces around pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls shall be closed with cement mortar, concrete masonry or a similar method acceptable to the enforcing agency to prevent passage of rodents.

Page 8 of 16

2019 CALGREEN RESIDENTIAL MANDATORY MEASURES EFFECTIVE JANUARY 1, 2020 HCD SHL 615 (New 01/20)	
See specific referenced sections for complete details on CALGreen mandatory requirements.	
2019 CALGREEN CODE	
SECTION	REQUIREMENTS
<b>EV charging for hotels and motels</b>	
4.106.4.3	<ul style="list-style-type: none"> <li>Applies to all newly constructed hotels and motels.</li> <li>Construction documents shall identify the location of EV spaces.</li> </ul> <p>Note: Construction documents are intended to demonstrate the project's capability and capacity for facilitating future EV charging. There is no requirement for EV spaces to be constructed or available until EV chargers are installed for use.</p>
<b>Number of required EV spaces</b>	
4.106.4.3.1	Table 4.106.4.3.1 shows the number of required EV spaces based on the total number of parking spaces provided for all types of parking facilities.
<b>EV charging space (EV space) dimensions</b>	
4.106.4.3.2	EV spaces shall be designed to comply with the following: <ul style="list-style-type: none"> <li>Minimum length of each EV space shall be 18 feet.</li> <li>Minimum width of each EV space shall be 9 feet.</li> </ul>
<b>Single EV space required (similar to 4.106.4.2.3)</b>	
4.106.4.3.3	<ul style="list-style-type: none"> <li>Install a listed raceway capable of accommodating a 208/240-volt dedicated branch circuit.</li> <li>Raceway shall not be less than trade size 1 (nominal 1-inch inside diameter).</li> <li>Raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or enclosure in close proximity to the proposed location of the EV space.</li> <li>Construction documents shall identify the raceway termination point.</li> <li>Service panel and/or subpanel shall provide capacity to install a 40-ampere minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device.</li> </ul>

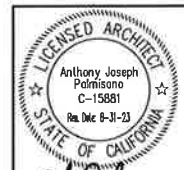
Page 6 of 16

2019 CALGREEN RESIDENTIAL MANDATORY MEASURES EFFECTIVE JANUARY 1, 2020 HCD SHL 615 (New 01/20)	
See specific referenced sections for complete details on CALGreen mandatory requirements.	
2019 CALGREEN CODE	
SECTION	REQUIREMENTS
<b>EV charging space (EV space) locations</b>	
4.106.4.2.1	Construction documents shall indicate the location of proposed EV spaces. Where common use parking is provided at least 1 EV space shall be located in the common use parking areas and shall be available for use by all residents.
<b>EV charging stations (EVCS)</b>	
When EV chargers are installed, EV spaces (required by Section 4.106.4.2.2, Item 3,) shall comply with at least 1 of the following options:	
4.106.4.2.1.1	<ol style="list-style-type: none"> <li>The EV space shall be located adjacent to an accessible parking space meeting the requirements of the California Building Code, Chapter 11A, to allow use of the EV charger from the accessible parking space.</li> <li>The EV space shall be located on an accessible route to the building, as defined in the California Building Code, Chapter 2.</li> </ol> <p>Exception: EVCS designed and constructed in compliance with the California Building Code Chapter 11B are not required to comply with Section 4.106.4.2.1.1 and Section 4.106.4.2.2, Item 3.</p>
<b>EV charging space (EV space) dimensions</b>	
4.106.4.2.2	EV spaces shall be designed to comply with the following: <ol style="list-style-type: none"> <li>The minimum length of each EV space shall be 18 feet.</li> <li>The minimum width of each EV space shall be 9 feet.</li> <li>1 in every 25 EV spaces, but not less than 1, shall also have an 8-foot wide minimum aisle. A 5-foot wide minimum aisle shall be permitted provided the minimum width of the EV space is 12 feet. <ol style="list-style-type: none"> <li>Surface slope for this EV space and aisle shall not exceed 1 unit vertical in 48 units horizontal (2.083% slope) in any direction.</li> </ol> </li> </ol>

Page 4 of 16

2019 CALGREEN RESIDENTIAL MANDATORY MEASURES EFFECTIVE JANUARY 1, 2020 HCD SHL 615 (New 01/20)	
See specific referenced sections for complete details on CALGreen mandatory requirements.	
2019 CALGREEN CODE	
SECTION	REQUIREMENTS
<b>Chapter 4 – RESIDENTIAL MANDATORY MEASURES</b>	
<b>Division 4.1 – PLANNING AND DESIGN</b>	
<b>Storm water drainage and retention during construction</b>	
4.106.2	Projects which disturb less than 1 acre of soil and are not part of a larger common plan of development shall manage storm water drainage during construction.
<b>Grading and paving</b>	
4.106.3	Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water from entering buildings. Exception: Additions and alterations which do not alter the existing drainage path.
<b>Electric vehicle (EV) charging for new construction</b>	
<ul style="list-style-type: none"> <li>Comply with Section 4.106.4.1, 4.106.4.2 or 4.106.4.3 for future installation and use of EV chargers.</li> <li>Electric vehicle supply equipment (EVSE) shall be installed in accordance with the California Electrical Code, Article 625.</li> </ul>	
<b>Exceptions:</b>	
4.106.4	<ol style="list-style-type: none"> <li>On a case-by-case basis where the local enforcing agency has determined EV charging and infrastructure are not feasible based upon 1 of the following: <ol style="list-style-type: none"> <li>Where there is no commercial power supply.</li> <li>Verification that meeting requirements will alter the local utility infrastructure design requirements on the utility side of the meter increasing costs to the homeowner/developer by more than \$400.00 per dwelling unit.</li> </ol> </li> <li>Accessory Dwelling Units and Junior Accessory Dwelling Units without additional parking facilities.</li> </ol> <p>Note: For definitions of Accessory Dwelling Units and Junior Accessory Units, see CALGreen Chapter 2.</p>

Page 2 of 16



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**Addition**  
Owner:  
Stubblefield  
195 Albert Place  
Costa Mesa, California 92627

APPROVED

APPROVED

APPROVED

NO	DATE	BY	REMARKS

**CALGREEN MANDATORY MEASURES**

DRAWN	TONY
CHECKED	TONY
DATE	10/06/2021
SCALE	NONE
JOB NO.	

**I-1.3**

1. Annual spaces around pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or a similar method. (44061 CGBSC)


2. Provide a waste management plan to reduce construction waste at least 65%. Either provide a job specific proposal in accordance with Section 4408 or provide a waste management plan document form provided by the City with the plan submitted. (4408 CGBSC)


3. At the time of final inspection, a manual, compact disc, web-based reference or other acceptable media shall be placed in the building containing the following. Note on the plans. (4410 CGBSC)


- a. Directions to the owner that the manual shall remain with the building throughout the life of the structure.
- b. Operation and maintenance instructions for:
  - i. Equipment and appliances, including water saving devices and systems HVAC systems, water heating systems and other major appliances and equipment.
  - ii. Roof and yard drainage, gutters and downspouts.
  - iii. Space conditioning systems, including condensers and air filters. Landscape irrigation systems.
  - iv. Water reuse systems.
- c. Information from local utility, water and waste recovery providers on methods to further reduce resource consumption, including recycle programs and locations.
- d. Public transportation and/or carpool options available in the area.
- e. Educational material on the positive impacts of an interior relative humidity between 30-60% and what methods an occupant may use to maintain that range.
- f. Information about water-conserving landscape and irrigation design and controllers which conserve water.
- g. Instructions for maintaining gutters and downspouts and the importance of diverting water at least 5 feet away from the foundation.
- h. Information on required routine maintenance measures including, caulking, painting, grading around the building, etc.
- i. Information about state solar energy and incentive programs available.
- j. A copy of all special inspection verification required for the project.


4. At rough installation or during storage on the site and until final startup of the heating and cooling equipment, all duct and other related air distribution openings shall be covered with tape, plastic, sheet metal or other acceptable methods to reduce dust or debris which may collect in the system. Note on the plans. (4504.1 CGBSC)

5. All finish materials, such as adhesives, sealants, caulks, paints, aerosol paints, coatings, carpet systems, resilient flooring systems and composite wood products shall conform to the VOC and formaldehyde limits set forth in Section 4504.2, 4504.3, 4504.4, 4504.5 and Tables 4504.1, 4504.2, 4504.3 and 4504.5. Note on the plans. (4054 CGBSC)

 2019 CALGREEN RESIDENTIAL MANDATORY MEASURES EFFECTIVE JANUARY 1, 2020 <small>HCD SHL 615 (New 01/20)</small> <small>See specific referenced sections for complete details on CALGreen mandatory requirements.</small>	
2019 CALGREEN CODE	
SECTION	REQUIREMENTS
<b>Protection of mechanical equipment during construction</b>	
4.504.1	At the time of rough installation, during storage on the construction site and until final startup of the heating, cooling and ventilating equipment, all duct and other related air intake and distribution component openings shall be covered. Tape, plastic, sheetmetal or other methods acceptable to the enforcing agency to reduce the amount of water, dust and debris entering the system may be used.
<b>Adhesives, sealants and caulks</b>	
4.504.2.1	Adhesives, sealants and caulks used on the project shall meet the requirements of the following standards unless more stringent local or regional air pollution or air quality management district rules apply: <ol style="list-style-type: none"> <li>1. Adhesives, adhesive bonding primers, adhesive primers, sealants, sealant primers, and caulks shall comply with local or regional air pollution control or air quality management district rules where applicable or SCAQMD Rule 1168 VOC limits, as shown in Table 4.504.1 or 4.504.2, as applicable. Such products shall also comply with the Rule 1168 prohibition on the use of certain toxic compounds (trichloroform, ethylene dichloride, methylene chloride, perchloroethylene and chloroethylene), except for aerosol products, as specified in Subsection 2.</li> <li>2. Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds (in units of product, less packaging, which do not weigh more than 1 pound and do not consist of more than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including prohibitions on use of certain toxic compounds, of California Code of Regulations (CCR), Title 17, commencing with Section 94507.</li> </ol>
<b>Paints and coatings</b>	
4.504.2.2	Architectural paints and coatings shall comply with VOC limits in Table 1 of the Air Resources Board Architectural Suggested Control Measure, as shown in Table 4.504.3, unless more stringent local limits apply. The VOC content limit for coatings that do not meet the definitions for the specialty coatings categories listed in Table 4.504.3 shall be determined by classifying the coating as a Flat, Nonflat, or Nonflat-high Gloss coating, based on its gloss, as defined in subsections 4.21, 4.36, and 4.37 of the 2007 California Air Resources Board, Suggested Control Measure, and the corresponding Flat, Nonflat, or Nonflat-high Gloss VOC limit in Table 4.504.3 shall apply.

 2019 CALGREEN RESIDENTIAL MANDATORY MEASURES EFFECTIVE JANUARY 1, 2020 <small>HCD SHL 615 (New 01/20)</small> <small>See specific referenced sections for complete details on CALGreen mandatory requirements.</small>	
2019 CALGREEN CODE	
SECTION	REQUIREMENTS
<b>Construction waste management</b>	
4.408.1	<ul style="list-style-type: none"> <li>Recycle and/or salvage for reuse a minimum of 65% of the nonhazardous construction and demolition waste in accordance with either Section 4.408.2, 4.408.3 or 4.408.4, or meet a more stringent local construction and demolition waste management ordinance.</li> <li>Provide documentation to the enforcing agency per Section 4.408.5.</li> </ul> <b>Exceptions:</b> <ol style="list-style-type: none"> <li>1. Excavated soil and land-clearing debris.</li> <li>2. Alternative waste reduction methods developed by working with local enforcing agencies if diversion or recycle facilities capable of compliance with this item do not exist or are not located reasonably close to the jobsite.</li> <li>3. The enforcing agency may make exceptions to the requirements of this section when isolated jobsites are located in areas beyond the haul boundaries of the diversion facility.</li> </ol>
<b>Construction waste management plan</b>	
4.408.2	Submit a construction waste management plan meeting Items 1 through 5 in Section 4.408.2. Plans shall be updated as necessary and shall be available for examination during construction.
<b>Waste management company</b>	
4.408.3	Utilize a waste management company, approved by the enforcing agency, which can provide verifiable documentation that diverted construction and demolition waste materials meet the requirements in Section 4.408.1.

 2019 CALGREEN RESIDENTIAL MANDATORY MEASURES EFFECTIVE JANUARY 1, 2020 <small>HCD SHL 615 (New 01/20)</small> <small>See specific referenced sections for complete details on CALGreen mandatory requirements.</small>	
2019 CALGREEN CODE	
SECTION	REQUIREMENTS
<b>Aerosol paints and coatings</b>	
4.504.2.3 & 4.504.2.4	<ul style="list-style-type: none"> <li>Aerosol paints and coatings shall meet the Product-weighted MIR Limits for ROC in Section 94522(a)(2) and other requirements, including prohibitions on use of certain toxic compounds and ozone depleting substances, in Sections 94522(a)(1) and (f)(1) of California Code of Regulations, Title 17, commencing with Section 94520; and in areas under the jurisdiction of the Bay Area Air Quality Management District shall additionally comply with the percent VOC by weight of product limits of Regulation 8, Rule 49.</li> <li>Documentation is required per Section 4.504.2.4.</li> </ul>
<b>Carpet systems</b>	
4.504.3	Carpet installed in the building interior shall meet the testing and product requirements of 1 of the following: <ol style="list-style-type: none"> <li>1. Carpet and Rug Institute's Green Label Plus Program.</li> <li>2. California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350).</li> <li>3. NSF/ANSI 140 at the Gold level.</li> <li>4. Scientific Certifications Systems Indoor Advantage™ Gold.</li> </ol>
<b>Carpet cushion</b>	
4.504.3.1	Carpet cushion installed in the building interior shall meet the requirements of the Carpet and Rug Institute's Green Label program.
<b>Carpet adhesive</b>	
4.504.3.2	Carpet adhesives shall meet the requirements of Table 4.504.1.

 2019 CALGREEN RESIDENTIAL MANDATORY MEASURES EFFECTIVE JANUARY 1, 2020 <small>HCD SHL 615 (New 01/20)</small> <small>See specific referenced sections for complete details on CALGreen mandatory requirements.</small>	
2019 CALGREEN CODE	
SECTION	REQUIREMENTS
<b>Waste stream reduction alternative [LR]</b>	
4.408.4 & 4.408.4.1	<ul style="list-style-type: none"> <li>Projects that generate a total combined weight of construction and demolition waste disposed in landfills, which do not exceed 3.4 pounds per square foot of the building area shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1.</li> <li>Projects that generate a total combined weight of construction and demolition waste disposed in landfills, which do not exceed 2 pounds per square foot of the building area, shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1.</li> </ul>
<b>Operation and maintenance manual</b>	
4.410.1	At the time of final inspection, a manual, compact disc, web-based reference or other media acceptable to the enforcing agency which covers 10 specific subject areas shall be placed in the building.
<b>Recycling by occupants</b>	
4.410.2	Where 5 or more multifamily dwelling units are constructed on a building site, provide readily accessible area(s) that serves all buildings on the site and is identified for the depositing, storage and collection of nonhazardous materials for recycling, including (at minimum) paper, corrugated cardboard, glass, plastics, organic waste, and metals, or meet a lawfully enacted local recycling ordinance, if more restrictive.  <b>Exception:</b> Rural Jurisdictions that meet and apply for the exemption in Public Resources Code Section 42649.82 (a)(2)(A) et seq. are not required to comply with the organic waste portion of this section.
<b>Division 4.5 - ENVIRONMENTAL QUALITY</b>	
<b>Fireplaces - General</b>	
4.503.1	Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limits. Woodstoves, pellet stoves, and fireplaces shall also comply with all applicable local ordinances.



**Addition**  
 Owner:  
**Stubblefield**  
**195 Albert Place**  
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APPROVED

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NO	DATE	BY	REMARKS

**CALGREEN MANDATORY MEASURES**

DRAWN TONY  
 CHECKED TONY  
 DATE 10/06/2021  
 SCALE NONE  
 JOB NO.

**1-14**




 **CALGreen.**  
**2019 CALGREEN RESIDENTIAL MANDATORY MEASURES**  
**EFFECTIVE JANUARY 1, 2020**  
HCD SHL 615 (New 01/20)

*See specific referenced sections for complete details on CALGreen mandatory requirements.*

**2019 CALGREEN CODE**

SECTION	REQUIREMENTS
<b>Bathroom exhaust fans</b>	
4.506.1	Each bathroom shall be mechanically ventilated and shall comply with the following: 1. Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building. 2. Unless functioning as a component of a whole house ventilation system, fans must be controlled by a humidity control. a. Humidity controls shall be capable of manual or automatic adjustment between a relative humidity range of $\leq$ 50% to a maximum of 80%. b. A humidity control may be a separate component to the exhaust fan and is not required to be integral or built-in. Note: For CALGreen, a bathroom is a room which contains a bathtub, shower, or tub/shower combination. Fans or mechanical ventilation is required in each bathroom.
<b>Heating and air-conditioning system design</b>	
4.507.2	Heating and air-conditioning systems shall be sized, designed and equipment selected using the following methods: 1. The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J – 2016 (Residential Load Calculation), ASHRAE handbooks or other equivalent design software or methods. 2. Duct systems are sized according to ANSI/ACCA 1 Manual D – 2016 (Residential Duct Systems), ASHRAE handbooks or other equivalent design software or methods. 3. Select heating and cooling equipment according to ANSI/ACCA 3 Manual S – 2014 (Residential Equipment Selection) or other equivalent design software or methods. Exception: Use of alternate design temperatures necessary to ensure the systems function are acceptable.

Page 15 of 16


 **CALGreen.**  
**2019 CALGREEN RESIDENTIAL MANDATORY MEASURES**  
**EFFECTIVE JANUARY 1, 2020**  
HCD SHL 615 (New 01/20)

*See specific referenced sections for complete details on CALGreen mandatory requirements.*

**2019 CALGREEN CODE**

SECTION	REQUIREMENTS
<b>CHAPTER 7 - INSTALLER &amp; SPECIAL INSPECTOR QUALIFICATIONS</b>	
<b>Installer training</b>	
702.1	HVAC system installers shall be trained and certified in the proper installation of HVAC systems and equipment by a recognized training or certification program. Examples of acceptable HVAC training and certification programs include, but are not limited to, the following: 1. State certified apprenticeship programs. 2. Public utility training programs. 3. Training programs sponsored by trade, labor or statewide energy consulting or verification organizations. 4. Programs sponsored by manufacturing organizations. 5. Other programs acceptable to the enforcing agency.
<b>Special Inspection</b>	
702.2	When required by the enforcing agency, special inspectors must be qualified and able to demonstrate competence to the enforcing agency in the discipline in which they are inspecting.
<b>Documentation</b>	
703.1	Documentation of compliance shall include, but is not limited to, construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the local enforcing agency. Other specific documentation or special inspections necessary to verify compliance are specified in appropriate sections of CALGreen.

Page 16 of 16


 **CALGreen.**  
**2019 CALGREEN RESIDENTIAL MANDATORY MEASURES**  
**EFFECTIVE JANUARY 1, 2020**  
HCD SHL 615 (New 01/20)

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**2019 CALGREEN CODE**

SECTION	REQUIREMENTS
<b>Resilient flooring systems</b>	
4.504.4	Where resilient flooring is installed, at least 80% of floor area receiving resilient flooring shall comply with 1 or more of the following: 1. Products compliant with the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350), certified as a CHPS Low-Emitting Material in the Collaborative for High Performance Schools (CHPS) High Performance Products Database. 2. Products certified under UL GREENGUARD Gold (formerly the Greenguard Children & Schools program). 3. Certification under the Resilient Floor Covering Institute (RFCI) FloorScore program. 4. Meet the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350).
<b>Composite wood products</b>	
4.504.5 & 4.504.5.1	• Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the building shall meet the requirements for formaldehyde as specified in the Air Resources Board's Air Toxics Control Measure for Composite Wood (17 CCR 93120 et seq.), as shown in Table 4.504.5. • Documentation is required per Section 4.504.5.1. • Definition of Composite Wood Products: Composite wood products include hardwood plywood, particleboard, and medium density fiberboard. "Composite wood products" do not include hardboard, structural plywood, structural panels, structural composite lumber, oriented strand board, glued laminated timber, prefabricated wood joists, or finger-joined lumber, all as specified in CCR, Title 17, Section 93120.1(a).

Page 13 of 16


 **CALGreen.**  
**2019 CALGREEN RESIDENTIAL MANDATORY MEASURES**  
**EFFECTIVE JANUARY 1, 2020**  
HCD SHL 615 (New 01/20)

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**2019 CALGREEN CODE**

SECTION	REQUIREMENTS
<b>Concrete slab foundations</b>	
4.505.2	Concrete slab foundations or concrete slab-on-ground floors required to have a vapor retarder by the California Building Code, Chapter 19, or the California Residential Code, Chapter 5, respectively, shall also comply with this section.
<b>Capillary break</b>	
4.505.2.1	A capillary break shall be installed in compliance with at least 1 of the following: 1. A 4-inch thick base of 1/2 inch or larger clean aggregate shall be provided with a vapor retarder in direct contact with concrete and a concrete mix design, which will address bleeding, shrinkage, and curling, shall be used. For additional information, see American Concrete Institute, ACI 302.2R-06. 2. Other equivalent methods approved by the enforcing agency. 3. A slab design specified by a licensed design professional.
<b>Moisture content of building materials</b>	
4.505.3	Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19% moisture content. Moisture content shall be verified in compliance with the following: 1. Moisture content shall be determined with either a probe-type or a contact-type moisture meter. Equivalent moisture verification methods may be approved by the enforcing agency and shall satisfy requirements in Section 101.8. 2. Moisture readings shall be taken at a point 2 feet to 4 feet from the grade stamped end of each piece to be verified. 3. At least 3 random moisture readings shall be performed on wall and floor framing with documentation acceptable to the enforcing agency provided at the time of approval to enclose the wall and floor framing. Insulation products which are visibly wet or have a high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities. Manufacturers' drying recommendations shall be followed for wet-applied insulation products prior to enclosure.

Page 14 of 16


 **CALGreen.**  
**2019 CALGREEN RESIDENTIAL MANDATORY MEASURES**  
**EFFECTIVE JANUARY 1, 2020**  
HCD SHL 615 (New 01/20)

*See specific referenced sections for complete details on CALGreen mandatory requirements.*

**2019 CALGREEN CODE**

SECTION	REQUIREMENTS
<b>Protection of mechanical equipment during construction</b>	
4.504.1	At the time of rough installation, during storage on the construction site and until final startup of the heating, cooling and ventilating equipment, all duct and other related air intake and distribution component openings shall be covered. Tape, plastic, sheetmetal or other methods acceptable to the enforcing agency to reduce the amount of water, dust and debris entering the system may be used.
<b>Adhesives, sealants and caulks</b>	
4.504.2.1	Adhesives, sealants and caulks used on the project shall meet the requirements of the following standards unless more stringent local or regional air pollution or air quality management district rules apply: 1. Adhesives, adhesive bonding primers, adhesive primers, sealants, sealant primers, and caulks shall comply with local or regional air pollution control or air quality management district rules where applicable or SCAQMD Rule 1168 VOC limits, as shown in Table 4.504.1 or 4.504.2, as applicable. Such products shall also comply with the Rule 1168 prohibition on the use of certain toxic compounds (chloroform, ethylene dichloride, methylene chloride, perchloroethylene and trichloroethylene), except for aerosol products, as specified in Subsection 2. 2. Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds (in units of product, less packaging, which do not weigh more than 1 pound and do not consist of more than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including prohibitions on use of certain toxic compounds, of California Code of Regulations (CCR), Title 17, commencing with Section 94507.
<b>Paints and coatings</b>	
4.504.2.2	Architectural paints and coatings shall comply with VOC limits in Table 1 of the Air Resources Board Architectural Suggested Control Measure, as shown in Table 4.504.3, unless more stringent local limits apply. The VOC content limit for coatings that do not meet the definitions for the specialty coatings categories listed in Table 4.504.3 shall be determined by classifying the coating as a Flat, Nonflat, or Nonflat-high Gloss coating, based on its gloss, as defined in subsections 4.21, 4.36, and 4.37 of the 2007 California Air Resources Board, Suggested Control Measure, and the corresponding Flat, Nonflat, or Nonflat-high Gloss VOC limit in Table 4.504.3 shall apply.

Page 11 of 16

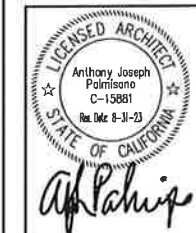
 **CALGreen.**  
**2019 CALGREEN RESIDENTIAL MANDATORY MEASURES**  
**EFFECTIVE JANUARY 1, 2020**  
HCD SHL 615 (New 01/20)

*See specific referenced sections for complete details on CALGreen mandatory requirements.*

**2019 CALGREEN CODE**

SECTION	REQUIREMENTS
<b>Aerosol paints and coatings</b>	
4.504.2.3 & 4.504.2.4	• Aerosol paints and coatings shall meet the Product-weighted MIR Limits for ROC in Section 94522(a)(2) and other requirements, including prohibitions on use of certain toxic compounds and ozone depleting substances, in Sections 94522(e)(1) and (f)(1) of California Code of Regulations, Title 17, commencing with Section 94520; and in areas under the jurisdiction of the Bay Area Air Quality Management District shall additionally comply with the percent VOC by weight of product limits of Regulation 8, Rule 49. • Documentation is required per Section 4.504.2.4.
<b>Carpet systems</b>	
4.504.3	Carpet installed in the building interior shall meet the testing and product requirements of 1 of the following: 1. Carpet and Rug Institute's Green Label Plus Program. 2. California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350). 3. NSF/ANSI 140 at the Gold level. 4. Scientific Certifications Systems Indoor Advantage™ Gold.
<b>Carpet cushion</b>	
4.504.3.1	Carpet cushion installed in the building interior shall meet the requirements of the Carpet and Rug Institute's Green Label program.
<b>Carpet adhesive</b>	
4.504.3.2	Carpet adhesives shall meet the requirements of Table 4.504.1.

Page 12 of 16



**Addition**

**Owner:**  
**Stubblefield**  
**195 Albert Place**  
**Costa Mesa, California 92627**

APPROVED

APPROVED

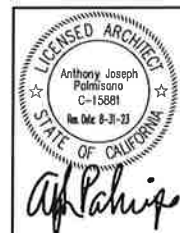
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NO	DATE	BY	REMARKS

**CALGREEN MANDATORY MEASURES**

DRAWN TONY  
 CHECKED TONY  
 DATE 10/06/2021  
 SCALE NONE  
 JOB NO.

**1-15**



**Addition**  
 Owner:  
**Stubblefield**  
**195 Albert Place**  
**Costa Mesa, California 92627**

APPROVED
APPROVED
APPROVED
NO DATE BY REMARKS

**SITE & FLOOR PLANS**

DRAWN	Tony
CHECKED	Tony
DATE	10/06/2021
SCALE	AS NOTED
JOB NO.	-----

**A-1.0**

ROOM NAME	BASE	FLOOR	WALLS				CEILING	REMARKS
			NORTH	SOUTH	EAST	WEST		
KITCHEN	01	03	08	08	08	08	8'-0"	--
UTILITY ROOM	01	03	08	08	08	08	8'-0"	--
BATHROOM	06	06	08	08	08	08	8'-0"	--
OFFICE	01	03	07	07	07	07	VARIABLES	--
LOFT	01	03	07	07	07	07	VARIABLES	--

SYMBOL	MATERIAL
01	WOOD TO MATCH EXISTING
02	VINYL
03	WOOD COMPOSITE
04	CARPET
05	SEALED CONCRETE
06	CERAMIC TILE
07	1/2" GYPSUM BOARD, TEXTURE AS SELECTED BY OWNER
08	1/2" GYPSUM WALLBOARD, WATERPROOF, TEXTURE AS SELECTED BY OWNER
09	1x6 SHIPLAP WOOD SIDING
10	1/2" HOMASOTE UNDERLAYMENT

NOTE 1: LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM THE FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6" WITHIN THE FIRST 10 FEET (5%). WHERE LOT LINES, WALLS, SLOPES OR OTHER PHYSICAL BARRIER PROHIBIT 6" OF FALL WITHIN 10 FT, DRAINS OR SWALES SHALL BE CONSTRUCTED TO ENSURE DRAINAGE AWAY FROM THE STRUCTURE [CRC R401.3].

NOTE 2: IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2% AWAY FROM THE BUILDING [CRC R401.3 EXCEPTION].

NOTE 3: THERE SHALL BE NO TRENCHES OR EXCAVATIONS 5 FEET OR MORE IN DEPTH INTO WHICH A PERSON IS REQUIRED TO DESCEND; OR OBTAIN A NECESSARY PERMIT FROM STATE OF CALIFORNIA, DIVISION OF INDUSTRIAL SAFETY PRIOR TO THE ISSUANCE OF A BUILDING OR GRADING PERMIT.

NOTE 4: THE ARCHITECT OF RECORD SHALL BE AVAILABLE TO OBSERVE THE SOIL TYPE DURING FOUNDATION INSPECTIONS PRIOR TO FOUNDATION INSPECTION.

**FINISH SCHEDULE** **13**

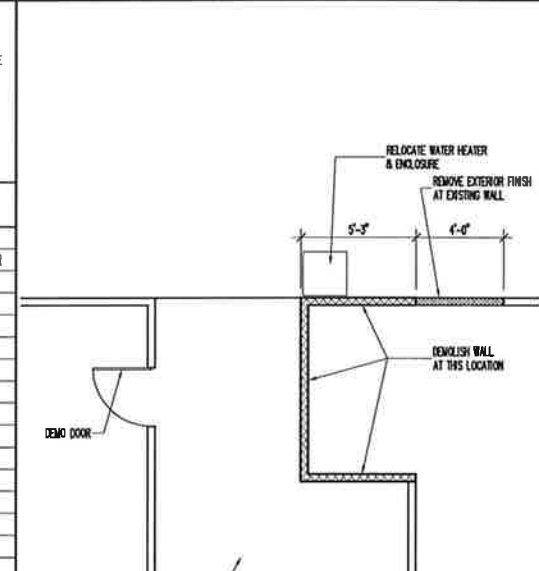
**MATERIAL LEGEND** **10**

**SITE NOTES** **7**

**4**

**1**

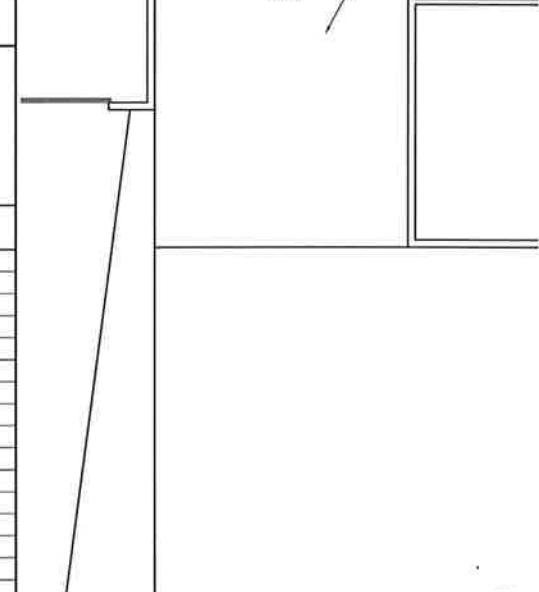
#	DOOR SIZE	SELF CLOSING	THICKNESS	LABEL	DOOR FRAME	DOOR FRAME	DOOR FRAME	REMARKS
1	3'-0" x 6'-8"	N	1-3/4"	N	WS	WD	P	P
2	2'-8" x 6'-8"	N	1-3/4"	N	WS	WD	P	P
3	2'-8" x 6'-8"	N	1-3/8"	N	WH	WD	P	P
4	4'-0" x 6'-8"	N	1-3/8"	N	WH	WD	P	P



ALL DOORS SHALL HAVE A LABEL INDICATING THE U-FACTOR AND THE SHGC. FOR ALL DOORS MAXIMUM ALLOWED U-FACTOR = 0.32, MAXIMUM ALLOWED SHGC = 0.25

**DOOR SCHEDULE** **14**

#	WINDOW SIZE	TYPE	GLAZING	FRAME	REMARKS
A	2'-0" x 4'-0"	N	TM	1/4" VN	F SLIDING
B	2'-0" x 3'-4"	N	TM	1/4" VN	F SINGLE HUNG
C	1'-4" x 2'-0"	N	TM	1/4" VN	F SINGLE HUNG



ALL WINDOWS SHALL HAVE A LABEL INDICATING THE U-FACTOR AND THE SHGC. FOR ALL WINDOWS MAXIMUM ALLOWED U-FACTOR = 0.32, MAXIMUM ALLOWED SHGC = 0.25  
 ALL WINDOWS SHALL BE MILGLARD OR OWNER APPROVED EQUAL.

**WINDOW SCHEDULE** **15**

**DEMO PLAN** **12**

**SECOND FLOOR PLAN** **6**

**FIRST FLOOR PLAN** **3**

**3**



*Anthony Palmisano*

**Addition**

**Owner:**  
 Stubblefield  
 195 Albert Place  
 Costa Mesa, California 92627

APPROVED

APPROVED

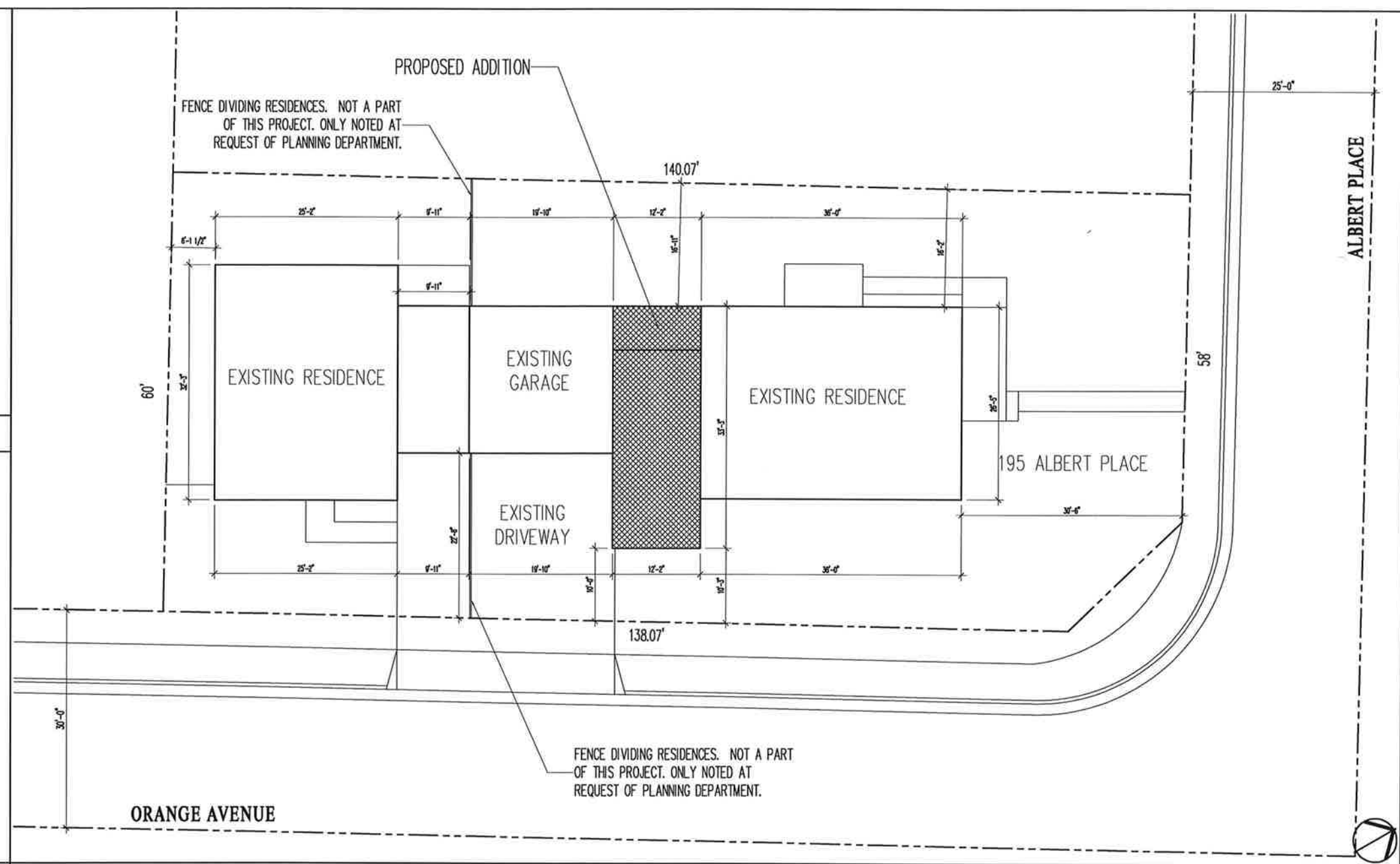
APPROVED

NO	DATE	BY	REMARKS

**BIGGER SITE PLANS**

DRAWN Tony  
 CHECKED Tony  
 DATE 10/06/2021  
 SCALE AS NOTED  
 JOB NO. -----

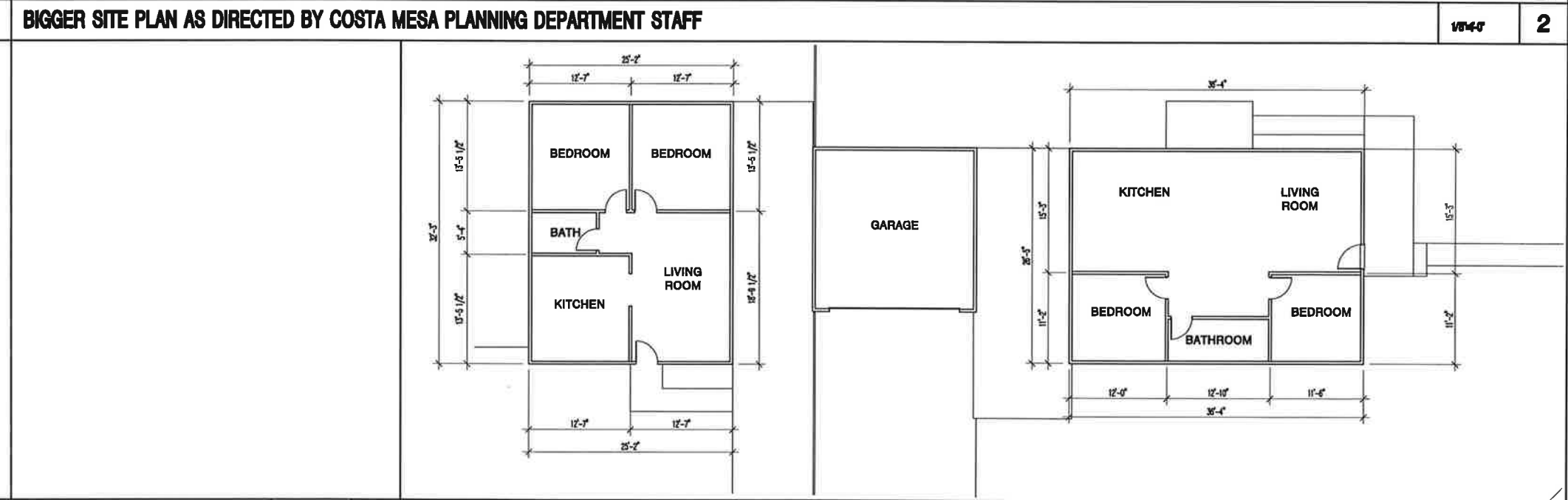
**A-1.1**



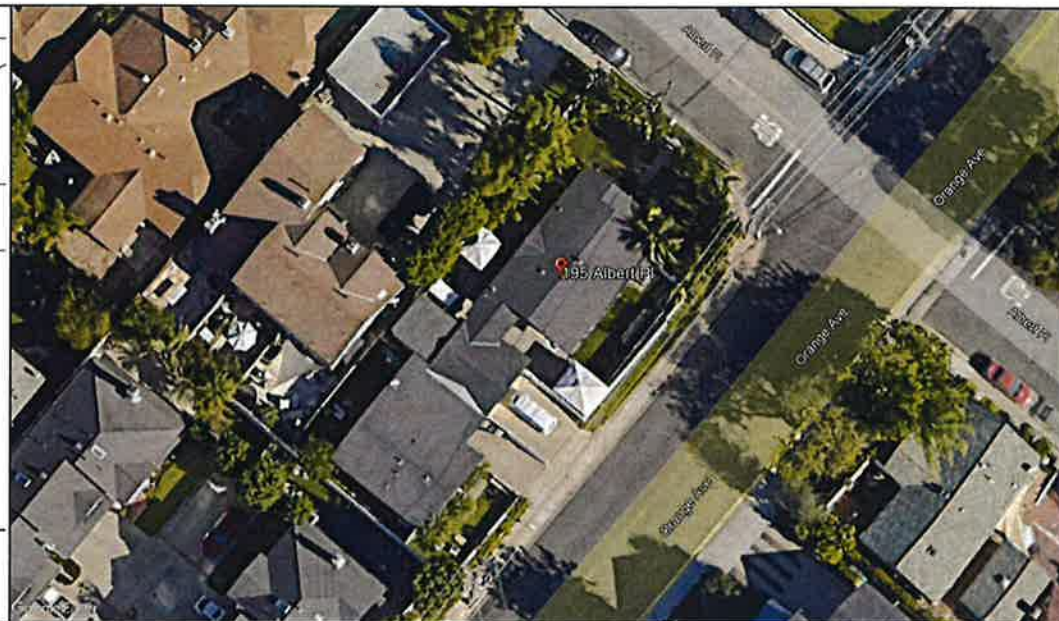
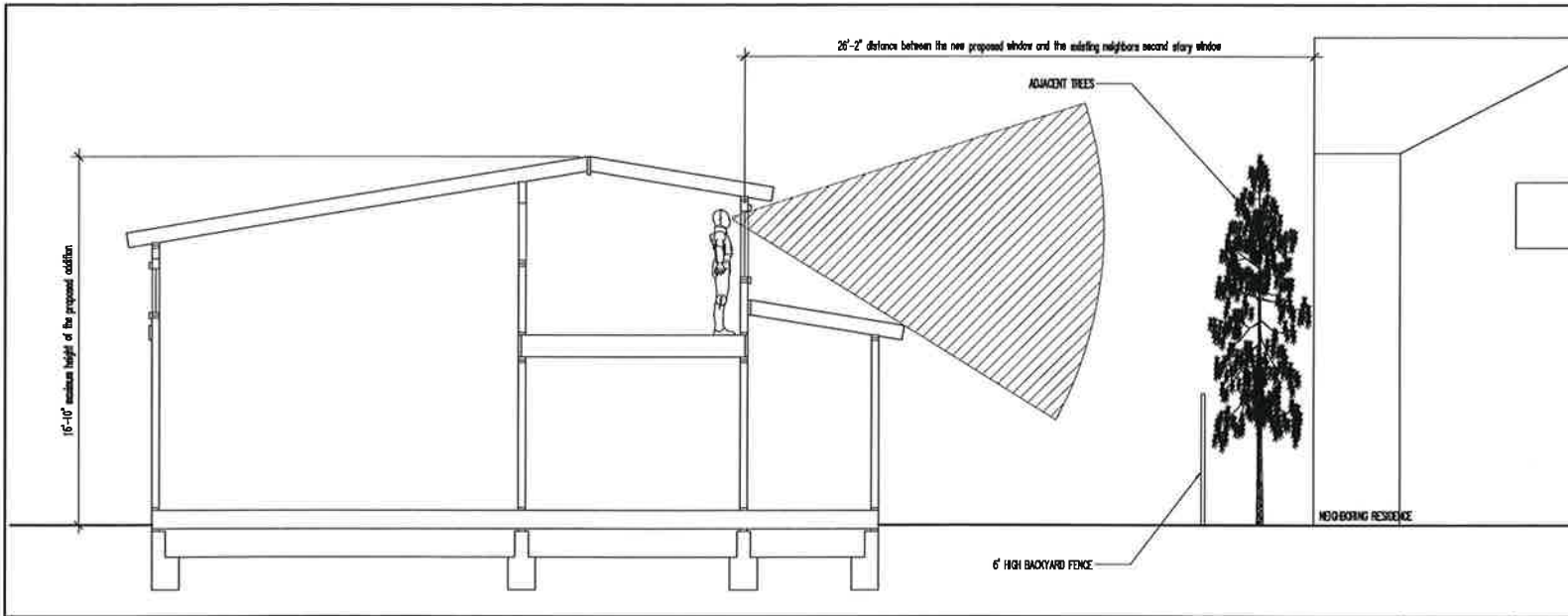
13

14 **BIGGER SITE PLAN AS DIRECTED BY COSTA MESA PLANNING DEPARTMENT STAFF**

15

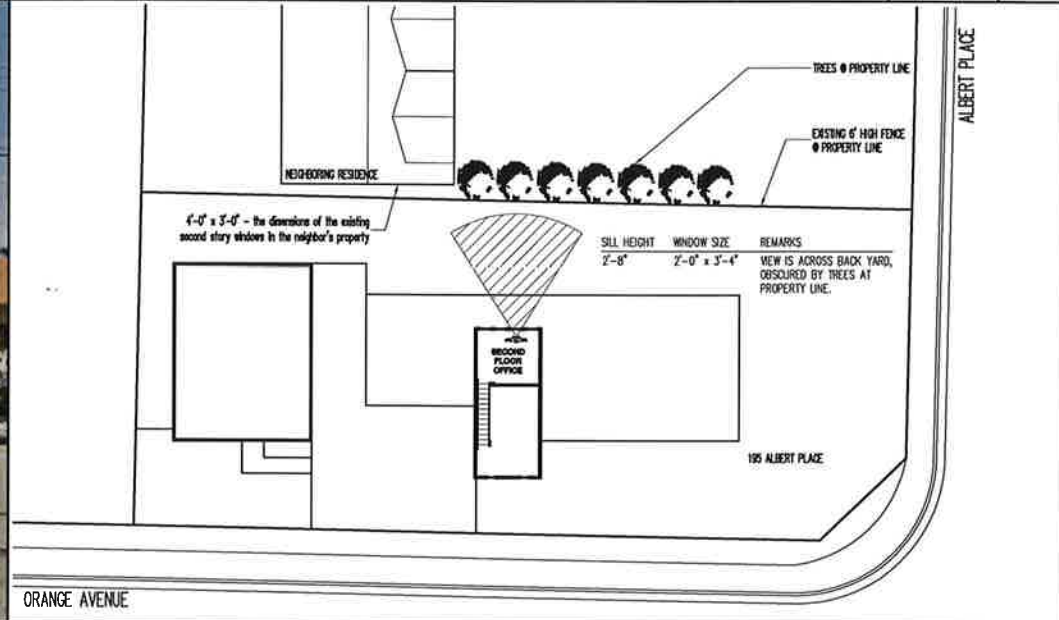
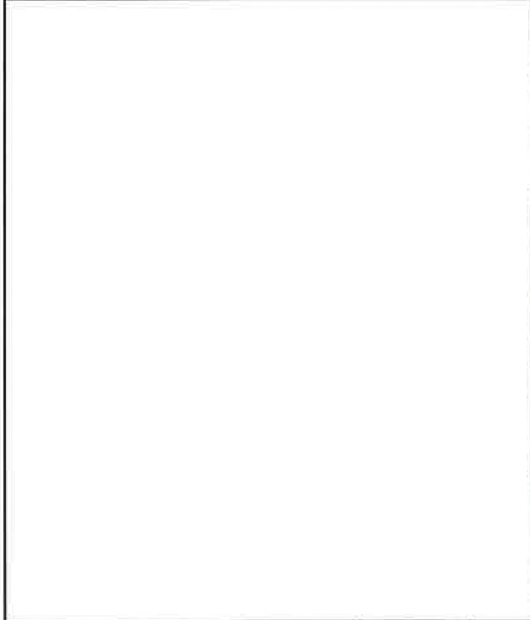


12 **EXISTING FLOOR PLAN FOR 195 ALBERT PLACE AS DIRECTED BY COSTA MESA PLANNING DEPARTMENT STAFF**



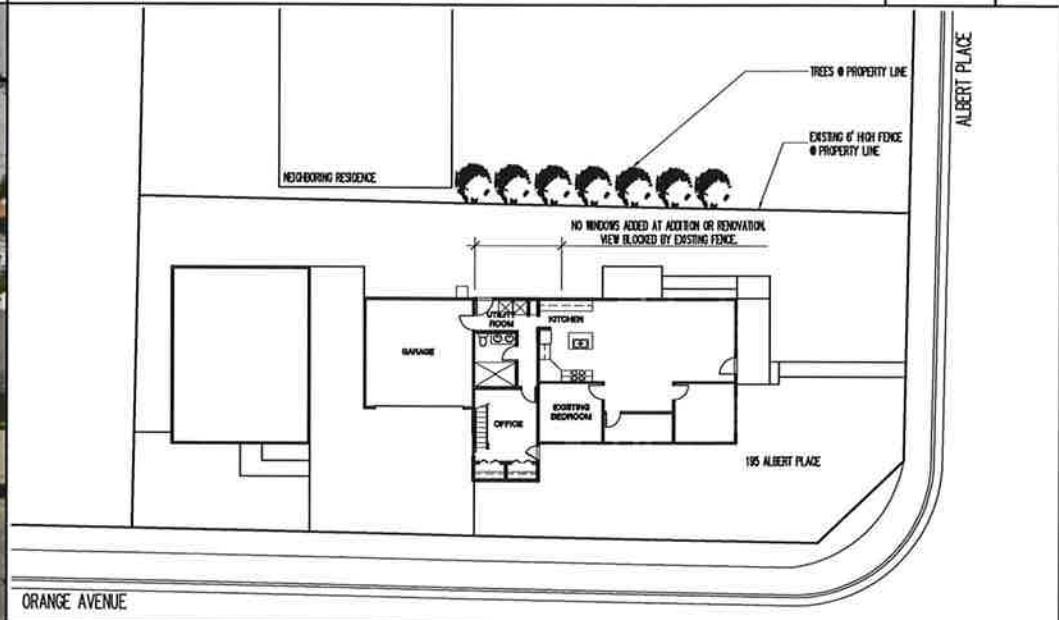
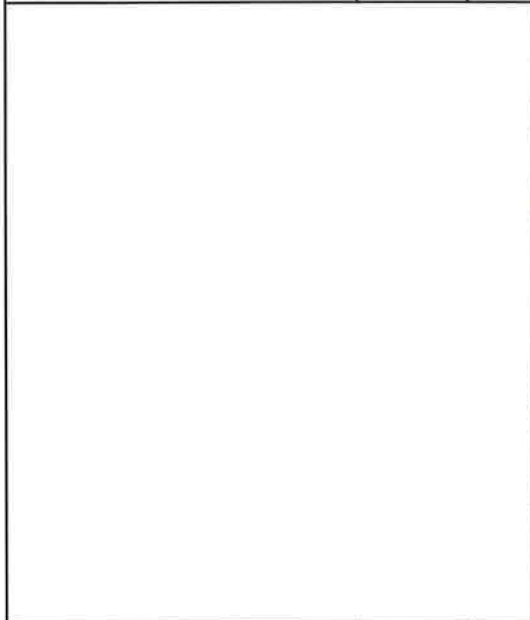
**PRIVACY IMPACTS SECTION** 1/6-4-0 7

**AERIAL PHOTO INDICATING EXISTING LANDSCAPING** NTA 1



**14 PHOTO FROM ALBERT PLACE** NTA 8

**SECOND FLOOR PRIVACY IMPACTS PLAN** 1/6-4-0 2



**15 PHOTO FROM ORANGE AVENUE** NTA 9

**FIRST FLOOR PRIVACY IMPACTS PLAN** 1/6-4-0 3

**Addition**  
 Owner:  
**Stubblefield**  
**195 Albert Place**  
**Costa Mesa, California 92627**

APPROVED

APPROVED

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NO	DATE	BY	REMARKS

**REQUESTED PLANNING INFORMATION**

DRAWN Tony  
 CHECKED Tony  
 DATE 10/06/2021  
 SCALE AS NOTED  
 JOB NO. -----



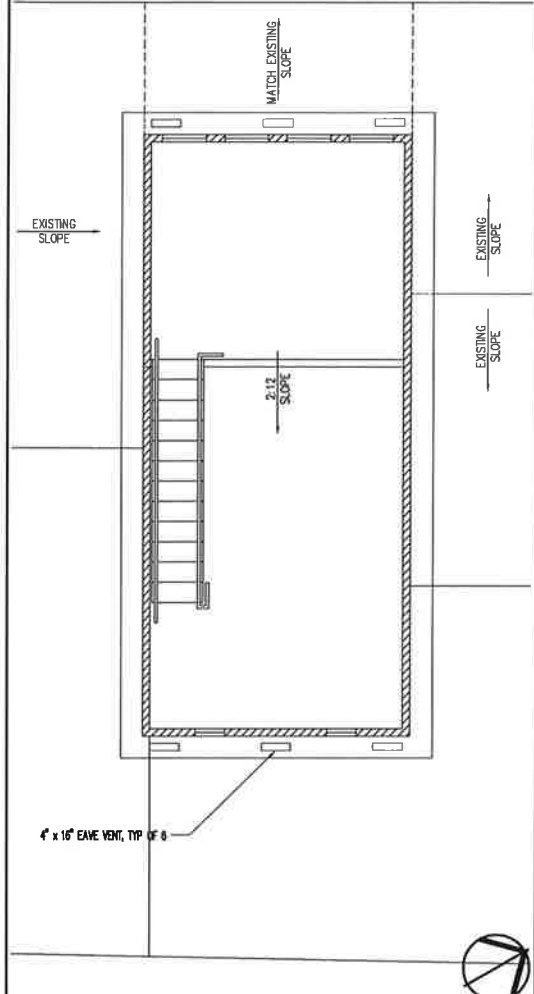
ROOF SHALL BE A CLASS "A" ROOF. ROOFING SHALL CONSIST OF 30 YEAR, 3 DIMENSIONAL ASPHALT SHINGLE TO MATCH EXISTING RESIDENCE. ROOFING SHALL BE ATTACHED TO SUBSTRATE PER MANUFACTURER'S RECOMMENDATIONS OVER MINIMUM 15 lb BUILDING PAPER. ALL ROOF OVERHANGS SHALL BE 12" UNLESS NOTED OTHERWISE.

VALLEY FLASHING SHALL BE NOT LESS THAN 0.019-INCH No. 26 GAGE GALVANIZED SHEET CORROSION-RESISTANT METAL INSTALLED OVER NOT LESS THAN ONE LAYER OF MINIMUM 72 POUND MINERAL-SURFACED NONPERFORATED CAP SHEET COMPLYING WITH ASTM D 3909, MIN 36" WIDE RUNNING THE FULL LENGTH OF THE VALLEY.

VENTILATION OPENINGS FOR THE ATTIC SHALL BE FULLY COVERED WITH METAL WIRE MESH, MIN 1/16" AND MAX 1/8" OPENING IN THE MESH. ALL VENT MATERIALS SHALL BE NONCOMBUSTIBLE.

REQUIRED ATTIC VENTS AT ADDITION = 1 SF/150 SF FLOOR AREA

330 SF ATTIC AREA/150 = 2.20 SF VENTILATION OPENING AREA REQUIRED  
6 - 4' x 16" EAVE VENT PROVIDED, VENTILATION OPENING AREA = 2.67 SF



**ROOF PLAN** 14

INDICATES SHEAR PANEL. LETTER INDICATES PANEL TYPE. ALL SHEAR PANELS ARE CONTINUOUS FOR THE ENTIRE LENGTH OF THE WALL. REFER TO 3/A-2.0 FOR MORE INFORMATION.

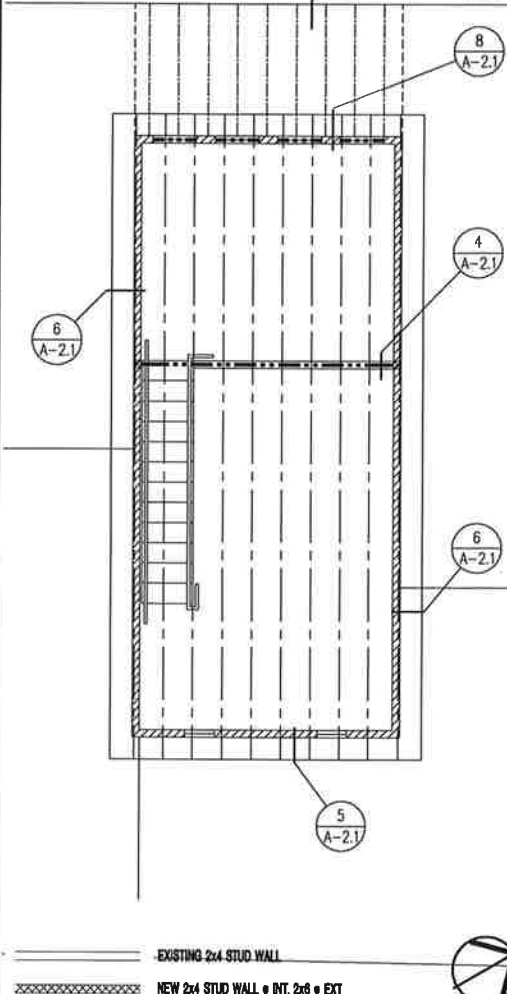
ALL EXTERIOR WALLS SHALL BE 2x6 STUD GRADE @ 16" o.c. UNLESS NOTED OTHERWISE.

ALL INTERIOR WALLS SHALL BE 2x4 STUD GRADE @ 16" o.c. UNLESS NOTED OTHERWISE.

SHEATH ROOF WITH 1/2" 32/16 RATED CDX PLYWOOD SHEATHING. NAIL WITH 8d @ 6" o.c. BOUNDARY, 12" o.c. FIELD. PLYWOOD SHEATHING SHALL HAVE INTEGRAL FOIL SURFACE RADIANT BARRIER. SOLID BLOCK AT ALL EDGES.

ALL ROOF OVERHANGS SHALL BE 12" UNLESS NOTED OTHERWISE.

ALL HEADERS AND ROOF BEAMS SHALL BE 4x6 DF#2 UNLESS NOTED OTHERWISE.



**ROOF FRAMING PLAN** 11

INDICATES SHEAR PANEL. LETTER INDICATES PANEL TYPE. ALL SHEAR PANELS ARE CONTINUOUS FOR THE ENTIRE LENGTH OF THE WALL. REFER TO 3/A-2.0 FOR MORE INFORMATION.

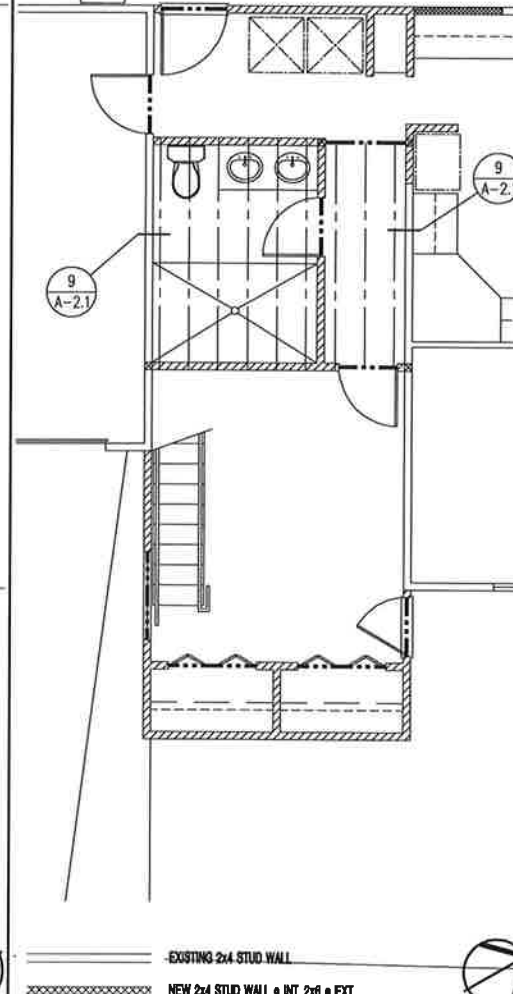
SHEATH FLOOR WITH 3/4" 32/16 RATED CDX PLYWOOD SHEATHING, T&G (TONGUED & GROOVED). NAIL WITH 10d @ 6" o.c. BOUNDARY, 10" o.c. FIELD.

ALL FLOOR JOISTS SHALL BE 2x10 DF#2 @ 12" o.c. UNLESS NOTED OTHERWISE.

ALL HEADERS SHALL BE 4x6 DF#2 UNLESS NOTED OTHERWISE.

ALL EXTERIOR WALLS SHALL BE 2x6 STUD GRADE @ 16" o.c. UNLESS NOTED OTHERWISE.

ALL INTERIOR WALLS SHALL BE 2x4 STUD GRADE @ 16" o.c. UNLESS NOTED OTHERWISE.



**LOFT FRAMING PLAN** 8

INDICATES SHEAR PANEL. LETTER INDICATES PANEL TYPE. ALL SHEAR PANELS ARE CONTINUOUS FOR THE ENTIRE LENGTH OF THE WALL. REFER TO 3/A-2.0 FOR MORE INFORMATION.

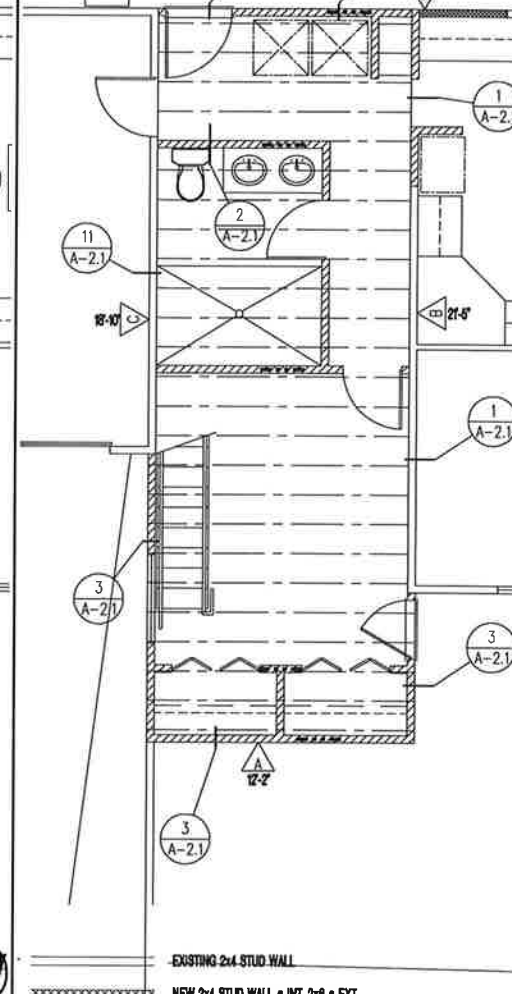
SHEATH FLOOR WITH 3/4" 32/16 RATED CDX PLYWOOD SHEATHING, T&G (TONGUED & GROOVED). NAIL WITH 10d @ 6" o.c. BOUNDARY, 10" o.c. FIELD.

ALL FLOOR JOISTS SHALL BE 2x10 DF#2 @ 12" o.c. UNLESS NOTED OTHERWISE.

ALL HEADERS SHALL BE 4x6 DF#2 UNLESS NOTED OTHERWISE.

ALL EXTERIOR WALLS SHALL BE 2x6 STUD GRADE @ 16" o.c. UNLESS NOTED OTHERWISE.

ALL INTERIOR WALLS SHALL BE 2x4 STUD GRADE @ 16" o.c. UNLESS NOTED OTHERWISE.



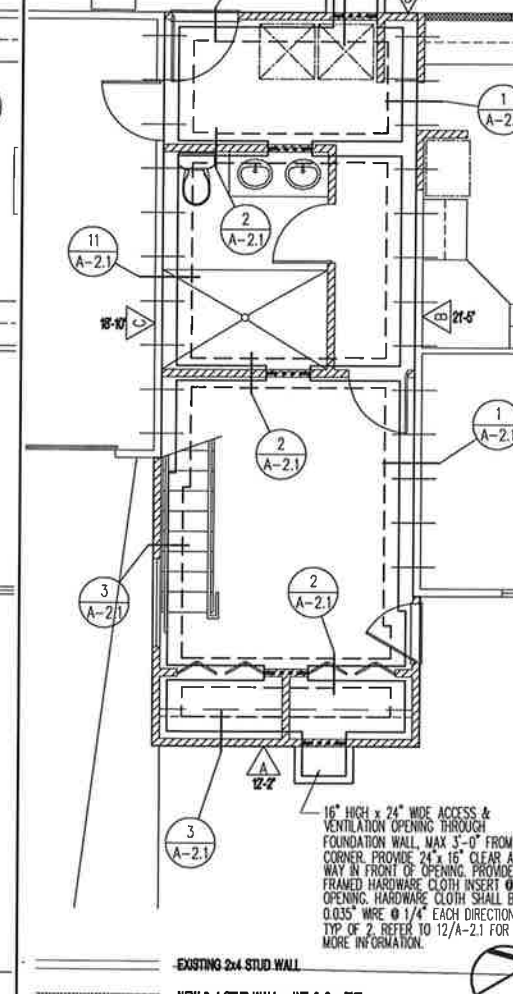
**1ST FLOOR FRAMING PLAN** 5

INDICATES SHEAR PANEL. LETTER INDICATES PANEL TYPE. ALL SHEAR PANELS ARE CONTINUOUS FOR THE ENTIRE LENGTH OF THE WALL. REFER TO 3/A-2.0 FOR MORE INFORMATION.

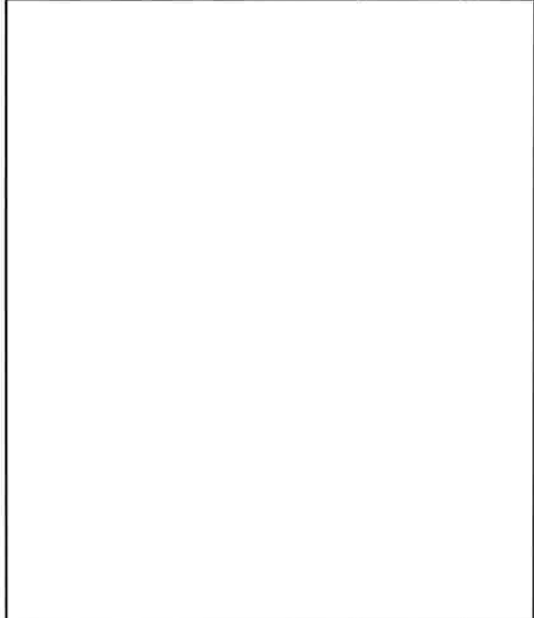
REQUIRED UNDER FLOOR VENTILATION OPENING = 1 SF/150 SF FLOOR AREA

404 SF FLOOR AREA/150 = 2.69 SF VENTILATION OPENING AREA PROVIDED VENTILATION OPENING AREA = 5.32 SF

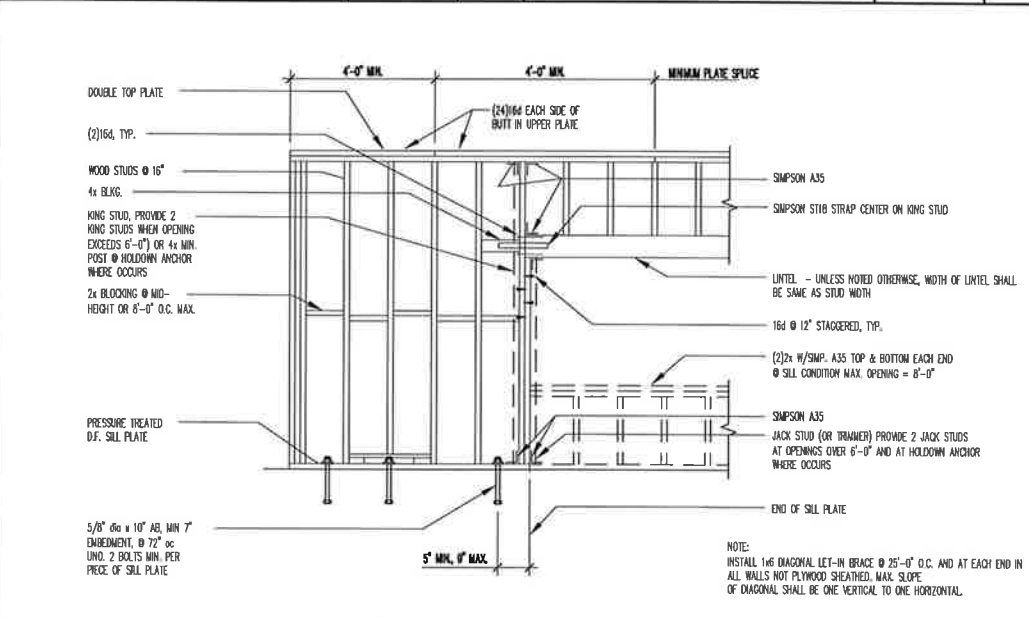
ALL FLOOR BEAMS SHALL BE 4x6 DF#2 UNLESS NOTED OTHERWISE.



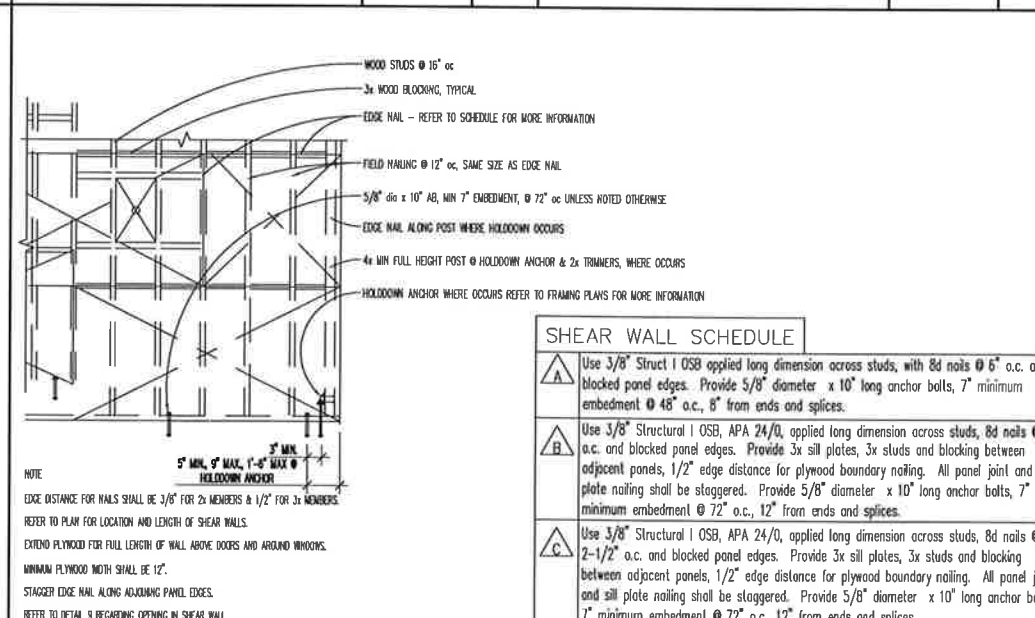
**FOUNDATION PLAN** 2



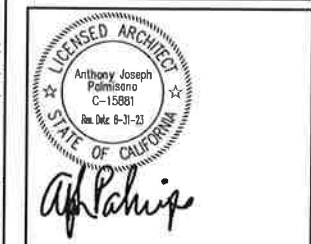
**WOOD STUD WALL FRAMING** 15



**SHEAR WALL SHEATHING** 9



**SHEAR WALL SCHEDULE** 3



**Addition**

Owner:  
Stubblefield  
195 Albert Place  
Costa Mesa, California 92627

APPROVED

APPROVED

APPROVED

NO	DATE	BY	REMARKS

**STRUCTURAL**

DRAWN Tony  
CHECKED Tony  
DATE 10/06/2021  
SCALE AS NOTED  
JOB NO. -----

**A-2.0**



*Anthony Joseph Palmason*

**Addition**

**Owner:**  
 Stubblefield  
 195 Albert Place  
 Costa Mesa, California 92627

APPROVED

APPROVED

APPROVED

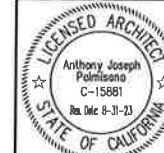
NO	DATE	BY	REMARKS

**STRUCTURAL**

DRAWN Tony  
 CHECKED Tony  
 DATE 10/06/2021  
 SCALE AS NOTED  
 JOB NO. -----

**A-21**

13	10	ROOF AT EAVE 1/4"=1'-0" 7	ROOF AT RIDGE 1/4"=1'-0" 4	FTG @ EXISTING FTG 1"=1'-0" 1
14	GARAGE TO FOOTING 1/4"=1'-0" 11	ROOF AT EAVE 1/4"=1'-0" 8	ROOF AT EAVE 1/4"=1'-0" 5	INTERIOR FOOTING 1/4"=1'-0" 2
15	FOUNDATION ACCESS 1"=1'-0" 12	SECOND FLOOR FRAMING 1/4"=1'-0" 9	ROOF AT GABLE 1/4"=1'-0" 6	EXTERIOR FOOTING 1/4"=1'-0" 3



*Anthony Joseph Palmisano*

**Addition**

**Owner:**  
 Stubblefield  
 195 Albert Place  
 Costa Mesa, California 92627

APPROVED

APPROVED

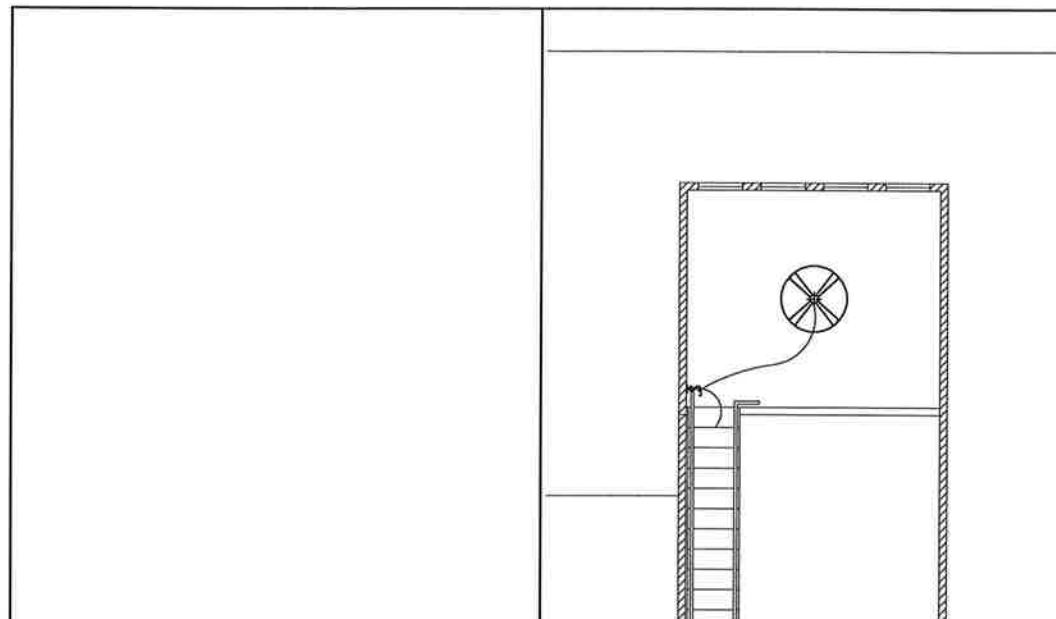
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NO	DATE	BY	REMARKS

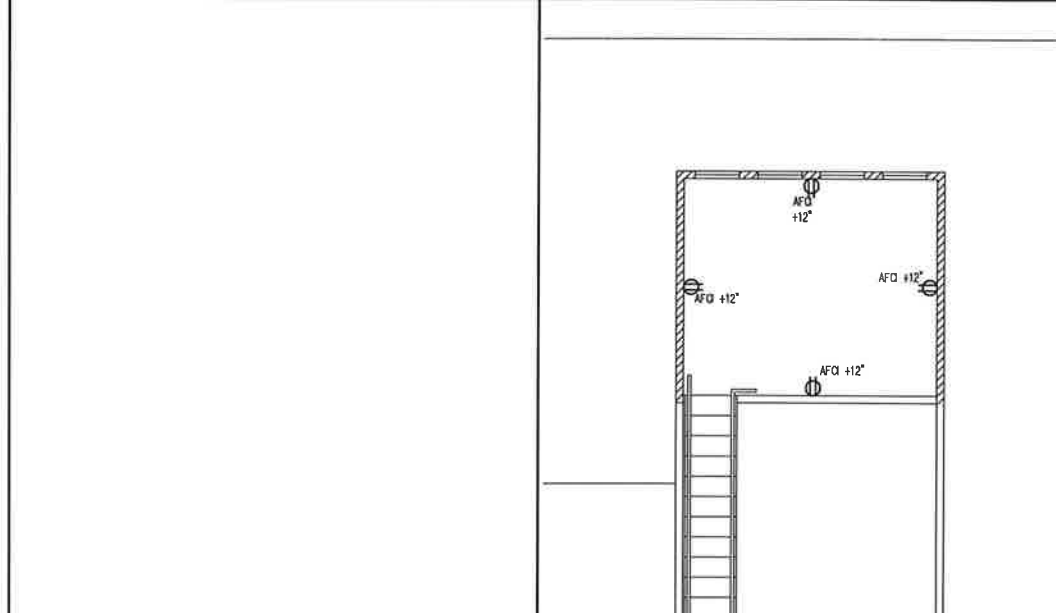
**ELECTRICAL**

DRAWN TONY  
 CHECKED TONY  
 DATE 10-06-2021  
 SCALE AS NOTED  
 JOB NO. -----

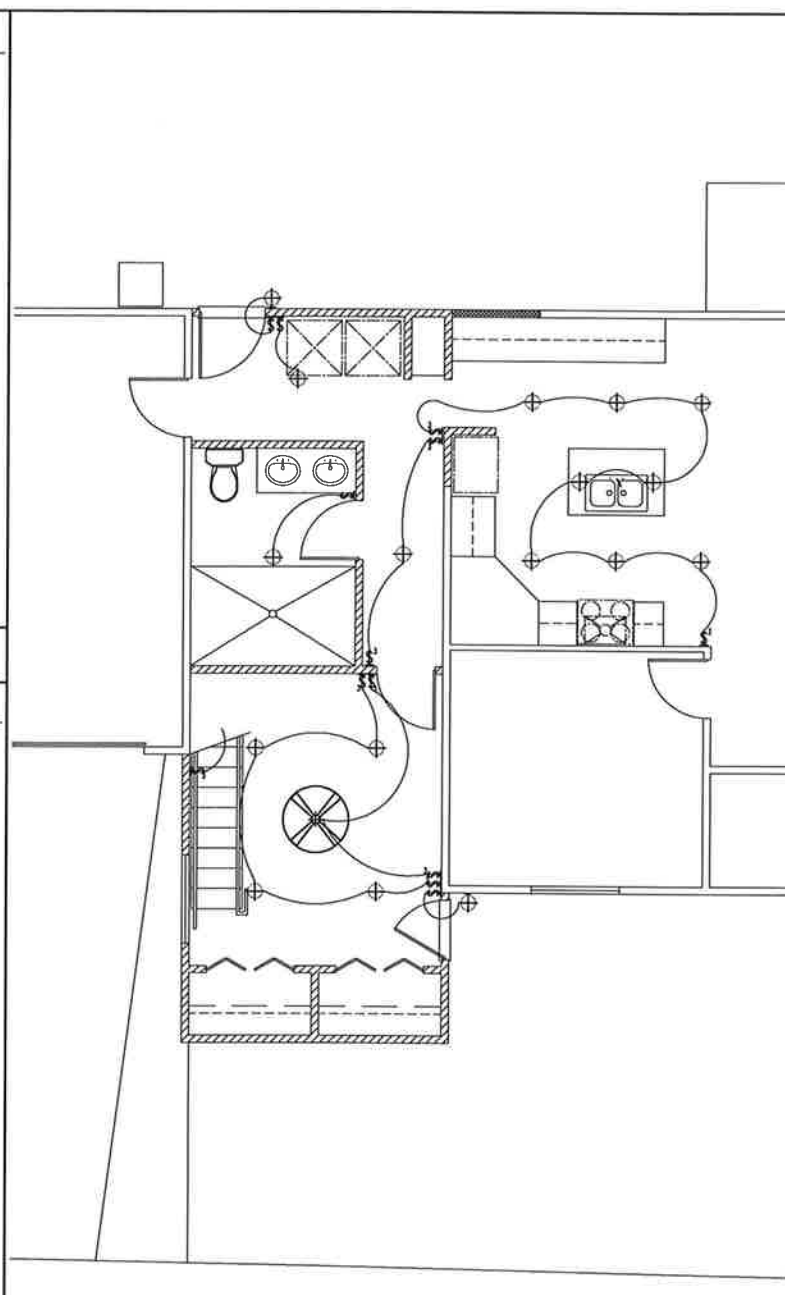
**A-3.0**



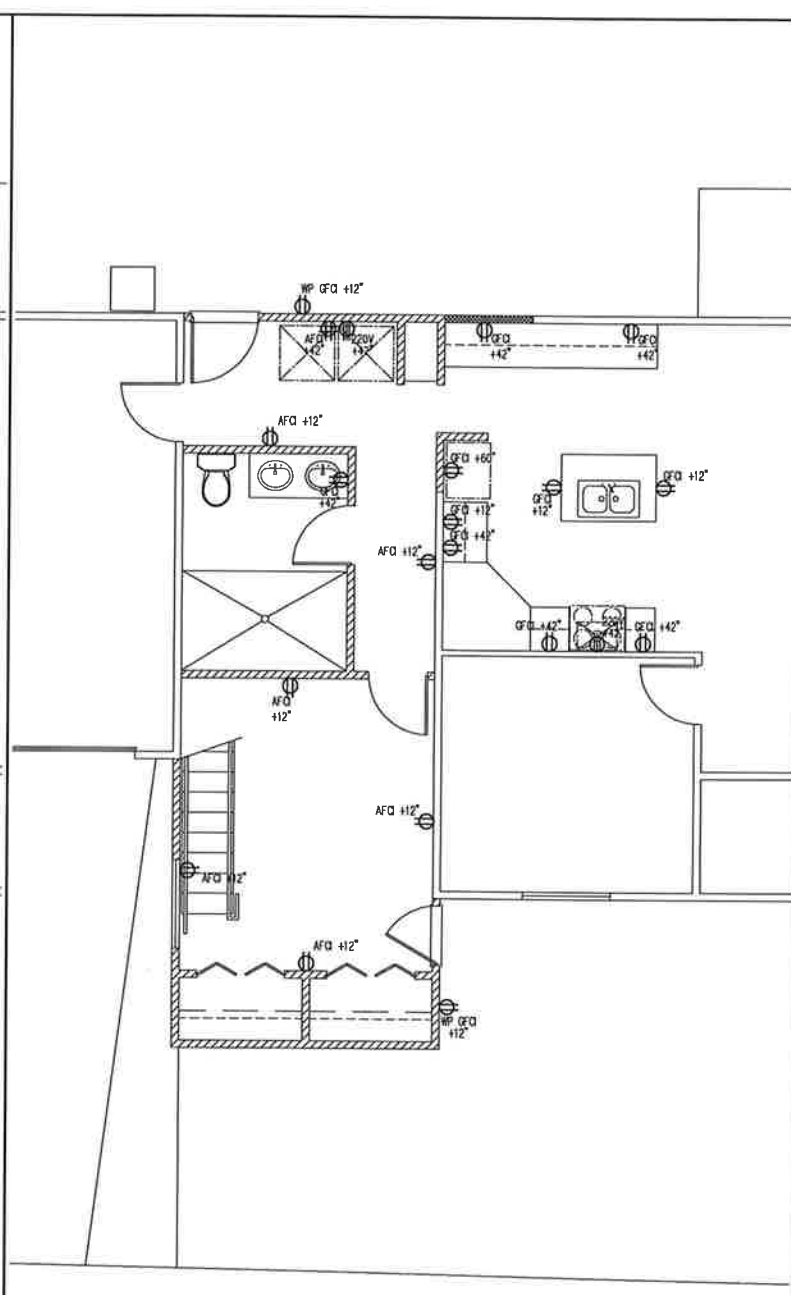
**13 2ND FLOOR LIGHTING PLAN** 3/16/17 **10**



**14 2ND FLOOR ELECTRICAL PLAN** 3/16/17 **11**



**11 FIRST FLOOR LIGHTING PLAN** 3/16/17 **5**



**12 ELECTRICAL PLAN** 3/16/17 **2**

- CEILING MOUNTED FAN/LIGHT FIXTURE
- RECESSED CEILING MOUNTED LIGHT FIXTURE, ENERGY EFFICIENT, PIN BASED
- WALL MOUNTED LIGHT FIXTURE
- CARBON MONOXIDE DETECTOR W/ WIRE TO MAIN PANEL, WITH BATTERY BACKUP
- 50 CFM CEILING MOUNTED ENERGY STAR COMPLIANT EXHAUST FAN DUCTED DIRECTLY TO BUILDING EXTERIOR. FAN TO BE CONTROLLED BY A HUMIDITY CONTROL SYSTEM.
- SMOKE DETECTOR W/ WIRE TO MAIN PANEL, WITH BATTERY BACKUP
- SINGLE POLE LIGHT SWITCH @ 48" AFF UNLESS NOTED OTHERWISE
- 3-WAY LIGHT SWITCH @ 48" AFF UNLESS NOTED OTHERWISE
- 110v DUPLEX CONVENIENCE OUTLET TYPICAL @ 12" AFF UNLESS NOTED OTHERWISE
- 220v OUTLET TYPICAL @ 12" AFF UNLESS NOTED OTHERWISE
- 110v OUTLET IN WATERPROOF ENCLOSURE @ 12" AFF UNLESS NOTED OTHERWISE
- 110v QUAD OUTLET @ 12" AFF UNLESS NOTED OTHERWISE
- TELEPHONE SERVICE OUTLET
- TV OUTLET @ 12" AFF UNLESS NOTED OTHERWISE w/ 110v OUTLET @ SAME HEIGHT.
- CAT 5 NETWORK CABLE OUTLET @ 12" AFF UNLESS NOTED OTHERWISE.

**12 ELECTRICAL LEGEND** **9**

LAMP POWER RATING FOR NON-LED LIGHTING (see Note 1), OR SYSTEM POWER RATING FOR LED LIGHTING (see Notes 2,3 and 4)	MINIMUM LAMP EFFICACY FOR NON-LED LIGHTING, OR MINIMUM SYSTEM EFFICACY FOR LED LIGHTING
5 watts or less	30 lumens per watt
over 5 watts to 15 watts	40 lumens per watt
over 15 watts to 40 watts	50 lumens per watt
over 40 watts	60 lumens per watt

- Determine minimum lamp efficacy category for lighting systems which are not LED using the initial rated lumens divided by the rated watts of the lamp (not including the ballast).
- To qualify as high efficacy, an LED luminaire shall meet the minimum system efficacy requirements in Table 150-C when determined according to Reference Joint Appendix JAB, and be certified to comply with Section 119(m), and input power shall be determined according to Section 130(d)5.
- For a Hybrid LED Luminaire to qualify as a high efficacy luminaire, all lighting systems in the luminaire shall qualify as high efficacy according to Section 150(k), and the LED Light Engine with Integral Heat Sink shall comply with Note 4, below.
- To qualify as high efficacy, and LED Light Engine with Integral Heat Sink shall meet the minimum system efficacy requirements in Table 150-C when determined according to Reference Joint Appendix JAB, shall be certified to comply with Section 119(m), and input power shall be determined according to Section 130(d)5.
- High efficacy luminaires must be pin based.

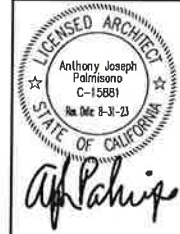
**9 TABLE 150-C HIGH EFFICIENCY LUMINAIRE REQUIREMENTS** **6**

- EXTERIOR LIGHTS SHALL BE HIGH EFFICACY AS NOTED IN CEC TABLE 150C, DETAIL 14 OF THIS SHEET, OR EQUIPPED WITH AN OCCUPANCY SENSOR WITH A PHOTOCELL.
- BATHROOM, UTILITY ROOM, AND GARAGE LIGHTING SHALL BE HIGH EFFICACY AS NOTED IN CEC TABLE 150C, DETAIL 14 OF THIS SHEET, OR EQUIPPED WITH AN AUTO-OFF/MANUAL-ON SENSOR.
- ALL BRANCH CIRCUITS SHALL TERMINATE IN EXISTING 200 AMP ELECTRICAL SERVICE PANEL.
- ALL 125-VOLT, 15 AND 20 AMP RECEPTACLES IN A DWELLING UNIT INCLUDING GARAGE SHALL BE LISTED AS TAMPER-RESISTANT. (2010 CEC 406.11)
- A MINIMUM OF ONE HIGH EFFICACY LUMINAIRE SHALL BE INSTALLED IN THE BATHROOM AND ALL OTHER LIGHTING INSTALLED SHALL BE HIGH EFFICACY OR CONTROLLED BY A VACANCY SENSOR.
- ALL BRANCH CIRCUITS THAT SUPPLY 120V, SINGLE PHASE, 15 & 20 AMPS OUTLETS INSTALLED IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, RECREATION ROOMS, LIBRARIES, DEBS, BEDROOMS, SUNROOMS, PARLORS, CLOSETS, HALLWAYS, OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED AFC-FULT CIRCUIT INTERRUPTER (AFCI), COMBINATION-TYPE. (CEC 210.12 (A))
- SMOKE AND CO ALARMS SHALL BE INTERCONNECTED SO THAT THE ACTIVATION OF ONE ALARM ACTIVATES ALL OF THE ALARMS. (CFC R314.5, R315.1.3)
- ALL EXISTING BEDROOMS AND HALLWAYS SERVING BEDROOMS SHALL BE PROVIDED WITH SMOKE DETECTORS PER CFC R314. SMOKE DETECTORS SHALL HAVE BATTERY BACKUP, AND BE HARDWIRED INTO BUILDING ELECTRICAL SYSTEM. (CFC 314)
- CARBON MONOXIDE ALARMS SHALL BE PROVIDED IN ALL HALLWAYS SERVING BEDROOMS. ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING, AND SHALL BE EQUIPPED WITH A BATTERY BACKUP. (CFC 315)

**6 ELECTRICAL NOTES & LEGEND** **3**

**15**





**Addition**

**Owner:**  
 Stubblefield  
 195 Albert Place  
 Costa Mesa, California 92627

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NO	DATE	BY	REMARKS

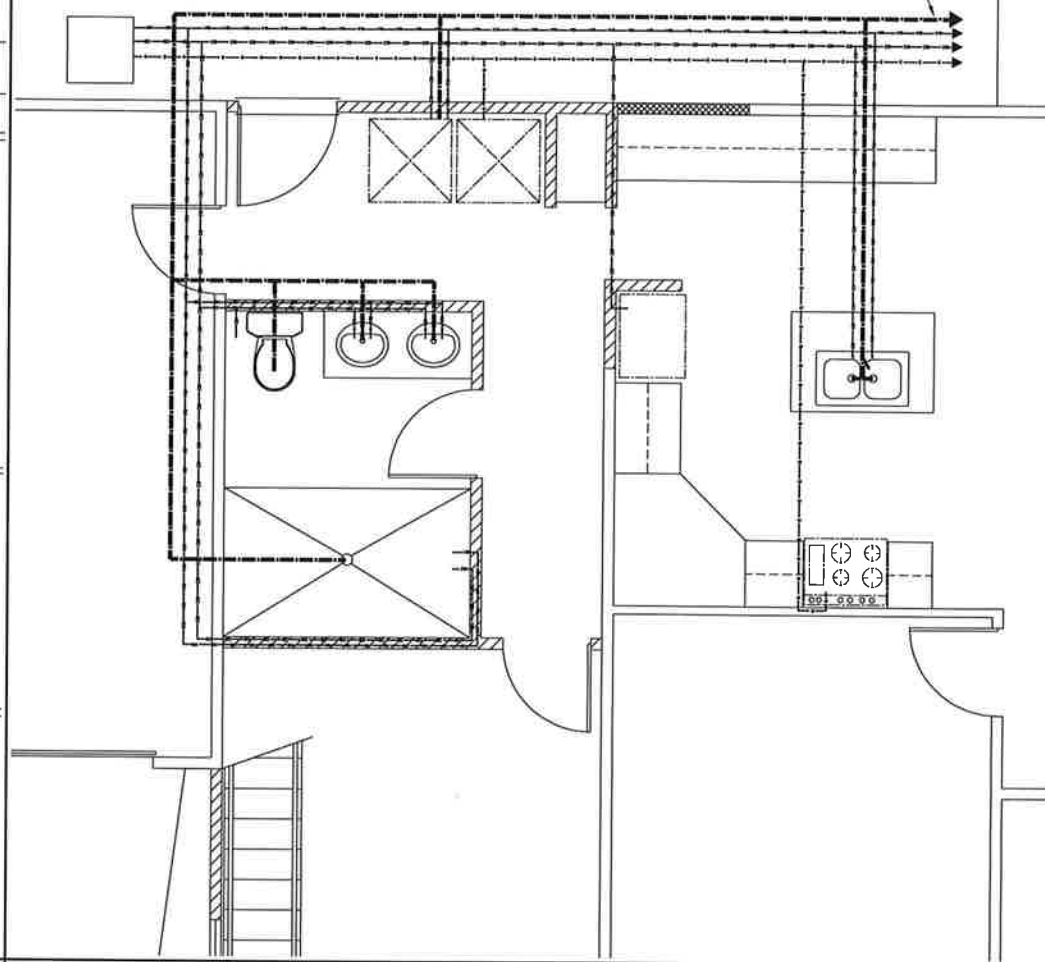
**MECHANICAL  
 PLUMBING**

DRAWN TONY  
 CHECKED TONY  
 DATE 10-06-2021  
 SCALE AS NOTED  
 JOB NO. -----

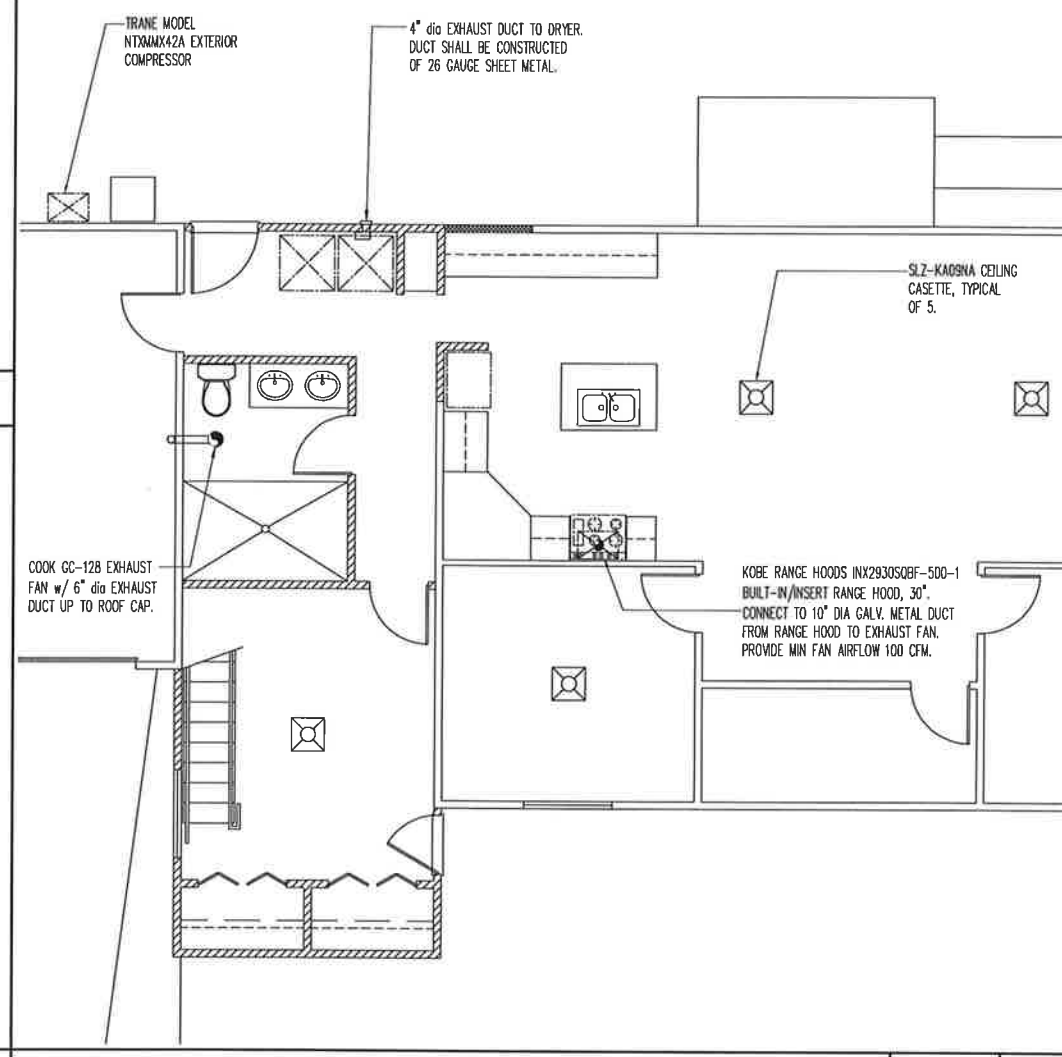
**A-3.1**

— G — G — G — G — G — G — GAS LINE, 3/4" SCHEDULE 80 UNLESS NOTED OTHERWISE  
 — CW — CW — CW — CW — CW — CW — COLD WATER LINE, 3/4" UNLESS NOTED OTHERWISE  
 — HW — HW — HW — HW — HW — HW — HOT WATER LINE, 3/4" UNLESS NOTED OTHERWISE  
 — W — W — W — W — W — W — WASTE LINE, 4" UNLESS NOTED OTHERWISE

CONNECT TO EXISTING  
 ON-SITE UTILITIES



**14 PLUMBING PLAN** 3/14/21 2



**13 HVAC PLAN** 3/14/21 8

**PLUMBING NOTES**

Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) installed in residential buildings shall comply with the following requirements of 2019 CGGreen Sections 4303.1.1 through 4303.1.4.4 and 2019 California Plumbing Code Sections 407.8 through 412.2.2 effective on Jan 1, 2020:

PLUMBING FIXTURES & FITTINGS	MAXIMUM ALLOWABLE FLOW RATE
Water closets	1.28 gallons/flush <sup>1</sup>
Showerheads	1.8 gpm @ 80 psi
Kitchen faucets	1.8 gpm @ 60 psi <sup>2</sup>
Residential lavatory faucets	1.2 gpm @ 60 psi max. 0.8 gpm @ 20 psi min.
Lavatory faucets in common & public use areas	0.5 gpm @ 60 psi
Restroom faucets	0.20 gallons/flush
Urinals	0.125 gallons/flush for wall-mounted type and 0.5 gallons/flush for floor-mounted or other type

<sup>1</sup> Water closets types are either flush tank, flushometer tank, or flushometer valve and include single or dual flush valves.  
<sup>2</sup> Single Flush Valves: The effective flush volume shall not exceed 1.28 gallons (4.8 liters). The effective flush volume is the average flush volume when tested in accordance with ASPE A112.19.2.  
 Dual Flush Valves: The effective flush volume shall not exceed 1.28 gallons (4.8 liters). The effective flush volume is defined as the composite, average flush volume of two reduced flushes and one full flush. Flush volumes will be tested in accordance with ASPE A112.19.2 and ASPE A112.19.14.

<sup>3</sup> Kitchen faucets may temporarily increase the flow above the maximum rate, but not to exceed 2.7 gpm @ 60 psi, and must default to a maximum flow rate of 1.8 gpm @ 60 psi.  
 Note: Where faucets meeting the maximum flow rate of 1.8 gpm are unavailable, aerators or other means may be used to achieve reduction.

INSULATION:  
 1. PIPE INSULATION OF A MINIMUM R-3 IS A MANDATORY REQUIREMENT ON ALL HOT WATER PIPING. CMC 15.24.040.

NOTE: EFFECTIVE JULY 1, 2021, RESIDENTIAL BUILDINGS UNDERGOING ADDITIONS, ALTERATION OR IMPROVEMENTS SHALL REPLACE NONCOMPLIANCE PLUMBING FIXTURES WITH WATER-CONSERVING PLUMBING FIXTURES PRIOR TO FINAL INSPECTION. THE REQUIREMENTS SHALL APPLY TO NEW FIXTURES IN ADDITIONS OR AREAS OF ALTERATION TO THE BUILDING (PER 2019 CALGREEN SECTIONS 301.1.1, 4.303.1 NOTE, 4.303.1.1 - 4.303.1.4.5 & 2019 CPC CHAPTER 4).

UPC TABLE 501.1(2)  
 FIRST HOUR RATING<sup>2</sup>

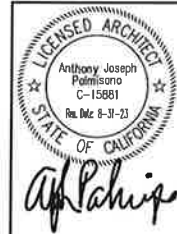
NUMBER OF BATHROOMS	1 to 1.5	2 to 2.5	3 to 3.5
NUMBER OF BEDROOMS	1 2 3	2 3 4 5	3 4 5 6
FIRST HOUR RATING, <sup>2</sup> GALLONS	42 54 54	54 67 67 80 67 80 80	80 80 80

FOR SI UNITS = 3.785 L

NOTES:  
 1. THE FIRST HOUR RATING IS FOUND ON THE "ENERGY GUIDE" LABEL.  
 2. SOLAR WATER HEATERS SHALL BE SIZED TO MEET THE APPROPRIATE FIRST-HOUR RATING AS SHOWN IN THE TABLE.

**15 PLUMBING NOTES** 3/14/21 3





**Addition**  
 Owner:  
 Stubblefield  
 195 Albert Place  
 Costa Mesa, California 92627

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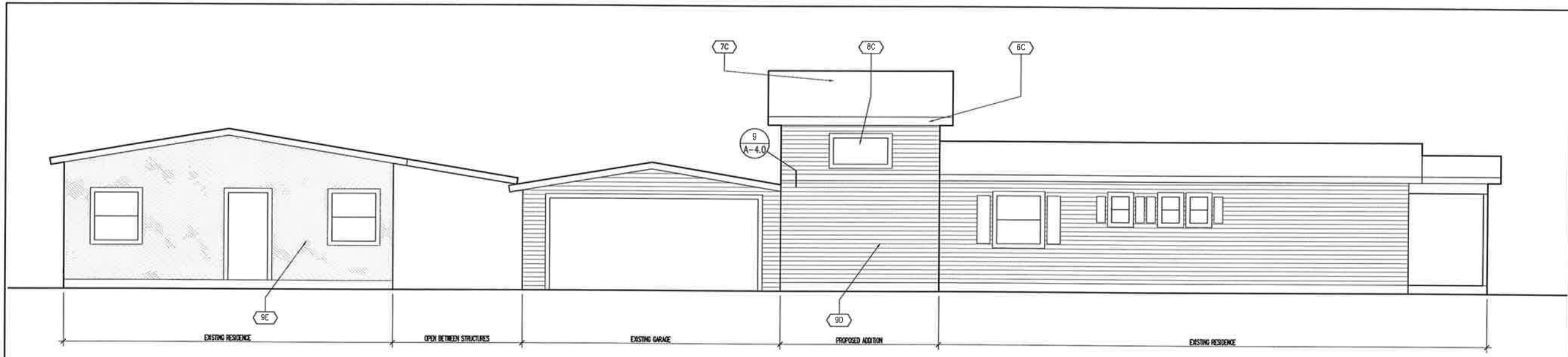
APPROVED

NO	DATE	BY	REMARKS

**PLANNING  
 ELEVATIONS**

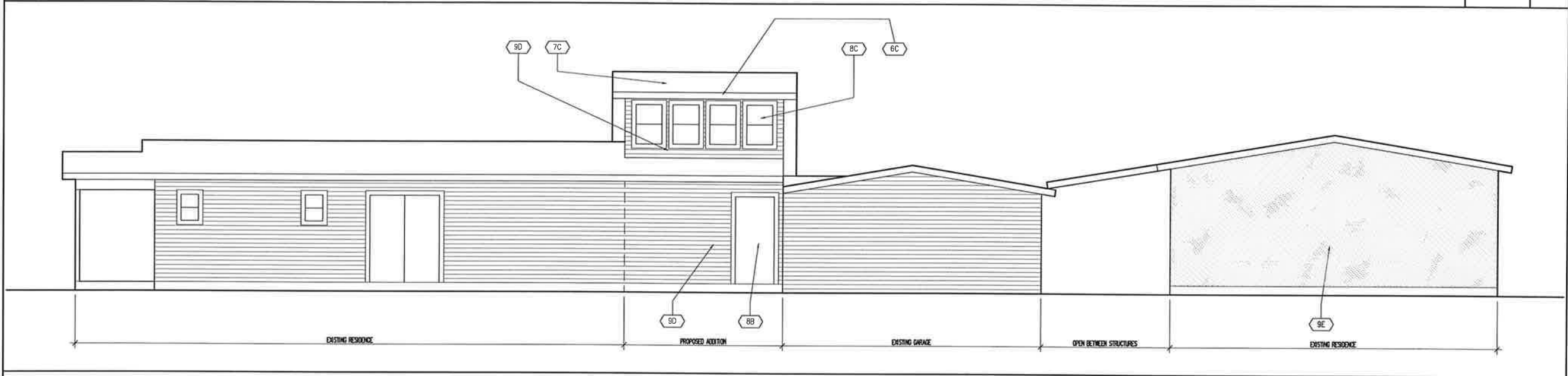
DRAWN TONY  
 CHECKED TONY  
 DATE 10-06-2021  
 SCALE AS NOTED  
 JOB NO. -----

**A-4.1**



**EAST ELEVATION**

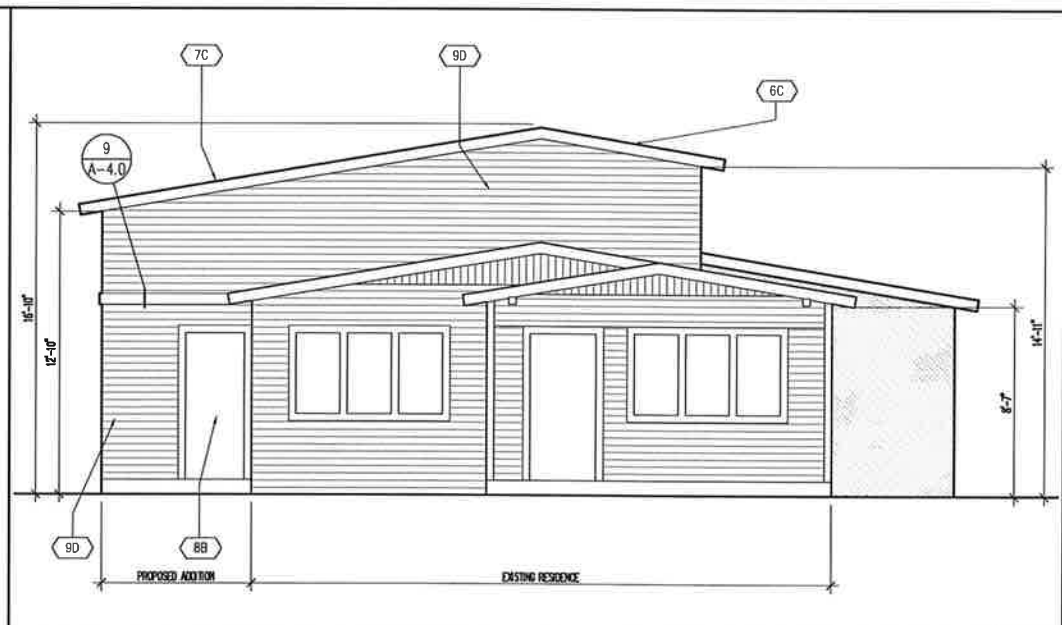
1/4"=1'-0" 1



**WEST ELEVATION**

1/4"=1'-0" 2

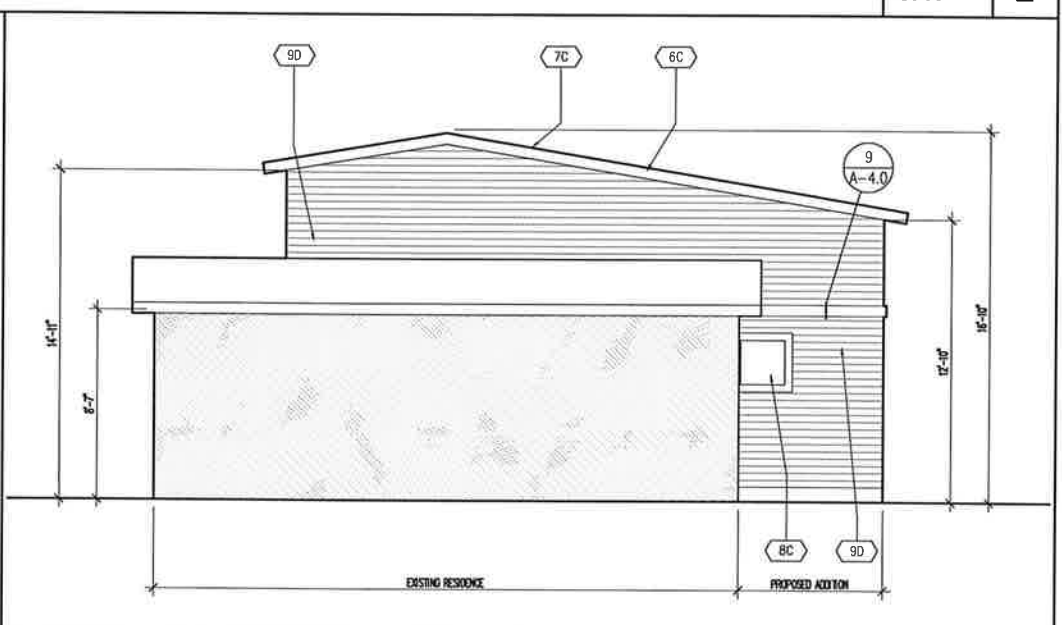
- |                                     |   |
|-------------------------------------|---|
| 1A EXPOSED STRUCTURE                | 8A DOOR FRAME   |
| 1B NOT PART OF THIS CONTRACT (NIC)  | 8B SCHEDULED DOOR, REFER TO 14/A-1.0 FOR MORE INFORMATION   |
| 1C OPEN                             | 8C SCHEDULED WINDOW, REFER TO 15/A-1.0 FOR MORE INFORMATION |
| 1D PROPERTY LINE                    |   |
| 1E CENTER LINE OF STREET            |   |
| 2A ASPHALTIC CONCRETE PAVING        | 9A CARPET   |
| 2B CONCRETE CURB                    | 9B CERAMIC TILE   |
| 2C CONCRETE SIDEWALK                | 9C GYPSUM BOARD   |
| 2D CONCRETE STEPS                   | 9D WOOD SIDING TO MATCH EXISTING                            |
| 2E CONCRETE DRIVEWAY                | 9E EXISTING EXTERIOR PLASTER WALL FINISH                    |
| 2F LANDSCAPED AREA                  | 9F SUSPENDED ACOUSTICAL CEILING                             |
| 3A CONCRETE FLOOR SLAB              | 9G TOPSET RUBBER BASE                                       |
| 3B CONTROL JOINT                    | 9H EXTERIOR CERAMIC TILE                                    |
| 4A CONCRETE MASONRY UNIT            | 10A GLASS MIRROR  |
| 5A METAL HANDRAIL                   | 11A RANGE HOOD  |
| 5B STRUCTURAL FRAMING               | 11B RANGE   |
|                                     | 11C REFRIGERATOR  |
| 6A CABINET                          | 15A MECHANICAL EQUIPMENT                                    |
| 6B COUNTER                          | 15B PLUMBING EQUIPMENT                                      |
| 6C WOOD FASCIA                      | 15C SINK  |
| 6D WOOD COLUMN                      | 16A ELECTRICAL EQUIPMENT                                    |
| 7A SHEET METAL FLASHING             | 16B EXTERIOR LIGHT FIXTURE                                  |
| 7B SHEET METAL GUTTER               |   |
| 7C ASPHALT SHINGLES, MATCH EXISTING |   |
| 7D SHEET METAL CABLE VENT           |   |



**REFERENCE NOTES**

**15 NORTH ELEVATION**

1/4"=1'-0" 9



**SOUTH ELEVATION**

1/4"=1'-0" 3