



City of Costa Mesa, Development Services Department
 77 Fair Drive, P.O. 1200, Costa Mesa, CA 92628-1200
 Phone: (714) 754-5245 www.costamesaca.gov

APPLICATION FOR MINOR MODIFICATION REQUEST
 (See Title 13, Ch III, Section 13-28(j) Minor Modifications, of Municipal Code)

Minor Mod # **MM - 23-04**

PROPERTY ADDRESS: 649 Ross St., Costa Mesa, CA 92627

PROPERTY OWNER: Brian Angus & Danielle Stadelman Phone (408) 639-8374

Address 649 Ross Street Email or Fax # B.Angus944@gmail.com

City Costa Mesa State CA Zip Code 92627

Property Owner's Signature [Signature] Date 8/15/23

AUTHORIZED AGENT: _____ Phone _____

Address _____ Email or Fax # _____

City _____ State _____ Zip Code _____

Authorized Agent's Signature _____ Date _____

PROJECT DESCRIPTION: [Provide project description & justification for approval below]

Please See Attached Description & Justification.

CONCEPT PLANS/DRAWINGS ARE ATTACHED: YES NO

OFFICE USE ONLY BELOW

THIS MINOR MODIFICATION REQUEST IS APPROVED / DENIED BASED ON THE FOLLOWING FINDINGS:

- The improvement will not be / will be materially detrimental to the health, safety, and general welfare of person residing or working within the immediate vicinity of the project or to property and improvements within the neighborhood.
- The improvement is / is not compatible or considered as an enhancement to the architecture and design of the existing and anticipated development in the vicinity. This includes the site planning, land coverage, landscaping, appearance, scale of structures, open space and any other applicable features relative to a compatible and attractive development.

Zone: R1 Approved by: [Signature] Decision Date: 8/17/23

Appeal of this decision shall be filed within 7 days of the decision date noted above by remittance of the appeal fee and according to the procedures set forth in Title 2, Chapter IX, of the Costa Mesa Municipal Code.

(White - Planning; Canary - Building; Pink - Applicant; Goldenrod - Authorized Agent)

City of Costa Mesa

Inter Office Memorandum

TO: JENNIFER LE, DIRECTOR OF ECONOMIC AND DEVELOPMENT SERVICES

FROM: SCOTT DRAPKIN, ASSISTANT DIRECTOR

DATE: AUGUST 16, 2023

SUBJECT: MINOR MODIFICATION 23-04 FOR AN ENCROACHMENT INTO THE FRONT YARD SETBACK AT 649 ROSS STREET

MINOR MODIFICATION REQUEST

The applicant is proposing to construct a 264-square-foot addition to the existing single-family home at 649 Ross Street for the expansion of a master bedroom and development of a second bathroom. The applicant has applied for a minor modification to allow the addition to extend a maximum of four feet (20 percent) into the required 20-foot front-yard setback. Also proposed in conjunction with the remodel are roof repairs, front façade architectural treatments and revised front-yard landscaping.

BACKGROUND

The property at 649 Ross Street is a 6,600-square-foot, R1 zoned parcel that is currently developed with a 918-square-foot, three-bedroom/one-bathroom single-family residence, plus an attached 264-square-foot single-car garage. According to the site plan, the existing home is located 54 feet from the rear property line, five feet from the side property line, and 27 feet from the front property line. An additional approximate five-foot-wide unimproved public right-of-way dedication exists between the front property line and the existing edge-of-street curb (the intent of the public dedication is for future public street and sidewalk purposes). With the exception of parking, the existing property complies with the City's residential development standards (Costa Mesa Municipal Code (CMMC) Section 13-32).

Pursuant to the CMMC Section 13-85 ("Parking Required"), the subject three-bedroom single-family detached residence requires two garage parking spaces and two "open parking spaces" (which is allowed to be provided in the driveway). As indicated above, the property is only developed with a single-car garage and the driveway leading up to the garage can accommodate only one vehicle, therefore the property is deficient two parking spaces (one garage space and one "open parking space"). The City "Nonconforming Provisions" (CMMC Section 13-204) allows the existing nonconforming parking conditions to remain based on the following minimum criteria indicated in Table 1.

Table 1 - Nonconforming Dwelling Units "Alteration of Development" Criteria

Criteria	Compliance (Yes/No)	Compliance Notes:
1. "The zone is residential".	Yes	The project is Zoned R-1
2. "The proposed alteration and addition comply with all applicable sections of the Zoning Code and other codes".	Yes	The proposed addition is compliant with the City's Zoning Code applicable development standards, including side-setback, open space and garage distance from front property line to provide a vehicular parking space. The Code specifically allows for the requested encroachment into the front-yard setback with approval of a Minor Modification.
3. "The addition does not occupy the only portion of an area which can be used for required garages, parking spaces or access thereto".	Yes	As indicated further in this Memorandum, the proposed expansion/remodel does not interfere with site parking, including the existing driveway and garage conditions.
4. "The residential development will not be made more nonconforming."	Yes	With approval of the Minor Modification, no nonconformities will be created or intensified by the proposal.
5. "When the existing main building, excluding architectural features, projects into required setback areas, minor building additions may encroach into required setback areas with approval of a minor modification".	Yes	The purpose of the requested Minor Modification is to allow encroachment into the front-yard setback as indicated in the Criteria.

The proposed alterations involve extending the front wall of the existing home 11 feet forward into the front yard, leaving a front yard setback of 16 feet. Reducing the front yard setback to 16 feet is allowed with a minor modification pursuant to CMMC Section 13-28(j)(1).

ANALYSIS

The proposed remodel is limited to approximately half the existing façade in the front portion of the subject property. Pursuant to CMMC Section 13-32, the R-1 Zoning District requires a 20-foot front-yard setback and also allows roofs, eaves and awnings to cantilever into the 20-foot setback up to five feet. The applicant is requesting a minor modification to allow the proposed addition to encroach four-feet into the required front-yard setback for only a portion of the home's frontage. The proposed one-foot roof eave would not extend beyond the five feet allowed by the CMMC.

Per CMMC Section 13-28(j)(1), a minor modification, subject to the discretion of the Director of Economic and Development Services, allows for minor deviations from certain Code requirements, including a 20 percent decrease in the required front-yard setback (provided that the garage is set back a minimum of nineteen feet from the front property line). The applicant is requesting a minor modification for a 20 percent (four-foot) reduction into the front-yard setback, reducing the front yard setback from 20 feet to 16 feet. (The existing garage is setback approximately 27 feet from the front property line and therefore complies with the 19-foot minimum distance requirement for the garage to the front property line which is required in order to be granted a reduction in the front setback). The below Table 2 summarizes the proposed minor modification request:

Table 2 – Minor Modification Request

Deviation Type	Code Requirement	Existing Condition	Proposed Minor Modification	Maximum Deviation Permitted
20% Reduction in the Front Yard Setback	20 feet from front property line	27 feet from front property line	20 percent (16 feet from front property line)	20 percent (16 feet from front property line)

Minor Modification Findings

Pursuant to CMMC 13-29(g)(6), the Director of Development Services must make two findings in order to approve a minor modification, which include:

Finding 1: “The improvement will not be materially detrimental to the health, safety and general welfare of persons residing or working within the immediate vicinity of the project or to property and improvements within the neighborhood”.

Facts in Support of Finding:

The proposed addition is not anticipated to be materially detrimental to the health, safety and general welfare of persons residing or working within the immediate vicinity of the property in that the requested addition is limited to the existing bedroom and addition of a new bathroom, and the remaining portions of the existing residence are not proposed to be modified. The proposed minor modification will be consistent with Building and

Fire Codes, and will not impede the potential use of the unimproved five-foot wide public right-of-way dedication. In order to maintain the existing “open space parking” in the driveway, the proposed garage remains in its existing location and the proposed addition does not remove any existing on-site parking. Therefore, neighborhood parking is not anticipated to be impacted by the proposed additional floor area.

Finding 2: “The improvement is compatible and enhances the architecture and design of the existing and anticipated development in the vicinity. This includes the site planning, land coverage, landscaping, appearance, scale of structures, open space and any other applicable features relative to a compatible and attractive development”.

Facts in Support of Finding:

The proposed improvements are compatible with homes in the vicinity and will enhance the architecture and design of the existing home in that the project accommodates a reasonable addition to the home (total proposed livable area of 1,182 square feet), remains a one-story design (similar to many of the adjacent neighborhood residences) and includes design elements that improve the site's existing conditions and neighborhood character. Additionally, the neighboring property to the west is developed with an approximate six-foot high CMU block wall that is located approximately the same distance from the front property line as the subject's home's proposed addition. Therefore, the proposed addition and the reduction of the front yard setback is not unusual or incompatible in light of an abutting home. Further, the abutting neighbors have provided letters of support for the proposed addition.

The proposed remodel includes façade enhancements and revised landscaping that will remove the existing lawn and replace it with drought-tolerant landscaping which will complement the design, soften the appearance of the front facade and improve the overall neighborhood aesthetics. The proposed development is also consistent with the CMMC required residential open space provisions.

Although not applied to one-story single-family homes, the City's approved Residential Design Guidelines states “to enhance variety and interest, long, unbroken building facades should be avoided and offsets and building projections should be made as an integral part of residential design.” The applicant is improving the front façade of the home by designing the addition as an offset from the existing single-dimensioned (flat) stucco front façade. The City's Residential Design Guidelines also suggest that “with emphasis on front and street-facing elevations, building elevations should incorporate enhanced detailing. In this regard, the applicant's proposed design includes the installation of architectural façade siding to differentiate the projected addition from the existing stucco façade. Lastly, the aforementioned landscaping plan includes a mix of low shrubs, medium shrubs, small trees and vines to further enhance the front façade.

RECOMMENDATION

Approve the minor modification.



Brian Angus <bangus944@gmail.com>

649 Ross Street Minor Mod Permit - Requested Supporting Information

Brian Angus <bangus944@gmail.com>

Fri, Jul 28, 2023 at 6:55 PM

To: "LE, JENNIFER" <jennifer.le@costamesaca.gov>

Hi Jennifer,

I'm emailing you today to provide supporting information to justify Minor Modification findings to help resolve the ongoing issue with my previously approved remodel/addition plans.

In addition, as requested during our meeting on Monday 07/24/2023, attached to this email are the following:

1. Pictures of our neighborhood homes, including ours, the 2 that have been measured to encroach into the 20 foot setback, and other homes that have similar design characteristics or large structures protruding towards the front of the property. The pictures are also consolidated into a single document for ease of reference.
2. A descriptive reference key providing details of each property corresponding to the numbered tract map, also attached.
3. A full, updated set of plans ready for submission, including the revised design and all changes required as a result. This includes the requested Landscape Plan and Landscape Elevation detail sheets. There is also an attached guide of plants that will be used, which can be used to reference the Landscape Plans numbered species table.

We have been able to identify 2 existing homes in our tract that encroach into the 20 foot standard setback. The first, a very large 2 story home, is located at 2004 Arnold Street, and is constructed exactly 15 feet from the property line; see images A and B. The second, a single story home with a front addition, is located at 645 Surf Street, and is constructed approximately 17 feet from the property line (it was difficult to get a 100% accurate measurement due to the cars parked on the street in front of the home and the cars parked on the property in front of the home; see images C and D. As the construction located at 2004 Arnold Street encroaches further than our proposed build out, we will not be setting the precedent for encroachment in our housing tract.

Encroaching 4 feet into the existing setback will not be detrimental to the neighborhood for any reason; my immediate neighbors on the left, right and across the street, all property owners, have written letters of support stating this as well. By extending the new construction out an additional 4 feet, we are able to create a much more interesting structural design than simply pushing out a straight box. The roof pitch will also be rotated 90 degrees towards the front of the property in the area of construction; this creates a much more aesthetically pleasing gabled roof profile of the home, and is in line with many of the updated properties in the housing tract; see elevation details in our construction plans. We will be adding siding to the areas of new construction to compliment the architectural improvements, as requested.

Additionally, our only option if not granted the Minor Mod permit would be to build up and create an unattractive, boxy, 2-story home which would also fundamentally alter the character of my block. There are no other existing 2 story homes on my block, and the few 2-story homes (which represent a small percentage of the homes) in the 1986 tract are generally disliked by neighbors as they are not aesthetically pleasing and look directly into their neighbors' backyards. One of the features of the tract most liked by both myself and my neighbors is that it consists primarily of modest, private, single story ranch homes.

I will be removing the large, water-intensive front lawn and replacing it with a more contemporary aesthetic that's in line with the updated properties in my neighborhood and will both complement the home and partially seclude it from view from the front and side. This will both improve the visual appeal of the property and significantly reduce our water consumption required for landscaping. See the new Landscaping Elevation and Landscaping Design Sheets in our updated plans. I have degrees in both Biology and Environmental Science and a very strong green thumb; by the time we're complete the physical structure of the home will be nicely complemented by the new vegetation and will be the nicest looking part of our home. There is already a strong existing vegetative screen or cinder block wall on the sides of the property extending at least as far as the proposed buildout, and my neighbors have proactively confirmed that this will be unnoticeable to them and that they think the proposed design will be more visually attractive; see the Letters of Support for further details. Additionally, it will be in line with an existing cinder block wall of my immediate neighbor and will be unnoticeable when passing/driving by the homes adjacent to mine.

Our housing tract was built in the 1950's, and the low-resolution tract map that we had access to showed the street as 50' wide with no sidewalk. Unfortunately, our paved street is actually 40' wide, with an unmarked 5' city right of way. After the permits were approved, I wanted to double check this information with Planning, as it was not 100% clear, to ensure compliance the day construction began; it was at this point we discovered the issue and have since halted work. As our plans as previously drawn/approved encroach 5', 1 3/4" into the required setback, we require assistance resolving this issue via a Minor Mod permit as it is the most amicable solution available.

I understand and agree we will need to both concede 1', 1 3/4" of our current plans from the front property line and pay for a Minor Mod permit for the additional 4', the 20% maximum encroachment allowed into the 20 foot setback. We have revised our plans to trim down hallways, cabinets and the width of the bedrooms to reduce our design by 1', 2", and have confirmed with Charles in Building that we will be able to use our existing permit, engineering, Title 24, etc. with this design as it is a small revision to the original plans.

However, we are not able to move forward with a 5', 1 3/4" reduction in project scope; we have tried at great length to find a way to include our design elements without eliminating a bedroom and are simply not able to do so. Unfortunately, we are not able to go out the back as we previously installed solar along the back half of the home (which has allowed us to be net-negative on electricity consumption!), and per advisement I've received any modification to our setup would likely kick us off of NEM 2.0 and put us to NEM 3.0, which will present a significant financial hardship. In addition, while we have no plans whatsoever to do so, avoiding altering the back of the home would potentially allow for an ADU in the rear of the property at a future date, which I know is a priority for meeting housing goals for both the state and the city. Our home is also partially demolished along the front of the house, as our plans were previously approved and we had to stop construction after prepping for pouring the new slab, presenting another significant financial hardship if not allowed to continue construction as we would incur significant costs to simply put the home back the way it was previously. There is also structural damage to a large portion of the roof slated for demolition, which would create an additional financial hardship if required to fix it instead of being allowed to demolish and rebuild as drawn in our updated plan set.

Please let me know if there is any additional information I can provide.

Best Regards,
Brian Angus
(408) 421 - 5041

 [230727_649 ROSS_MINOR MOD + LANDSCAPE \(1\).pdf](#)

 [649 Ross 1.jpg](#)

 [649 Ross 2.jpg](#)

 [649 Ross 3.jpg](#)

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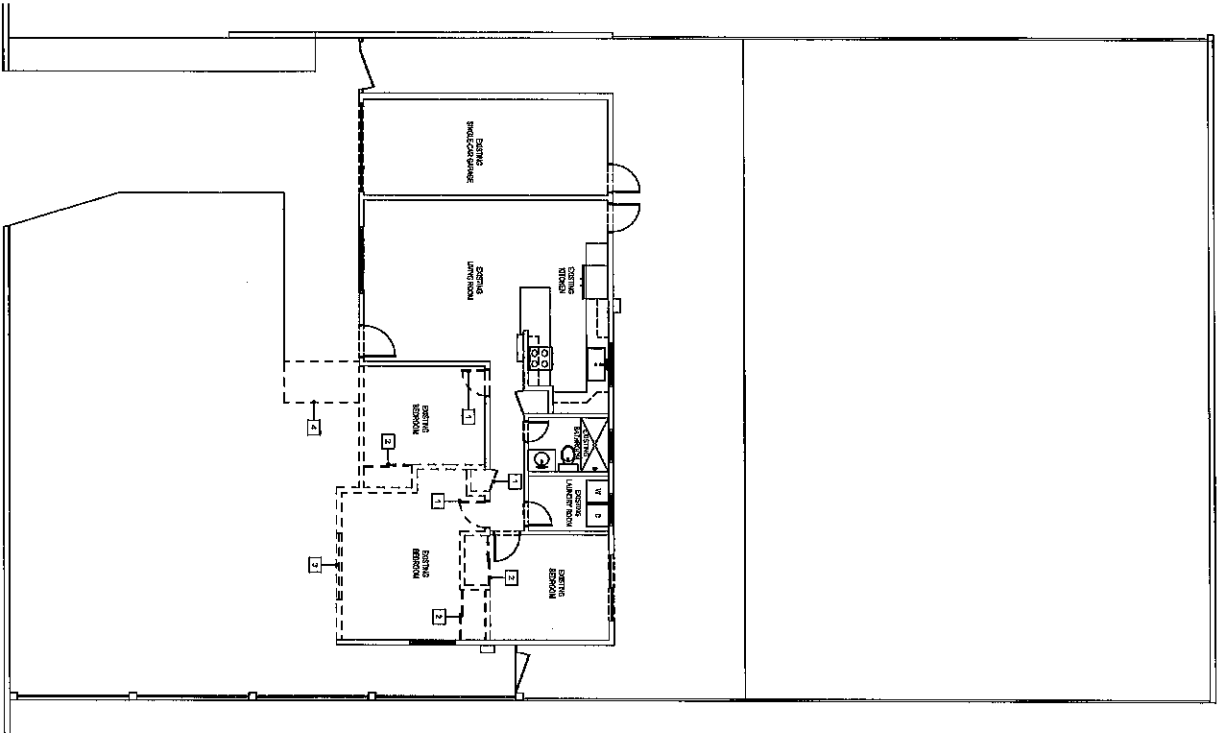
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-  [649 Ross 30.jpg](#)
-  [649 Ross - Key For Existing Neighborhood Struct...](#)
-  [649 Ross A.jpg](#)
-  [649 Ross B.jpg](#)
-  [649 Ross C.jpg](#)
-  [649 Ross D.jpg](#)
-  [649 Ross Neighborhood Pictures .pdf](#)
-  [649 Ross Tract Map 1.pdf](#)
-  [649 Ross Tract Map 2.pdf](#)
-  [Complete Neighborhood Tract Map View.png](#)

 **649 Ross Front Yard Landscaping Plants .pdf**
10840K



EXISTING/DEMOLITION PLAN 1

DEMOLITION NOTES

1. DO NOT SCALE DIMENSIONS
2. THE FOLLOWING EXISTING FLOOR PLANS SHOWN ARE BASED ON FIELD OBSERVATION FROM THE USE OF EXISTING "AS-BUILT" AND CITY PUBLIC INFORMATION TO VERIFY THE EXISTING FLOOR PLANS ARE NOT TO BE USED FOR CONSTRUCTION OF NEW WORK UNLESS THE EXISTING FLOOR PLAN AND DO NOT CONSTITUTE THE CONTRACT DOCUMENTATION ON THE CONTRACT.
3. PRIOR TO THE SUBMITTAL OF ANY WALLS, THE CONTRACTOR SHALL OBTAIN FROM THE OWNER/WALLS TO BE REMOVED AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY NECESSARY PERMITS AND APPROVALS FOR ANY NEW CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY NECESSARY PERMITS AND APPROVALS FOR ANY NEW CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY NECESSARY PERMITS AND APPROVALS FOR ANY NEW CONSTRUCTION.
4. CONTRACTOR TO VERIFY WITH OWNER AND ARCHITECT THAT ALL WORK SHALL COMPLY WITH THE APPLICABLE SECTION OF THE SPECIFICATION OF THE CALIFORNIA BUILDING CODE.
5. ALL WORK SHALL COMPLY WITH THE APPLICABLE SECTION OF THE SPECIFICATION OF THE CALIFORNIA BUILDING CODE.

DEMOLITION KEY NOTES

1. REMOVE EXISTING DOOR TAKE AREA RELATIVE TO EXISTING STRUCTURE AND DEMOLITION PER FLOOR PLAN
2. REMOVE EXISTING DOOR TAKE AREA RELATIVE TO EXISTING STRUCTURE AND DEMOLITION PER FLOOR PLAN
3. REMOVE EXISTING WINDOW TAKE AREA RELATIVE TO EXISTING STRUCTURE AND DEMOLITION PER FLOOR PLAN
4. REMOVE EXISTING WINDOW TAKE AREA RELATIVE TO EXISTING STRUCTURE AND DEMOLITION PER FLOOR PLAN

LEGEND

- EXISTING STRUCTURE AND FINISH MATERIALS TO BE RETAINED
- EXISTING DOOR AND FINISH MATERIALS TO BE DEMOLISHED
- EXISTING WINDOW AND FINISH MATERIALS TO BE DEMOLISHED

PROJECT CONTACT

OWNER: BRIAN ANGELO
PHONE NUMBER: 408-497-5041
EMAIL: brian@brianangelo.com

649
ROSS ST
REMODEL

OWNER/BUILDER
BRIAN ANGELO
649 ROSS ST
COSTA MESA, CA 92627
Telephone: 408-497-5041

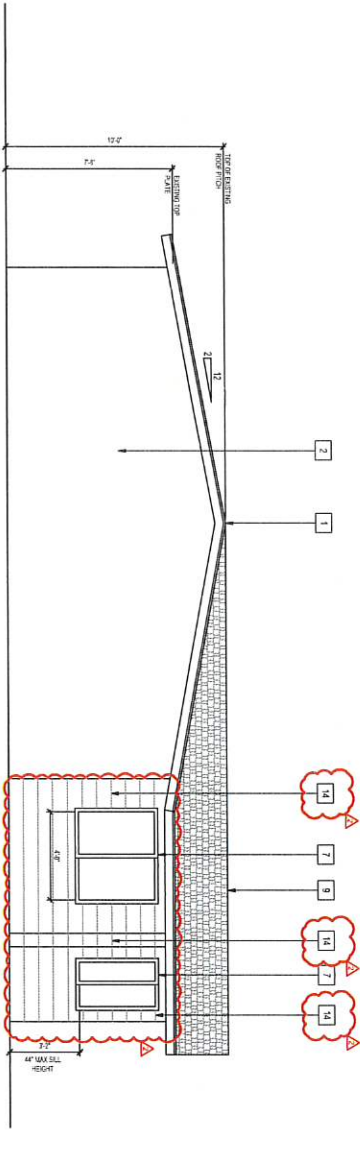
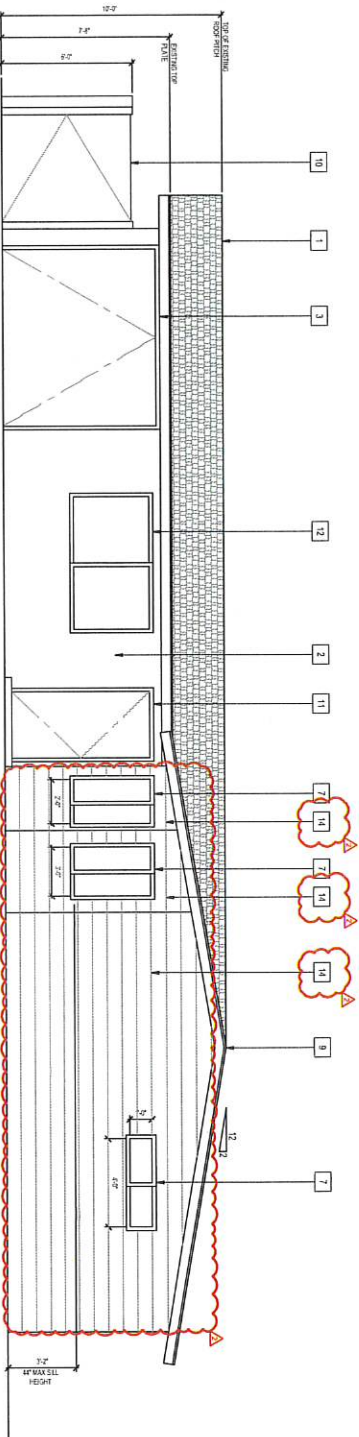
PREPARED BY: *Kristen D'Amico*

- BLINDS - PLAN CHECK SUBMITTAL
- EXTERIOR WALLS 1 - PLAN CHECK CONCERNING
- EXTERIOR WALLS 2 - MARK AND REMOVE
- EXTERIOR WALLS 3 - MARK AND REMOVE, DEMO

EXISTING FLOOR PLAN
DEMOLITION PLAN

SHEET NUMBER
ID1.00

ALL DIMENSIONS AND MATERIALS SHOWN ARE BASED ON FIELD OBSERVATION FROM THE USE OF EXISTING "AS-BUILT" AND CITY PUBLIC INFORMATION TO VERIFY THE EXISTING FLOOR PLANS ARE NOT TO BE USED FOR CONSTRUCTION OF NEW WORK UNLESS THE EXISTING FLOOR PLAN AND DO NOT CONSTITUTE THE CONTRACT DOCUMENTATION ON THE CONTRACT.



ELEVATION NOTES

1. DO NOT SCALE DRAWINGS
2. REFER TO OWNER SPECIFICATIONS FOR ALL MATERIALS AND FINISHES
3. REFER TO GENERAL NOTES FOR ADDITIONAL INFO
4. REFER TO OWNER SPECIFICATIONS FOR ALL MATERIALS, FINISHES, AND INSTALLATION METHODS. ALL MATERIALS AND FINISHES SHALL BE APPROVED BY THE ARCHITECT PRIOR TO CONSTRUCTION. ANY ELEVATIONS OR FINISHES NOT SHOWN SHALL BE APPROVED BY THE ARCHITECT PRIOR TO CONSTRUCTION.
5. REFER TO GENERAL NOTES FOR ADDITIONAL INFO
6. REFER TO OWNER SPECIFICATIONS FOR ALL MATERIALS, FINISHES, AND INSTALLATION METHODS. ALL MATERIALS AND FINISHES SHALL BE APPROVED BY THE ARCHITECT PRIOR TO CONSTRUCTION. ANY ELEVATIONS OR FINISHES NOT SHOWN SHALL BE APPROVED BY THE ARCHITECT PRIOR TO CONSTRUCTION.
7. REFER TO STRUCTURAL DRAWINGS FOR ALL FOUNDATION AND FRAMING REQUIREMENTS ALONG WITH ALL OTHER REQUIREMENTS. REFER TO THE TITLE ARCHITECT FOR ALL OTHER REQUIREMENTS.
8. REFER TO THE SPECIFIED ELECTRICAL PLANS FOR ALL ELECTRICAL REQUIREMENTS.
9. REFER TO THE TITLE ARCHITECT FOR ALL OTHER REQUIREMENTS.
10. ALL EXTERIOR DOOR AND WINDOW SCHEDULES SHALL BE APPROVED BY THE ARCHITECT PRIOR TO CONSTRUCTION. THE DOOR OPENING SLOPE SHALL BE 1/4" PER 1" FOR ALL EXTERIOR DOORS AND WINDOWS.
11. ALL EXTERIOR DOOR AND WINDOW SCHEDULES SHALL BE APPROVED BY THE ARCHITECT PRIOR TO CONSTRUCTION. THE DOOR OPENING SLOPE SHALL BE 1/4" PER 1" FOR ALL EXTERIOR DOORS AND WINDOWS.

ELEVATION KEY NOTES

- EX SYMBOL
1. EXISTING ROOF RIDE TO REMAIN
 2. EXISTING PLASTER/STUCCO TO BE PAINTED
 3. EXISTING GABLE ROOF TO REMAIN
 4. EXISTING ELECTRICAL PANEL TO REMAIN
 5. NEW PLASTER/STUCCO TO MATCH EXISTING TEXTURE. NEW PLASTER/STUCCO TO BE PAINTED
 6. NEW DOOR - REFER TO DOOR SCHEDULE FOR ALL INFORMATION
 7. NEW WINDOW - REFER TO WINDOW SCHEDULE FOR ALL INFORMATION. WINDOW SCHEDULES SHALL BE APPROVED BY THE ARCHITECT PRIOR TO CONSTRUCTION. THE DOOR OPENING SLOPE SHALL BE 1/4" PER 1" FOR ALL EXTERIOR DOORS AND WINDOWS.
 8. EXISTING SPANDEE ROOF TO REMAIN
 9. NEW ROOF TO MATCH EXISTING
 10. EXISTING DOOR TO REMAIN. PATCH, CLEAN & REPAIR AS REQUIRED
 11. EXISTING WINDOW TO REMAIN. PATCH, CLEAN & REPAIR AS REQUIRED
 12. EXISTING WINDOW TO REMAIN. PATCH, CLEAN & REPAIR AS REQUIRED
 13. EXISTING FINISHES TO REMAIN. PATCH, CLEAN & REPAIR AS REQUIRED
 14. NEW EXTERIOR PAINTED PANEL SIDING. REFER TO SPEC FOR ALL INFORMATION.

PROJECT CONTACT

OWNER: DEAN ANDERSON
 PHONE NUMBER: 408-421-5041
 EMAIL: DAN@DEANANDERSON.COM

649
 ROSS ST
 REMODEL

OWNER/BUILDER
 BRIAN ANDERSON
 6081 N. DEAN AVE.
 COSTA MESA, CA 92627
 Telephone: 408-421-5041

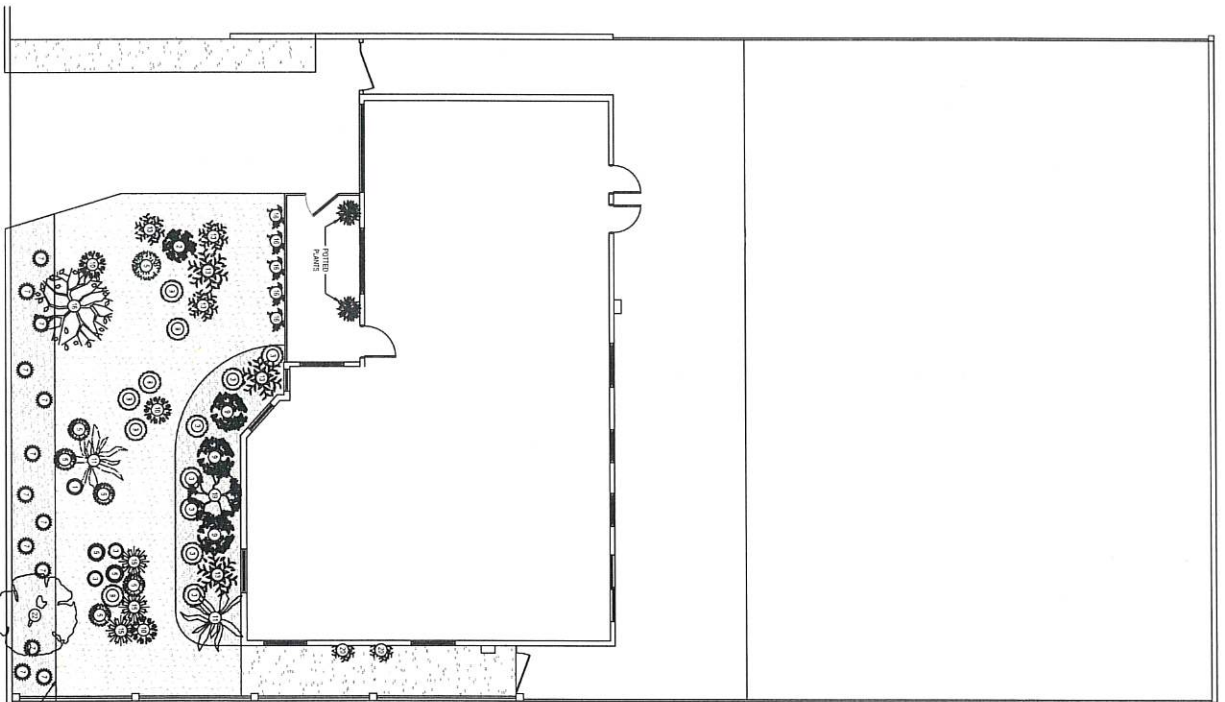
PREPARED BY: Hendrick O'Callahan

- 01/22/21 - PLAN OVER SHEETING
- 12/28/20 DELTA 1 - PLAN OVER CORRECTIONS
- 01/13/21 DELTA 2 - LABOR AND REGION
- 07/28/21 DELTA 3 - WINDOW AND REGION CORRT

EXTERIOR ELEVATIONS

ALL DRAWINGS AND WRITTEN MATERIAL APPLICABLE TO THIS PROJECT SHALL BE THE PROPERTY OF THE ARCHITECT AND SHALL NOT BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

SHEET NUMBER
ID3.00



18151 LOMA ESTANCO, HAYWARD, CA 94541
 415.481.1111
 18151 LOMA ESTANCO, HAYWARD, CA 94541
 415.481.1111
 18151 LOMA ESTANCO, HAYWARD, CA 94541
 415.481.1111

LANDSCAPE NOTES

1. ALL PLANTS ARE NUMBERED AND CORRESPOND ON USED ON THIS SHEET AS THEY WILL BE AS A BACKUP AT TIME OF CONSTRUCTION

LANDSCAPE KEY NOTES

○ SYMBOL

VERY LOW SHRUBS

1. MOSS ROSE 'PORTULACA'
2. GREVILLEA 'CONSTITA GEM'
3. SYMPHYCARPA 'HELMHOLTZ'
4. ARCTOSTAPHYLOS 'GAMBICA INFER'
5. CALYPTOPHYS 'SERBILATUD'

LOW SHRUBS

6. LARIX 'NANA'
7. ASCORTETUS 'SALVA'
8. KALCHANDRO 'PAM'

MEDIUM SHRUBS

9. COUSIN 'TT ACICHA'
10. PETITE 'BUTTERFLIES SWEET PEA'
11. PERSICARIA 'SINCHORBA'
12. LUPINUS 'CAMPIONESS'
13. JUNCUS 'EFFIGIUS 'CANNONS JAPONAISE'
14. ASSORTED SALVA'
15. LAMPROLARI'
16. GARDENIA 'JASMINEBLOSS'

SMALL TREES & VINES

17. GREVILLEA 'NANO CELEBRATION' TREE
18. SAUCER MANDARINA TREE
19. DESERT MANDARINA PALM VERTICE TREE
20. VINE CREEPING FIG
21. VINE PASADENA VITIFOLIA 'SPARKLET FLAME'
22. ERYTHRAEAE MANDARINA TREE

PROJECT CONTACT

OWNER: BRIAN ANGUS
 PHONE NUMBER: 408-421-5041
 EMAIL: BRANDISH@PACIFIC.COM

649
 ROSS ST
 REMODEL

OWNER/BUILDER
 BRIAN ANGUS
 649 ROSS ST
 COSTA MESA, CA 92627
 Telephone: 408-421-5041

PREPARED BY: *Marcou D'Arcade*

- 01127 - RAIN GARDEN
- 121262 DELTA 1 - PLAIN GARDEN CONNECTION
- 011433 DELTA 2 - SAND AND PERSICARIA
- 072813 DELTA 3 - SAND AND PERSICARIA CONT

SHEET TITLE

NEW PROPOSED
 LANDSCAPE PLAN

ALL DRAWING AND WRITTEN MATERIAL APPEARING HEREON IS THE PROPERTY OF THE ARCHITECT. NO PART OF THIS DRAWING IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

SHEET NUMBER
 ID7.00

NEW PROPOSED LANDSCAPE PLAN 1

PROJECT CONTACT
 OWNER: BRIAN ANGELO
 PHONE: 408.254.4431-4541
 EMAIL: BANGEL@HOTMAIL.COM
 URL: BANGELREMDEL.COM

649
 ROSS ST
 REMODEL

OWNER/BUILDER
 BRIAN ANGELO
 649 ROSS ST
 COSTA MESA, CA 92627
 Telephone: 408-421-3541

PREPARED BY: *Mansory Cavada*

- 01.12Z - PLAN CHECK SUBMITAL
- △ 12.02Z REVISION 1 - PLAN CHECK CORRECTIONS
- △ 01.14.2Z REVISION 2 - IMPROVISED REVISION
- △ 01.20.2Z REVISION 3 - IMPROVISED REVISION

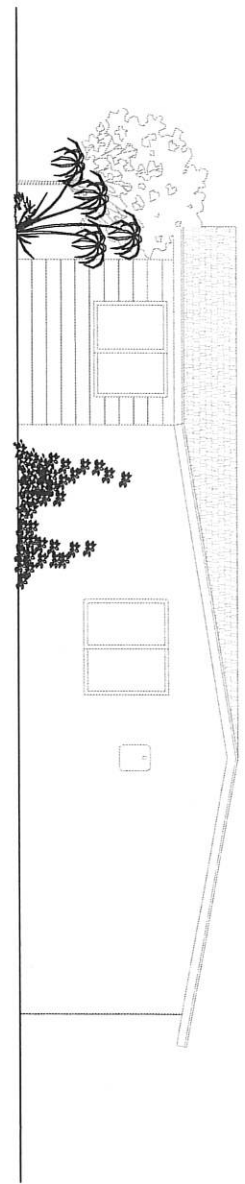
SHEET TITLE:

NEW PROPOSED
 LANDSCAPE ELEVATION

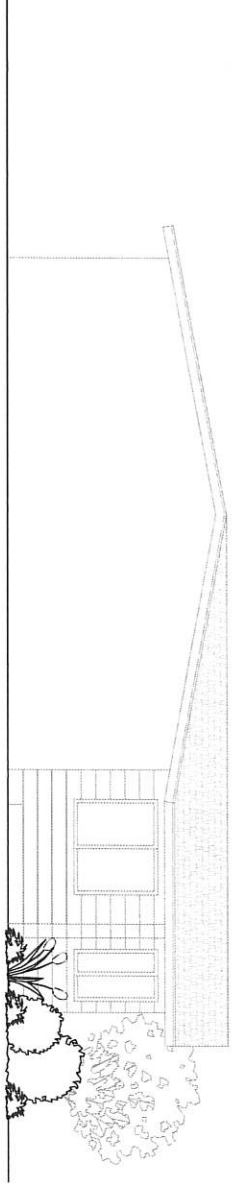
ALL DIMENSIONS AND NOTATION MATERIAL, APPLICABLE HERE AND NOT TO BE UNDERTAKEN UNLESS SPECIFICALLY NOTED WITHIN CONTEXT OF THE PROJECT

SHEET NUMBER:

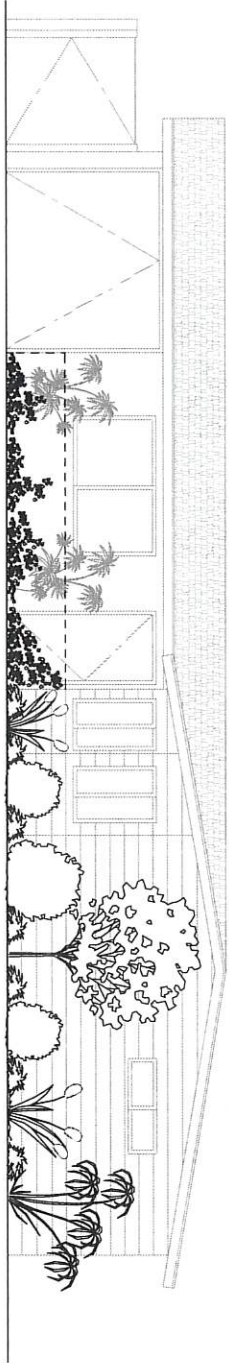
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NEW PROPOSED LANDSCAPE ELEVATION (WEST) ①



NEW PROPOSED LANDSCAPE ELEVATION (EAST) ②



NEW PROPOSED LANDSCAPE ELEVATION (NORTH) ①

To whom it may concern:

I, a property owner on Ross Street in Costa Mesa, am signing this letter of support regarding an issuance of a Minor Mod permit for 4 feet of encroachment into the setback as typically required on our street for the construction project at 649 Ross St., Costa Mesa, CA 92627.

This design layout will not negatively affect the character of our neighborhood, and will not bother us as neighbors. We support our neighbors at 649 Ross Street in trying to improve their property and encroaching into the setback the maximum amount allowed by this permit, which I understand to be 4 feet. It will not be materially different or more noticeable than a structure built at the standard 20 foot setback mark.

Sincerely,

Bruce G. Dickey

Date: 07, 23, 2023

Property Owner at 665 Ross Street, Costa Mesa, CA

Additional Comments:

I have lived at 665 Ross St. for 40 years. I fully support the plans of my neighbors at 649 Ross St. to improve their home.
Realtors have always described Ross St. as a "neighborhood in transition." This transition is now being led by young families buying homes and improving them. This will eventually bring the value of homes on the West Side to equal the value of homes on the East Side - which increases property taxes for the County and the City. Again, I fully support my neighbor's plans to improve their home at 649 Ross St., and I urge the city to support their plans also.

