



CITY OF COSTA MESA

P.O. BOX 1200 • 77 FAIR DRIVE • CALIFORNIA 92628-1200

ECONOMIC & DEVELOPMENT SERVICES DEPARTMENT – PLANNING DIVISION

November 1, 2023

City of Costa Mesa
77 Fair Drive
Costa Mesa, CA 92626

**RE: DEVELOPMENT REVIEW PDVR-23-0002 FOR A MINOR AMENDMENT TO A
MASTER PLAN
2300 & 2310 PLACENTIA AVENUE**

Dear Applicant:

The Development Review for the above-referenced project has been completed. The Development Review, as described in the attached project description, has been approved based on the findings and subject to conditions of approval (attached). The decision will become final at 5 PM on November 8, 2023 unless appealed by an affected party (including filing of the necessary application and payment of the appropriate fee) or is called up for review by a member of the City Council. Any appeal must be filed by 5 PM on the aforementioned date, pursuant to Costa Mesa Municipal Code (CMMC) Sections 2-305(2) and 2-307.

If you have any questions regarding the above items, please contact the project planner, Jeffrey Rimando at jeffrey.rimando@costamesaca.gov.

Sincerely,

Jennifer Le
Director of Economic and Development Services

cc: Engineering
Fire Marshal
Building Division

PLANNING APPLICATION SUMMARY

Location:	2300 and 2310 Placentia Avenue	Application No:	PDVR-23-0002
Request:	Development Review for a 1,264-square-foot addition to an existing training classroom building and to demolish and replace the existing fire training tower facility with a new 4,732-square-foot tower for the City's Fire Department fire training center located at Fire Station No. 4.		

SUBJECT PROPERTY:

SURROUNDING PROPERTY:

Zone:	I & R (Institutional and Recreational)	North:	I & R
General Plan:	PI (Public and Institutional)	South:	R2-MD; Multiple-Family Residential, Medium Density
Lot Dimensions:	Irregular	East:	I & R
Lot Area:	Approximately 6 acres (incl. City Corporation Yard)	West:	I & R
Existing Development:	City Corporation Yard with a fire station facility (Fire Station No. 4) and ancillary structures.		

DEVELOPMENT STANDARD COMPARISON

Development Standard	Required / Allowed I & R Standards	Proposed / Provided
Lot Size:		
Lot Width	60 FT	207 FT
Lot Area	6,000 SF	280,526 (6.44 AC)
Floor Area Ratio:	.25 (70,131 SF)	.148 (41,427 SF) ¹
Building Height	4 stories	4 stories
Setbacks:		
Front – 2 nd Story	20 FT	89 FT (from existing fire station building)
Side (left / right)	5 FT / 5 FT	89 FT / 108 FT
Rear	5 FT	Approximately 130 FT (to existing warehouse building)
Parking	106 spaces ²	303 spaces

¹ Floor Area Ratio includes both properties at 2300 and 2310 Placentia Avenue.

² Per ZE-84-11A, due to the I&R zone does not contain parking requirements, it was established that industrial zone parking standards apply.

Final Action	Planning Staff/Director of Economic and Development Services
CEQA Review	Exempt, Class 1 (Existing Facilities) and Class 2 (Replacement or Reconstruction)

PROJECT BACKGROUND

Location and Existing Conditions

The subject properties include 2300 and 2310 Placentia Avenue and are zoned Institutional and Recreational District (I & R), with a General Plan Land Use Designation of Public and Institutional. Pursuant to the Costa Mesa Municipal Code (CMMC) the intent of the I & R Zoning District is to provide development standards for both publicly and privately owned land which provide recreation, open space, health, public service, educational, and housing opportunities.

The combined site is over six-acres and is located on the east side of Placentia Avenue, near the intersection of Joann Street with Placentia Avenue. The subject properties are City-owned and developed with the City's Corporation Yard and Fire Station No. 4. Access to the site is provided by three existing driveways along Placentia Avenue. Parking is provided in the existing surface lots located on both properties with a total of 303 parking spaces.

Corporation Yard

The City Corporation Yard area is primarily developed on the 2310 Placentia Avenue property and spans across the rear portion of the property at 2300 Placentia Avenue. The City Corporation Yard is currently developed with two buildings (A and B), and are 4,955 square feet and 7,249 square feet in size, respectively. Building A consists of offices and a repair shop, and Building B is utilized for equipment storage purposes. In addition, the yard includes a 615-square-foot storage building and a 17,430-square-foot warehouse and shop building used to maintain and service City owned vehicles.

Fire Station No. 4 (Fire Training Center)

Fire Station No. 4 is located on the 2300 Placentia Avenue property and is currently developed with an existing 6,025-square-foot fire station, a five-story (4,130-square-foot) fire training tower, a 1,024-square-foot training classroom building, and a 1,385-square-foot storage structure.

Entitlement History

The project site was originally developed in 1966 and consisted of the fire station building, a warehouse and shop building, and a training tower for firefighter training purposes. Pursuant to CMMC Section 13-66, all projects located within the I & R zone require approval of a "master plan"; however, the original development predated the current CMMC "master plan" requirement for development in the I & R zone.

In 1984, a Zoning Exception (ZE-84-11) was approved by Planning Commission to establish a master plan for the City Corporation Yard in conjunction with an approximately 1,900-square-foot expansion of the existing City warehouse and shop building. The master plan (ZE-84-11) included both properties at 2300 and 2310 Placentia Avenue. For the purpose of applying development standards including setbacks, parking, and floor

area ratio (FAR), the approved master plan combined both properties (2300 and 2310 Placentia Avenue) as a single development area.

In 1988, an amendment to the approved master plan (ZE-84-11A) was approved to include the construction of four buildings approximately 18,000 square feet in total.

In 2004, a Development Review (DR-04-11) was approved to allow a 1,600-square-foot rear building addition to the existing fire training tower.

ANALYSIS

The Fire Department was recently awarded funding from the State of California to upgrade the fire training center to serve both the City's Fire Department personnel and other fire department personnel located across Southern California. The training tower is used to simulate fire incidents within a typical residential and commercial structure, and for fire personnel to practice search and rescue scenarios within a building. Similar to other Orange County Jurisdiction's training facilities (such as Anaheim and Huntington Beach), Fire Station No. 4 is used currently to train both local firefighters and outside city firefighter personnel.

Proposed Improvements

The project scope includes the following improvements:

- Demolish the existing 5-story (approximately 55-foot high), 4,130-square-foot fire training tower currently located behind the fire station building;
- Replace the existing training tower with new 4-story (54 foot), 4,732-square-foot pre-fabricated tower to be located within the same vicinity as the existing;
- Remodel the existing 1,024-square-foot training classroom building;
- Construct a 1,264-square-foot building addition to the existing training classroom building to accommodate new bathrooms, decontamination showers, and carports. (The proposed total square footage of the classroom building would be 2,288 square feet.); and
- Site improvements including a new underground water recovery system and a new crew parking area with carports.

The training tower is proposed to be replaced due to the aging condition of the existing tower while the addition to the classroom building is proposed to support greater fire training. The addition is also necessary for accessibility compliance required under the California Building Code. Refer to Table 1 for a building summary comparison of the existing and proposed fire training center buildings.

Table 1 – Building Summary Comparison

	Height	Square Footage
Existing Tower	55 FT 4 IN	4,130 SF
Proposed Tower	54 FT	4,732 SF

Existing Classroom	16 FT 6 IN	1,024 SF
Proposed Classroom	16 FT 6 IN	2,288 SF

The proposed exterior of the new fire training tower would consist of contemporary dark gray metal siding that is similar to the City’s newest fire station, Fire Station No. 1 exterior design. The remodeled classroom building’s exterior will consist of a white plaster material similar to the existing exterior. Although, the replaced training tower’s exterior is different from the existing tower which features brick and stucco material in a tan color, the existing fire station building exterior would be upgraded in the future to be consistent with the proposed training tower.

Master Plan Minor Amendment and Development Review

As indicated above, the project scope includes modifications to a previously approved “master plan”. Pursuant to CMMC Section 13-28(g)(3)(b), minor amendments to existing master plans may be approved by “development review” application if the City’s “Planning Division” finds that:

- “The proposed construction does not materially affect required open space, floor area ratio, and parking requirements specified in the approved master plan; and
- “If the minor amendment results in an overall building square footage that exceeds the maximum building square footage allowed by the approved master plan, the planning division must find that the minor amendment is consistent with the floor area ratio and trip budget standards established by the general plan, as applicable”.

The project requires “development review” approval to permit the minor amendments and therefore, as indicated above, requires the Planning Division to consider “master plan” consistency with required open space, floor area ratio, and parking requirements. In addition, since the project proposes an increase in floor area approved by an existing site approved master plan, consistency with the General Plan trip budget standards is also required to be reviewed. The City’s Municipal Code “Table 13-29(c)” specifies that a “development review” application is generally an administrative approval and does not require public noticing, a public hearing or a decision noticing, and the final review authority is the Planning Division.

Open Space

Development standards for the I & R Zoning District are provided in CMMC Section 13-66. Minimum “open space” requirements are not required by the I & R Zoning District; however, and as indicated below, site development and coverage is limited by floor area ratio, and minimum setbacks are also specified (see the above “Development Standard Comparison” table). The proposed project complies with required FAR and setbacks and therefore the Planning Division finds that the project is compatible with the required findings for open space.

Floor Area Ratio (FAR) and General Plan Trip Budgets

The General Plan establishes a maximum FAR allowed for each of the General Plan land use designations and are based on anticipated traffic generated by a proposed use (e.g., high traffic, moderate traffic, low traffic or very low traffic uses). For properties designated as Public and Institutional, such as the subject development site, the maximum allowable FAR is 0.25 regardless of the anticipated traffic generation.

The City's Corporation Yard and Fire Station No. 4 spans between two parcels, 2300 Placentia Avenue and 2310 Placentia Avenue. For the purpose of calculating FAR, both parcels are considered a single development site. The existing FAR for the development site is 0.143 which is below the maximum allowed. The proposed project would increase the total building square footage of the development site by 1,446 square feet since the classroom building would be larger in size and the new training tower would be slightly larger than the existing (approximately 600 square feet more). With the proposed project, the FAR would increase to 0.148 which is still below the maximum FAR allowed for this zone and land use designation. The proposed FAR calculation between both sites are as shown in Table 2 below.

Table 2: Proposed Floor Area Ratio

Building Use	Existing Square Footage	Proposed Square Footage
2300 Placentia Ave		
Fire Station	6,025 SF	6,025 SF
Training Tower	1,298 SF	1,480 SF
Training Classroom	1,024 SF	2,288 SF
Warehouse & Shop	17,430 SF	17,430 SF
Storage	1,385 SF	1,385 SF
Total:	27,162 SF	28,608 SF
2310 Placentia Ave		
Building A	4,955 SF	No change
Building B	7,249 SF	No change
Storage	615 SF	No change
Total:	12,819 SF	No change
Floor Area Ratio:	0.143 (39,981 SF)	0.148 (41,427 SF)

The proposed project complies with required master plan approved FAR and setbacks and therefore the Planning Division finds that the project is compatible with the required finding.

Parking

Parking requirements for residential and non-residential land uses are contained in CMMC Sections 13-85 and 13-89. However, for land uses in the Institutional and Recreational zone there is not an established parking requirement in the CMMC. Instead,

parking requirements for uses in the I & R zones would be established through an approved master plan for the site.

Pursuant to the amended master plan under ZE-84-11A, it was determined by staff that the industrial zone parking standard (three spaces per 1,000 gross square feet for the first 25,000 square feet of building area, then two spaces per 1,000 gross square feet for the next 25,000 square feet and beyond) would be appropriate for this type of development given that it operates in a similar manner as typical industrial uses with little to no public customer traffic. Based on this, the parking requirement with the proposed project would increase to 106 spaces. The subject properties contain a total of 303 existing parking spaces provided in the surface lots which is approximately 200 more spaces than required. Therefore, staff does not anticipate parking related impacts since the property has more than adequate parking spaces to accommodate the existing uses and the training center. The proposed project complies with parking standards established by the previously amended master plan and therefore the Planning Division finds that the project is compatible with the required finding.

Surrounding Properties

The development site is adjacent to residentially zoned properties (R2-MD) to the south separated by an existing 12-foot wide public alley. In addition, there are single-family residentially zoned properties (R1) located across Placentia Avenue to the west. The project site is also surrounded by other I & R zoned uses such as the existing City owned golf course to the north and east, and Estancia High School to the west across Placentia Avenue.

Although the proposed request would involve exterior improvements to the existing training center buildings, staff does not anticipate the new training tower would create any new impacts to the surrounding residential neighborhoods as the tower would be constructed in the same vicinity as the existing tower. As shown in Table 2 above, the proposed tower would be similar in size and height as the existing. The proposed tower would also be set back approximately 108 feet from the southern property line that borders the existing public alley adjacent to the R2-MD zoned properties. The training center would be used during the City's normal business hours of operations which is similar to typical office/industrial uses. Staff also does not anticipate the classroom building addition to cause any impacts to the residences in that the training center is already being used to train both city and outside city firefighter personnel, and the addition is anticipated to result in only a minor increase in training activities and personnel.

Review Criteria

All planning applications are reviewed pursuant to CMMC Section 13-29 (e) to ensure the proposal is compatible with the surrounding area, and in compliance with applicable zoning standards and General Plan policies. Discussion regarding compliance with applicable development standards of the City of Costa Mesa Zoning Code and General Plan policies are further discussed below:

(1) *Compatible and harmonious relationship between the proposed building and site development, and use(s), and the building and site developments, and uses that exist or have been approved for the general neighborhood.*

The proposed development is compatible and harmonious with the surrounding development and uses. The project site is surrounded by institutional and recreational uses with an existing golf course to the east and a high school to the west. To the south is a mixture of single-family and multiple-family residential developments which is separated from the development site by an existing 12-foot wide alley easement. The project is consistent with the surrounding development pattern and conforms to all applicable development standards.

(2) *Safety and compatibility of the design of buildings, parking area, landscaping, luminaries and other site features which may include functional aspects of the site development such as automobile and pedestrian circulation.*

Safety and compatibility of the design of buildings, parking area, landscaping, luminaries and other site features have been considered for the proposed project. Pedestrian circulation would be maintained as existing since the project does not propose changes to the existing sidewalk. The parking area, driveway, and open space area conforms to the zoning code requirements as well as the approved master plan for the development site.

(3) *Compliance with any performance standards as prescribed in the Zoning Code.*

The project, as proposed and conditioned, would comply with all applicable development standards and requirements prescribed in the Zoning Code for uses in the I & R zones including parking, setbacks, and FAR. The proposed project has been analyzed for compliance with said standards and it has been determined that the project would continue to meet those standards and requirements.

(4) *Consistency with the general plan and any applicable specific plan.*

The proposed project is consistent with the General Plan and is not located within a Specific Plan area. The project is consistent with the Public and Institutional General Plan land use designation of the property, which allows for public facilities such as a fire station. The following analysis further evaluates the proposed project's consistency with specific policies and objectives of the 2015-2035 General Plan.

- **Policy S-2.10** – *Maintain staff and facilities that will continue to support a coordinated and effective response to emergencies and natural disasters throughout the City.*

Consistency: The project is to demolish and construct a new training tower facility and an addition to an existing training classroom building. The training

tower is proposed to be replaced due to the aging condition of the existing tower while the addition to the classroom building is to support improved training. The addition is also necessary for accessibility compliance required under the California Building Code. Therefore, the project is designed to train staff for response to emergencies and natural disasters throughout the City.

(5) The planning application is for a project-specific case and is not to be construed to be setting a precedent for future development.

The application is specifically for the City Corporation Yard development site which includes Fire Station No. 4 and the fire training center. The proposed project would not establish a precedent for future development since any future new uses would be required to be evaluated for compliance with the Zoning Code, General Plan, and any other applicable land use document.

ENVIRONMENTAL DETERMINATION

The project has been reviewed for compliance with the California Environmental Quality Act (CEQA), the CEQA Guidelines, and the City environmental procedures, and has been found to be exempt under Section 15301, Class 1 (Existing Facilities) and Section 15302, Class 2 (Replacement or Reconstruction) of the CEQA Guidelines. An exemption pursuant to Section 15301 applies to additions to existing structures provided that the addition would not result in an increase of more than 10,000 square feet; the project involves a minor building addition of approximately 1,200 square feet to an existing training classroom building and a 182-square-foot increase in size of the existing training tower. An exemption pursuant to Section 15302 applies to the replacement or reconstruction of existing structures and facilities where the new structure would be located on the same site as the structure replaced and would have substantially the same purpose and capacity as the structure replaced; the project involves the demolition of the existing training tower facility and replaced with another tower of similar size and height in the same vicinity with a minor addition to the training room.

Furthermore, none of the exceptions that bar the application of a categorical exemption pursuant to CEQA Guidelines Section 15300.2 apply. The Project would not result in a cumulative impact; would not have a significant effect on the environment due to unusual circumstances; would not result in damage to scenic resources; is not located on a hazardous site or location, and would not impact any historic resources.

CONDITIONS OF APPROVAL

1. The use shall be limited to the type of operation described in the staff report. Any change in the operational characteristics shall be subject to Planning Division review and may require an amendment to the minor/conditional use permit, subject to either Zoning Administrator or Planning Commission approval, depending on the nature of the proposed change. The applicant is reminded that Code allows the Planning

- Commission to modify or revoke any planning application based on findings related to public nuisance and/or noncompliance with conditions of approval [Title 13, Section 13-29(o)].
2. The conditions of approval, code requirements, and special district requirements for PVDR-23-0002 shall be blueprinted on the face of the site plan as part of the plan check submittal package.
 3. The applicant shall contact the Planning Division to arrange Planning inspection of the site prior to the Building Division's final inspections. This inspection is to confirm that the conditions of approval and Code requirements have been satisfied.
 4. No modification(s) of the approved building elevations including, but not limited to, changes that increase the building height, additional second story windows, removal of building articulation, or a change of the finish material(s), shall be made during construction without prior Planning Division written approval. Failure to obtain prior Planning Division approval of the modification could result in the requirement of the applicant to (re)process the modification through a discretionary review process such as a design review or a variance, or in the requirement to modify the construction to reflect the approved plans.
 5. It is recommended that the project incorporate green building design and construction techniques where feasible. The applicant may contact the Building Safety Division at (714) 754-5273 for additional information.

CODE REQUIREMENTS

The following list of federal, state, and local laws applicable to the project has been compiled by staff for the applicant's reference. Any reference to "City" pertains to the City of Costa Mesa.

- Plng.
1. Approval of the development review application is valid for two years from the effective date of this approval and will expire at the end of that period unless a building permit has been issued and construction has commenced, and a valid building permit has been maintained by making satisfactory progress as determined by the Building Official. A time extension can be requested no less than 30 days or more than 60 days before the expiration date of the permit and submitted with the appropriate fee for review to the Planning Division. The Director of Development Services may extend the time for an approved permit or approval to be exercised up to 180-days subject to specific findings listed in Title 13, Section 13-29 (k) (6). Only one request for an extension of 180 days may be approved by the Director. Any subsequent extension requests shall be considered by the original approval authority.
 2. Development shall comply with all requirements of Article 7, Chapter 5, Title 13, of the Costa Mesa Municipal Code relating to development standards for institutional and recreational projects.

3. Trash facilities shall be screened from view, and designed and located appropriately to minimize potential noise and odor impacts to neighbors.
4. Any mechanical equipment such as air-conditioning equipment and duct work shall be screened from view in a manner approved by the Planning Division.
5. Transformers, backflow preventers, and any other approved above-ground utility improvements shall be located outside of the required street setback area and shall be screened from view, under direction of Planning staff. Any deviation from this requirement shall be subject to review and approval of the Development Services Director.
- Bldg. 6. Comply with the requirements of the adopted, 2022 California Residential Code, the 2022 California Building Code, 2022 California Electrical Code, 2022 California Mechanical Code, 2022 California Plumbing Code, 2022 California Green Building Standards Code and 2022 California Energy Code (or the applicable adopted, California Residential Code, California Building Code, California Electrical Code, California Mechanical Code, California Plumbing Code, California Green Building Standards and California Energy Code at the time of plan submittal or permit issuance) and California Code of Regulations also known as the California Building Standards Code, as amended by the City of Costa Mesa.
7. All noise-generating construction activities shall be limited to 7 AM to 7 PM, Monday through Friday and 9 AM to 6 PM, Saturday. Noise-generating construction activities shall be prohibited on Sunday and the following Federal holidays: New Year's Day, Memorial Day, Independence Day, Labor Day, Thanksgiving Day and Christmas Day.
- Fire 8. Comply with the requirements of the California Fire Code and referenced standards as amended by the City of Costa Mesa.
- Bus. 9. All contractors and subcontractors must have valid business licenses to do business in the City of Costa Mesa. Final inspections, final occupancy and utility releases will not be granted until all such licenses have been obtained.
Lic.

SPECIAL DISTRICT REQUIREMENTS

The requirements of the following special districts are hereby forwarded to the applicant:

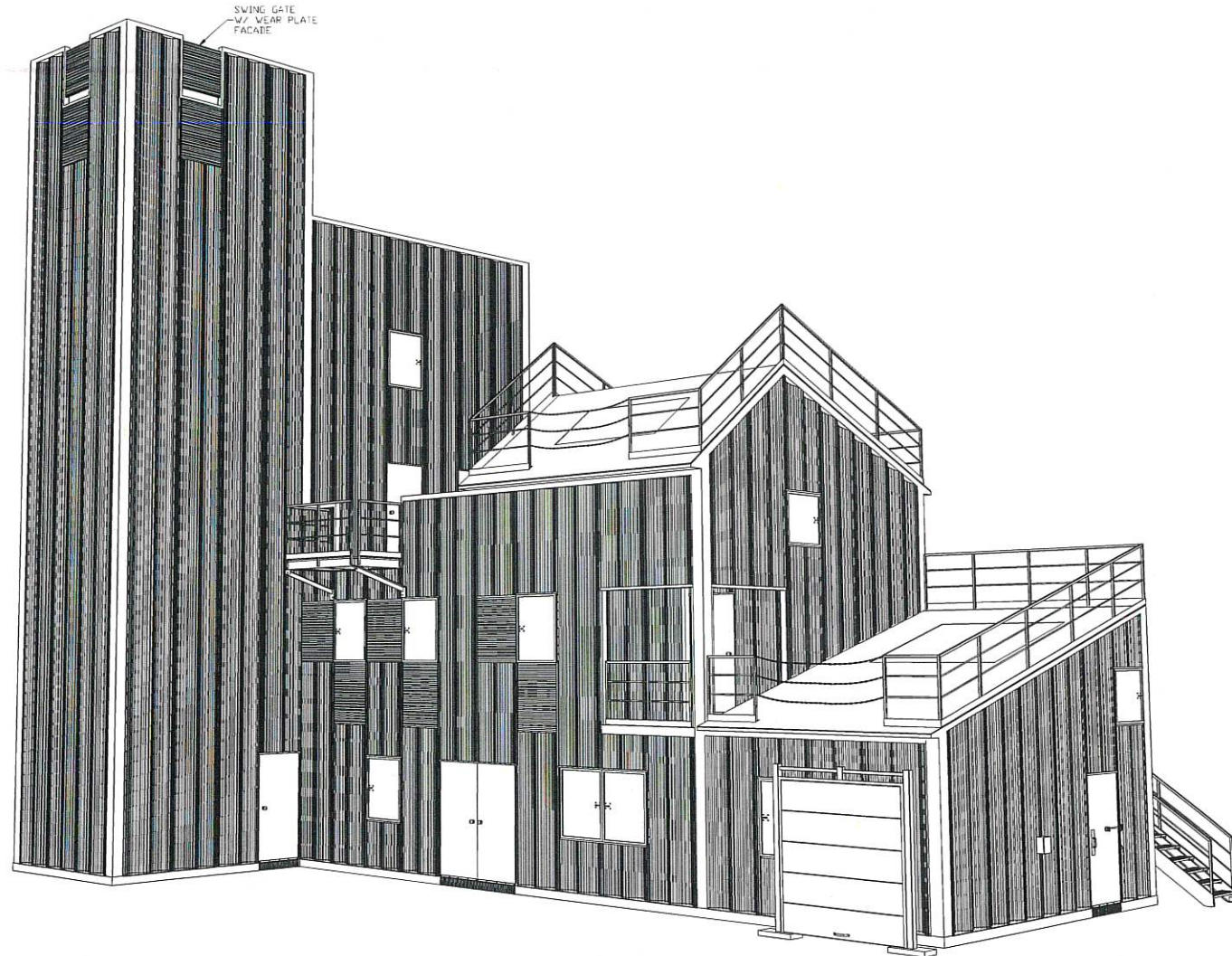
- AQMD
1. Applicant shall contact the Air Quality Management District (800) 288-7664 for potential additional conditions of development or for additional permits required by AQMD.
 2. Prior to the Building Division (AQMD) issuing a demolition permit, contact South Coast Air Quality Management District located at:
21865 Copley Dr.
Diamond Bar, CA 91765-4178
Tel: 909-396-2000

OR

Visit their web site:

The Building Division will not issue a demolition permit until an identification number is provided by AQMD.

- Sani. 4. It is recommended that the applicant contact the Costa Mesa Sanitary District at (949) 645-8400 for current district requirements.
- Water 5. Customer shall contact the Mesa Water District – Engineering Desk and submit an application and plans for project review. Customer must obtain a letter of approval and a letter of project completion from Mesa Water District.



**CUSTOM HIGH RISE - FIVE STORY
CITY OF COSTA MESA FIRE DEPARTMENT**

Development Review No. PDVR-23-002
Approval in Concept
 SUBJECT TO CONDITIONS
 CITY OF COSTA MESA
 PLANNING DEPT.
 BY JR DATE 11/1/23

GENERAL NOTES

- 1) THIS INFORMATION CONFORMS TO ALL APPLICABLE STANDARDS FOR FIRE TRAINING SIMULATORS AT THE TIME OF PREPARATION.
- 2) THE ERECTION CONTRACTOR ASSUMES RESPONSIBILITY FOR ALL MATERIALS, AT THE TIME OF DELIVERY. THIS CONTRACTOR IS ALSO RESPONSIBLE TO ACCOUNT FOR ALL MATERIAL, AT TIME OF DELIVERY. IF THERE IS A DISCREPANCY IN THE MATERIAL DELIVERED, CONTACT WHP TRAININGTOWERS IMMEDIATELY IN ORDER TO MAKE PROPER ARRANGEMENTS TO PROVIDE THE NECESSARY MATERIAL.
- 3) THIS SET OF DRAWINGS IS INTENDED AS A CONCEPTUAL SET, PROVIDED FOR SECONDARY REFERENCE ONLY. REFER TO BEHLEN INDUSTRIES CONSTRUCTION DRAWINGS AND THE MISCELLANEOUS METALS DRAWINGS AS PRIMARY REFERENCE FOR EXACT MATERIAL DIMENSIONS, ERECTION, AND PROCEDURES.
- 4) THESE DRAWINGS, SPECIFICATIONS, IDEAS, DESIGNS, AND ARRANGEMENTS ARE AND SHALL REMAIN THE PROPERTY OF WHP TRAININGTOWERS AND NO PART THERE OF SHALL BE COPIED, REPRODUCED, OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED WITHOUT WRITTEN CONSENT FROM WHP TRAININGTOWERS.
- 5) WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. INSTALLING CONTRACTORS OR OWNERS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND WHP TRAININGTOWERS SHALL BE NOTIFIED IMMEDIATELY OF ANY VARIATIONS OR DISCREPANCIES FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. ANY FIELD CHANGES OR MODIFICATIONS TO EITHER THE STRUCTURE OR ADDITIVE COMPONENTS MUST BE REPORTED AND APPROVED BY WHP TRAININGTOWERS PRIOR TO PERFORMING ANY WORK.
- 6) MISCELLANEOUS FIELD CUTTING AND FITTING OF BOTH STRUCTURAL AS WELL AS LIGHT GAUGE FRAMING COMPONENTS WILL BE NECESSARY TO BE ABLE TO PERFORM THE INSTALLATION PROCEDURES REQUIRED AND WILL BE CONSIDERED AS A STANDARD CONDITION AND REQUIREMENT FOR ERECTION OF THIS LIVE FIRE TRAINING SIMULATOR AND ITS COMPONENTS.
- 7) DOORS SHALL BE PAINTED 11 GA STEEL REINFORCED WITH STEEL CHANNEL. EACH EXTERIOR NON-BURN ROOM DOOR SHALL BE PROVIDED WITH (1) HEAVY-DUTY STAINLESS STEEL CONTINUOUS HINGE AND (1) COMMERCIAL GRADE KEYS LOCKSET. EACH INTERIOR NON-BURN ROOM DOOR SHALL BE PROVIDED WITH (1) HEAVY-DUTY STAINLESS STEEL CONTINUOUS HINGE AND (1) COMMERCIAL GRADE PASSAGE SET. EACH BURN ROOM DOOR SHALL BE PROVIDED WITH (1) HEAVY-DUTY STAINLESS STEEL CONTINUOUS HINGE, (1) SPRING-TYPE CLOSING DEVICE, (1) DOOR PULL, (1) ROLLER CATCH, AND (1) HASP FOR USE IN SECURING THE BUILDING WHEN NOT IN USE. ANY DOUBLE DOORS SHALL BE PROVIDED WITH (1) METAL ASTRIGAL, (1) INACTIVE LEAF, AND (1) CANE BOLT. DOOR HINGES SHALL BE MOUNTED TO STUDS A MINIMUM OF 4" X 12 GA. ALL FRAMED DOOR OPENINGS THAT DO NOT SIT ON THE CONCRETE STEM WALL SHALL EXTEND 6" FROM THE BOTTOM OF DOOR SLAB TO PROVIDE A 6" OPENING UNDER THE DOOR. ALL DOORS SHALL HAVE (1) HIGH-TEMP DOOR SWEEP INSTALLED ON THE OUTSWING SIDE OF THE DOOR TO COVER THE 6" OPENING. THE DOOR SWEEP SHALL DRAG AGAINST THE FINISHED FLOOR LEVEL.
- 8) WINDOW CLOSURES SHALL BE PAINTED 12 GA HOT-DIPPED GALVANIZED SINGLE LEAVES WITH A 1" DEEP PAN FRAME DESIGN. EACH NON-BURN ROOM CLOSURE ACCESSIBLE FROM THE GROUND SHALL BE PROVIDED WITH (1) STAINLESS STEEL CONTINUOUS HINGE, (1) SLAM LATCH, (1) KEYS LEVER ON THE EXTERIOR SIDE OF THE CLOSURE, (1) PASSAGE LEVER ON THE INTERIOR SIDE OF THE CLOSURE, AND (1) HOLD-OPEN DEVICE. EACH NON-BURN ROOM CLOSURE NOT ACCESSIBLE FROM THE GROUND SHALL BE PROVIDED WITH (1) STAINLESS STEEL CONTINUOUS HINGE, (1) SLAM LATCH, (1) PASSAGE LEVER ON THE EXTERIOR SIDE OF THE CLOSURE, (1) PASSAGE LEVER ON THE INTERIOR SIDE OF THE CLOSURE, AND (1) HOLD-OPEN DEVICE. EACH BURN ROOM CLOSURE SHALL BE PROVIDED WITH ONE OF THE ABOVE HARDWARE SETS AND SHALL INCLUDE (3) "PADGENTE" MOUNTING CHANNELS WELDED ON THE INTERIOR SIDE OF THE CLOSURE. ALL CLOSURES SHALL BE INSTALLED WITH EQUAL SPACING BETWEEN THE FRAMED OPENING AND THE CLOSURE PAN. ALL SILL ELEVATIONS SHALL BE 42" ABOVE FINISHED FLOOR ELEVATION.
- 9) FLOOR DECKS ABOVE GRADE SHALL BE CONCRETE OVER GALVANIZED 1.5" "C" DECK FASTENED DIRECTLY TO LEVEL FLOOR JOISTS PER THE BEHLEN INDUSTRIES CONSTRUCTION DRAWINGS. ALL FLOOR DECKS SHALL REQUIRE FIELD CUTTING AND FITTING AS REQUIRED TO ACCOMMODATE THE BUILDING CONFIGURATION. CONCRETE FILL SHALL BE PROVIDED OVER THE "C" DECK WITH MINIMUM 4" DEPTH AT THE EXTERIOR WALLS. CONCRETE SHALL BE A SMALL AGGREGATE CONCRETE WITH FIBER MESH REINFORCING. CONCRETE SHALL BE PITCHED TO EXTERIOR WALLS AND/OR DRAINS. FINISH SHALL BE A SLIP RESISTANT FINISH (CONCRETE FILL BY OTHERS).
- 10) ALL CORRUGATED WALL PANELS ARE TO BE PREFINISHED IN ONE OF 9 STANDARD COLORS. COMPOUND CORRUGATED WALL PANELS ARE 3'-5" WIDE AND 4" DEEP. COMPOUND CORRUGATED ROOF PANELS ARE TO BE GALVANIZED 3'-5" WIDE AND 7/8" DEEP. ALL WALL AND ROOF PANELS ARE TO BE BOLTED AT 6" O.C. INCREMENTS UTILIZING 3/8" DIAMETER BOLT FASTENERS PROVIDED IN A COLOR TO MATCH THE WALL OR ROOF PANEL COLOR.
- 11) ALL INTERIOR WALL PARTITIONS SHALL BE CONSTRUCTED OF 4" X 18 GA GALVANIZED METAL STUDS AT 24" O.C. AND 4-1/8" X 18 GA GALVANIZED METAL TRACK. STUDS AT DOOR JAMB HINGES SHALL BE 4" X 12 GA. ALL SIDES OF INTERIOR PARTITIONS NOT RECEIVING BURN ROOM PANELS SHALL RECEIVE 18 GA GALVANIZED SHEETING FASTENED WITH 88 X 5/8" LOW PROFILE TEK SCREWS AT 12" O.C.

DESIGN LOADS

ROOF LOAD -- 100 PSF
 FLOOR LOAD -- 100 PSF
 ATTIC LOAD -- 100 PSF
 WIND LOAD -- -- MPH
 WIND EXPOSURE -- --

WINDOW SHUTTER HARDWARE PACKAGES							
MARK #	DESCRIPTION	ROUGH OPENING	SHUTTER LEAF	LOCKING HANDLE KIT	NON-LOCKING HANDLE KIT	HOLD OPEN	THERMAL LINING CHANNELS
W1	LOCKING WINDOW SHUTTER	38"x45"	1	1		1	
W2	LOCKING BURN ROOM SHUTTER	38"x49"	1	1		1	1
W3	LOCKING ATTIC SHUTTER	38"x37"	1	1		1	
W4	NON-LOCKING WINDOW SHUTTER	38"x49"	1		1	1	1
W5	NON-LOCKING BURN ROOM SHUTTER	38"x49"	1		1	1	1
W6	NON-LOCKING ATTIC SHUTTER	38"x37"	1		1	1	

DOOR HARDWARE PACKAGES												
MARK #	DESCRIPTION	ROUGH OPENING	DOOR LEAF	INACTIVE LEAF	DOOR SWEEP	DOOR KNOB PLATE	LOCKING KNOB SET	PASSING KNOB SET	BURN DOOR KIT	SLIDE LATCH	BARREL BOLT	CANE BOLT
D1	EXTERIOR SINGLE PLATE DOOR	36"x91"	1	1	1	1	1		1	1		
D2	EXTERIOR SINGLE BURN ROOM DOOR	36"x91"	1	1	1	1	1		1	1	1	1
D3	EXTERIOR DOUBLE PLATE DOOR	75"x91"	1	1	2	1	1		1	1	1	1
D4	EXTERIOR DOUBLE BURN ROOM DOOR	75"x91"	1	1	2	1	1		1	1	1	1
D5	INTERIOR SINGLE PLATE DOOR	36"x91"	1	1	1	1	1	1	1	1		
D6	INTERIOR SINGLE BURN ROOM DOOR	36"x91"	1	1	1	1	1	1	1	1		
D7	INTERIOR DOUBLE PLATE DOOR	75"x91"	1	1	2	1	1	1	1	1	1	1
D8	INTERIOR DOUBLE BURN ROOM DOOR	75"x91"	1	1	2	1	1	1	1	1	1	1

WHP
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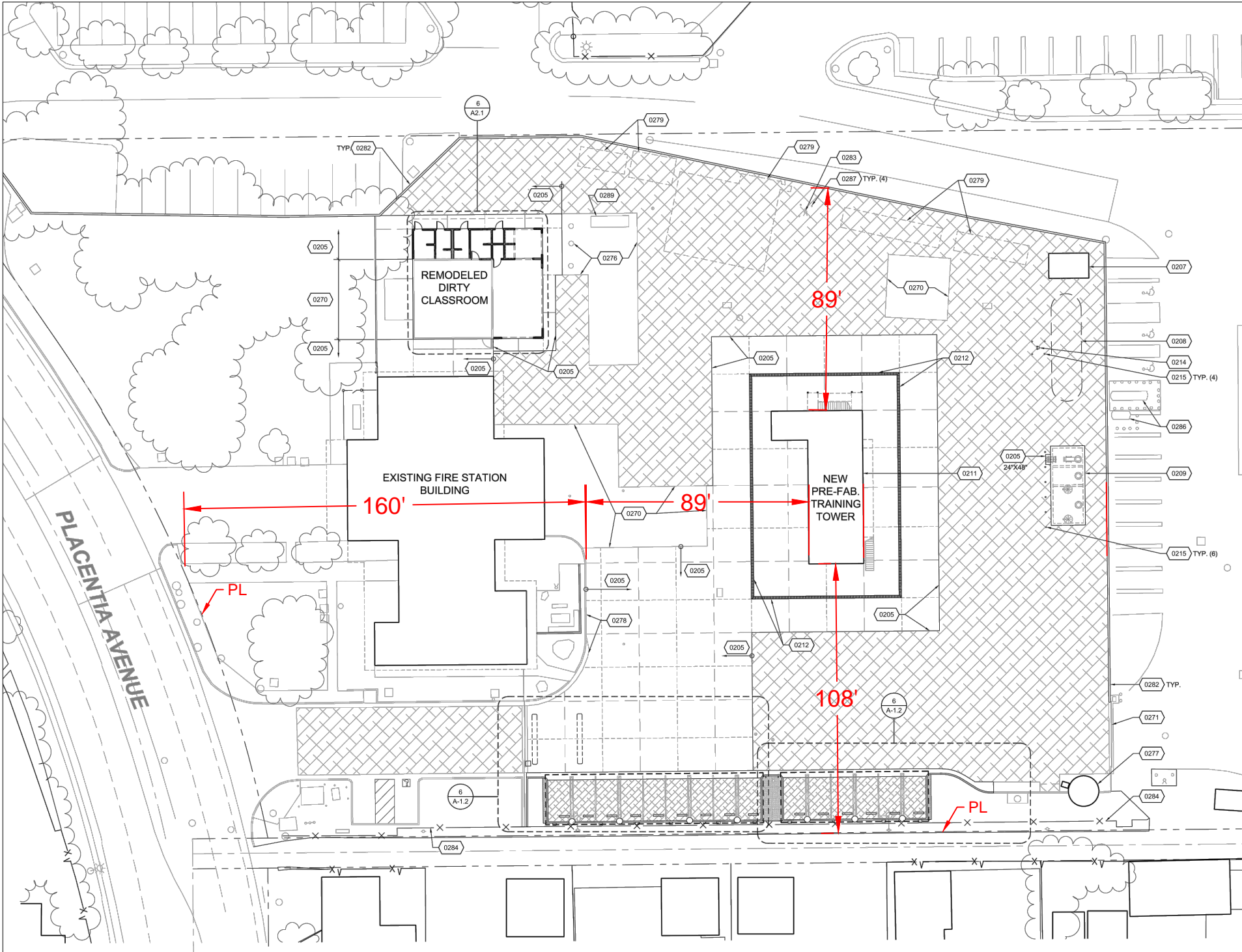
**CUSTOM HIGH RISE - FIVE STORY
FIRE TRAINING SIMULATOR**

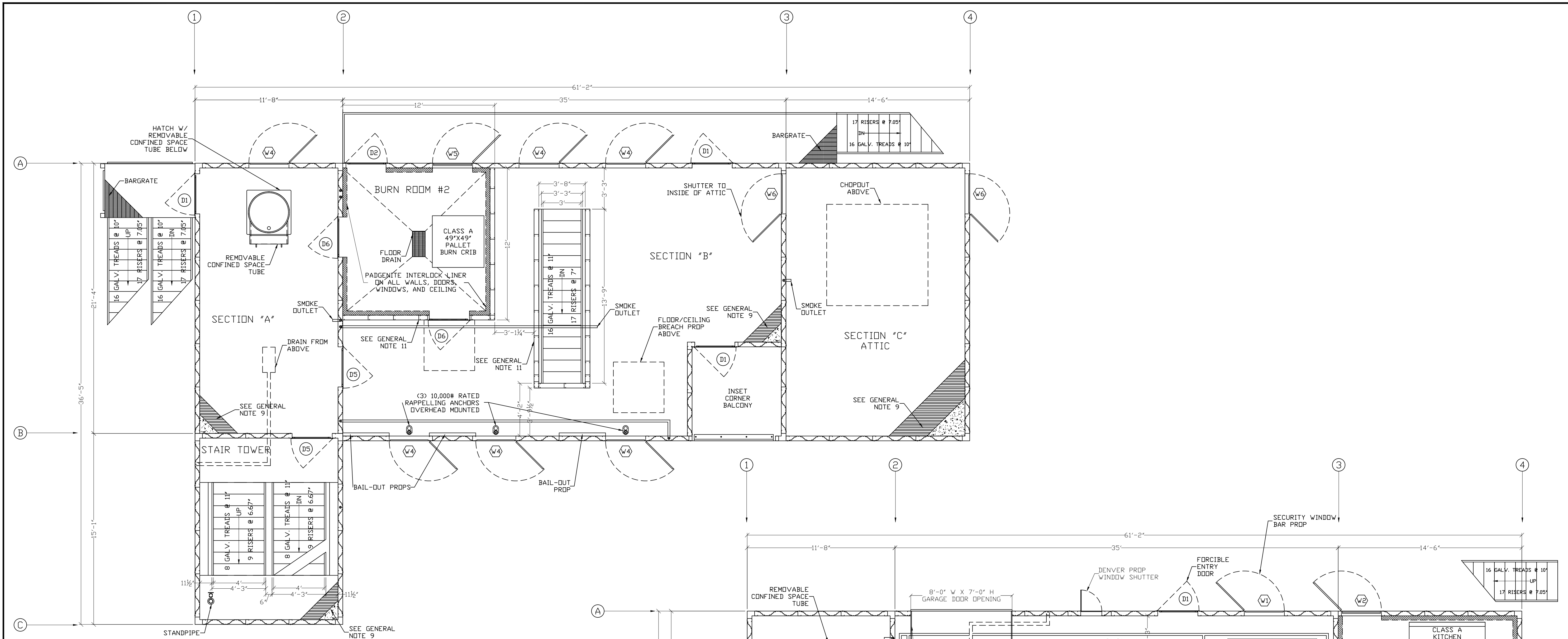
CITY OF COSTA MESA FIRE DEPARTMENT TRAINING SIMULATOR

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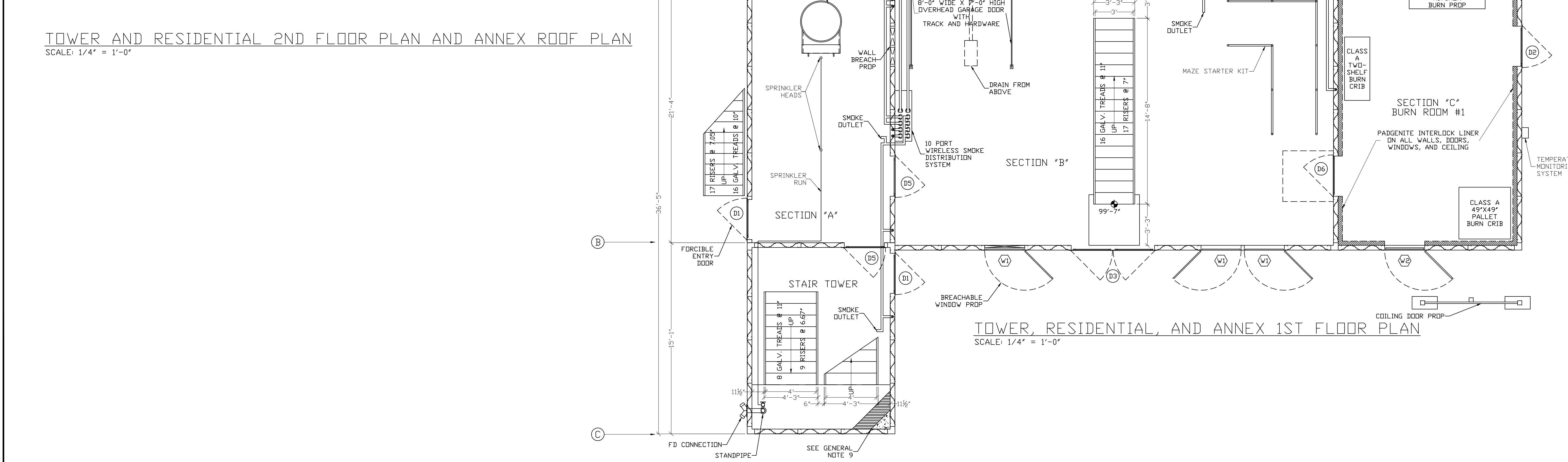
PROJECT NUMBER:	DC-W-000	REVISION DATES:
PRODUCT DESIGNER:	COM	1
DRAWN BY:	EPK	2
REVIEWED BY:	6-29-23	3
PRINT DATE:		4

COVER PAGE





TOWER AND RESIDENTIAL 2ND FLOOR PLAN AND ANNEX ROOF PLAN
SCALE: 1/4" = 1'-0"



TOWER, RESIDENTIAL, AND ANNEX 1ST FLOOR PLAN
SCALE: 1/4" = 1'-0"

**CUSTOM HIGH RISE - FIVE STORY
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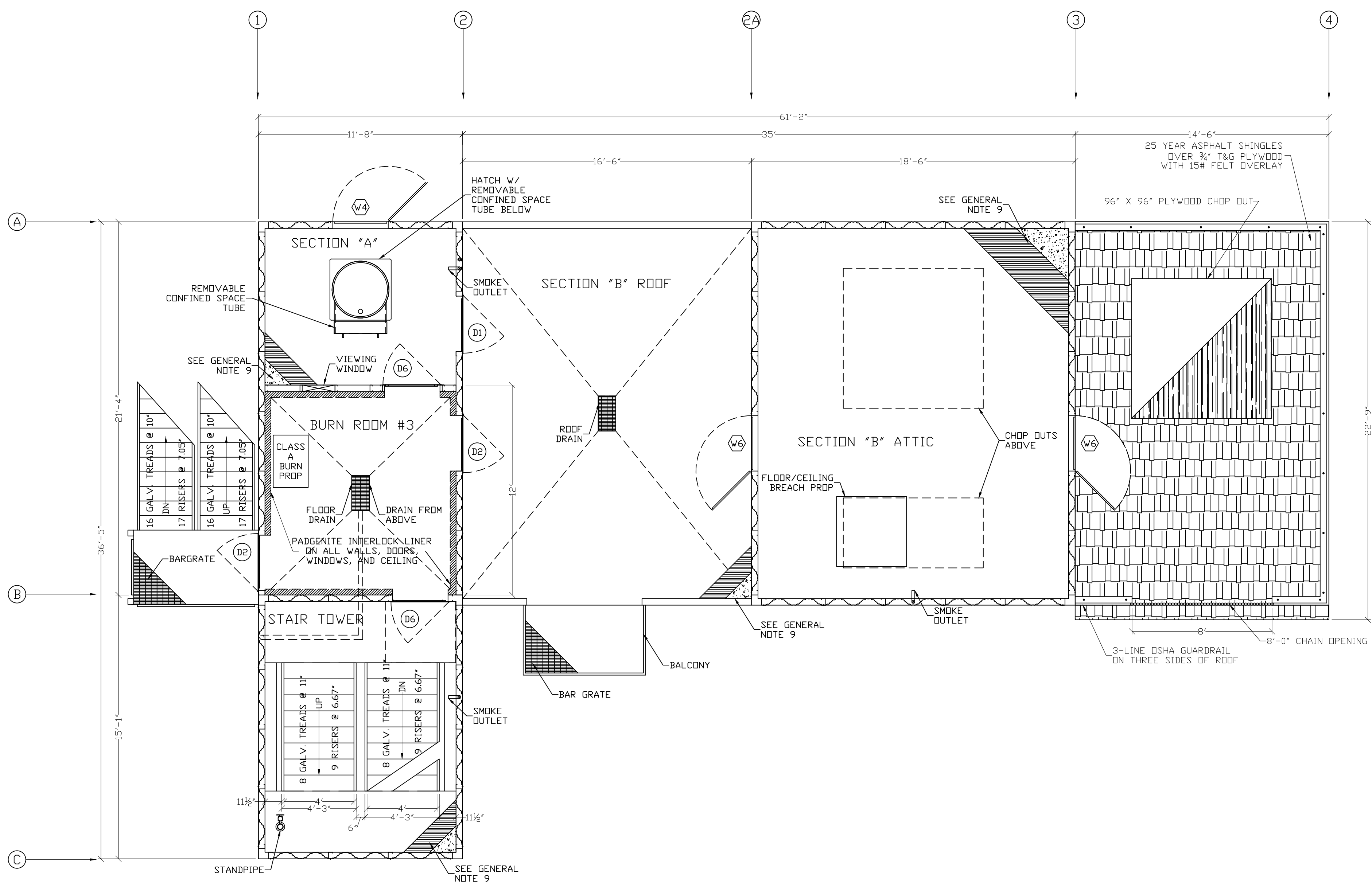
PROJECT NUMBER:	00-14-000	REVISION DATES:
PROJECT DIRECTOR:	JCM	1
DRAWN BY:	JKK	2
REVIEWED BY:	JKK	3
PRINT DATE:	6-29-23	4

**CUSTOM HIGH RISE - FIVE STORY
 FIRE TRAINING SIMULATOR**
 CITY OF COSTA MESA FIRE DEPARTMENT TRAINING SIMULATOR

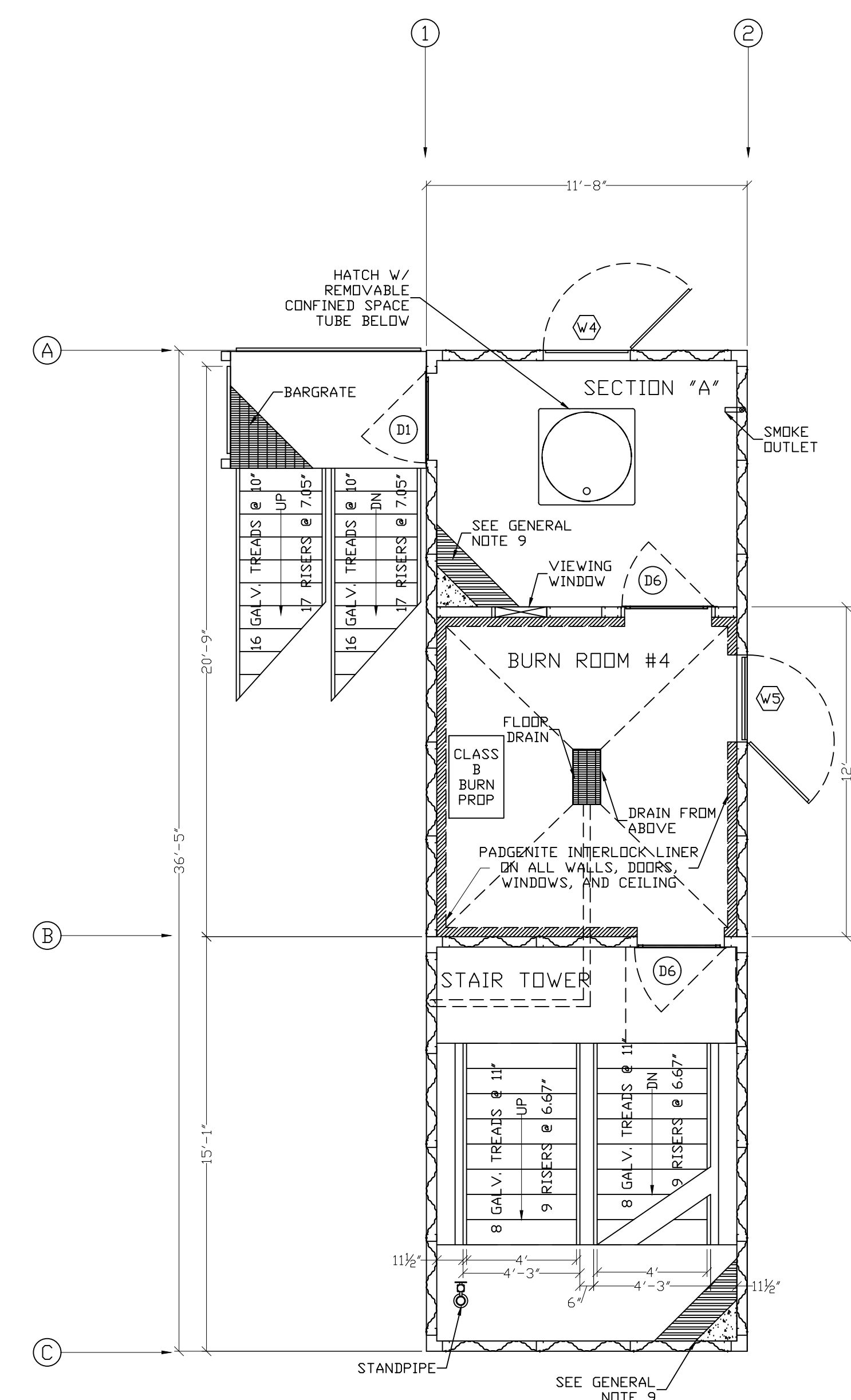
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PROJECT NUMBER:	00-W-000	REVISION DATES:
PROJECT DIRECTOR:	JCM	1
DRAWN BY:	JK	2
REVIEWED BY:	JK	3
PRINT DATE:	6-29-23	4

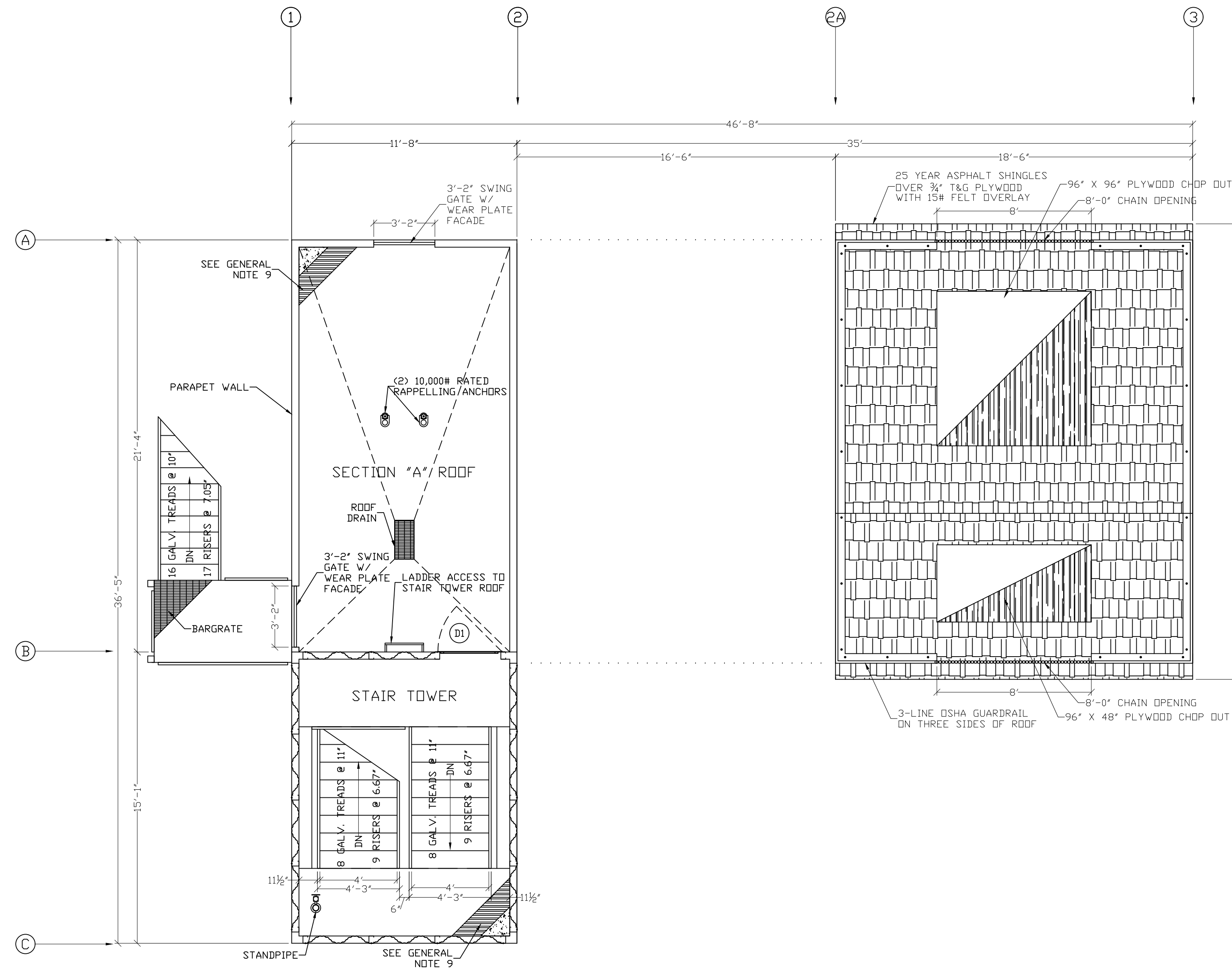
THIRD FLOOR AND
FOURTH FLOOR PLANS



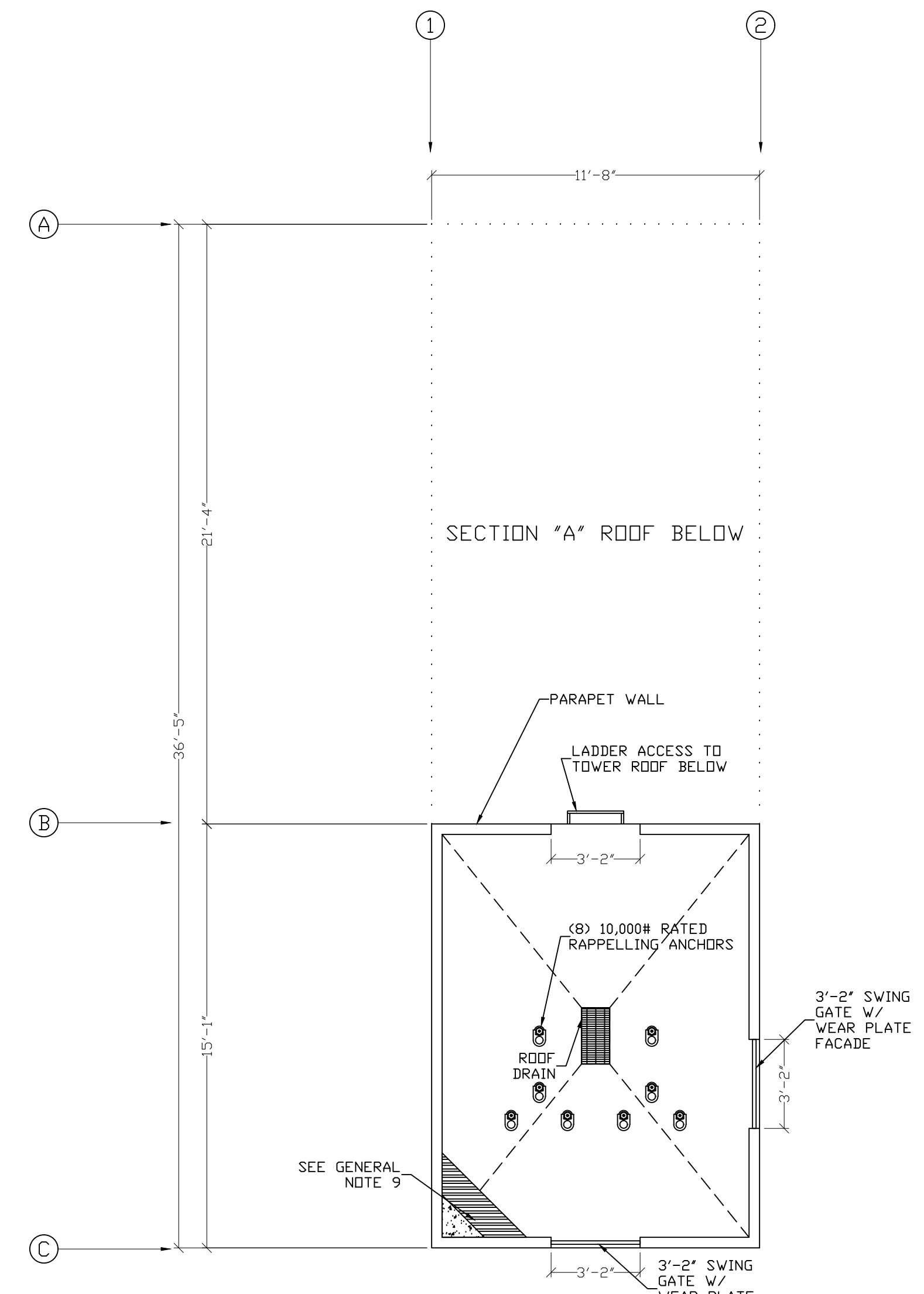
TOWER 3RD FLOOR PLAN AND RESIDENTIAL ATTIC PLAN
 SCALE: 1/4" = 1'-0"



TOWER 4TH FLOOR PLAN
 SCALE: 1/4" = 1'-0"



TOWER AND RESIDENTIAL ROOF PLAN
SCALE: 1/4" = 1'-0"



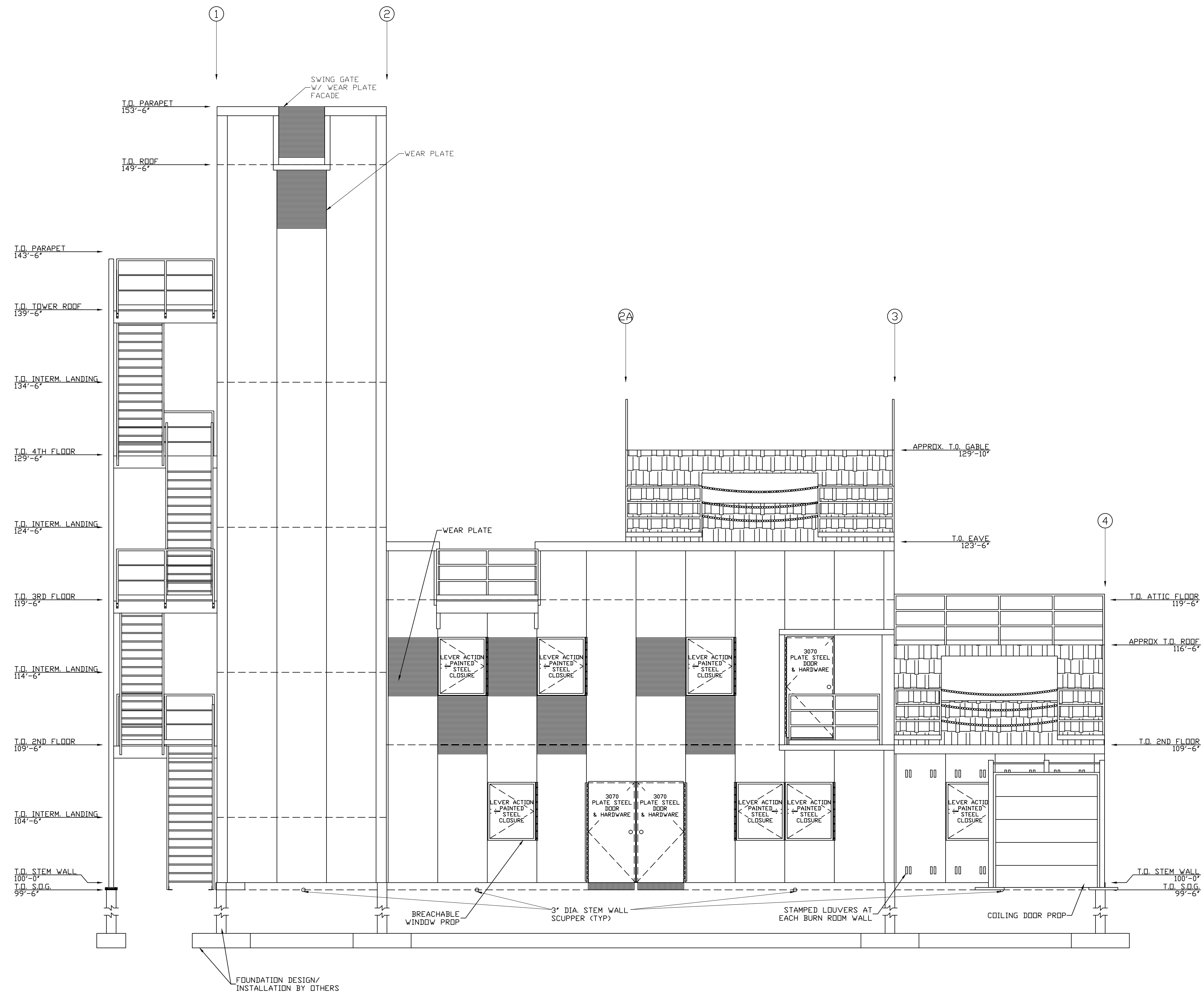
STAIR TOWER AND ELEVATOR SHAFT PLAN
SCALE: 1/4" = 1'-0"

**CUSTOM HIGH RISE - FIVE STORY
FIRE TRAINING SIMULATOR**
CITY OF COSTA MESA FIRE DEPARTMENT TRAINING SIMULATOR

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PROJECT NUMBER:	00-14-000	REVISION DATE:
PROJECT ERECTOR:	JCM	2
DRAWN BY:	JKY	3
REVIEWED BY:		
PRINT DATE:	6-29-23	4

ROOF PLANS



FRONT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



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CUSTOM HIGH RISE - FIVE STORY
FIRE TRAINING SIMULATOR

CITY OF COSTA MESA FIRE DEPARTMENT TRAINING SIMULATOR

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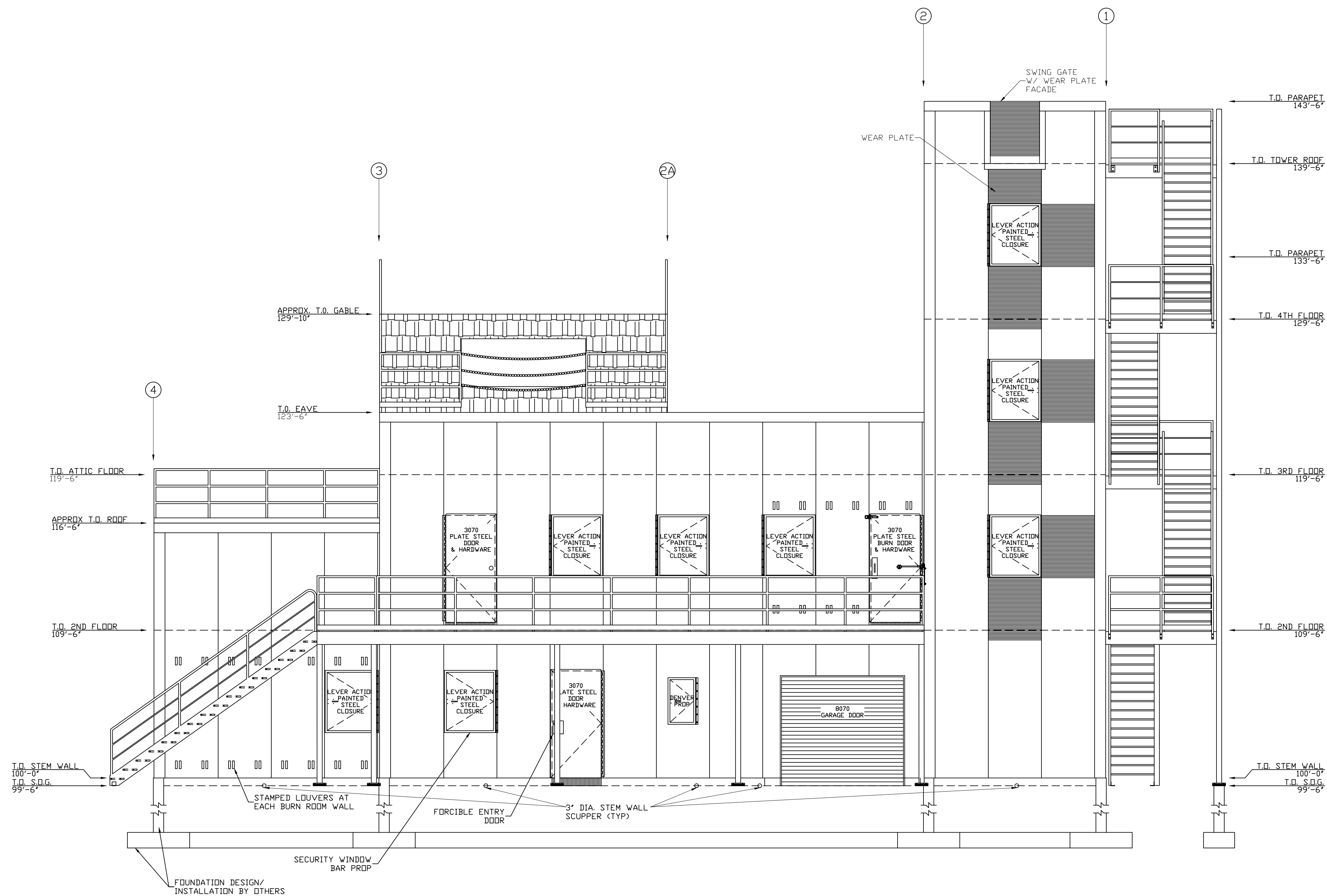
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PROJECT NUMBER:	00-14-000	REVISION DATE:
PROJECT ERECTOR:	JCM	1
DRAWN BY:	JKK	2
REVIEWED BY:		3
FRONT DATE:	6-29-23	4

FRONT SIDE
ELEVATIONS



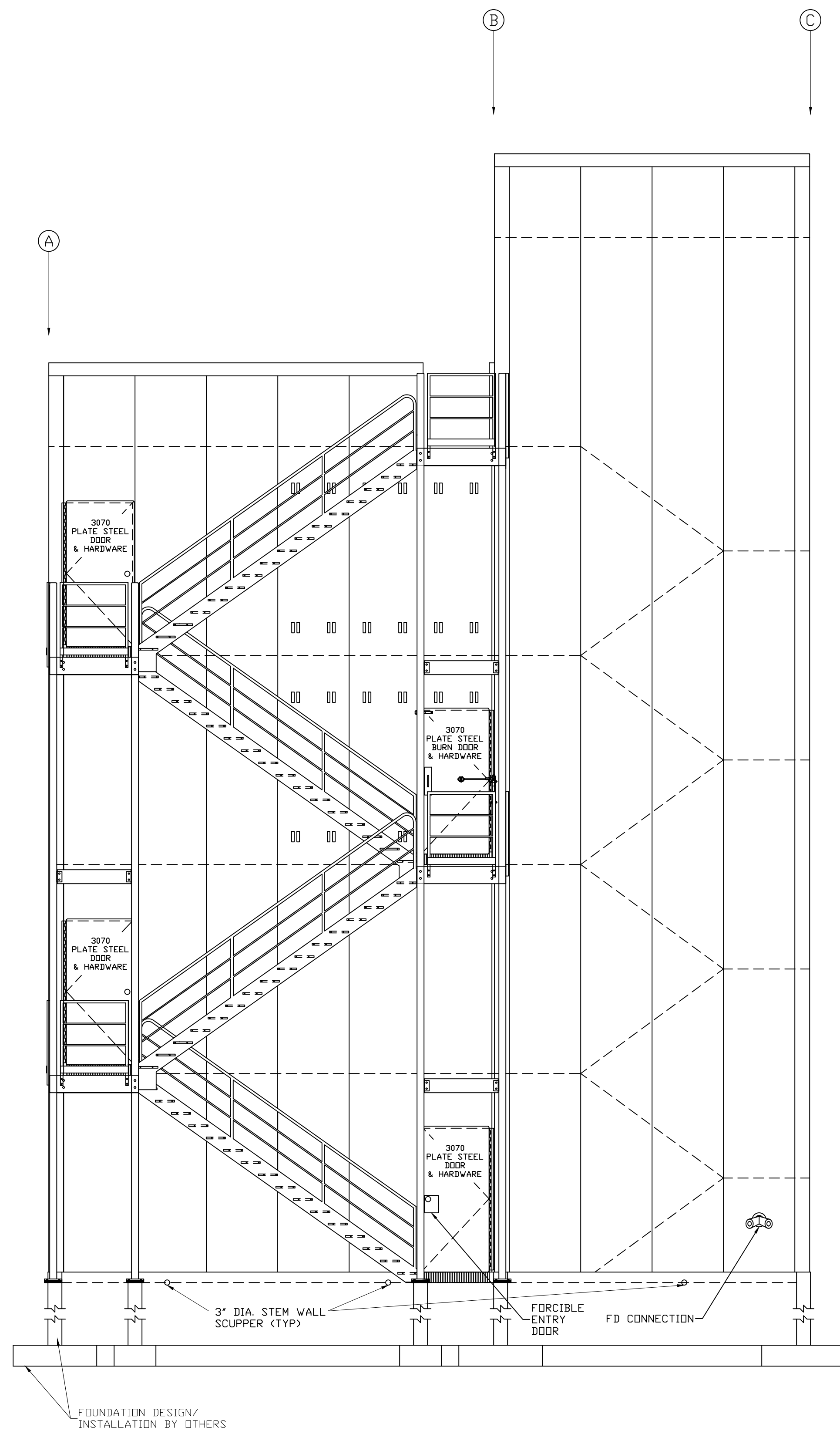
REAR SIDE ELEVATION
SCALE: 1/4" = 1'-0"

**CUSTOM HIGH RISE - FIVE STORY
FIRE TRAINING SIMULATOR**
CITY OF COSTA MESA FIRE DEPARTMENT TRAINING SIMULATOR

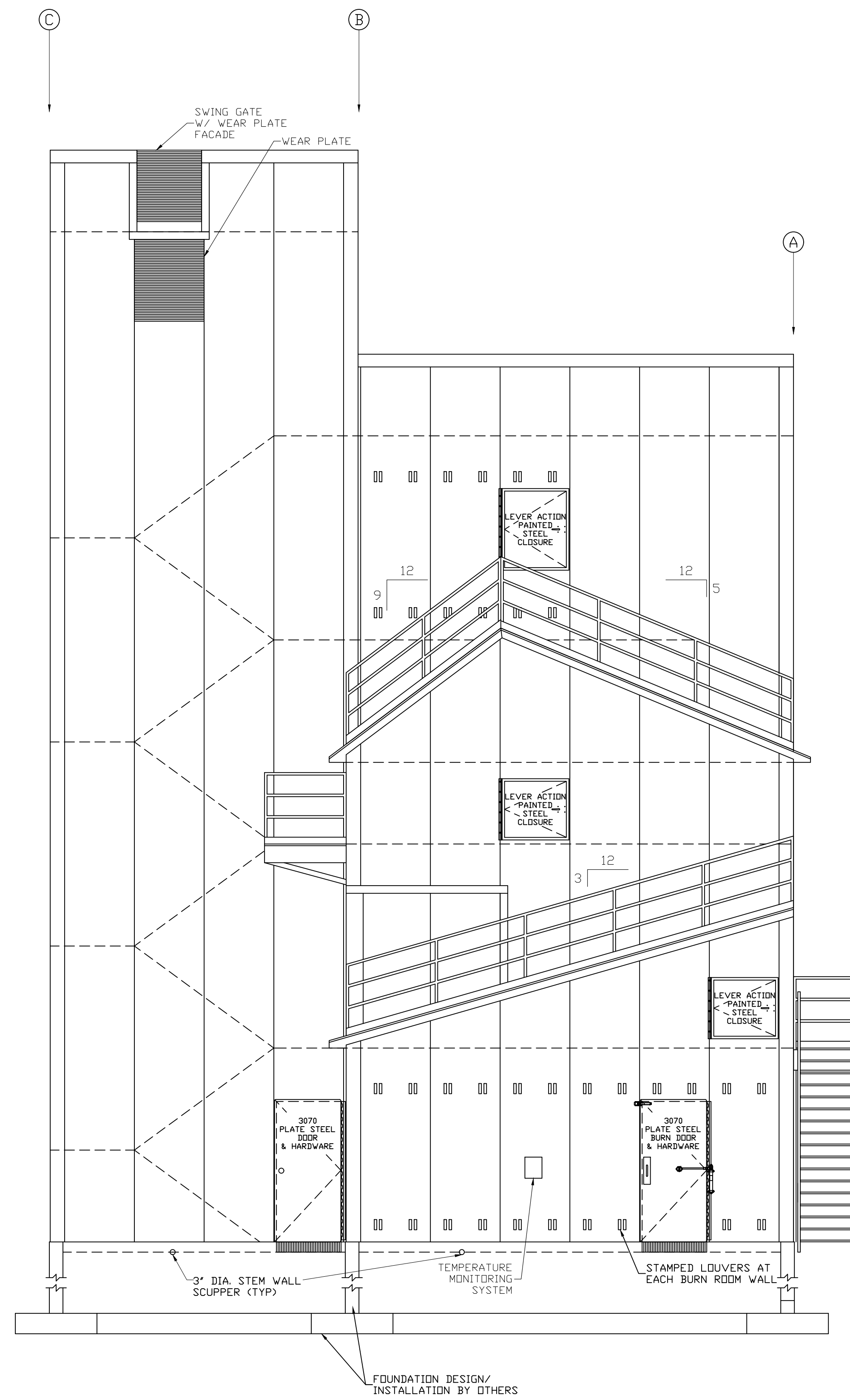
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PROJECT NUMBER:	00-14-000	REVISION:	DATE:
PROJECT DIRECTOR:	JCM	1	
DRAWN BY:	JKY	2	
REVIEWED BY:		3	
PERMIT DATE:		4	6-29-23

REAR SIDE ELEVATIONS



LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

**CUSTOM HIGH RISE - FIVE STORY
FIRE TRAINING SIMULATOR**
CITY OF COSTA MESA FIRE DEPARTMENT TRAINING SIMULATOR

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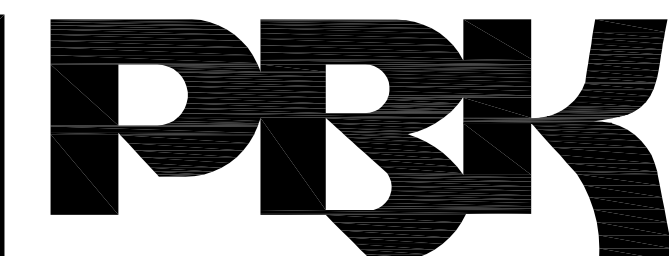
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PROJECT NUMBER:	00-14-000	REVISION:	DATE:
PROJECT DIRECTOR:	JCM	1	
DRAWN BY:	JK	2	
CHECKED BY:	JK	3	
PERMIT DATE:			6-29-23
			4

LEFT SIDE AND RIGHT SIDE ELEVATIONS



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ROOM #	ROOM NAME
E101	PARAMEDIC APPARATUS STORAGE

ROOM LEGEND 1

- FLOOR PLAN LEGEND**
- ===== PROTECT IN PLACE (E) WALL
 - (E) WALL, CONCRETE CURB, FINISHES, SHEATHING, INSULATION AND EVERYTHING INSIDE TO BE REMOVED. RE-ROUTE ELECTRICAL OR PLUMBING AS REQUIRED TO MAINTAIN ORIGINAL FUNCTION
 - ||||| (E) DOOR / WINDOW / FRAME TO BE REMOVED

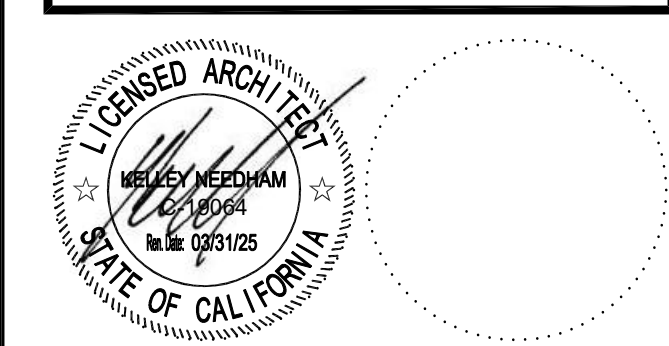
- REFLECTED CEILING PLAN LEGEND**
- PROTECT IN PLACE (E) LIGHT FIXTURES
 - PROTECT IN PLACE (E) PLASTER FINISH

- ROOF PLAN LEGEND**
- ▨ PROTECT IN PLACE (E) PVC ROOFING
 - ▽ PROTECT IN PLACE (E) CRICKET

MATERIAL LEGEND 2

- 0681 REMOVE (E) WALL FINISH AND FRAMING. PREPARE OPENING FRAMING TO RECEIVE NEW DOOR
- 0682 PROTECT IN PLACE (E) CASEWORK
- 0781 REMOVE (E) FLASHING STRIP / METAL FLASHING / COPING. PREPARE TO RECEIVE (N) COPING
- 0782 PROTECT IN PLACE (E) FLASHING STRIP / METAL FLASHING
- 0881 REMOVE (E) WINDOW FRAME. FILL OPENING W/ WOOD STUD FRAMED WALL AND FINISH MATCHING ADJACENT WALL
- 0882 PROTECT IN PLACE (E) ROLL-UP DOOR
- 0883 PROTECT IN PLACE (E) DOOR / WINDOW / FRAME
- 1583 PROTECT IN PLACE (E) ROOF DRAIN & OVERFLOW DRAIN
- 1584 PROTECT IN PLACE (E) EXHAUST GRILLE
- 1585 PROTECT IN PLACE (E) EXHAUST FAN
- 1684 PROTECT IN PLACE (E) ELECTRICAL PANEL

NOTES:
 1. SEE STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR ADDITIONAL RECESSED OR SURFACE MOUNTED EQUIPMENT.
 2. SEE DETAIL 1/A8.3 FOR SIGNAGE SCHEDULE.



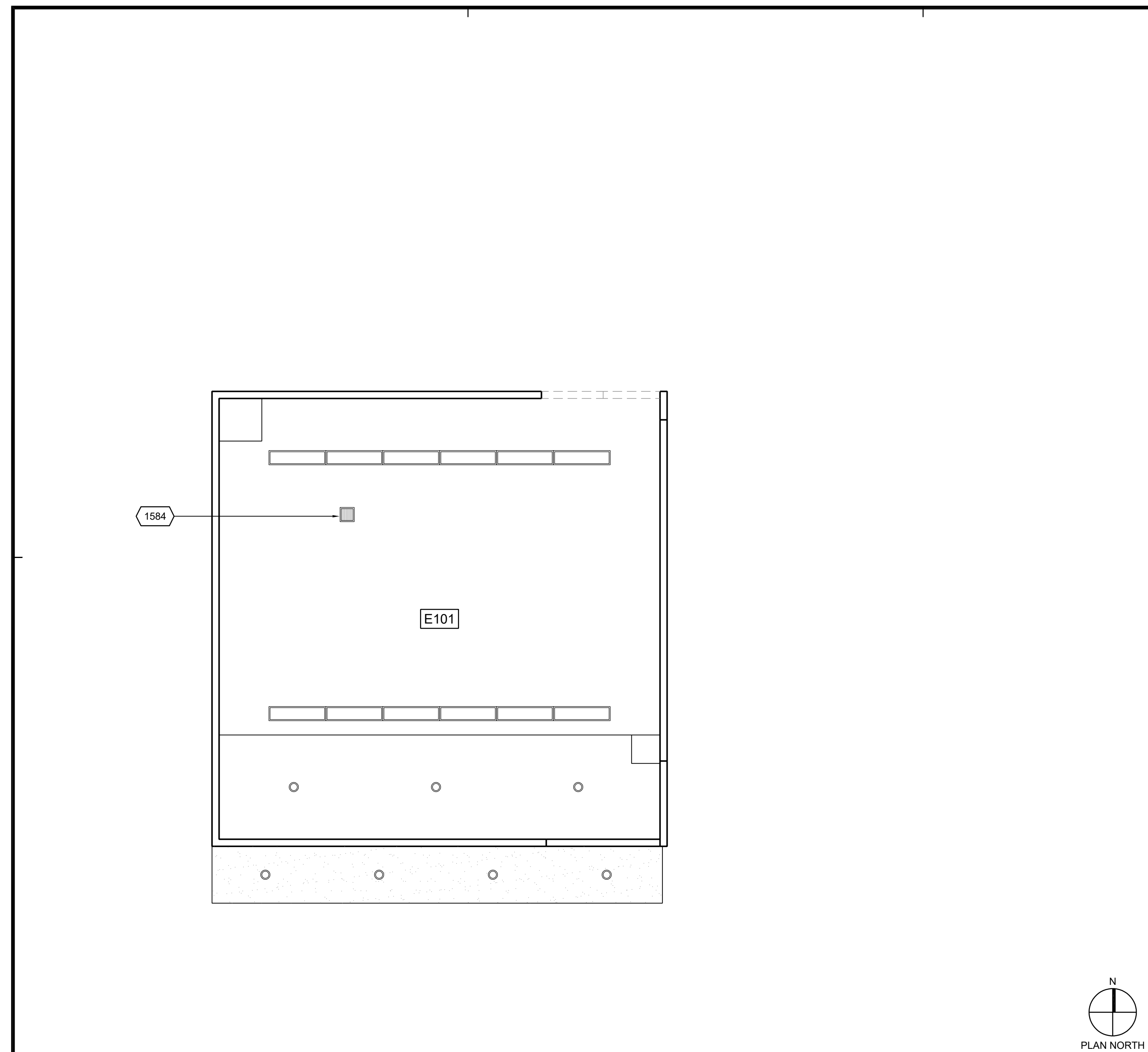
CONSULTANT

NO	DATE	BY	DESCRIPTION

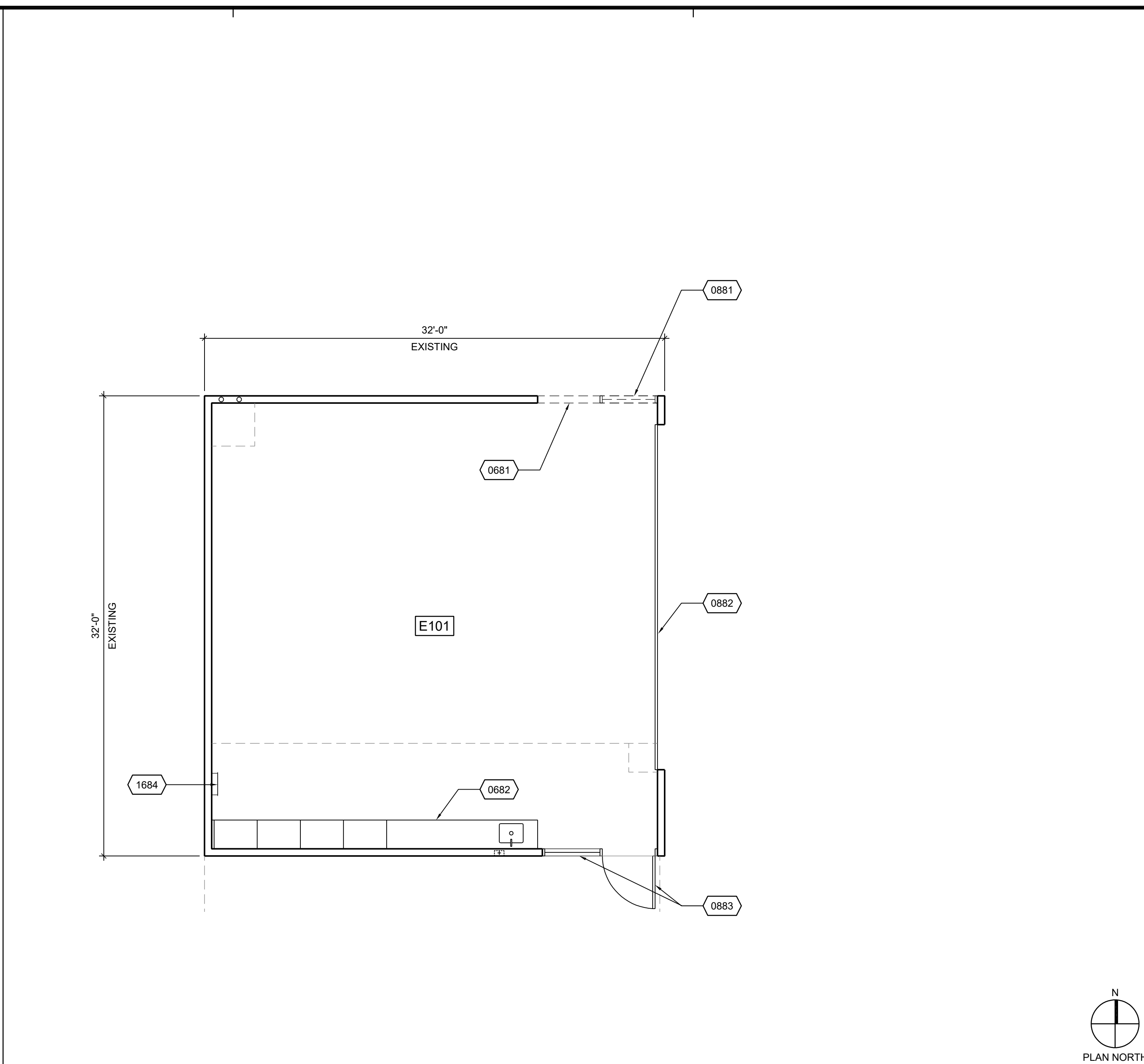
DRAWN: SY CHECKED: KN
 DATE: 09/29/2023 SCALE: AS SHOWN
 PROJECT NUMBER: 230075

DIRTY TRAINING CLASSROOM BLDG DEMO PLANS

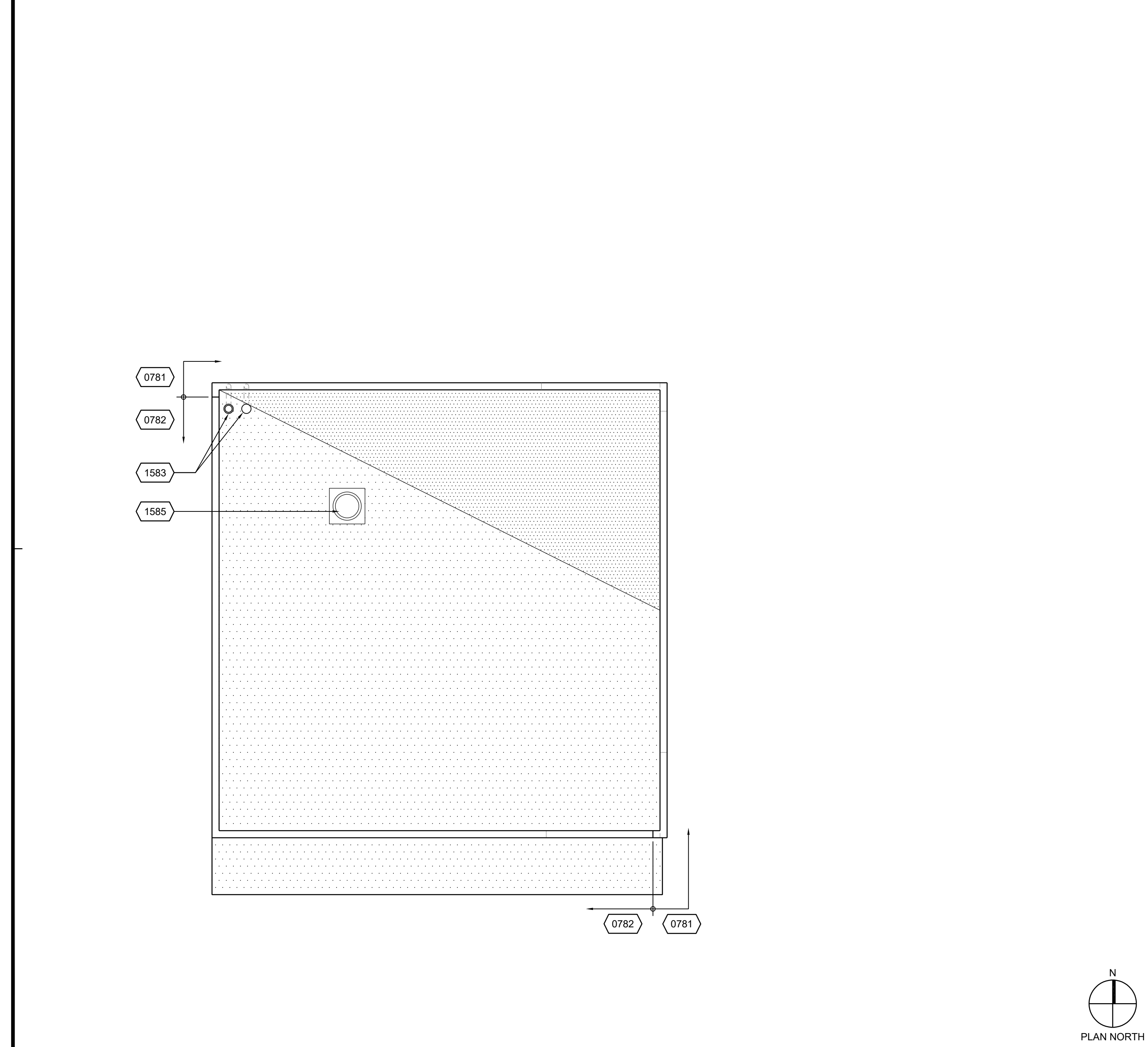
DRAWING NUMBER: **A2.1D**



DEMOLITION REFLECTED CEILING PLAN 3/16" = 1'-0" 14



DEMOLITION FLOOR PLAN 3/16" = 1'-0" 6



DEMOLITION ROOF PLAN 3/16" = 1'-0" 16

8

REFERENCE NOTES 4



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COSTA MESA, CA 92627

ROOM #	ROOM NAME
E101	DIRTY TRAINING CLASSROOM
102	BATHROOM 1
103	BATHROOM 2
104	BATHROOM 3
105	BATHROOM 4
106	WATER HEATER ROOM
107	JANITOR
108	EXTERIOR SHOWER 1
109	EXTERIOR SHOWER 2
110	COVERED PATIO
111	COVERED PATIO

ROOM LEGEND 1

FLOOR PLAN LEGEND

— PROTECT IN PLACE (E) WALL

SINGLE WALL 2x6 WOOD STUDS SINGLE / DOUBLE WALL AS INDICATED @ 16" O.C., TYP. FULL HEIGHT TO ROOF DECK ABOVE.

DOUBLE WALL SEE PLAN FOR DOUBLE WALL THICKNESS.

INTERIOR WALLS: PROVIDE ONE LAYER OF 5/8" TYPE X GYPSUM BOARD EACH SIDE, U.N.O. PROVIDE ACOUSTICAL INSULATION.

EXTERIOR WALLS: PROVIDE ONE LAYER OF 5/8" TYPE GYPSUM BOARD AT INTERIOR SIDE, AND EXTERIOR PLASTER OVER 1/2" PLYWOOD ON EXTERIOR SIDE, U.N.O. PROVIDE R-19 BATT INSULATION.

SEE 13/A8.2 FOR BASE AT INTERIOR WALL.

SEE 14/A8.2 FOR BASE AT EXTERIOR WALL.

STRUCTURAL DRAWINGS FOR SHEAR WALL LOCATIONS.

REFLECTED CEILING PLAN LEGEND

PLASTER FINISH, COLOR 1

PLASTER FINISH, COLOR 2

STAINLESS STEEL CLADDING

SOLID POLYMER CEILING PANEL

5/8" GYPSUM BOARD CEILING, PAINTED

LIGHT FIXTURES

ROOF PLAN LEGEND

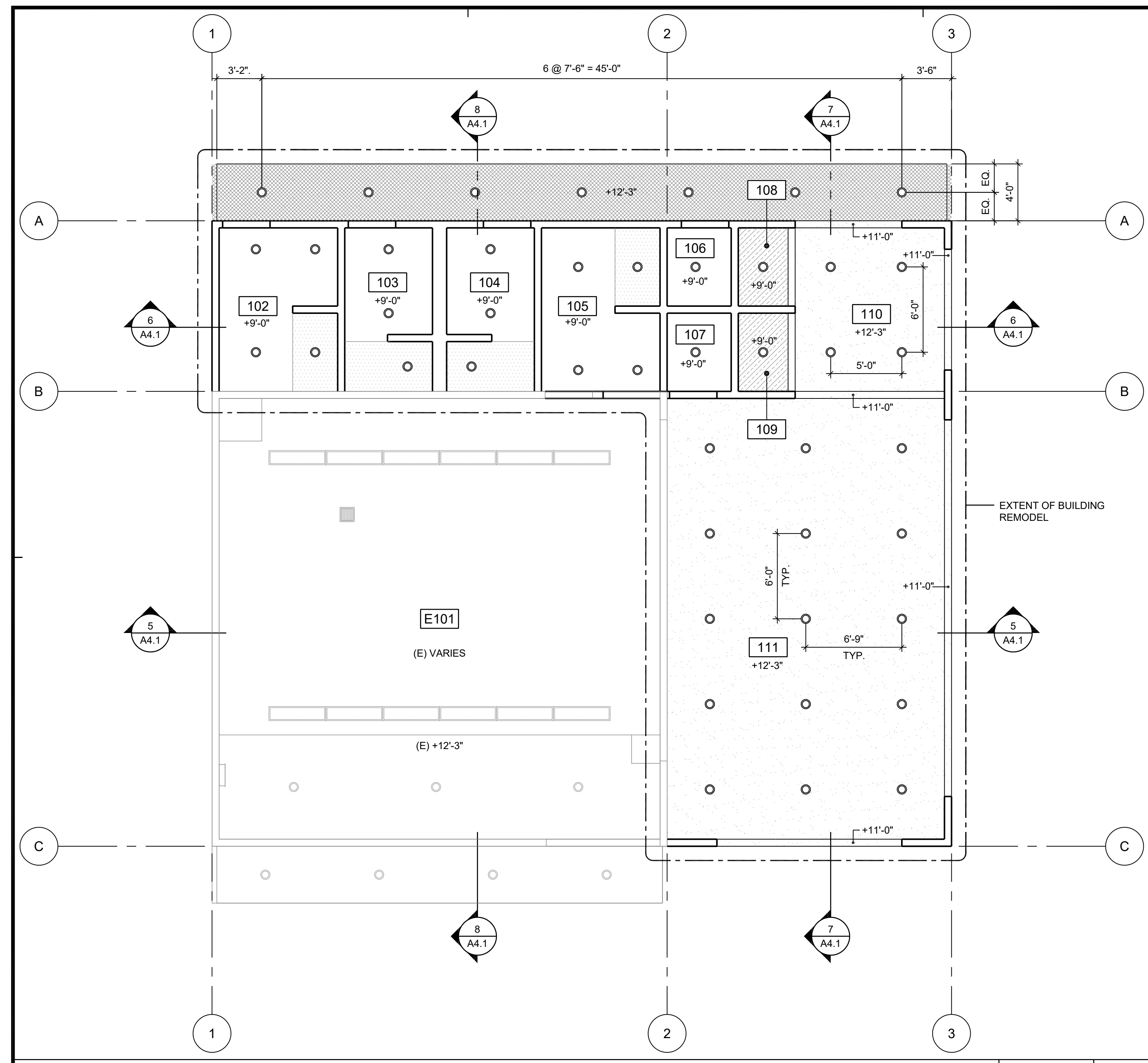
ADHERED THERMOPLASTIC (PVC) ROOFING
- MEMBRANE MANUFACTURER: SIKU SARNAFIL
- MEMBRANE: G410 60 MIL FELTBACK
- FIRE HAZARD CLASSIFICATION: UL CLASS A
- SOLAR REFLECTIVE INDEX (SRI): 104
OVER AIR/VAPOR BARRIER

CRICKET WITH PVC ROOFING. SEE DETAIL 1, 5/A8.2

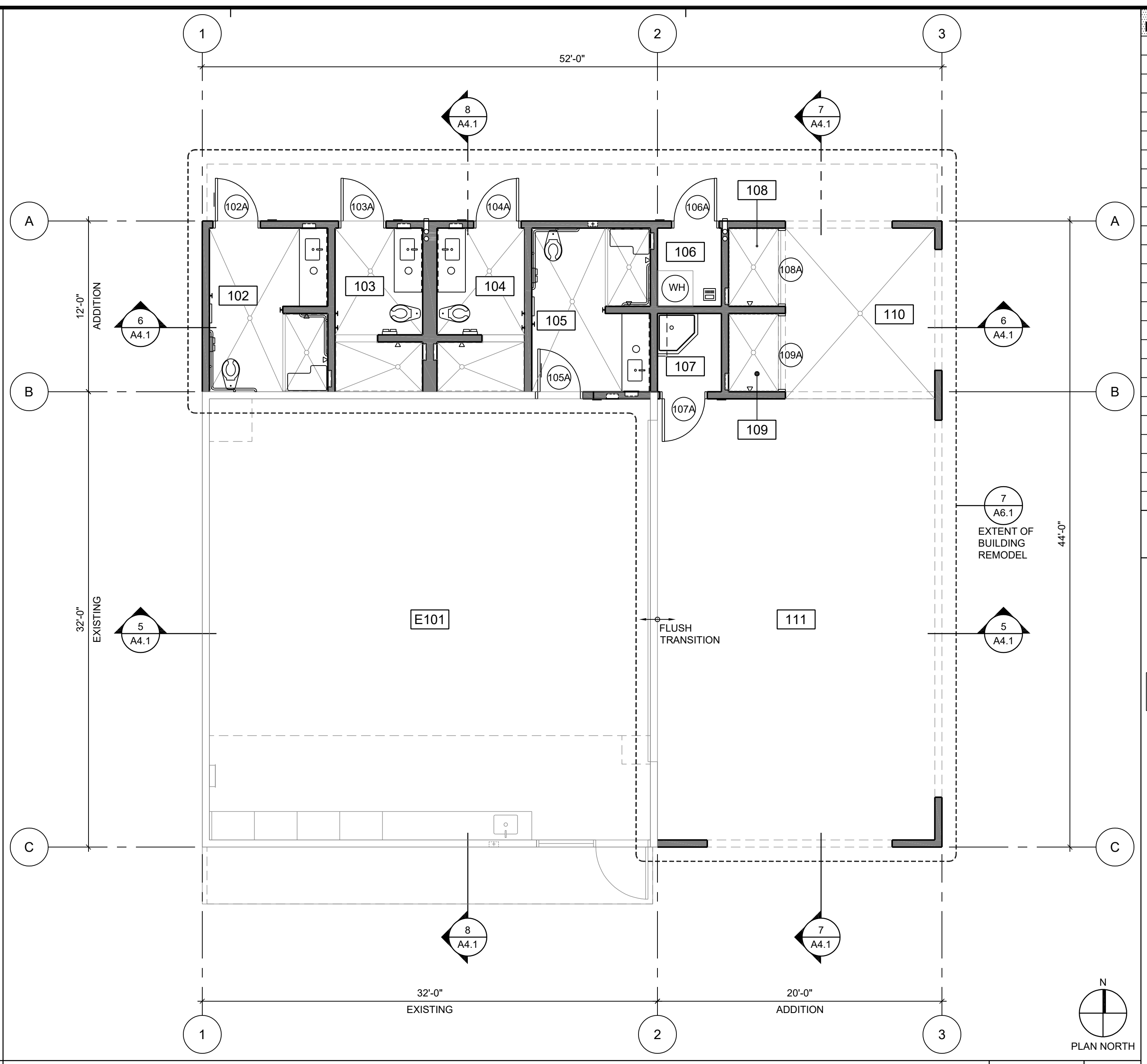
ROOF AND OVERFLOW DRAIN. SEE 2/A8.2

EXHAUST FAN. SEE MECHANICAL DRAWINGS
PROVIDE LEVEL PLATFORM. SEE 10/A8.2

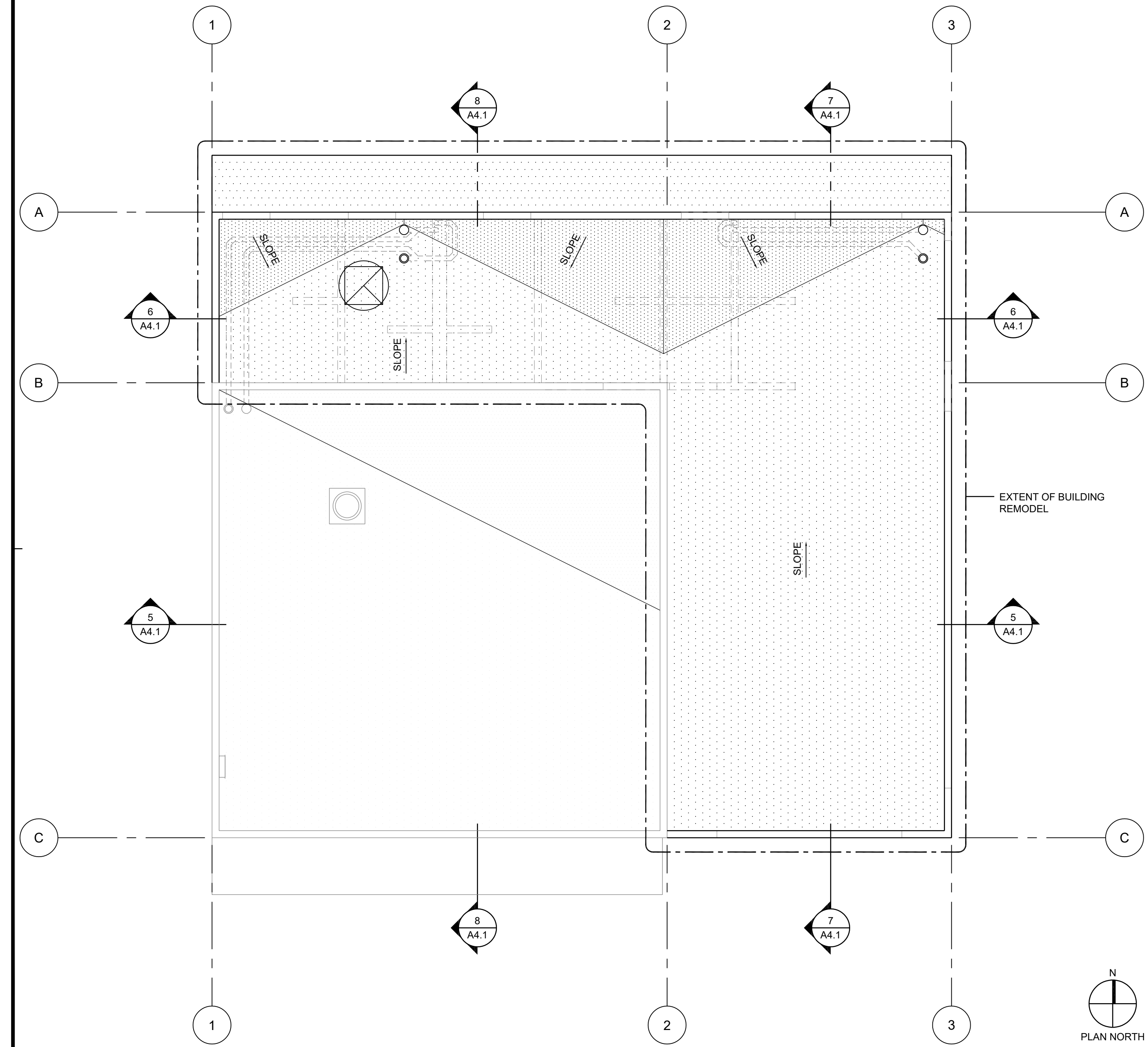
- GENERAL NOTES:
- GENERAL NOTES SHALL APPLY THROUGHOUT THE PROJECT.
 - ANYTHING THAT IS NOT IDENTIFIED AS EXISTING (E) SHALL BE NEW (N) THROUGHOUT.
 - SEE STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION AND RECESSED OR SURFACE MOUNTED EQUIPMENT.
 - REPAIR AND PAINT THE ENTIRE ROOM E101 GYPSUM BOARD WALLS, CEILINGS, SOFFITS, AND ALL PREVIOUSLY PAINTED SURFACES.
 - SAND BLAST AND REMOVE (E) PLASTER FINISH COAT FROM (E) WALL AND SOFFIT PLASTER. PREPARE AND PROVIDE (N) PLASTER FINISH COAT.
 - SEE 3, 4/A8.2 FOR CONDUIT, PIPE PENETRATION DETAIL AT ROOF.



REMODEL REFLECTED CEILING PLAN 3/16" = 1'-0" 14



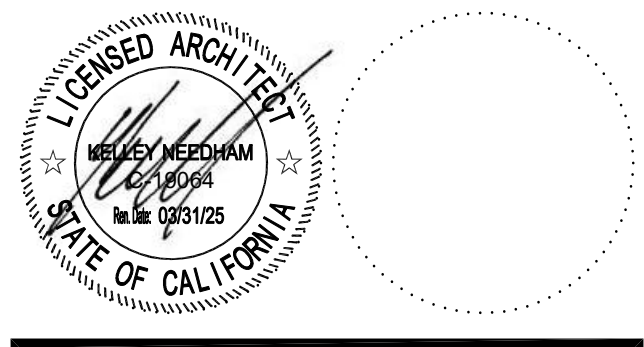
REMODEL FLOOR PLAN 3/16" = 1'-0" 6



REMODEL ROOF PLAN 3/16" = 1'-0" 16

REFERENCE NOTES 8

MATERIAL LEGEND & NOTES 4



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NO	DATE	BY	DESCRIPTION
REVISIONS			

DRAWN: SY CHECKED: KN
DATE: 09/29/2023 SCALE: AS SHOWN
PROJECT NUMBER: 230075

DIRTY TRAINING CLASSROOM BLDG PLANS

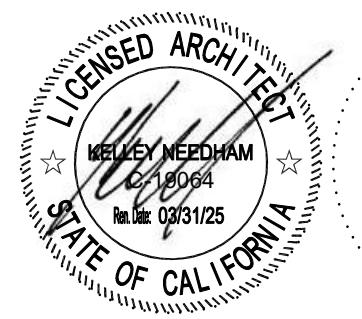
DRAWING NUMBER: **A2.1**



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CONSULTANT

NO	DATE	BY	DESCRIPTION
REVISIONS			

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 DATE: 09/29/2023 SCALE: AS SHOWN
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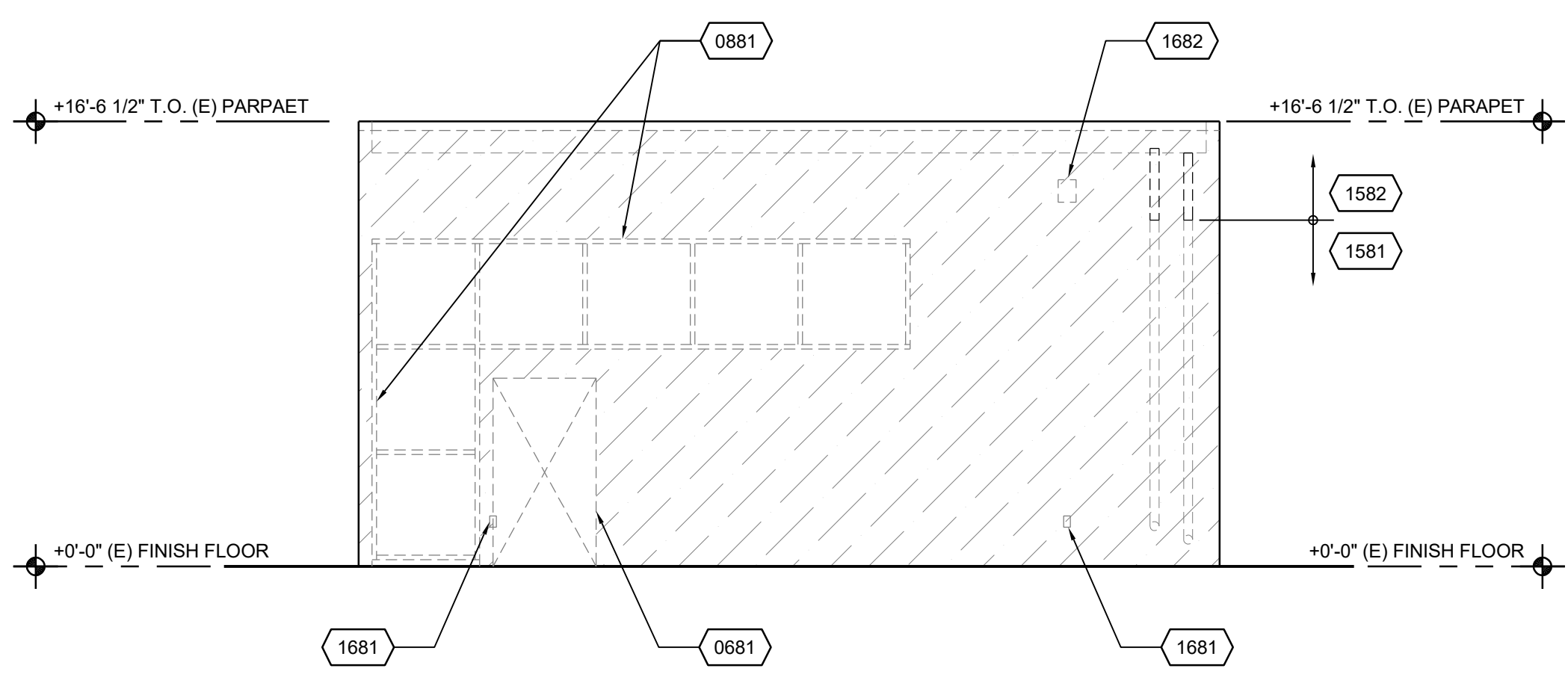
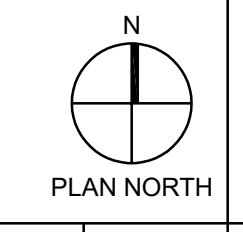
DIRTY TRAINING CLASSROOM BLDG DEMO ELEVATIONS

DRAWING NUMBER: **A3.1D**

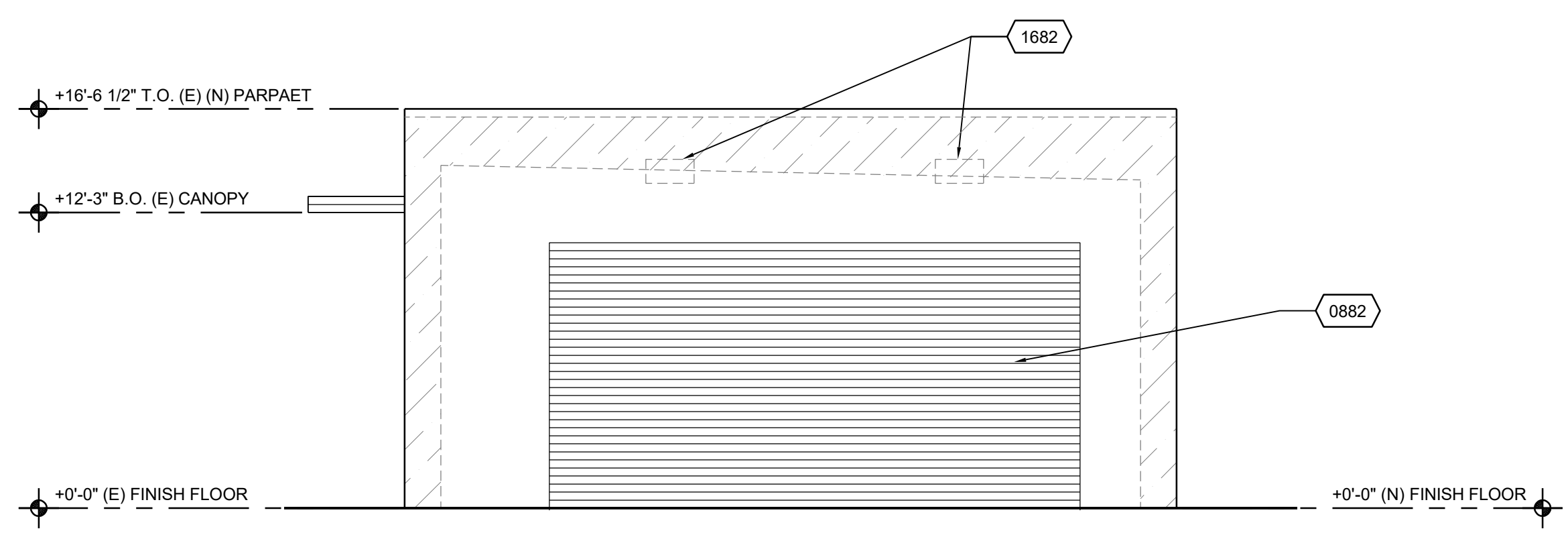
PROTECT IN PLACE (E) PLASTER FINISH

REMOVE (E) PLASTER, LATH, AND UNDERLAYMENT
 (E) UNDERLAYMENT WITHIN 12" TO DEMOLITION LIMIT SHALL REMAIN AND PROTECT IN PLACE

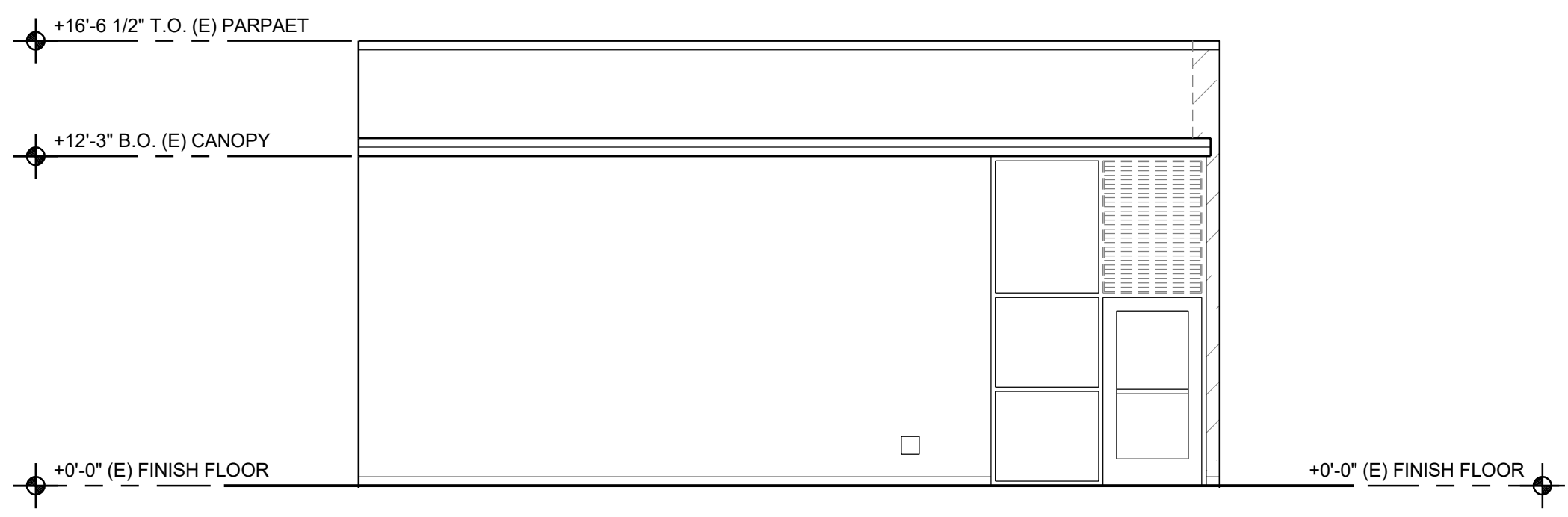
REMOVE (E) WINDOW, GLAZING, SHIM



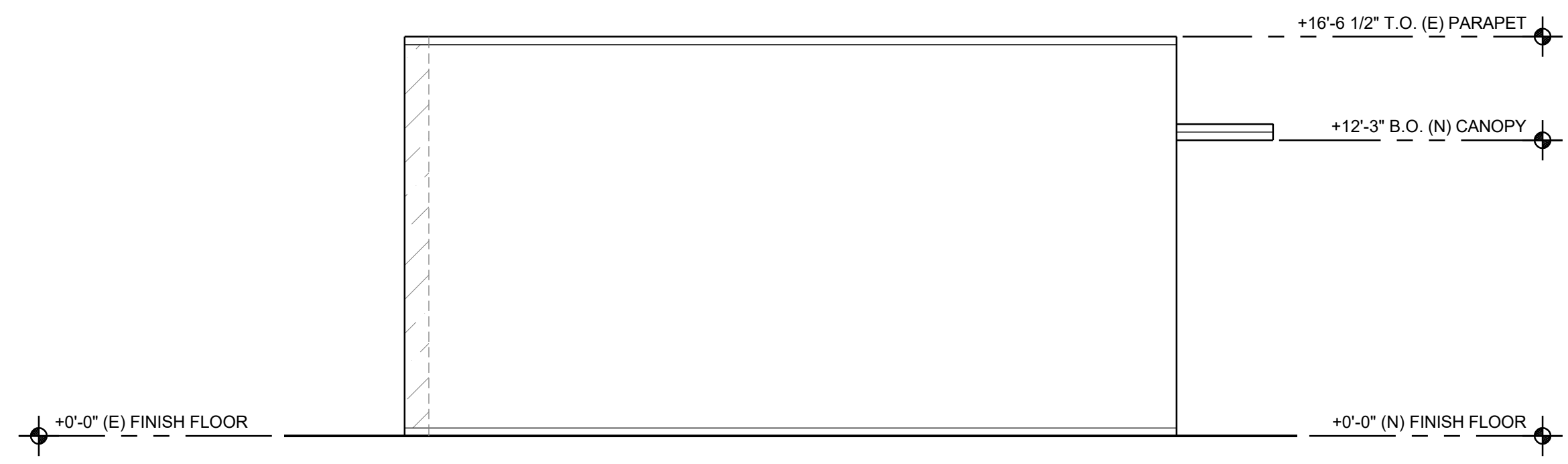
NORTH ELEVATIONS



EAST ELEVATIONS



SOUTH ELEVATIONS



WEST ELEVATIONS

DEMOLITION BUILDING ELEVATIONS

3/16" = 1'-0"

6

MATERIAL LEGEND

2

- 0881 REMOVE (E) WALL FINISH AND FRAMING. PREPARE OPENING FRAMING TO RECEIVE NEW DOOR
- 0881 REMOVE (E) WINDOW FRAME. FILL OPENING W/ WOOD STUD FRAMED WALL AND FINISH MATCHING ADJACENT WALL
- 0882 PROTECT IN PLACE (E) ROLL-UP DOOR
- 1581 REMOVE PORTION OF (E) ROOF DRAIN PIPES AND DOWNSPOUT NOZZLE
- 1582 PROTECT IN PLACE PORTION OF (E) ROOF DRAIN PIPES
- 1681 REMOVE (E) RECEPTACLE. SEE ELECTRICAL FOR MORE INFO.
- 1682 REMOVE (E) LIGHT FIXTURE. SEE ELECTRICAL FOR MORE INFO.

NOTES:

1. SEE STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR ADDITIONAL RECESSED OR SURFACE MOUNTED EQUIPMENT.
2. SEE DETAIL 1/A8.3 FOR SIGNAGE SCHEDULE.

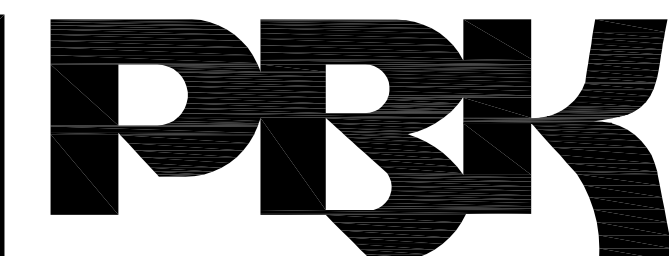
PROPOSED ROOF PLAN

1/4" = 1'-0"

8

REFERENCE NOTES

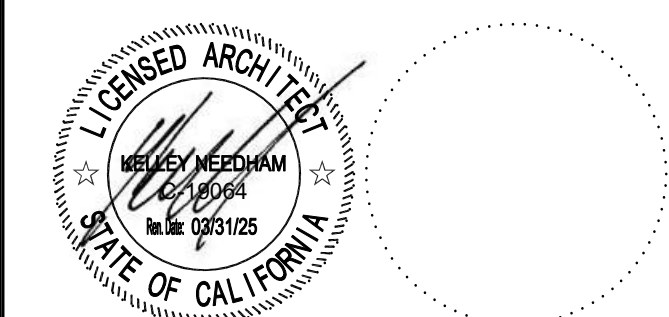
4



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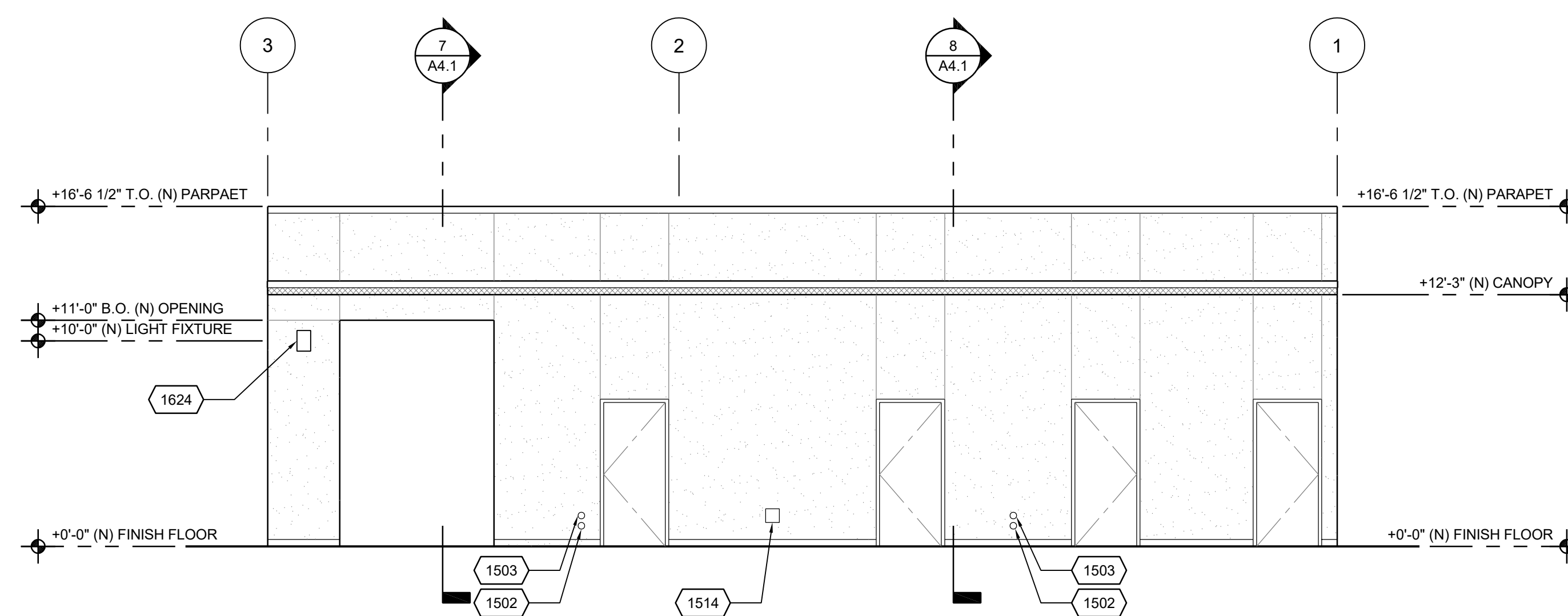
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EXTERIOR ELEVATIONS

DRAWING NUMBER: **A3.1**

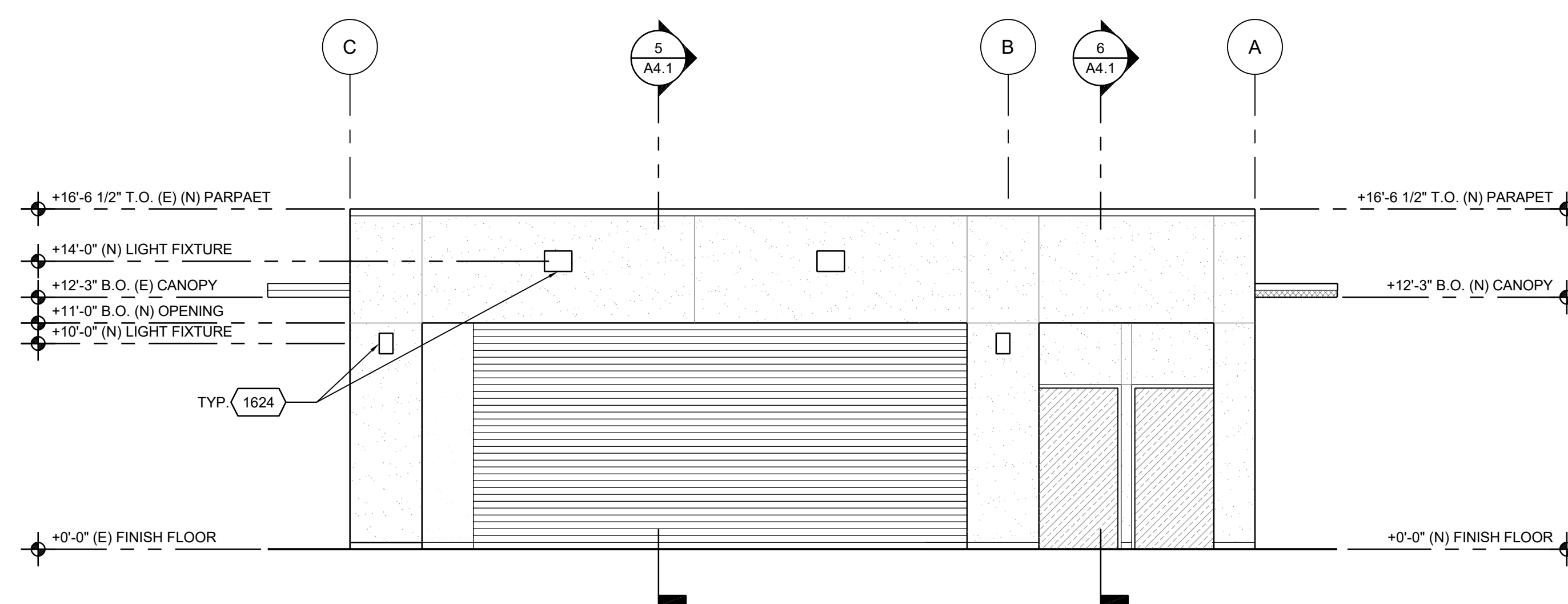
EXTERIOR PLASTER - COLOR 1 (WHITE)
 MIN 7/8" THICKNESS



NORTH ELEVATION

3/16" = 1'-0"

5



EAST ELEVATION

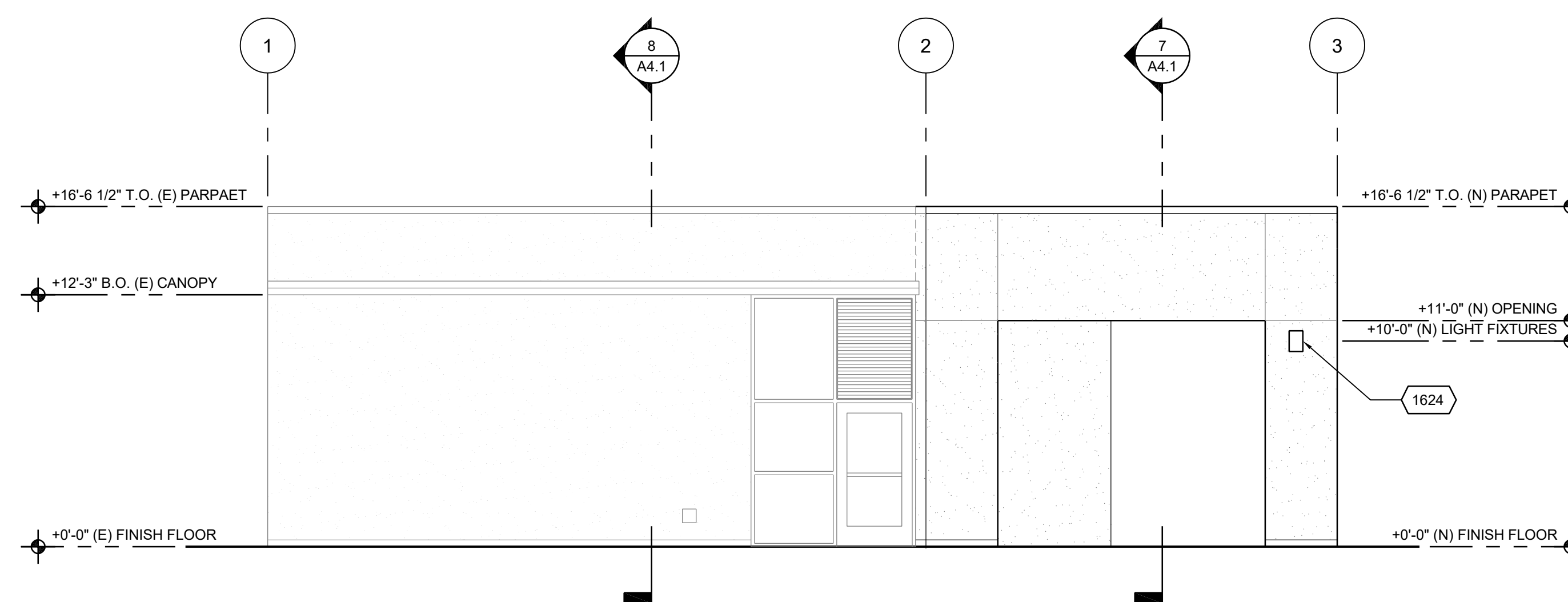
3/16" = 1'-0"

6

MATERIAL LEGEND

2

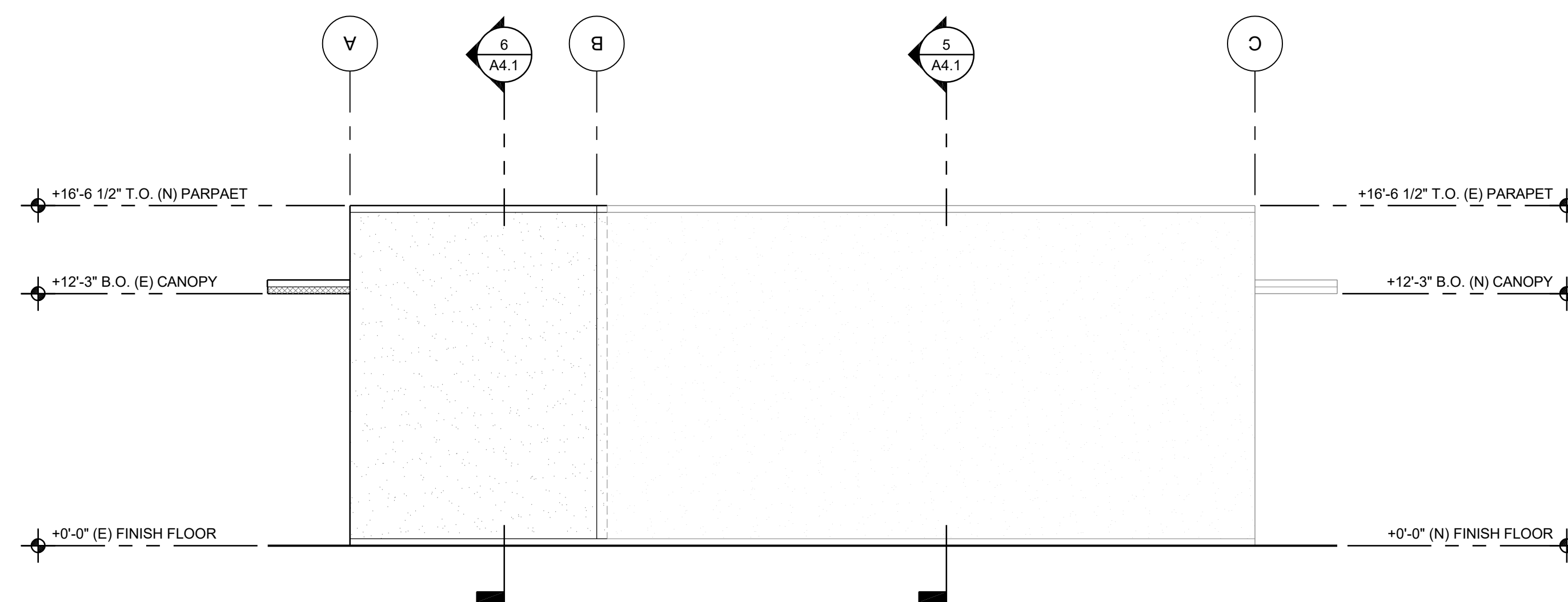
- ROOF DRAIN THROUGH WALL, SEE 14/A8.2 AND PLUMBING DWGS
- OVERFLOW DRAIN THROUGH WALL, SEE 14/A8.2 AND PLUMBING DWGS
- HOSE BIB, SEE PLUMBING DRAWINGS
- LIGHT FIXTURE, SEE ELECTRICAL DRAWINGS



SOUTH ELEVATION

3/16" = 1'-0"

7



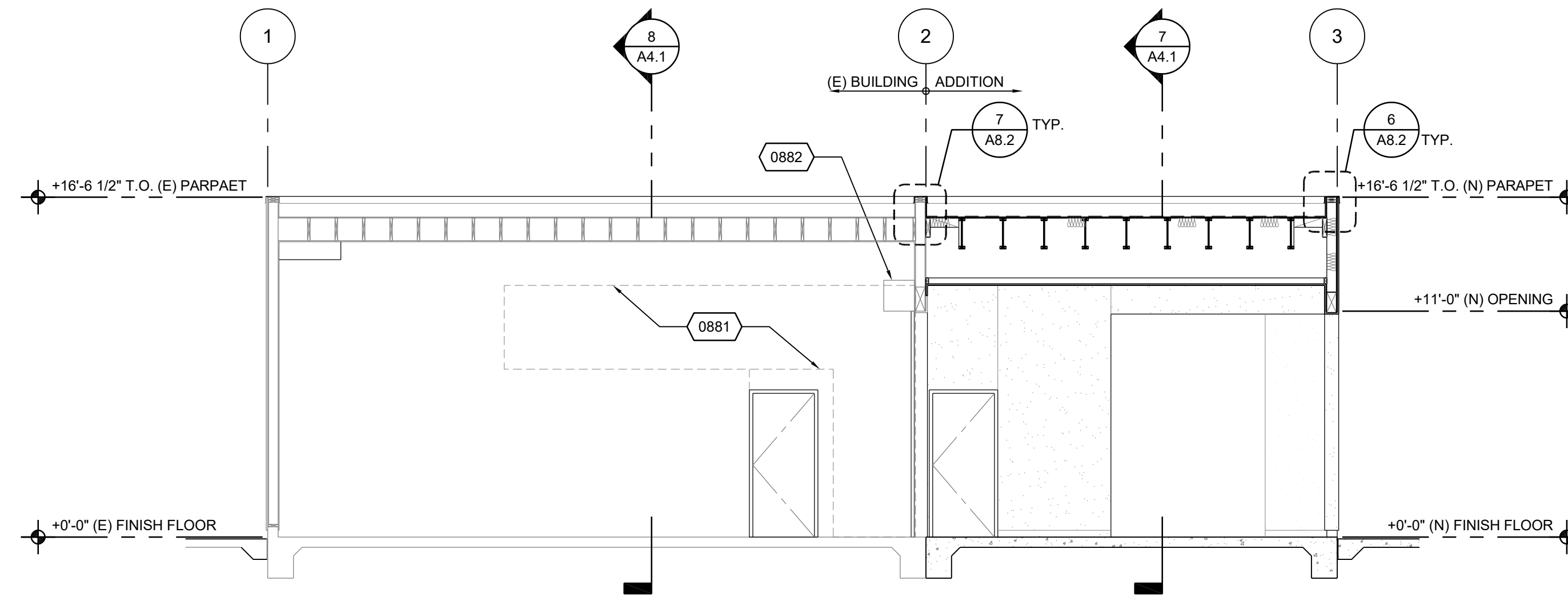
WEST ELEVATION

3/16" = 1'-0"

8

REFERENCE NOTES

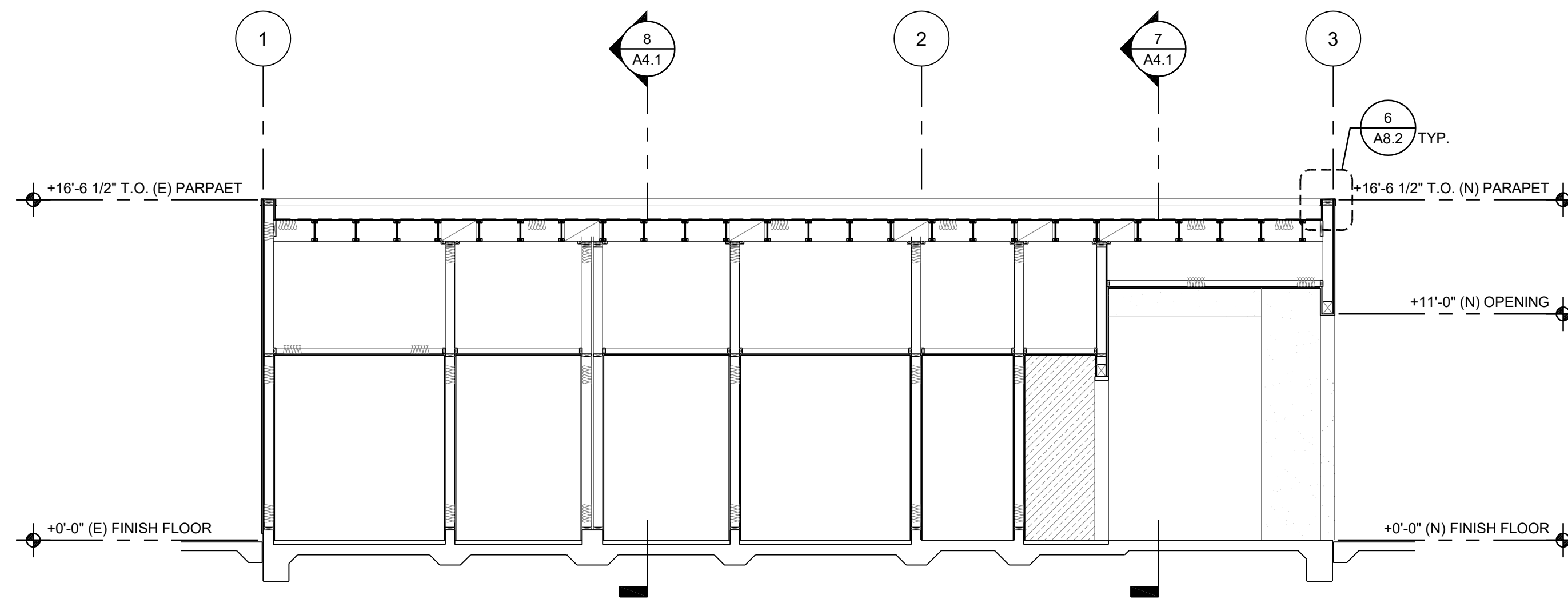
4



BUILDING SECTION A

3/16" = 1'-0"

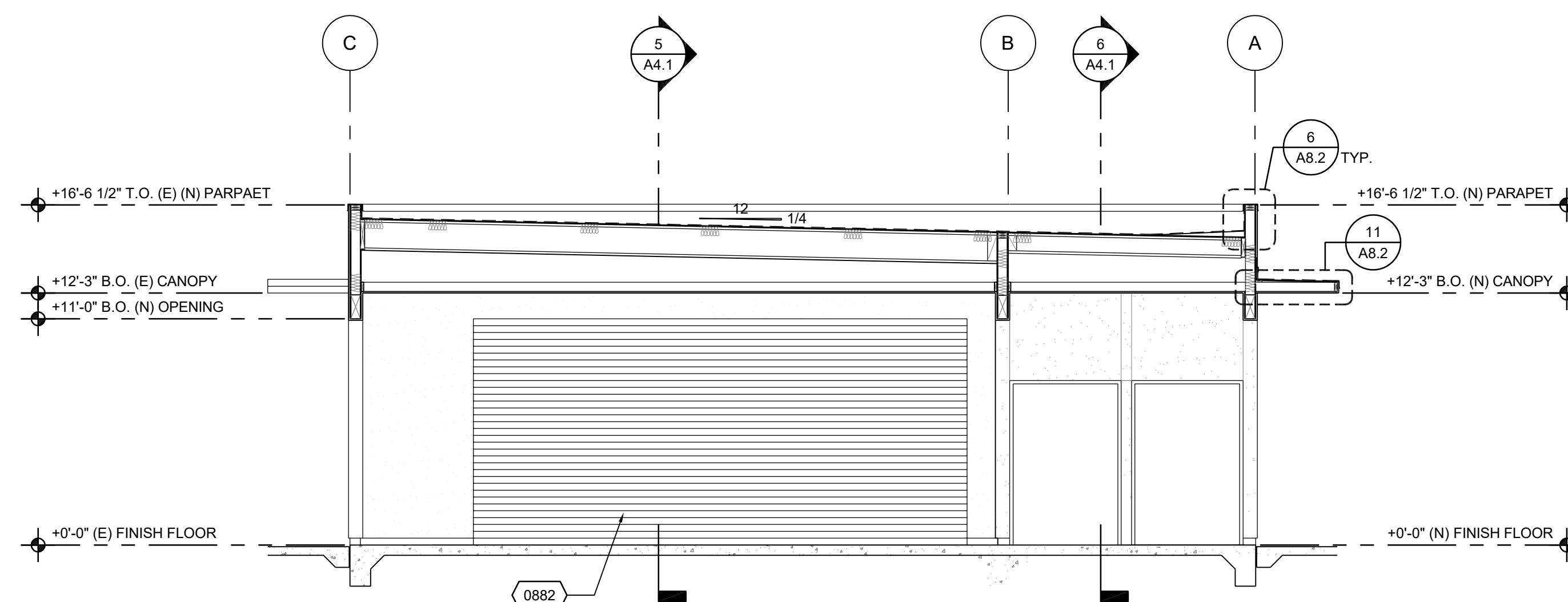
5



BUILDING SECTION B

3/16" = 1'-0"

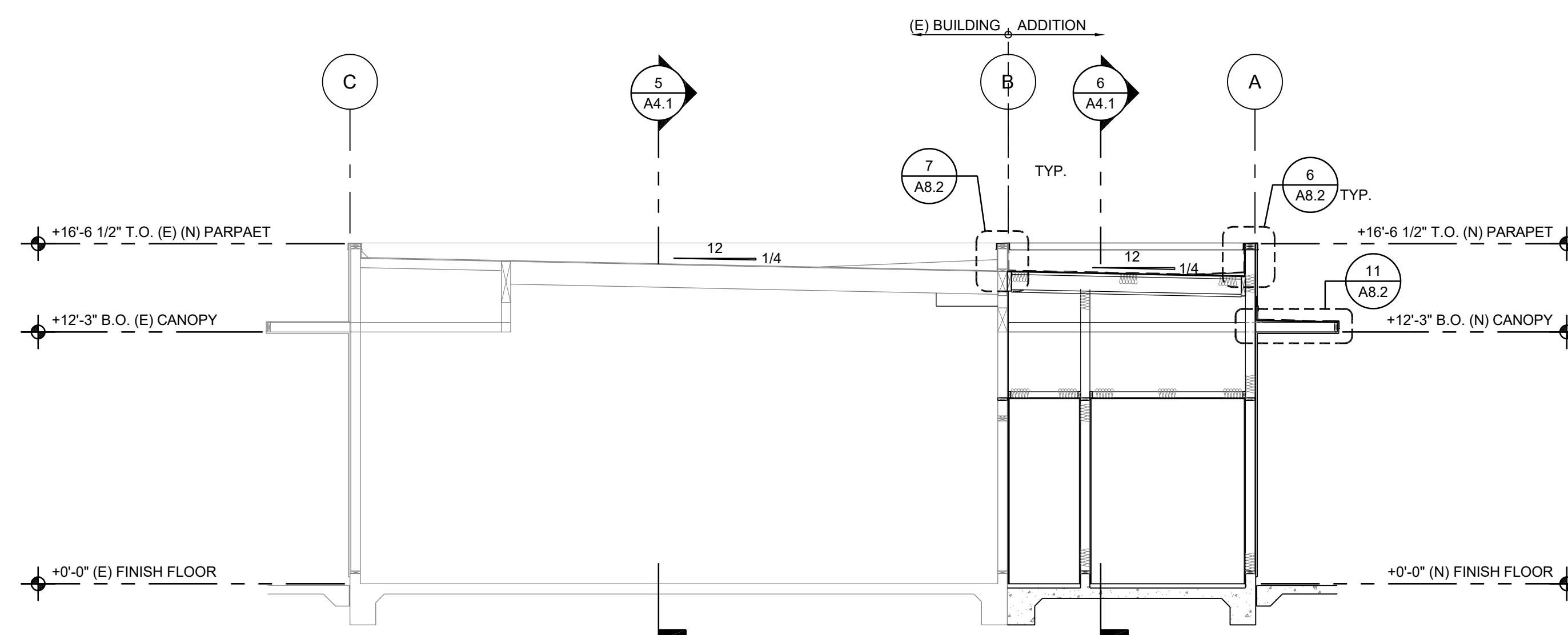
6



BUILDING SECTION C

3/16" = 1'-0"

7

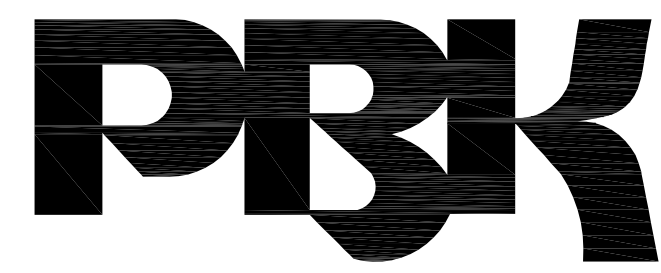


BUILDING SECTION D

3/16" = 1'-0"

8

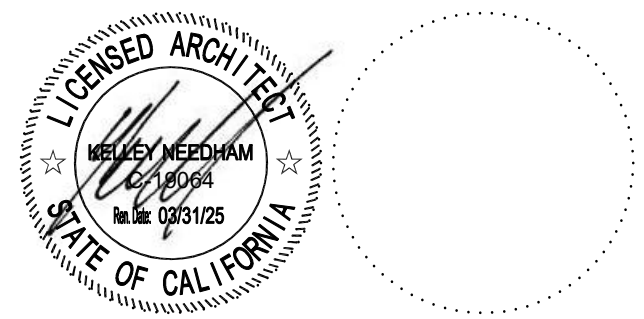
- 0881 FILL OPENING W/ WOOD STUD FRAMED WALL, BATT INSULATION, AND FINISH MATCH ADJACENT (E) WALL
- 0882 PROTECT IN PLACE (E) ROLL-UP DOOR



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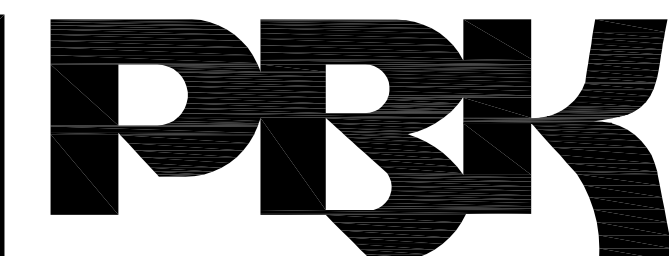
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BUILDING SECTIONS

DRAWING NUMBER: **A4.1**

REFERENCE NOTES

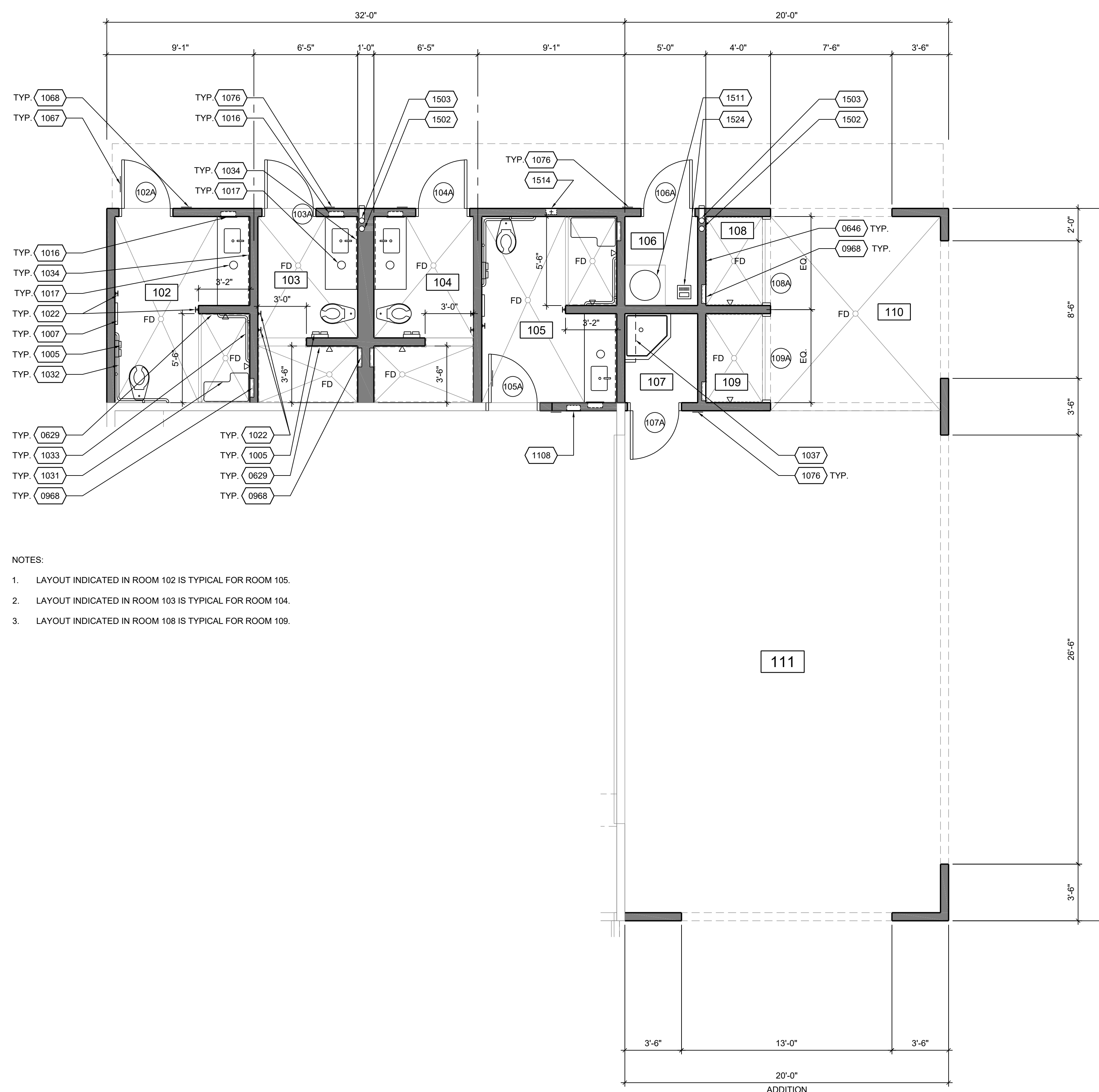
4



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- NOTES:
- LAYOUT INDICATED IN ROOM 102 IS TYPICAL FOR ROOM 105.
 - LAYOUT INDICATED IN ROOM 103 IS TYPICAL FOR ROOM 104.
 - LAYOUT INDICATED IN ROOM 108 IS TYPICAL FOR ROOM 109.

- 0629 SOLID POLYMER SHOWER ENCLOSURE, ALL WALLS AND CEILING
- 0646 STAINLESS STEEL SHOWER ENCLOSURE W/ TRIMS, ALL WALLS & CEILING
- 0968 SHOWER NICHE, 14"X18" CLEAR, SEE 13/A8.1
- 1005 SURFACE MOUNTED TOILET TISSUE DISPENSER, BOBRICK B-69997
- 1007 SURFACE MOUNTED SEAT COVER DISPENSER, BOBRICK B-4221
- 1016 RECESSED PAPER TOWEL DISPENSER, BOBRICK B-35903
- 1017 COUNTER MOUNTED WASTE CHUTE, BOBRICK B-532
- 1022 ROBE HOOK, BOBRICK B-76727
- 1031 FOLDING SHOWER SEAT, BOBRICK B-5181
- 1032 TWO WALL 42 X 54 INCH GRAB BAR, BOBRICK B-5897, SEE 22/A8.1
- 1033 TWO WALL 24 X 36 INCH GRAB BAR, BOBRICK B-58616, SEE 22/A8.1
- 1034 MIRROR W/ S.S. PERIMETER FRAME, BOBRICK B-165, CUSTOM SIZE
- 1037 CUSTODIANS UTILITY SHELF, BOBRICK B-224 X 36
- 1067 RESTROOM SYMBOL-UNISEX, SEE DETAIL 11/A8.9
- 1068 RESTROOM SIGN-UNISEX, SEE 12/A8.9
- 1076 ROOM CONTROL SIGN
- 1108 FIRE EXTINGUISHER IN RECESSED CABINET, SEE 23/A8.1
- 1502 ROOF DRAIN THROUGH WALL, SEE 14/A8.2 AND PLUMBING DWGS
- 1503 OVERFLOW DRAIN THROUGH WALL, SEE 14/A8.2 AND PLUMBING DWGS
- 1511 WATER HEATER, SEE PLUMBING. PROVIDE 4" CONCRETE PAD
- 1514 HOSE BIB, SEE PLUMBING DRAWINGS
- 1524 FLOOR SINK, SEE PLUMBING DRAWINGS



ENLARGED FLOOR PLAN

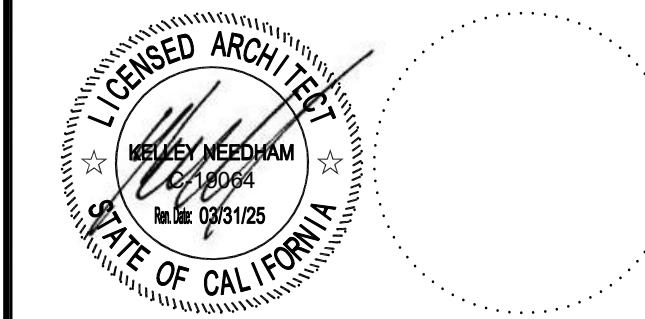
1/4" = 1'-0"

7

REFERENCE NOTES

3

- FOR FIXTURE MOUNTING HEIGHT SCHEDULE, SEE DETAIL 8/A8.1
- SEE INTERIOR ELEVATIONS FOR ADDITIONAL MOUNTING HEIGHTS AND DIMENSIONS NOT INDICATED
- FOR COUNTERTOP DETAILS, SEE 6/A8.1
- FOR TYPICAL WALL TILE PATTERN, SEE DETAIL 18/A8.1. FOR TILE WALL CORNERS AND TRANSITION, SEE 17/A8.1.
- FOR TYPICAL SHOWER ELEVATIONS, SEE 11/A8.1.
- FOR SHOWER IN ROOMS 103, 104, SEE DETAIL 12/A8.1 FOR SECTION.
- FOR SHOWER IN ROOMS 102, 105, SEE DETAIL 16/A8.1 FOR SECTION.
- FOR SHOWER IN ROOMS 108, 109, SEE DETAIL 20/A8.1 FOR SECTION.
- ALL WOOD FRAMED INTERIOR WALLS ENCLOSING ROOMS 102 THROUGH 109 ARE TO BE FRAMED ON A RAISED CONCRETE CURB 6" ABOVE FINISH FLOOR PER DETAIL 7. CURB WIDTH VARY. VERIFY ALL CURB WIDTHS. REDUCE CURB HEIGHT TO 4" AT SHOWER ENTRANCE.
- RECESS SLAB 2.5" IN ALL AREAS SCHEDULED TO RECEIVE TILE FLOORING. ALL TILE FLOORING SHALL BE SET ON FULL MORTAR BED. SLOPE 2% AT SHOWER AREAS. SLOPE 1% TO DRAIN OUTSIDE SHOWER AREAS.



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ENLARGED FLOOR PLAN

8

GENERAL NOTES

4

DRAWING NUMBER: A6.1