



CITY OF COSTA MESA

P.O. BOX 1200 • 77 FAIR DRIVE • CALIFORNIA 92628-1200

ECONOMIC AND DEVELOPMENT SERVICES DEPARTMENT

December 14, 2023

Logan McGown
7540 Orchard St., #45
Riverside, CA 92504

**RE: DEVELOPMENT REVIEW 23-01 AND LOT LINE ADJUSTMENT 23-01 FOR A
NEW CHICK-FIL-A RESTAURANT LOCATED AT 1670 NEWPORT BLVD.**

Dear Logan McGown:

The Development Review for the above-reference project has been completed. The Development Review, as described in the attached project description, has been approved based on the findings and subject to the conditions of approval (attached). The decision will become final at 5 PM on December 21, 2023, unless appealed by an affected party (including filing of the necessary application and payment of the appropriate fee) or is called up for review by a member of the City Council. Any appeal must be filed by 5 PM on the aforementioned date, pursuant to Costa Mesa Municipal Code (CMMC) Sections 2-305(2) and 2-307.

If you have any questions regarding this letter, please feel free to contact the project planner, Gabriel Villalobos at 714-754-5610 or at gabriel.villalobos@costamesaca.gov.

Sincerely,

A handwritten signature in blue ink, appearing to read "Jennifer Le".

Jennifer Le
Director of Economic and Development Services

cc: Engineering
 Fire Marshal
 Building Division

Dodd Richard H Tr
19345 Marcy Drive
Santa Ana, CA 92705

PLANNING APPLICATION SUMMARY

Location	1670 Newport Blvd.	Application Number(s)	DR-23-01, LL-23-01
Request	Development Review for a new 5,202-square-foot commercial building with 863 square feet total of outdoor dining patio area for a new quick service restaurant (Chick-Fil-A) with no drive-thru and other site improvements including new landscaping, security lighting, and parking lot restriping. The proposed request also includes a Lot Line Adjustment to merge the two existing adjoining parcels into one.		
CEQA	Section 15303 "New Construction or Conversion of Small Structures"		
Final Action	Zoning Administrator		

SUBJECT PROPERTY

Zoning District	C1 (Local Business District)
General Plan Land Use Designation	General Commercial
Lot Dimensions	Approx. 374.43 FT x 98.40 FT
Lot Area	49,690 SF (1.41 Acres)
Existing Development	The project site is currently developed with a 6,337-square-foot commercial building formerly for a full-service restaurant (Outback Steakhouse) and existing landscaping, security lighting, and surface parking.

SURROUNDING PROPERTY

	Zoning District	General Plan Land Use Designation	Existing Development:
North	C1 (Local Business District)	General Commercial	Miguel's Jr. (Drive-thru restaurant)
East	C1 (Local Business District)	General Commercial	CVS Pharmacy (Commercial Retail)
South	C1 (Local Business District)	General Commercial	Mission Tile (Commercial Retail)
West	C1 (Local Business District)	General Commercial	Chase Bank (Commercial Bank)

DEVELOPMENT STANDARDS COMPARISON

Development Standard	Required/Allowed C1 Dev. Standard	Proposed/Provided
Building Height	2 stories/30 FT	1 story/22 FT
Setbacks:		
Front	20 FT	52 FT
Side (left/ right)	15 FT/0 FT	50 FT/3 FT
Rear	0 FT	197 FT
Landscape Setback – front	20 FT	10 FT ¹
Parking	67 spaces required: 10 spaces/1,000 SF (<3,000 SF) 12 spaces/1,000 SF (>3,000 SF)	91 spaces provided
Floor area ratio (FAR)	0.20 FAR	0.10 FAR

¹ Variance for front landscape setback approved through PA-97-32.

BACKGROUND

The subject property is located at 1670 Newport Boulevard at the southeastern intersection corner of Newport Boulevard and East 17th Street. Site ingress and egress is obtained from Old Newport Boulevard frontage road and from the east side of the parcel through the adjacent shopping center parking lot. The property is currently comprised of two adjoining parcels for a combined square footage of 49,690 square feet. The project site is zoned C1 (Local Business District) with a General Plan land use designation of General Commercial. The project site is surrounded by similarly commercial-zoned properties (C1). The project site is currently developed with a 6,337-square-foot restaurant (Outback Steakhouse) with a 500-square-foot outdoor patio as well as a surface parking lot. Prior to the development of the site with the Outback Steakhouse, the site was developed and operated by several other food and beverage serving uses. Other existing businesses in the project site's vicinity include Miguel's Jr. (food establishment) to the north, CVS Pharmacy (retail) to the east, Mission Tile West (retail) to the south, and Del Taco (food establishment) to the west across the intersection of Newport Boulevard and East 17th Street.

The previous restaurant (Outback Steakhouse) building and outdoor patio was approved by Planning Commission on July 14, 1997 (PA-97-32). The approved entitlement included a variance for the front landscape setback requirement (20-foot required, 10-foot approved) as well as for not providing the Municipal Code required off-street parking (107 spaces required, 97 spaces approved). In addition, a Minor Conditional Use Permit was approved under the same application (PA-97-32) for the sale of alcoholic beverages (on-site consumption after 11 p.m.). The Outback Steakhouse ceased operation in 2022 and the site has been vacant since.

PROJECT DESCRIPTION

The proposed project is a request for a Development Review of a new 5,202-square-foot single-story commercial building with two outdoor patios. The proposed project includes demolishing the existing building and other major site improvements including redeveloping the site with a new building, landscaping, security lighting, and parking lot restriping. Pursuant to Costa Mesa Municipal Code (CMMC) Section 13-28(e)(2), a Development Review is required for the construction of new buildings or additions to existing buildings in the commercial zones, including the C1 zone.

In addition to the Development Review, a lot line adjustment application is also being considered as part of this request to consolidate the two adjoining parcels and create one property. Pursuant to CMMC Section 13-93(m), all required parking spaces are to be located on the same lot as the use for which it is required. Staff has included a condition in the Resolution to require a lot line adjustment to be approved prior to building permit issuance. The lot line adjustment would have no impact to the existing site circulation, location of parking spaces, number of parking spaces, or the building setbacks.

Pursuant to CMMC Section 13-29, the approval of both the Development Review and lot line adjustment is subject to the Economic and Development Services Director's review and approval.

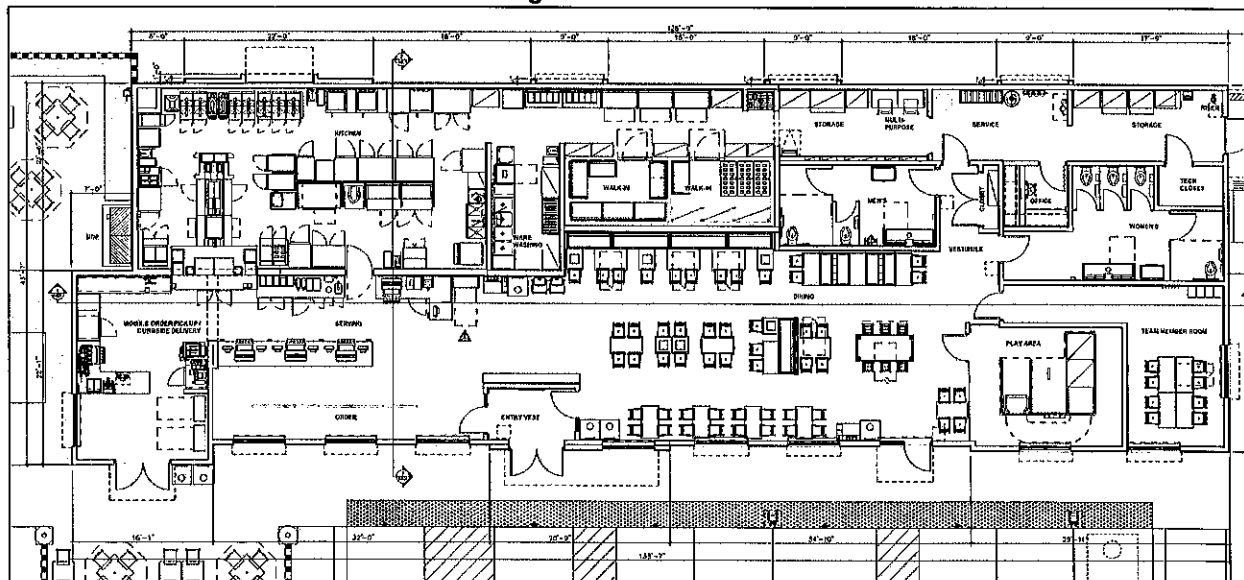
ANALYSIS

The proposed project would demolish the existing former Outback Steakhouse restaurant building along with the outdoor patio area and replace it with a new smaller restaurant building (approximately 5,200 square feet) with two new outdoor patios (approximately 900 square feet, combined). The proposed restaurant is a fast service food establishment (Chick-Fil-A) and proposes to operate Monday through Saturday from 6:00 a.m. to 11:00 p.m. and will be closed on Sundays. Chick-Fil-A currently operates an existing location in Costa Mesa located along Harbor Boulevard and this would be their second location in the City. Although Chick-Fil-A locations commonly include drive-through services, the subject restaurant does not include a drive-through lane.

Proposed Floor Plan

The new location proposes a 1,750-square-foot indoor dining room with up to 74 seats, indoor children's play area, two outdoor patios located along the property's street frontage with up to 40 additional seats, and a designated mobile-order only pick-up area. Figure 1 below shows a floor plan breakdown of the proposed spaces and its intended uses. Back of house areas for employees include the kitchen area, dish washing area, walk-in freezers, storage areas, an office, and a team member meeting room.

Figure 1. Floor Plan



Proposed Development Standards

The proposed new building has been designed to comply with all applicable development standards including building setbacks, floor area ratio (FAR), and building height. The proposed building is to be located in the same general area as the previous restaurant building and would maintain similar front, side, and rear building setbacks. The proposed use is considered a high traffic use and pursuant to CMMC Table 13-69 (Maximum Floor Area Ratios), the maximum FAR allowed for a high traffic use in the General Commercial land use designation is 0.20. The proposed project's FAR is 0.10 which is below the maximum allowed. In terms of the building height, the maximum height proposed is 22 feet which is under the 30 feet maximum height allowed in the C-1 zone.

Pursuant to CMMC Section 13-105, all required setback areas abutting the public street shall be landscaped. As such, a 20-foot landscaped area along Old Newport Boulevard is required by Code. In order to maintain the existing site drive-aisle width and vehicular circulation, the project proposes the previously approved reduced landscape setback depth of 10 feet along Newport Boulevard to remain (the proposed building is in compliance with the required front-yard setback). This reduced landscaping area has existed on this site with the previous developments and a variance was approved by the Planning Commission. The variance was granted to preserve the existing driveway approach and drive aisle allowing direct ingress to the site from East 17th Street based on the site's unique physical orientation and property configuration. Because the site access is proposed to remain the same, the previously approved variance continues to apply.

Proposed Exterior Improvements

The project would also involve major exterior site improvements including the following:

- New commercial building;
- Parking lot improvements including restriping to comply with the City's Parking Design Standards and adding a new bicycle rack;
- Updated security lighting throughout the site;
- New trash enclosure;
- Two new outdoor patios approximately 900 square feet total; and
- Updated landscaping.

The proposed building design is contemporary and similar to other Chick-Fil-A restaurant locations. The proposed design consists of a flat roof with a minimalistic façade that incorporates architectural articulation and awnings along the north facing elevation to reduce long blank spaces. The proposal also incorporates scones and large windows to provide lighting for both the interior and exterior of the building. The color palette includes neutral tones, dark accents and a finish consisting of stucco with metallic trim accents (see Figure 2 below). All proposed building signage would be reviewed through a separate submittal after approval of this Development Review.

Figure 2. Elevations

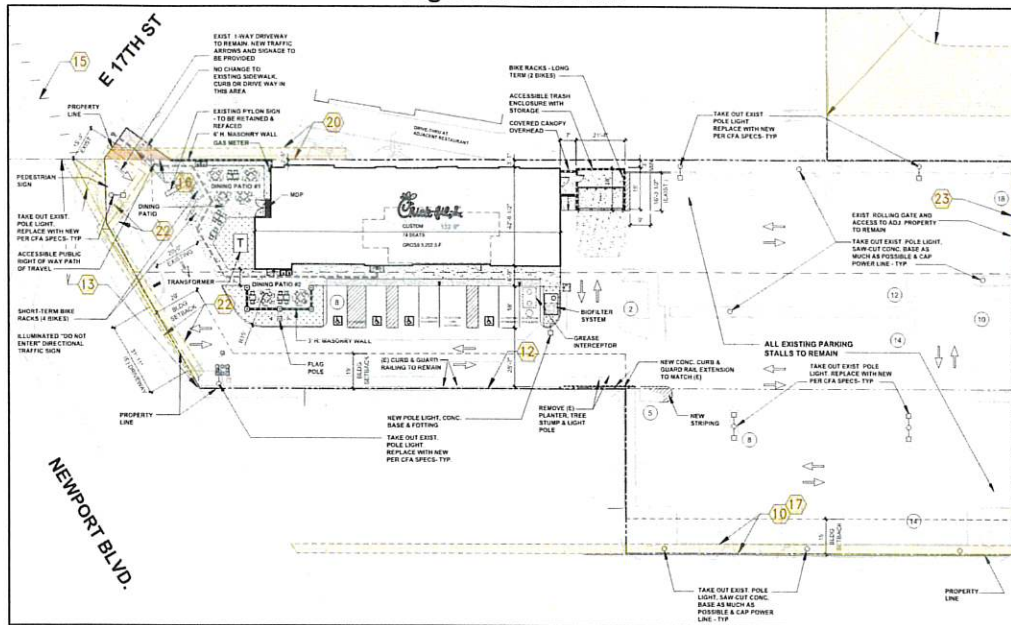


Pursuant to CMMC Section 13-48(a), outdoor seating areas are permitted provided that the area does not encroach into required street setback, parking, and circulation, or interior landscaped areas; except as approved through the issuance of a minor conditional use permit or as allowed in certain planned development zones. The proposed application includes two outdoor dining areas that are both located outside of the required street setback area and would not encroach into any parking circulation area.

Pursuant to CMMC Section 13-105(b)(1), commercial zones require 25 square feet of irrigated landscaping for each parking space provided other than spaces within a parking structure. As such, 2,275 square feet of irrigated landscaping is required for the proposed project. The existing property has 5,595 square feet of landscaping that would generally remain as part of the proposed project. Both the required setback area as well as the perimeter of the parking lot adjacent to property lines are to be landscaped. All landscaped areas are currently separated from vehicular circulation areas with a 6-inch curb.

Pursuant to CMMC Section 13-106(a)(1), one tree (15 gallon or larger) shall be provided for every 200 square feet of landscaped area. As such, a total of 29 trees are required to be planted on site per the City's Municipal Code. There are currently 15 existing trees onsite of which, four trees are proposed to be removed to accommodate new additional landscaping including eight new trees. In total, 19 trees are currently proposed for the project site including both existing and new landscaping. A condition of approval requiring a minimum of 29 trees onsite is included as part of this staff report. CMMC Section 13-106(a)(3) requires one shrub for every 25 square feet of open space which calculates to 224 shrubs. The preliminary planting plan provides a total of 759 shrubs and is therefore in compliance with the Code. As conditioned, a final landscape plan is required to be submitted during building permit plan check and will be further reviewed to ensure compliance with the landscaping requirements pursuant to CMMC Section 13-103.

Figure 3. Site Plan



Lot Line Adjustment

In addition to the Development Review, Lot Line Adjustment No. 23-01 is included as part of the review process to merge the two existing parcels into one contiguous parcel for the purpose of complying with CMMC Section 13-93(m), which requires that all off-street parking to be located on the same lot as the use for which it is required. The existing property line dividing the two separate parcels would be removed to create one parcel. The existing parcels are owned by the same property owner. The newly combined lot would comply with all applicable development standards and not create a nonconformity. Pursuant to CMMC Section 13-44, the minimum lot size for newly created lots is 12,000 square feet and the total lot size after the lot line adjustment would be 49,690 square feet.

The proposed lot line adjustment has been reviewed by the Public Works Department and is currently under review with the Orange County Public Works Department. As conditioned, prior to building permit issuance, the lot line adjustment would be required to be finalized and recorded with the County.

Traffic Study

Pursuant to CMMC Section 13-275, a traffic impact study is required because the project will generate 100 or more vehicle trips ends during a peak hour. Based on a vehicle trip generation analysis prepared by Linscott Law & Greenspan (LLG), it was determined that the proposed project would generate an estimated 208 trips in the mid-day peak hour and 206 trips produced in the PM peak hour on a “typical” weekday. The traffic study was reviewed and approved by the City’s Transportation Division. The traffic study included an analysis of the following:

- Existing traffic conditions specifically at key study intersections within the proposed project's vicinity;
- Proposed project's anticipated vehicle trip generation and the net trip difference between the existing and proposed uses; and
- Projected traffic conditions with and without the proposed project.

The study concluded that the proposed project would not result in direct or indirect adverse impacts to level of service (LOS) for any of the study intersections.

Parking

Pursuant to CMMC Section 13-89, establishments where food or beverages are served with more than 300 square feet of public area are subject to a parking ratio of 10 spaces per 1,000 square feet for the first 3,000 square feet and 12 spaces per 1,000 square feet for each additional 1,000 square feet above the first 3,000 square feet. The total proposed gross square footage of the restaurant and outdoor seating areas is 6,065 square feet (5,202 SF building area, 863 SF outdoor seating). Pursuant to the CMMC, the total number of required parking spaces for the proposed use is 67 spaces. The existing parking lot currently contains 97 spaces. However, the project proposes to restripe the existing surface parking lot to comply with the City's Parking Design Standards as well as accessibility requirements per the California Building Code. In doing so, the total number of provided parking spaces would be 91 spaces including credit for one bicycle rack.

Figure 4. Parking Calculation

PARKING SPACES REQUIRED:	67
BASIS: 1/ 100 SF FOR THE FIRST 3,000 SQ FT + 12 SPACES PER EACH ADDITIONAL 1,000 SQ FT OF .	
BUILDING AREA:	5,202 SQ FT
PATIO #1	598 SQ FT
PATIO #2	265 SQ FT
TOTAL AREA :	6,065 SQ FT
PARKING SPACES NEEDED :	
(3,000 / 1,000) X 10 =	30 SPACES
(3,065)/ 1,000) X 12 =	37 SPACES
TOTAL NEEDED :	67 SPACES
PARKING SPACES PROVIDED:	91

Review Criteria

All planning applications are reviewed pursuant to CMMC Section 13-29 (e)(1) through (8) to ensure the proposal is compatible with the surrounding area, and in compliance

with applicable zoning standards and General Plan policies. *The following are the applicable Review Criteria pursuant to CMMC Section 13-29(e):*

(1) Compatible and harmonious relationship between the proposed building and site development, and use(s), and the building and site developments, and uses that exist or have been approved for the general neighborhood.

The proposed development is compatible and harmonious with the surrounding development and uses as the proposed development is for the creation of a new restaurant use to replace an existing restaurant at the project site. The project site is surrounded by other commercial uses and would not negatively impact any sensitive uses including residential in that the nearest residential zone is located approximately 800 feet away. The project would exceed the minimum parking requirements by 24 spaces and as such, no parking shortages are anticipated. In addition, the project's traffic study determined it would not adversely impact traffic conditions in the general area.

(2) Safety and compatibility of the design of buildings, parking area, landscaping, luminaries and other site features which may include functional aspects of the site development such as automobile and pedestrian circulation.

Safety and compatibility of the design of buildings, parking area, landscaping, luminaries and other site features have been considered and deemed acceptable through the review of this Development Review application. The proposed building would be located generally in the same area as previous existing structures and no changes to the existing site circulation are proposed. Further, since there is no drive-through, there would be no customer vehicles queuing onsite that could impact automobile and pedestrian safety. The parking area design including drive aisles would be similar as existing but improved to comply with City's Parking Design Standards. As conditioned, CMMC compliant landscaping would be provided throughout the site, including the parking area. Lastly, all security lighting onsite would be upgraded for additional safety and a photometric study provided by the applicants show there would be adequate lighting coverage for the parking lot area.

(3) Compliance with any performance standards as prescribed in the Zoning Code.

The proposed project complies with the development standards for the C1 zone including building height, building setbacks, parking, and floor area ratio. The project as conditioned would also comply with the landscaping requirements with the exception of the front landscape setback. The project proposes to maintain the reduced front landscape setback of 10 feet that was approved through a variance (PA-97-32). The proposed building height would be 22 feet which does not exceed the maximum height allowed (30 feet). Lastly, the project is compliant with the maximum FAR allowed for a high traffic general commercial use.

(4) Consistency with the general plan and any applicable specific plan.

The proposed project is in conformance with the City of Costa Mesa General Plan. The Costa Mesa General Plan establishes the long-range planning and policy direction that guides change and preserves the qualities that define the community. The 2015-2035 General Plan sets forth the vision for Costa Mesa. This vision focuses on protecting and enhancing Costa Mesa's diverse residential neighborhoods, accommodating an array of businesses that both serve local needs and attract regional and international spending, and continuing to provide cultural, educational, social, and recreational amenities that contribute to the quality of life in the community. Over the long term, General Plan implementation will ensure that development decisions and improvements to public and private infrastructure are consistent with the goals, objectives, and policies contained in this Plan. The following analysis evaluates proposed project consistency with applicable policies and objectives of the 2015-2035 General Plan:

Policy LU-1.1: *Provide for the development of a mix and balance of housing opportunities, commercial goods and services, and employment opportunities in consideration of the needs of the business and residential segments of the community.*

Consistency: The project site is located on Newport Boulevard which has a diverse mix of commercial establishments providing various goods and services and employment opportunities within the City. The proposed restaurant use is compatible with the underlying general commercial land use designation and zoning and would add to the mix of commercial services and employment opportunities.

Policy LU-6.2: *Continue to promote and support the vitality of commercial uses to meet the needs of local residents and that support regional-serving commercial centers.*

Consistency: The proposed restaurant use will be replacing a previous restaurant use that has been closed for several years. The approval of this application would allow for the redevelopment and revitalization of this parcel with new construction and site improvements including new landscaping and parking lot restriping.

(5) The planning application is for a project-specific case and is not to be construed to be setting a precedent for future development.

Consistency: This development review and lot line adjustment application is project specific and is not to be construed to be setting a precedent for future development. The project is compliant with the General Plan and zoning development standards for the general commercial land use designation and C1 zone and no additional new exceptions or deviations are proposed that would establish a precedent for future development.

(6) When more than one (1) planning application is proposed for a single development, the cumulative effect of all the planning applications shall be considered.

The application is for both a development review as well as a lot line adjustment. The development review is for the new building construction proposed within the C1 zone, while the lot line adjustment is to allow for all parking spaces to be used by the proposed restaurant use to be within one parcel. The cumulative effect of all applications have been considered for this request and is anticipated to have no substantial impacts. The lot line adjustment would not cause any nonconformities.

The proposed project also complies with Title 13, Section 13-29(g)(4), Lot Line Adjustment "findings," based on the following:

- The lot line adjustment and improvements are consistent with the general plan, any applicable specific plan and this Zoning Code. The proposed lot line adjustment would be consistent with both the general plan and the City's zoning code for this site. The proposed lot line adjustment would not conflict with any of the land use policies stated in the General Plan. In addition, there would be no creation of any new parcels through this lot line adjustment since it only involves merging two parcels into one to allow for the full use of the parking lot by the proposed new restaurant. Both parcels are currently owned by the same property owner. In addition, the revised parcel will be greater than 12,000 square feet and will have a minimum lot width greater than 60 feet, as required by Code.
- A. The project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15303 "New Construction or Conversion of Small Structures". Class 3 consists of construction and location of limited numbers of new, small facilities or structures including restaurants not exceeding 10,000 square feet in floor area on sites zoned for such use, if not involving the use of significant amounts of hazardous substances where all necessary public services and facilities are available and the surrounding area is not environmentally sensitive. In this case, there will be construction of one commercial building of 5,202 square feet, located within an urbanized area with all necessary public services and facilities available and no environmentally sensitive locations nearby. Furthermore, none of the exceptions that bar the application of a categorical exemption pursuant to CEQA Guidelines Section 15300.2 applies. The Project would not result in a cumulative impact; would not have a significant effect on the environment due to unusual circumstances; would not result in damage to scenic resources; is not located on a hazardous site or location, and would not impact any historic resources.
- B. The project is not exempt from Chapter XII, Article 3, Transportation System Management, of Title 13 of the Costa Mesa Municipal Code and has been conditioned to pay a fee of \$259,416.50 based on the net daily trip generation of 1104 trip ends.

CONDITIONS OF APPROVAL

- Ping. 1. The use shall be limited to the type of operation described in the staff report and applicant's letter, subject to conditions. Any change in the

operational characteristics including, but not limited to, hours of operation, sale of alcoholic beverages or provision of entertainment, shall be subject to Planning Division review and may require an amendment to the minor/conditional use permit, subject to either Zoning Administrator or Planning Commission approval, depending on the nature of the proposed change. The applicant is reminded that Code allows the Planning Commission to modify or revoke any planning application based on findings related to public nuisance and/or noncompliance with conditions of approval [Title 13, Section 13-29(o)].

2. Approval of the planning/zoning application is valid for two years from the effective date of this approval and will expire at the end of that period unless applicant establishes the use by one of the following actions: 1) a building permit has been issued and construction has commenced, and has continued to maintain a valid building permit by making satisfactory progress as determined by the Building Official, 2) a certificate of occupancy has been issued, or 3) the use is established and a business license has been issued. A time extension can be requested no less than 30 days or more than sixty (60) days before the expiration date of the permit and submitted with the appropriate fee for review to the Planning Division. The Director of Development Services may extend the time for an approved permit or approval to be exercised up to 180-days subject to specific findings listed in Title 13, Section 13-29 (k) (6). Only one request for an extension of 180 days may be approved by the Director. Any subsequent extension requests shall be considered by the original approval authority.
3. The applicant, the property owner and the operator (collectively referred to as "indemnitors") shall each jointly and severally defend, indemnify, and hold harmless the City, its elected and appointed officials, agents, officers and employees from any claim, legal action, or proceeding (collectively referred to as "proceeding") brought against the City, its elected and appointed officials, agents, officers or employees arising out of City's approval of the project, including but not limited to any proceeding under the California Environmental Quality Act. The indemnification shall include, but not be limited to, damages, fees and/or costs awarded against the City, if any, and cost of suit, attorney's fees, and other costs, liabilities and expenses incurred in connection with such proceeding whether incurred by the applicant, the City and/or the parties initiating or bringing such proceeding. This indemnity provision shall include the indemnitors' joint and several obligation to indemnify the City for all the City's costs, fees, and damages that the City incurs in enforcing the indemnification provisions set forth in this section.
4. If any section, division, sentence, clause, phrase or portion of this resolution is for any reason held to be invalid or unconstitutional by a decision of any court of competent jurisdiction, such decision shall not affect the validity of the remaining provisions.

5. A copy of the conditions of approval for the conditional use permit must be kept on premises and presented to any authorized City official upon request. New business/property owners shall be notified of conditions of approval upon transfer of business or ownership of land.
6. Once the use is legally established, the planning/zoning application herein approved shall be valid until revoked. The Director of Economic & Development or designee may refer the planning/zoning application to the Planning Commission for modification or revocation at any time if any of the following circumstances exist: 1) the use is being operated in violation of the conditions of approval; 2) the use is being operated in violation of applicable laws or ordinances or 3) one or more of the findings upon which the approval was based are no longer applicable.
7. All work shall be conducted under-roof. Outdoor work or display is prohibited.
8. All noise-generating construction activities shall be limited to 7 a.m. to 7 p.m. Monday through Friday and 9 a.m. to 6 p.m. Saturday. Noise-generating construction activities shall be prohibited on Sunday and the following federal holidays: New Year's Day, Memorial Day, Independence Day, Labor Day, Thanksgiving Day and Christmas Day.
9. The applicant shall contact the Planning Division to arrange a Planning inspection of the site. This inspection is to confirm that the conditions of approval and code requirements have been satisfied.
10. Any change in the operational characteristics of the use shall be subject to Planning Division review and may require an amendment to the conditional use permit, subject to either Zoning Administrator or Planning Commission approval, depending on the nature of the proposed change.
11. Prior to the issuance of a building permit, a copy of recorded Lot Line Adjustment No. 23-01 shall be provided to the Economic Development Services Department.
12. The applicant shall control litter originating from the site (i.e. paper/plastic goods, food items, drink containers, etc.) on a daily basis. On-site trash receptacles visible from the public right-of-way shall be emptied and litter be removed on a regular basis.
13. The conditions of approval for DR-23-01 and LL-23-01 shall be blueprinted on the face of the site plan as part of the plan check submittal package.
14. No modification(s) of the approved building elevations including, but not limited to, changes that increase the building height, removal of building articulation, or a change of the finish material(s), shall be made during construction without prior Planning Division written approval. Failure to obtain prior Planning Division approval of the modification could result in the requirement of the applicant to process the modification through a discretionary review process such as a minor design review or variance, or in the requirement to modify the construction to reflect the approved plans.
15. Transformers, backflow preventers, and any other approved above-ground utility improvement shall be located outside of the required street setback area and shall be screened upon view, under direction of Planning staff.

- Any deviation from this requirement shall be subject to review and approval of the Development Services Director.
16. No exterior roof access ladders, roof drain scuppers, or roof drain downspouts are permitted. This condition relates to visually prominent features of scuppers or downspouts that not only detract from the architecture but may be spilling water from overhead without an integrated gutter system which would typically channel the rainwater from the scupper/downspout to the ground. An integrated downspout/gutter system which is painted to match the building would comply with the condition. This condition shall be completed under the direction of the Planning Division.
 17. The use shall be conducted, at all times, in a manner that will allow the quiet enjoyment of the surrounding neighborhood. The applicant and/or business owner shall institute appropriate security and operational measures are necessary to comply with this requirement.
 18. No outdoor public communication systems shall be installed without prior review and approval by the Planning Division. If an outdoor public communication systems is installed, the system shall not be audible in adjacent residential areas.
 19. The maximum occupancy, as determined by provisions of the Uniform Building Code or other applicable codes, shall be posted in public view within the premises, and it shall be the responsibility of management to ensure that this limit is not exceeded at any time. Occupant loads for the open patio area and the enclosed building area shall be calculated and posted separately.
 20. All special events shall be reviewed by Planning Division for approval prior to the event, and may require a "Special Event Permit" from the Finance Department prior to the event.
 21. The existing security gate located at the entrance between APNs 425-423-20 and 425-423-41 shall remain open at all times for ingress and egress purposes.
 22. A total of 29 trees shall be included onsite to meet Landscaping requirements as specified in Costa Mesa Municipal Code Section 13-106(a)(1).

CODE REQUIREMENTS

The following list of State and local laws applicable to the project has been compiled by staff for the applicant's reference. Any reference to "City" pertains to the City of Costa Mesa. The applicant is also required to comply with any other applicable State and local laws not provided below.

- PIng. 1. Approval of the planning/zoning application is valid for two years from the effective date of this approval and will expire at the end of that period unless applicant establishes the use by one of the following actions: 1) a building permit has been issued and construction has commenced, and has continued to maintain a valid building permit by making satisfactory progress as

determined by the Building Official, 2) a certificate of occupancy has been issued, or 3) the use is established and a business license has been issued. A time extension can be requested no less than 30 days or more than sixty (60) days before the expiration date of the permit and submitted with the appropriate fee for review to the Planning Division. The Director of Development Services may extend the time for an approved permit or approval to be exercised up to 180-days subject to specific findings listed in Title 13, Section 13-29 (k) (6). Only one request for an extension of 180 days may be approved by the Director. Any subsequent extension requests shall be considered by the original approval authority.

2. Hours of construction shall comply with Section 13-279, Title 13, of the Costa Mesa Municipal Code.
3. Street address shall be visible from the public street and/or shall be displayed on the freestanding sign. If there is no freestanding sign, the street address may be displayed on the fascia adjacent to the main entrance or on another prominent location. When the property has alley access, address numerals shall be displayed in a prominent location visible from the alley. Numerals shall be a minimum twelve (12) inches in height with not less than three-fourth-inch stroke and shall contrast sharply with the background. Identification of individual units shall be provided adjacent to the unit entrances. Letters or numerals shall be four (4) inches in height with not less than one-fourth-inch stroke and shall contrast sharply with the background.
4. Any mechanical equipment such as air-conditioning equipment and duct work shall be screened from view in a manner approved by the Planning Division.
5. Trash enclosure(s) or other acceptable means of trash disposal shall be provided. Design of trash enclosure(s) shall conform to City standards.
6. Vehicle standing, loading and unloading shall be conducted so as not to interfere with normal use of streets, sidewalks, driveways and on-site parking.
7. No vehicle loading area shall encroach into a required building setback along a public right-of-way.
- Eng. 8. Submit two copies of the recorded Lot Line Adjustment to the Engineering Division.
9. At the time of development submit for approval an Offsite Plan to the Engineering Division and Grading Plan to the Building Division that shows Sewer, Water, Existing Parkway Improvements and the limits of work on the site, and hydrology calculations, both prepared by a registered Civil Engineer or Architect. Construction Access approval must be obtained prior to Building or Engineering Permits being issued by the City of Costa Mesa. Pay Offsite Plan Check fee per Section 13-231 of the C.C.M.M.C. and an approved Offsite Plan shall be required prior to Engineering Permits being issued by the City of Costa Mesa.

10. Maintain the public Right-of-Way in a "wet-down" condition to prevent excessive dust and remove any spillage from the public Right-of-Way by sweeping or sprinkling.
11. Obtain an encroachment permit from the Engineering Division for any work in the City public right-of-way. Pay required permit fee & cash deposit or surety bond to guarantee construction of off-site street improvements at time of permit per section 15-31 & 15-32, C.C.M.M.C. as approved by City Engineer. Cash deposit or surety bond amount to be determined by City Engineer.
12. Obtain a permit from the City of Costa Mesa, Engineering Division, at the time of development and then construct P.C.C. driveway approach per City of Costa Mesa Standards as shown on the Offsite Plan. Location and dimensions are subject to the approval of the Transportation Services Manager. ADA compliance required for new driveway approaches.
13. Obtain a permit from the City of Costa Mesa, Engineering Division, at the time of development and then remove any existing driveways and/or curb depressions that will not be used and replace with full height curb and sidewalk at applicant's expense.
14. Fulfill Drainage Fee requirements per City of Costa Mesa Ordinance No. 06-19 prior to approval of approval of plans.
15. In order to comply with the 2003 Drainage Area Management Plan (DAMP), the proposed Project shall prepare a Water Quality Management Plan conforming to the Current National Pollution Discharge Elimination System (NPDES) and the Model WQMP, prepared by a Licensed Civil Engineer or Environmental Engineer, which shall be submitted to the Department of Public Works for review and approval.
 - a) A WQMP (Priority or Non-Priority) shall be maintained and updated as needed to satisfy the requirements of the adopted NPDES program. The plan shall ensure that the existing water quality measures for all improved phases of the project are adhered to.
 - b) Location of BMPs shall not be within the public right-of-way.
- Trans. 16. Fulfill mitigation of off-site traffic impacts at the time of issuance of Building Permit by submitting to the Transportation Division the required Traffic Impact Fee pursuant to the prevailing schedule of charges adopted by the City Council. The Traffic Impact Fee is based on the net daily trip generation of 1104 trip ends for the proposed project and includes a credit for any previously existing use. At the current rate, the Traffic Impact Fee is estimated at \$ 259,416.50. NOTE: The Traffic Impact Fee will be recalculated at the time of issuance of the Building Permit based upon any changes in the prevailing schedule of charges adopted by the City Council and in effect at that time.
- Bldg. 17. Comply with the requirements of the following adopted codes: 2022 California Residential Code, 2022 California Building Code, 2022 California Electrical Code, 2022 California Mechanical Code, 2022 California Plumbing Code, 2022 California Green Building Standards Code and 2022

California Energy Code (or the applicable adopted, California Residential Code, California Building Code, California Electrical Code, California Mechanical Code, California Plumbing Code, California Green Building Standards and California Energy Code at the time of plan submittal or permit issuance) and California Code of Regulations also known as the California Building Standards Code, as amended by the City of Costa Mesa. Requirements for accessibility to sites, facilities, buildings and elements by individuals with disability shall comply with chapter 11B of the 2022 California Building Code.

18. The conditions of approval and ordinance or code provisions of Development Review 23-01 subsequent amendments shall be blueprinted on the face of the site plan as part of the plan check submittal package when building permits are necessary.
19. Plans shall be prepared by a California licensed Architect or Engineer. Plans shall be wet stamped and signed by the licensed Architect or Engineer prior to the issuance of building permits.
- Fire 20. Comply with the requirements of the 2022 California Fire Code, including the reference standard, as adopted and amended by the Costa Mesa Fire & Rescue Department.
Deferred submittals needed - Fire Sprinklers, Alarm System and Monitoring, Gas detection if CO2 connection is over 100 lbs., and Hood System.
21. Comply with the requirements of the 2022 California Fire Code, including the 2022 Intervening Update and referenced standards as amended by the City of Costa Mesa.
22. Quarterly Fire & Life Safety Inspections will be conducted by the Community Risk Reduction Division to verify compliance with the approval operation. The applicant will pay for the inspection according to the Additional Required Inspections as adopted in the Fee Schedule.
23. Annual Fire & Life Safety Inspections will be conducted by the Fire Station Crew for emergency response pre-planning and site access familiarization. The applicant will pay for the inspection according to the adopted Fee Schedule.
- Bus. 24. All contractors and subcontractors must have valid business licenses to do
Lic. business in the City of Costa Mesa. Final inspections, final occupancy and utility releases will not be granted until all such licenses have been obtained.



Chick-fil-A Newport & 17th – Project Description

Location

The proposed Chick-fil-A restaurant is located at 1670 Newport Blvd, Costa Mesa, CA 92627. The site is currently occupied by a vacant/shuttered Outback Steakhouse which would be demolished and replaced by a new 5,202 sf Chick-fil-A building in the course of the development. 74 interior seats and 26 patio seats are proposed. There would be no drive-through service at this location; instead, this Chick-fil-A will serve the community via dine-in and carry-out services.

Food

Chick-fil-A provides customers with fresh, good nutrition and a balanced menu that allows accommodation of individual dietary needs. Our items on the menu are made from scratch daily—hand-chopped salads, hand-breaded chicken, and handspun milkshakes. Options are provided for all dietary needs, and the website is a great resource for people who have nutritional restrictions. Chick-fil-A wants to be considered a ‘home away from home;’ customers are treated like family with a clean, welcoming dining experience provided for all.

Deliveries

Nighttime deliveries (after restaurant has closed) are proposed as this minimizes the impact of on-site circulation and disruption of business. Deliveries to the restaurant occur roughly 4 times per week and typically take 45-60 minutes for deliveries.

Hours of Operation

The new Chick-fil-A is anticipated to be open for business Monday through Saturday from 6:00 a.m. to 11:00 p.m. Chick-fil-A is closed on Sunday.

Job Opportunities

Chick-fil-A strives to offer all employees and staff a positive workplace with opportunities for leadership development and promotion to management roles. In fact, some team members even go on to become Operators. Chick-fil-A recognizes that to take care of restaurant guests, it is critical to first take care of team members. To attract and retain the best team members, highly competitive wages are offered. Furthermore, team members can apply for scholarships and other work benefits. Finally, work-life balance is respected as everyone is guaranteed to have Sundays off.

Community Involvement

Chick-fil-A places great emphasis on community involvement and leadership. Individual restaurants are well-known for serving their local communities through volunteerism, food donations, and other partnerships with non-profit organizations.



The restaurant in Costa Mesa would be a locally owned and operated business with employment and tax benefits going back to the community. Operators seek to become highly involved in their local communities, frequently working to support schools and organizations and live within their communities.

www.Chick-fil-A.com

CODE INFORMATION

BUILDING CODE	2022 CALIFORNIA BUILDING CODE
PLUMBING CODE	2022 CALIFORNIA PLUMBING CODE
MECHANICAL CODE	2022 CALIFORNIA MECHANICAL CODE
ELECTRICAL CODE	2022 CALIFORNIA ELECTRICAL CODE
ACCESSIBILITY CODE	2022 CALIFORNIA BUILDING CODE
ENERGY CODE	2022 CALIFORNIA ENERGY CODE
FIRE CODE	2022 CALIFORNIA FIRE CODE
GAS CODE	2022 CALIFORNIA PLUMBING CODE

BUILDING DATA

OCCUPANCY: 42 (RESTAURANT)
 FIRE SPRINKLER: YES
 CONSTRUCTION TYPE: V-B
 SITE AREA: 4,800 s.f. (1.41 Acre)
 BUILDING AREA: 5,202 s.f.
 OUTDOOR PATIO AREA: 863 s.f.
 F&E: 16.47%
 ZONING: C-1 (LOCAL BUSINESS)
 MAX. BUILDING HEIGHT: 30 FEET
 APN: 425-42-015

PARKING

PARKING SPACES PROVIDED: 87
 BASIS: 1100 SQ. FT. FOR THE FIRST 1,000 SQ. FT. + 12 SPACES PER EACH ADDITIONAL 1,000 SQ. FT.

BUILDING AREA: 5,202 SQ. FT.
 PATIO #1: 598 SQ. FT.
 PATIO #2: 265 SQ. FT.
 TOTAL AREA: 6,065 SQ. FT.
 PARKING SPACES NEEDED: 30 SPACES
 (3,900 / 1000) X 10 =
 (3,065 / 1000) X 10 =
 TOTAL PARKING NEEDED: 87 SPACES

PARKING SPACES PROVIDED: 91
 STANDARD SPACES: 89
 ACCESSIBLE SPACES: 4 (1 VAN ACCESSIBLE)
 EV SPACES: 4 (1 VAN ACCESSIBLE)

SHORT-TERM BICYCLE SPACES: 5% OF PARKING
 LONG-TERM BICYCLE SPACE: 5% OF EMPLOYEE
 PARKING OF 20 STALLS
 TOTAL BICYCLE SPACE PROVIDED: 8 (4 SHORT TERM + 2 LONG TERM)

Architect:

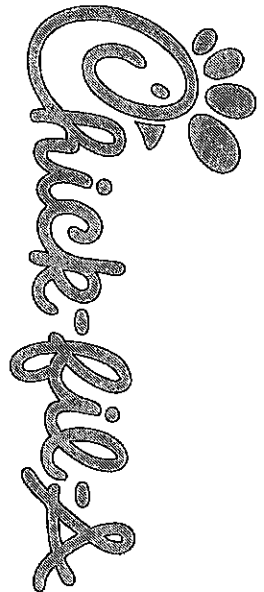
C. RAHO,
 1633 17TH STREET, SUITE 301
 SANTA ANA, CA, 92705
 PHONE: (714) 532-1634
 FAX: (714) 532-1634
 CONTACT: AMIN ATLASCHI
 E-MAIL: amin@crho.com

Landscape Architect:

JOHN HOURIAN & ASSOCIATES
 414 OLIVE STREET #227
 SANTA BARBARA, CA 93101
 PHONE: (949) 489-5623 X 101
 FAX: (858) 810-6335
 CONTACT: NICOLE HOURIAN
 E-MAIL: nhourian@johnhourianassociates.com

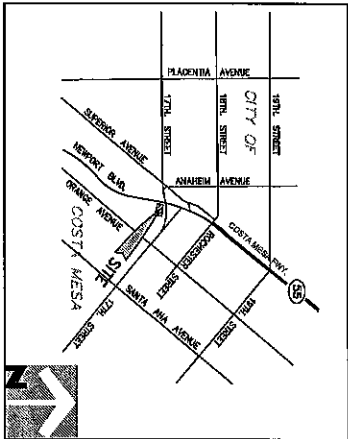
Civil Engineer:

TRUXAW AND ASSOCIATES
 1915 W. ORANGEWOOD AVE.
 SUITE 101
 ORANGE, CA 92668
 PHONE: (714) 935-0265
 CONTACT: RANDY DECKER
 E-MAIL: randydecker@truxaw.com



5200 Burlington Road
 Atlanta, Georgia 30349-2998
 Phone: (404) 765-8000
 Fax: (404) 694-8550

**1670 NEWPORT BOULEVARD
 COSTA MESA, CA 92627**



1 VICINITY MAP
 NOT TO SCALE

DRAWING INDEX

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SP-1	SITE PLAN
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2 OF 4	CIVIL CONCEPTUAL GRADING PLAN
3 OF 4	CIVIL CONCEPTUAL UTILITY PLAN
4 OF 4	CIVIL CONCEPTUAL UTILITY PLAN
1 OF 3	ALTA TITLE SHEET
2 OF 3	ALTA (PART 1)
3 OF 3	ALTA (PART 2)
L-1	PRELIMINARY LANDSCAPE PLAN
L-1.1	PRELIMINARY WATER CONSERVATION PLAN
L-1.2	PRELIMINARY IRRIGATION PLAN
L-1.3	PRELIMINARY RESERVATION PLAN
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A-3-01	ELEVATIONS
A-4-01	BUILDING SECTIONS
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PROJECT DESCRIPTION

A NEW QUICK-SERVICE RESTAURANT IN AN EXISTING COMMERCIAL PROPERTY CURRENTLY USED FOR A SIT-DOWN RESTAURANT. NO DRIVE-THROUGH, ONLY INDOOR DINING (78 SEATS) & OUTDOOR DINING (40 SEATS). SCOPE OF WORK INCLUDES UPGRADES TO THE EXISTING PARKING LOT (RESTRIPIING, SLURRY SEALING ALL EXISTING ASPHALT PAVING, NEW LANDSCAPING AND LOT LIGHTING) BUILDING AREA: 5,202 SQ. FT.
 2 OUTDOOR PATIO AREAS : 863 SQ. FT. (COMBINED)



Chick-fil-A
 5200 Burlington Road
 Atlanta, Georgia
 30349-2998



1133 E. 17th Street
 3rd Floor - Suite 301
 Santa Ana, CA 92705
 Phone 714.832.1134

CHICK-FIL-A
 NEWPORT & 17TH
 1670 NEWPORT BLVD.,
 COSTA MESA, CA

STORE # 05344

REVISIONS
 NO. DATE DESCRIPTION
 0001 04/24/2024 PREPARED FOR PERMITTING

DESIGNED BY	AMIN ATLASCHI
CHECKED BY	AMIN ATLASCHI
DATE	04/24/2024
PROJECT NO.	05344
SCALE	AS SHOWN
PROJECT LOCATION	1670 NEWPORT BLVD., COSTA MESA, CA
CLIENT	CHICK-FIL-A
ARCHITECT	architects
LANDSCAPE ARCHITECT	JOHN HOURIAN & ASSOCIATES
CIVIL ENGINEER	TRUXAW AND ASSOCIATES

CUP RESUBMITTAL
G-000

E 17TH ST
(PUBLIC STREET)

NEWPORT BLVD.

SITE PLAN
1" = 20'-0"



PROJECT DESCRIPTION
A NEW QUICK-SERVICE RESTAURANT IN AN EXISTING COMMERCIAL PROPERTY CURRENTLY USED FOR A SIT-DOWN RESTAURANT. NO DRIVE-THROUGH, ONLY INDOOR DINING (72 SEATS) & OUTDOOR DINING (40 SEATS).
BUILDING AREA : 5,202 SQ. FT.
2 OUTDOOR PATIO AREAS : 863 SQ. FT. (COMBINED)

SITE INFORMATION
OCCUPANCY: A2 (RESTAURANT)
FIRE SPRINKLERED: YES
CONSTRUCTION TYPE: V-B
SITE AREA: 48,880 s.f. (1.141 Acres)
BUILDING AREA: 5,202 s.f.
OUTDOOR PATIO AREA: 863 s.f.
FAR: 10.41%
ZONING: C-1 (LOCAL BUSINESS)
MAX. BUILDING HEIGHT: 30 FEET
APN: 425-423-015

PARKING CALCULATION
PARKING SPACES REQUIRED: 67
BASIS: 1/100 SF FOR THE FIRST 3,000 SQ FT + 12 SPACES PER EACH ADDITIONAL 1,000 SQ FT OF:
BUILDING AREA: 5,202 SQ FT
PATIO #1: 598 SQ FT
PATIO #2: 265 SQ FT
TOTAL AREA: 6,065 SQ FT
PARKING SPACES NEEDED: 30 SPACES (3,000 / 1,000) X 10 = 30 SPACES (3,065 / 1,000) X 12 = 37 SPACES
TOTAL NEEDED: 67 SPACES
PARKING SPACES PROVIDED: 91
STANDARD SPACES: 83
ACCESSIBLE SPACES: 4 (1 VAN ACCESSIBLE) 4 (1 VAN ACCESSIBLE)
EV SPACES:
SHORT-TERM BICYCLE SPACES: 5% OF PARKING 4 REQD.
LONG-TERM BICYCLE SPACE: 5% OF EMPLOYEE PARKING OF 20 STALLS 1 REQD.
TOTAL BICYCLE SPACE PROVIDED: 6 (4 SHORT TERM + 2 LONG TERM)

LEGEND
PROPOSED LANDSCAPE AREA:
NEW CONC. SIDEWALK
PROPERTY LINE:
PROPOSED CANOPY AREA
NEW CONC. CURB:
PATH OF TRAVEL
NUMBER OF PARKING SPACES:



Chick-fil-A
3200 E. 17th Street
Alamogordo, Georgia
30489-2388

ortho architects
1833 E. 17th Street
3rd Floor - Suite 301
Santa Ana, CA 92705
Phone 714.521.1104

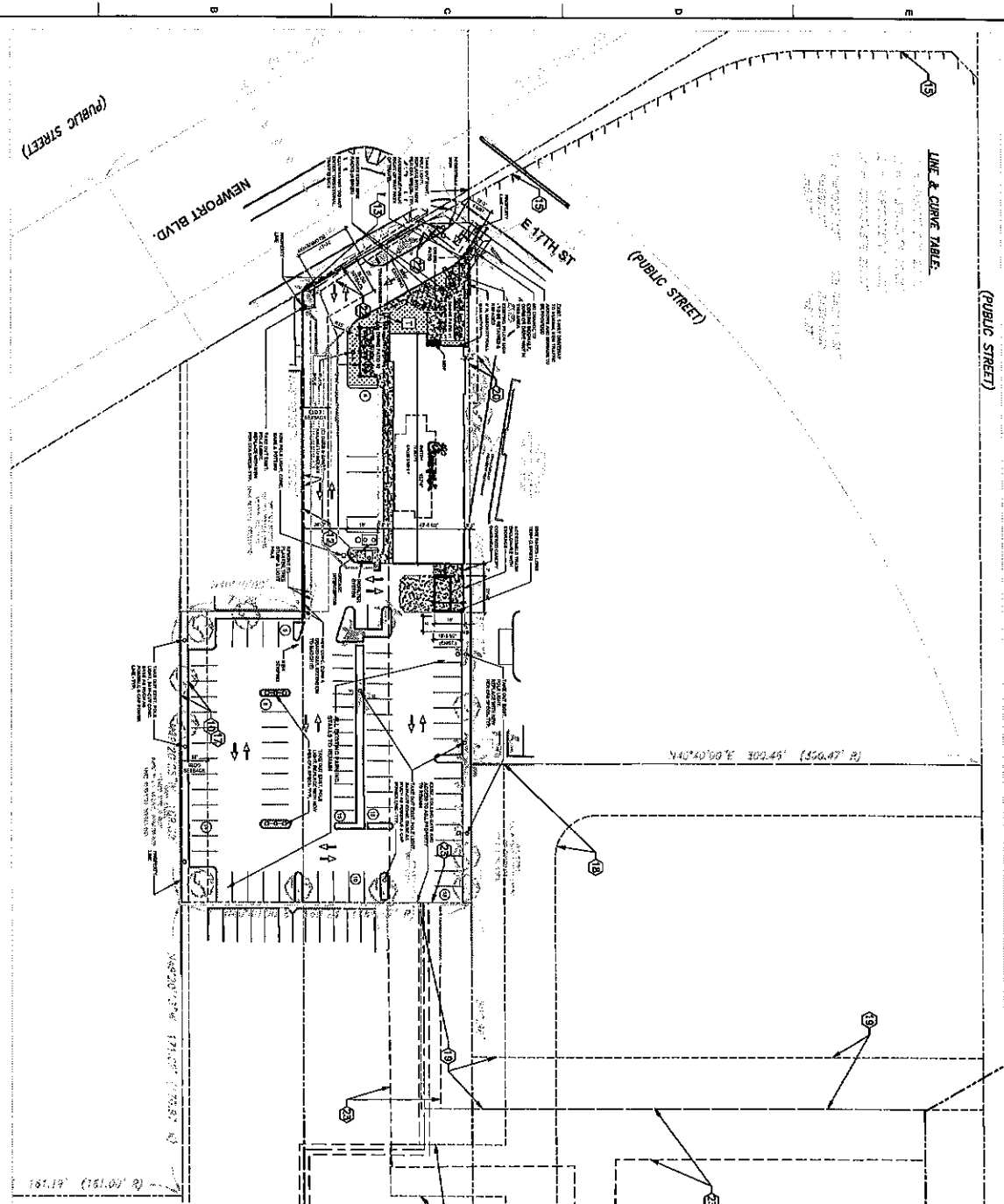
CHICK-FIL-A
NEWPORT & 17TH
1670 NEWPORT BLVD.,
COSTA MESA, CA

STORE # 05344

REVISION SCHEDULE

NO.	DATE	DESCRIPTION
1	5/21/23	CP# 05344-001
2	5/24/23	CP# 05344-002
3	5/24/23	CP# 05344-003
4	5/24/23	CP# 05344-004
5	5/24/23	CP# 05344-005
6	5/24/23	CP# 05344-006
7	5/24/23	CP# 05344-007
8	5/24/23	CP# 05344-008
9	5/24/23	CP# 05344-009
10	5/24/23	CP# 05344-010
11	5/24/23	CP# 05344-011
12	5/24/23	CP# 05344-012
13	5/24/23	CP# 05344-013
14	5/24/23	CP# 05344-014
15	5/24/23	CP# 05344-015
16	5/24/23	CP# 05344-016
17	5/24/23	CP# 05344-017
18	5/24/23	CP# 05344-018
19	5/24/23	CP# 05344-019
20	5/24/23	CP# 05344-020
21	5/24/23	CP# 05344-021
22	5/24/23	CP# 05344-022
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25	5/24/23	CP# 05344-025
26	5/24/23	CP# 05344-026
27	5/24/23	CP# 05344-027
28	5/24/23	CP# 05344-028
29	5/24/23	CP# 05344-029
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95	5/24/23	CP# 05344-095
96	5/24/23	CP# 05344-096
97	5/24/23	CP# 05344-097
98	5/24/23	CP# 05344-098
99	5/24/23	CP# 05344-099
100	5/24/23	CP# 05344-100

CUP RESUBMITTAL
SITE PLAN
SP-01



OVERALL SITE PLAN
1" = 30' 0"



EASEMENT NOTES

- 10 THE TERMS, PROVISIONS AND EASEMENT(S) CONTAINED IN THE DOCUMENT ENTITLED "AGREEMENT" RECORDED SEPTEMBER 7, 1987 AS BOOK 909, PAGE 188 OF OFFICIAL RECORDS.
- 11 THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "PARTY WALL AGREEMENT" RECORDED AS BOOK 1648, PAGE 382 OF OFFICIAL RECORDS.
- 12 ABUTTER'S RIGHTS OF INGRESS AND EGRESS TO OR FROM ADJOINING FREeway OR HIGHWAY HAVE BEEN RELINQUISHED IN THE DOCUMENT RECORDED SEPTEMBER 30, 1982 AS BOOK 238, PAGE 410 OF OFFICIAL RECORDS.
- 13 ABUTTER'S RIGHTS OF INGRESS AND EGRESS TO OR FROM ADJOINING STATE HIGHWAY HAVE BEEN RELINQUISHED IN THE DOCUMENT RECORDED MAY 11, 1983 AS BOOK 256, PAGE 404 OF OFFICIAL RECORDS.
- 14 AN EASEMENT FOR UNDERGROUND SEWER PIPE LINES AND INCIDENTAL PURPOSES IN THE DOCUMENT RECORDED JULY 31, 1987 AS BOOK 3890, PAGE 558 OF OFFICIAL RECORDS.
- 15 A RIGHT OF WAY 4 FEET IN WIDTH FOR INSTALLING AND MAINTAINING A PIPE LINE FOR THE CONVEYANCE OF WATER AND INCIDENTAL PURPOSES, ALONG THE SOUTHERLY PORTION OF THAT PORTION OF SAID PARCELS 1 AND 8 INCLUDED WITHIN THE LAND DESCRIBED IN THE DEED TO USVISA PROPERTIES, INC., RECORDED JUNE 9, 1998 IN BOOK 4308, PAGE 445 OF OFFICIAL RECORDS, AS PROVIDED IN AN AGREEMENT BY AND BETWEEN EDWARD E. MURPHY AND L. G. GOODMAN, RECORDED SEPTEMBER 7, 1997 IN BOOK 509, PAGE 188 OF OFFICIAL RECORDS, TO WHICH RECORDS REFERENCE IS HEREBY MADE FOR FULL PARTICULARS. THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "JOINT TENANCY GRANT DEED" RECORDED AS BOOK 4326, PAGE 75 OF OFFICIAL RECORDS.
- 16 THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "GRANT DEED" RECORDED AS BOOK 4260, PAGE 477 OF OFFICIAL RECORDS.
- 17 AN EASEMENT FOR PUBLIC UTILITIES AND INCIDENTAL PURPOSES, RECORDED MARCH 30, 1983 AS INSTRUMENT NO. 83-433543 OF OFFICIAL RECORDS.
- 18 AN EASEMENT FOR RIGHT OF WAY FOR UNDERGROUND ELECTRICAL SUPPLY SYSTEMS AND COMMUNICATION SYSTEMS AND INCIDENTAL PURPOSES, RECORDED FEBRUARY 09, 1998 AS INSTRUMENT NO. 19890071978 OF OFFICIAL RECORDS.
- 19 THE TERMS, PROVISIONS AND EASEMENT(S) CONTAINED IN THE DOCUMENT ENTITLED "EASEMENT AGREEMENT" RECORDED OCTOBER 16, 1998 AS INSTRUMENT NO. 1989688557 OF OFFICIAL RECORDS.
- 20 (AFFECTS PARCELS 1 THROUGH 4)



Club-Golf
5700 Alameda Road
Alameda, Georgia
30209-2288

grho architects
1931 E. 17th Street
3rd Floor - Suite 301
Costa Mesa, CA 92626
Phone 714.552.1550

CHICK-FIL-A
NEWPORT & 17TH
1670 NEWPORT BLVD.,
COSTA MESA, CA

STORE # 05344
REGISTRATION NO. 0000000000
LIC. NO. 0000000000
CUP NUMBER 0000000000

CUP RESUBMITTAL
SUBMITTABLE
SP-1A

LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF COSTA MESA, COUNTY OF ORANGE, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

PARCEL 1:
THE NORTHWESTERLY 48.40 FEET OF LOT 72 OF NEWPORT HEIGHTS, AS SHOWN ON A MAP RECORDED IN BOOK 4, PAGE 83 OF MISCELLANEOUS MAPS, RECORDS OF ORANGE COUNTY, CALIFORNIA, THE SOUTHWESTERLY LINE OF SAID LAND BEING PARALLEL TO AND DISTANT 48.40 FEET, MEASURED AT RIGHT ANGLES FROM THE NORTHWESTERLY LINE OF SAID LOT 72.

EXCEPTING THEREFROM THAT PORTION LYING SOUTHEASTERLY OF THE FOLLOWING DESCRIBED LINE:

COMMENCING AT THE MOST NORTHERLY CORNER OF THE LAND DESCRIBED IN A DEED TO A. F. ADAIR AND WIFE, RECORDED ON SEPTEMBER 3, 1954 IN BOOK 2810, PAGE 86 OF OFFICIAL RECORDS; THENCE SOUTHEASTERLY PARALLEL WITH THE NORTHWESTERLY LINE OF SAID LOT 72, A DISTANCE OF 385.37 FEET TO THE MOST SOUTHWESTERLY CORNER OF THE LAND DESCRIBED IN A DEED TO LUCILLE L. BARNETT, RECORDED JULY 16, 1959 IN BOOK 4350, PAGE 473 OF OFFICIAL RECORDS OF ORANGE COUNTY; THENCE NORTHWESTERLY PARALLEL WITH THE SOUTHEASTERLY LINE OF SAID LOT 72, A DISTANCE OF 98.40 FEET TO ITS INTERSECTION WITH THE NORTHWESTERLY LINE OF SAID LOT 72.

ALSO EXCEPTING THEREFROM THAT PORTION OF SAID LAND CONVERTED TO THE STATE OF CALIFORNIA BY DEED RECORDED SEPTEMBER 30, 1952 IN BOOK 2289, PAGE 410 OF OFFICIAL RECORDS, ALSO EXCEPTING THEREFROM THOSE PORTIONS DESCRIBED IN DEEDS TO THE CITY OF COSTA MESA RECORDED NOVEMBER 12, 1986 AS INSTRUMENT NO. S 86-554293 AND 86-554296 OF SAID OFFICIAL RECORDS.

PARCEL 2:
NEWPORT HEIGHTS, AS SHOWN ON A MAP RECORDED IN BOOK 4, PAGE 83 OF MISCELLANEOUS MAPS, RECORDS OF ORANGE COUNTY, CALIFORNIA.

EXCEPTING THEREFROM THAT PORTION LYING SOUTHEASTERLY OF THE FOLLOWING DESCRIBED LINE:

COMMENCING AT THE MOST NORTHERLY CORNER OF THE LAND DESCRIBED IN A DEED TO A. F. ADAIR AND WIFE, RECORDED ON SEPTEMBER 3, 1954 IN BOOK 2810, PAGE 86 OF OFFICIAL RECORDS; THENCE SOUTHEASTERLY PARALLEL WITH THE NORTHWESTERLY LINE OF SAID LOT 72, A DISTANCE OF 355.87 FEET TO THE MOST EASTERLY CORNER OF THE LAND DESCRIBED IN A DEED TO LUCILLE L. BARNETT, RECORDED ON JULY 16, 1959 IN BOOK 4350, PAGE 473 OF OFFICIAL RECORDS OF SAID ORANGE COUNTY; THENCE NORTHWESTERLY PARALLEL WITH THE SOUTHEASTERLY LINE OF SAID LOT 72, A DISTANCE OF 80.40 FEET TO ITS INTERSECTION WITH THE NORTHWESTERLY LINE OF SAID LOT 72.

ALSO EXCEPTING THEREFROM THAT PORTION OF SAID LAND CONVERTED TO THE STATE OF CALIFORNIA BY DEED RECORDED SEPTEMBER 30, 1952 IN BOOK 2289, PAGE 410 OF OFFICIAL RECORDS.

PARCEL 3:

THE NORTHWESTERLY 170.00 FEET OF THE FOLLOWING: THAT PORTION OF LOT 72 OF NEWPORT HEIGHTS, AS SHOWN ON MAP RECORDED IN BOOK 4, PAGE 83 OF MISCELLANEOUS MAPS, RECORDS OF ORANGE COUNTY, CALIFORNIA, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT IN THE SOUTHEASTERLY LINE OF SAID LOT 72 DISTANT THEREON 88.40 FEET SOUTHWESTERLY FROM THE MOST EASTERLY CORNER OF SAID LOT 72, SAID POINT BEING ALSO THE MOST EASTERLY CORNER OF THE LAND CONVERTED TO FRANK P. JOHNSON AND WIFE BY DEED RECORDED DECEMBER 28TH, 1949 IN BOOK 1376, PAGE 345 OF OFFICIAL RECORDS; AND RUNNING THENCE NORTHWESTERLY PARALLEL WITH THE NORTHWESTERLY LINE OF SAID LOT 72, BEING ALONG THE NORTHWESTERLY LINE OF SAID LAND CONVERTED TO JOHNSON, TO A POINT DISTANT THEREON SOUTHWESTERLY 188.87 FEET FROM THE MOST NORTHERLY CORNER OF SAID LAND CONVERTED TO JOHNSON; THENCE SOUTHWESTERLY PARALLEL WITH THE SOUTHWESTERLY LINE OF SAID LOT 72, 70.00 FEET, MORE OR LESS, TO THE SOUTHWESTERLY CORNER OF SAID LAND CONVERTED TO JOHNSON; THENCE SOUTHWESTERLY ALONG SAID LAST MENTIONED SOUTHWESTERLY LINE TO THE SOUTHWESTERLY LINE OF SAID LOT 72; THENCE NORTHWESTERLY ALONG SAID SOUTHWESTERLY LINE 70.00 FEET TO THE POINT OF BEGINNING.

PARCEL 4:

THAT PORTION OF LOT 82 OF NEWPORT HEIGHTS AS SHOWN ON MAP RECORDED IN BOOK 4, PAGE 83 OF MISCELLANEOUS MAPS, RECORDS OF ORANGE COUNTY, CALIFORNIA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE CENTERLINE INTERSECTION OF 11TH STREET AND ORANGE AVENUE; THENCE NORTH 44° 58' 52" WEST ALONG THE SAID CENTERLINE OF 11TH STREET A DISTANCE OF 792.00 FEET TO A POINT ON A LINE PARALLEL AND 792.00 FEET NORTHWESTERLY OF THE CENTERLINE OF ORANGE AVENUE; THENCE SOUTH 40° 01' 06" WEST ALONG SAID PARALLEL LINE A DISTANCE OF 330.45 FEET TO A POINT OF THE SOUTHWESTERLY LINE OF SAID LOT 82; THENCE NORTH 49° 58' 52" WEST ALONG SAID SOUTHWESTERLY LINE OF LOT 82 A DISTANCE OF 103.114 FEET TO THE TRUE POINT OF BEGINNING; THENCE NORTH 74° 56' 07" EAST A DISTANCE OF 10.81 FEET TO POINT ON A TANGENT CURVE CONCAVE SOUTHERLY HAVING A RADIUS OF 897.00 FEET; THENCE NORTHWESTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 33° 13.84" AN ARC DISTANCE OF 5.77 FEET; THENCE SOUTH 44° 30' 38.40" EAST 23.40 FEET; THENCE NORTH 48° 58' 52" WEST A DISTANCE OF 28.871 FEET TO THE TRUE POINT OF BEGINNING.

PARCEL 5:

A NON-EXCLUSIVE EASEMENT FOR UTILITY PURPOSES FOR UNDERGROUND ELECTRICITY, WATER AND GAS PIPE LINES OVER THOSE PORTIONS OF LOT 72 OF NEWPORT HEIGHTS, IN THE CITY OF COSTA MESA, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 4, PAGE 83 OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, LYING WITHIN THREE STRIPS OF LAND 8 FEET IN WIDTH, THE CENTER LINES OF SAID STRIPS BEING DESCRIBED AS FOLLOWS:

STRIP NO. A:

BEGINNING AT A POINT IN THE SOUTHEASTERLY LINE OF SAID LOT 72 DISTANT 98.40 FEET SOUTHWESTERLY FROM THE NORTHWESTERLY CORNER OF SAID LOT 72; THENCE NORTHWESTERLY AT RIGHT ANGLES TO SAID SOUTHEASTERLY LINE 330 FEET.

STRIP NO. B:

BEGINNING AT A POINT IN THE NORTHWESTERLY LINE OF SAID 6 FOOT STRIP ABOVE DESCRIBED DISTANT NORTHWESTERLY 227 FEET FROM THE SOUTHWESTERLY LINE OF SAID LOT 72; THENCE NORTHWESTERLY PARALLEL TO SAID SOUTHWESTERLY LINE A DISTANCE OF 70 FEET.

STRIP NO. C:

BEGINNING AT A POINT IN THE NORTHWESTERLY LINE OF STRIP 2 ABOVE DESCRIBED DISTANT 3 FEET SOUTHWESTERLY FROM THE NORTHWESTERLY TERMINUS THEREOF; THENCE NORTHWESTERLY AT RIGHT ANGLES TO THE SOUTHWESTERLY LINE OF SAID LOT 146 FEET MORE OR LESS TO THE NORTHWESTERLY LINE OF THE SOUTHWESTERLY 470.87 FEET TO SAID LOT.

FOR CONVEYANCING PURPOSES ONLY: APN 425-423-20 (AFFECTS PARCELS 1, 2 AND 4) AND 425-423-15 (AFFECTS PARCEL 3)



Chick-fil-A
5200 Huntington Road
Costa Mesa, CA 92626
949-446-2588

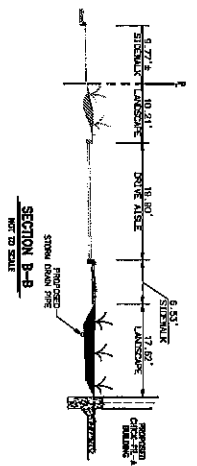
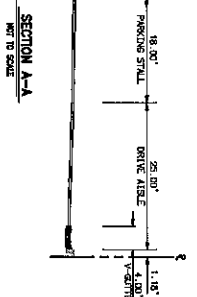
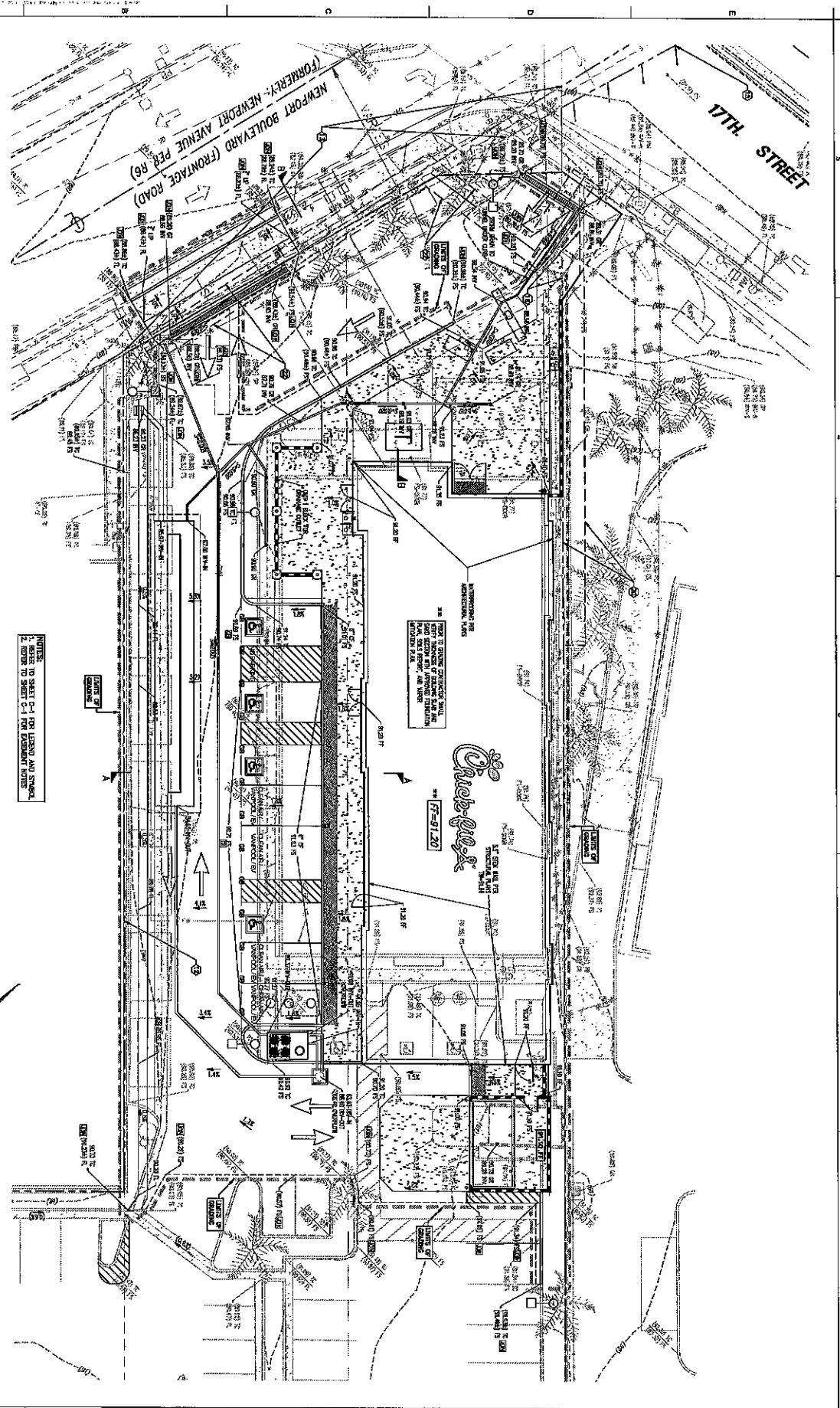
architects
1833 E. 17th Street
4th Floor - Suite 201
Santa Ana, CA 92705
Phone 714.522.1181

CHICK-FIL-A
NEWPORT & 17TH
1670 NEWPORT BLVD.,
COSTA MESA, CA

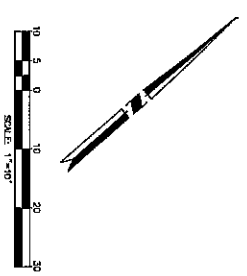
STORE # 05344
MEMBERSHIP
NO. DATE
DESCRIPTION
AMOUNT
DATE
DUP BALANCE
05/28/23

MEMBERSHIP NUMBER	DATE	DESCRIPTION	AMOUNT
05344	05/28/23	DUP BALANCE	0.00

CUP RESUMITLAL
SP-1B



NOTES:
 1. REFER TO SHEET C-4 FOR LAYOUT AND SPECIAL NOTES TO SHEET C-1 FOR LAYOUT AND SPECIAL NOTES.



THIS PLAN IS PRELIMINARY
 NOT FOR CONSTRUCTION

PRELIMINARY
 NOT FOR CONSTRUCTION

PROJECT NO.	05344
DATE	08/20/08
DESIGNED BY	NSJ
DRAWN BY	NSJ
CHECKED BY	NSJ
APPROVED BY	NSJ
CONCEPTUAL/SCHEMATIC PLAN	

CHICK-FIL-A
 1670 NEWPORT BLVD.
 COSTA MESA, CA



JOSEPH C. THURMAN & ASSOCIATES, INC.
 Civil Engineers and Land Surveyors
 1100 S. GARDEN AVENUE
 SUITE 100
 COSTA MESA, CA 92626
 (714) 261-0900

Chick-fil-A
 105 Progress, Suite 100
 COSTA MESA, CA 92626
 (714) 261-0900



C-2



Chick-fil-A
105 Progress, Suite 100
Costa Mesa, CA
92626

Approved by
JASPER & TRACY
ARCHITECTS, INC.
Civil Engineers and
Architects
1935 E. Coastway Ave.
Costa Mesa, CA 92626
(714) 261-2200
(714) 261-2200 FAX



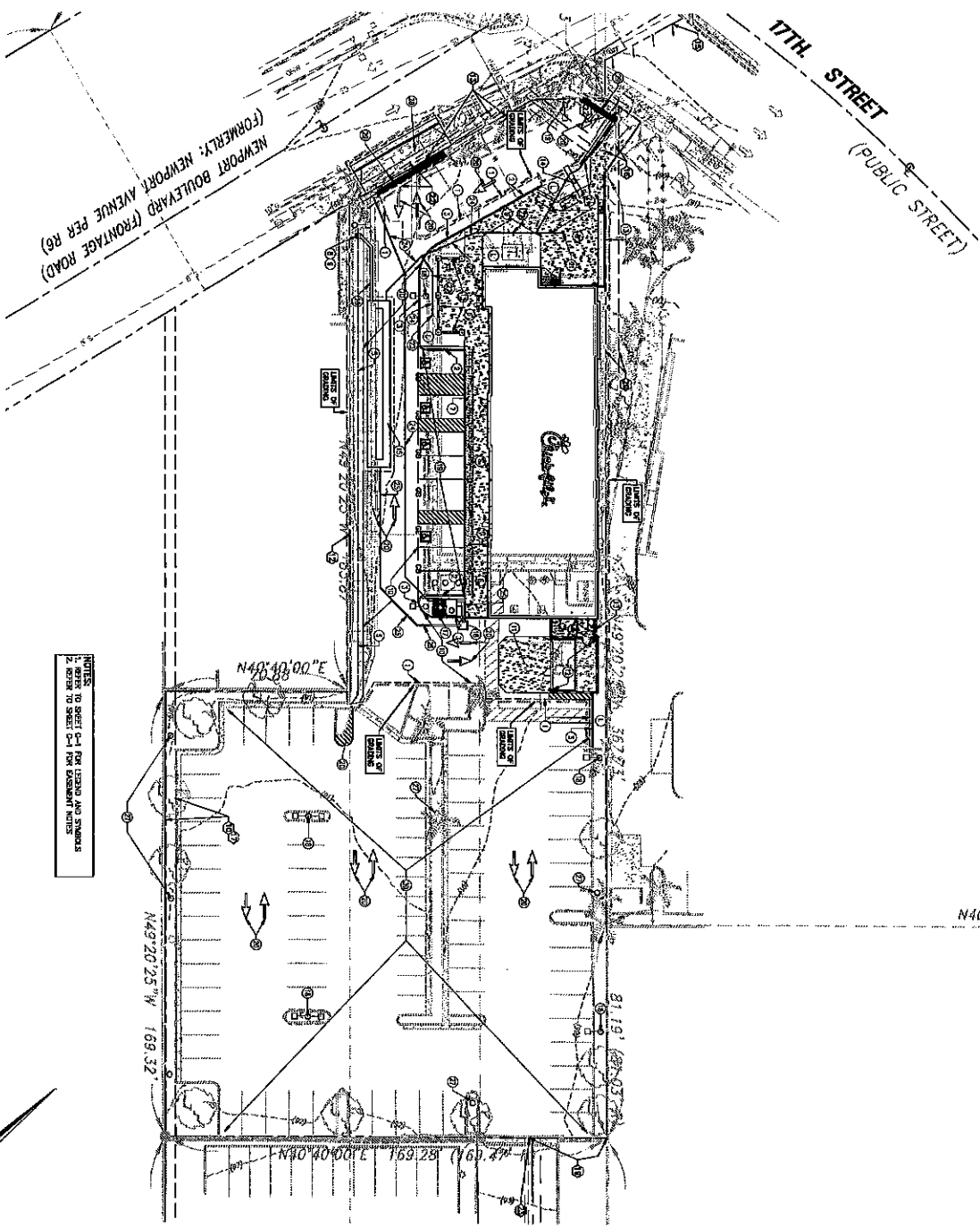
CHICK-FIL-A
17TH ST & NEWPORT
1670 NEWPORT BLVD.
COSTA MESA, CA

FSR# 05344
ARCHITECT/ENGINEER
SEALED
DATE

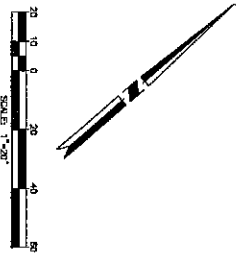
PROJECT	CHICK-FIL-A
CLIENT	CHICK-FIL-A
DATE	06/20/2017
DESIGNED BY	JST
DRAWN BY	JST
CHECKED BY	JST
IN CHARGE	JST
CONSTRUCTION NOTES	
SHEET NUMBER	C-3

CONSTRUCTION NOTES - ON-SITE

- 1 SWIRT & REMOVE EXISTING AT EXISTING CONCRETE CURB, ETC.
- 2 CONSTRUCT CONCRETE 6'-0" CURB WITH 2'-0" STEP OFF
- 3 CONSTRUCT CONCRETE DRIVE CURB UNLESS OTHERWISE SHOWN ON PLANS
- 4 CONSTRUCT CONCRETE 6'-0" CURB & 2'-0" DRIVE CURB
- 5 CONSTRUCT CONCRETE 4'-0" WIDE 4'-0" DRIVE
- 6 CONSTRUCT CONCRETE SIDEWALK/PAVEMENT
- 7 PLACE FINISHED GRADE FOR ADA COMPLIANCE
- 8 CONSTRUCT 2'-0" x 2'-0" GRADED WALK CURB BOUND
- 9 INSTALL ADA COMPLIANT FLOORING TO SIDEWALK BOUND
- 10 PAVE WITH 2'-0" WIDE AT CURB 4'-0" WIDE OVER COMPLETED SIDEWALK (ONE LANE)
- 11 PAVE WITH 6'-0" WIDE OVER LAUNCHES AS OVER COMPLETED SIDEWALK (TWO LANE) INCLUDING SIDEWALK ROAD AND CONCRETE WALK FOR ADA COMPLIANCE, SIDEWALK AND ADA COMPLIANCE (UNDER SIDEWALK)
- 12 DRAINAGE MONITOR SPAN TO BE INSTALLED AND REPAIRED
- 13 UNDERPAVING STRIPED SIDEWALK
- 14 CONSTRUCT EXISTING PAVEMENT WITH THE MANUFACTURER'S SPECIFICATIONS
- 15 INSTALL AND REPAIR EXISTING STRIPES FOR MANUFACTURER'S SPECIFICATIONS
- 16 REMOVE EXISTING PAVE MARK AND INSTALL NEW SITE LIGHT (PREFER STALL)
- 17 PAVE WITH 2'-0" WIDE AT CURB 4'-0" WIDE OVER COMPLETED SIDEWALK (PREFER STALL)
- 18 NEW STRIPING
- 19 SPEC-2-B BURN PART 101, 102 WITH 6' BLACK GRADE DRIVE PART 101, 102
- 20 SPEC-2-B BURN PART 101, 102 WITH 6' GREEN ARTIFICIAL DRIVE PART 101, 102
- 21 SPEC-2-B BURN PART 101, 102 WITH 6' GREEN ARTIFICIAL DRIVE PART 101, 102
- 22 SPEC-2-B BURN PART 101, 102 WITH 6' GREEN ARTIFICIAL DRIVE PART 101, 102
- 23 PLACE 6'-0" WIDE 2'-0" SPEC GREEN DRIVE PART 101, 102 PER EXISTING & BURNED
- 24 PLACE 6'-0" WIDE 2'-0" SPEC GREEN DRIVE PART 101, 102 PER EXISTING & BURNED
- 25 PLACE 6'-0" WIDE 2'-0" SPEC GREEN DRIVE PART 101, 102 PER EXISTING & BURNED
- 26 PLACE 6'-0" WIDE 2'-0" SPEC GREEN DRIVE PART 101, 102 PER EXISTING & BURNED
- 27 PLACE 6'-0" WIDE 2'-0" SPEC GREEN DRIVE PART 101, 102 PER EXISTING & BURNED
- 28 CONSTRUCT TRENCH BOUND AND CONDUIT TO EXISTING DRIVE BOUND
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- 100 CONSTRUCT TRENCH BOUND AND CONDUIT TO EXISTING DRIVE BOUND



NOTES:
1. REFER TO SHEET C-4 FOR LEGEND AND SYMBOLS
2. REFER TO SHEET C-4 FOR EXISTING UTILITIES

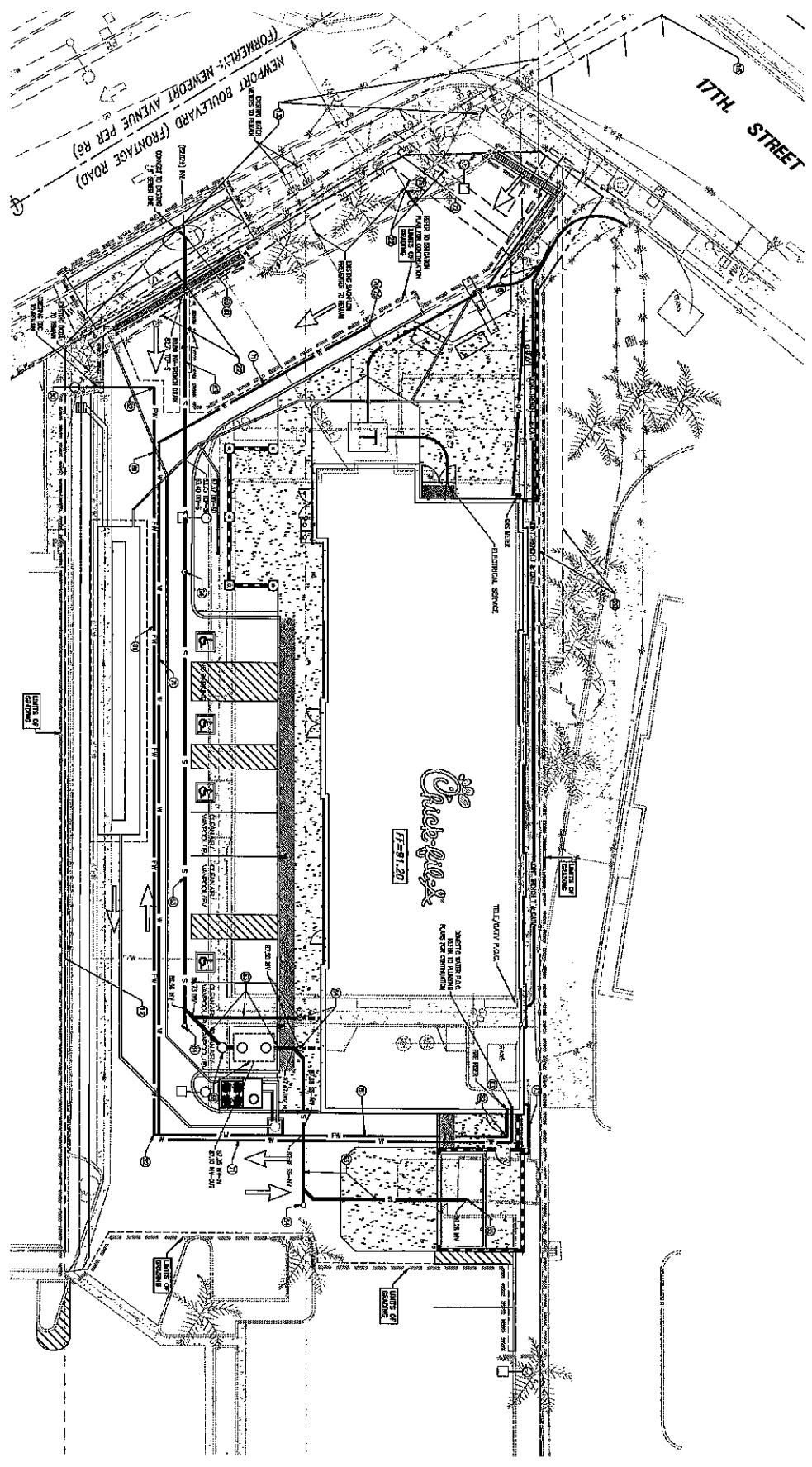


PRELIMINARY
NOT FOR CONSTRUCTION



17TH STREET

NEWPORT BOULEVARD (FRONTAGE ROAD)
(FORMERLY NEWPORT AVENUE PER R6)



- CONSTRUCTION NOTES - SEWER**
- 1. VERIFY THE EXISTING LOCATION, DEPTH, MATERIAL, SIZE, AND CONDITION OF EXISTING SEWER LATERAL, SERVICE MAIN, AND MAINS FROM THE PROPERTY TO THE MAINLINE.
 - 2. CONNECT TO EXISTING SEWER LATERAL FOR CITY RECONSTRUCTION.
 - 3. PLACE 4" PVC SCHEDULE 40 SEWER LINE WITH FITTINGS PER CPC RECOMMENDATIONS OF SOSS DRAWINGS.
 - 4. PLACE 4" PVC SCHEDULE 40 SEWER LINE WITH FITTINGS PER CPC RECOMMENDATIONS OF SOSS DRAWINGS.
 - 5. INSTALL CLEAN-OUT SIZE TO MATCH DOWNSTREAM PIPE SIZE.
 - 6. SURFACE-SETTLE BASIN IN CHANGED TRUCK ENCLOSURE PER PLUMBING PLAN.
 - 7. INSTALL GROUND INTERCEPTOR & SURFACE BOX FOR PLUMBING PLANS.

- WATER (DOMESTIC & IRRIGATION)**
- 1. VERIFY THE EXISTING LOCATION, DEPTH, MATERIAL, SIZE, AND CONDITION OF EXISTING WATER LATERAL, SERVICE MAINS TO BUILDING & ASSOCIATED MAIN TO DISTRIBUTION.
 - 2. PLACE 1/2" NPS PVC SCHEDULE 40 WATER LINE WITH FITTINGS (CONNECTION) PER CPC RECOMMENDATIONS OF SOSS DRAWINGS.
 - 3. PLACE 1/2" NPS PVC SCHEDULE 40 WATER LINE WITH FITTINGS (CONNECTION) PER CPC RECOMMENDATIONS OF SOSS DRAWINGS.
 - 4. PLACE 1/2" NPS PVC SCHEDULE 40 WATER LINE WITH FITTINGS (CONNECTION) PER CPC RECOMMENDATIONS OF SOSS DRAWINGS.
 - 5. HOSE END PER PLUMBING PLAN.
 - 6. CONNECT TO EXISTING WATER LATERAL.
 - 7. CONNECT TO EXISTING BACKFLOW PREVENTER.

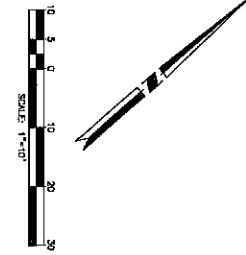
- WATER (FIRE SERVICES)**
- 1. CONNECT TO MAIN FIRE SERVICE TO EXISTING MAIN.
 - 2. PLACE 4" NPS C-100 PIPE PER WATER LINE.
 - 3. PLACE 3/4" NPS C-100 PIPE PER WATER LINE WITH THREAT BLOCK.
 - 4. INSTALL 1/2" NPS STAINLESS STEEL PER RISER PIPE AND CONNECT TO THE RISER.

DRY UTILITIES (DUU)

*THE PROPOSED PIPE LINE AND SPRINGERS IN THE BUILDING TO BE INSTALLED SHALL BE SHOWN ON THIS PLAN. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF COSTA MESA DEPARTMENT OF PUBLIC WORKS AND UTILITIES DIVISION. THE SIZE OF THE SERVICE & RETURN DRAIN, LINE OF SERVICE SIZE TO SERVICE DRAIN, (SIZE SHOWN IN PLAN CHECK & BID CROSS-SECTION).

DRY UTILITIES (DUU)

PROPOSED ELECTRICAL, TELEPHONE, CABLE TV, AND GAS LINES ARE SHOWN FOR CONSTRUCTION PURPOSES. THE LOCATION AND DEPTH OF THESE LINES SHALL BE DETERMINED BY THE CITY OF COSTA MESA DEPARTMENT OF PUBLIC WORKS AND UTILITIES DIVISION. THE SIZE OF THE SERVICE & RETURN DRAIN, LINE OF SERVICE SIZE TO SERVICE DRAIN IS PREPARED BY EACH RESPECTIVE UTILITIES COMPANY.



PRELIMINARY
NOT FOR CONSTRUCTION

DESIGNER	CHICK-FIL-A
CLIENT	CHICK-FIL-A
DATE	05/20/20
PROJECT NO.	053344
PROJECT NAME	CHICK-FIL-A
PROJECT ADDRESS	1670 NEWPORT BLVD, COSTA MESA, CA 92626
PROJECT PHONE	(714) 261-2900
PROJECT FAX	(714) 261-2900
PROJECT EMAIL	costamesa@chick-fil-a.com
PROJECT WEBSITE	www.chick-fil-a.com
PROJECT SOCIAL MEDIA	www.facebook.com/chickfila
PROJECT YOUTUBE	www.youtube.com/chickfila
PROJECT TWITTER	www.twitter.com/chickfila
PROJECT INSTAGRAM	www.instagram.com/chickfila
PROJECT PINTEREST	www.pinterest.com/chickfila
PROJECT LINKEDIN	www.linkedin.com/company/chick-fil-a
PROJECT GITHUB	www.github.com/chick-fil-a
PROJECT BITCOIN	www.bitcoin.com/chick-fil-a
PROJECT OTHER	

CHICK-FIL-A
17TH ST & NEWPORT
1670 NEWPORT BLVD.
COSTA MESA, CA

FSR# 053344

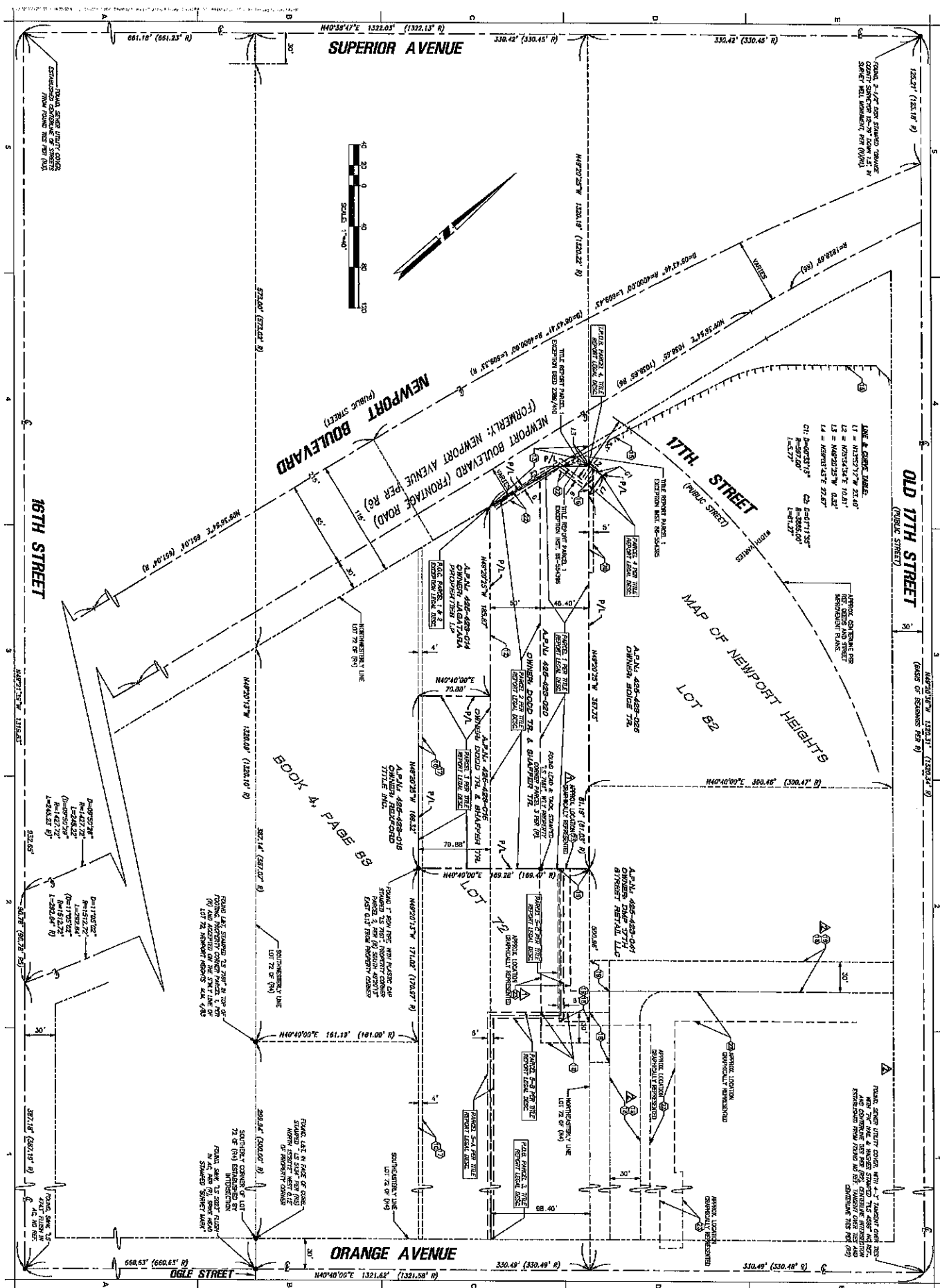


DAVID J. ANDERSON
MECHANICAL ENGINEER
10147
STATE OF CALIFORNIA
LICENSE NO. 10147
10147
10147

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106 Progress, Suite 100
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714-261-2900



C-4



FSU# 05344

NO. DATE REVISION

1 12/19/22 17TH STREET

2 12/27/22 17TH STREET

3 02/16/23 17TH STREET

4 02/16/23 17TH STREET

5 02/16/23 17TH STREET

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CHICK-FIL-A

NEWPORT & 17TH.

1670 NEWPORT BOULEVARD

COSTA MESA, CA 92627



JENSEN & THURMAN

PLANNERS & ASSOCIATES, INC.

One Esplanade and

Land Services

555 E. BROADWAY, 11th

FLOOR, SUITE 1100

COSTA MESA, CA 92626

(714) 261-1100

(714) 261-1101



Chick-fil-A

3000 Springton Road

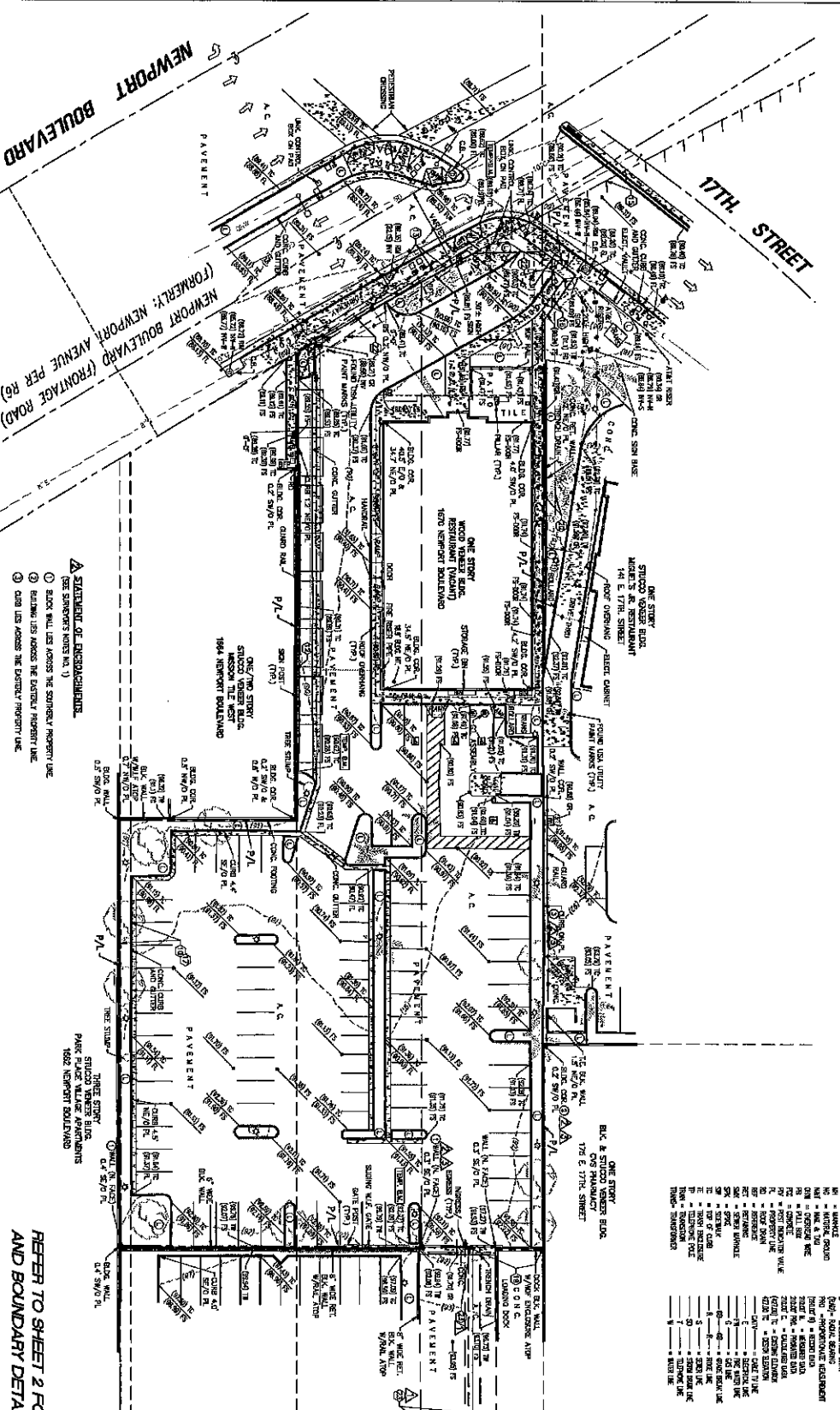
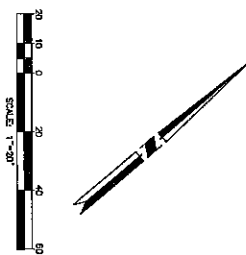
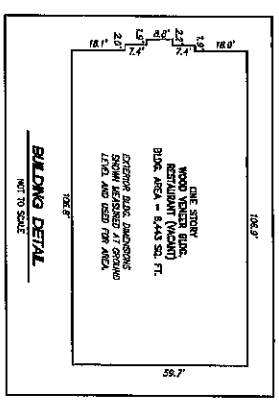
Atlanta, GA 30328

404-252-2588



C-100.2

NOTE TO CONTRACTOR
THIS SET OF DRAWINGS IS TO BE USED FOR THE CONSTRUCTION OF THE BUILDING SHOWN THEREON. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE ACCURACY OF ALL FIELD DATA AND SURVEY INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INFORMATION FROM THE CITY OF COSTA MESA AND THE COUNTY OF ORANGE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INFORMATION FROM THE CITY OF COSTA MESA AND THE COUNTY OF ORANGE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INFORMATION FROM THE CITY OF COSTA MESA AND THE COUNTY OF ORANGE.



- ▲ STANDARD OF DIMENSIONS
(SEE DIMENSIONS AND NOTES)
- 1 BLOCK WALL, USE ACROSS THE PROPERTY LINE
 - 2 BLOCK WALL, USE ACROSS THE EXISTING PROPERTY LINE
 - 3 OVER LIES ABOVE THE EXISTING PROPERTY LINE

REFER TO SHEET 2 FOR MONUMENTS
AND BOUNDARY DETAILS.

- LEGEND**
- | | |
|-----|-------------|
| 1 | TOP OF WALL |
| 2 | UNDERGROUND |
| 3 | UNDERGROUND |
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- SYMBOLS**
- | | |
|-----|----------------|
| 1 | ASPHALT DRIVE |
| 2 | CONCRETE DRIVE |
| 3 | GRAVEL DRIVE |
| 4 | GRAVEL DRIVE |
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CHICK-FIL-A
NEWPORT & 17TH.
1670 NEWPORT BOULEVARD
COSTA MESA, CA 92627

FSU# 09344

REVISIONS:

NO.	DATE	DESCRIPTION
1	12/19/22	4. EXISTING
2	12/19/22	UPGRADE P&I
3	02/16/23	UPGRADE P&I

DESIGNED BY: [NAME]

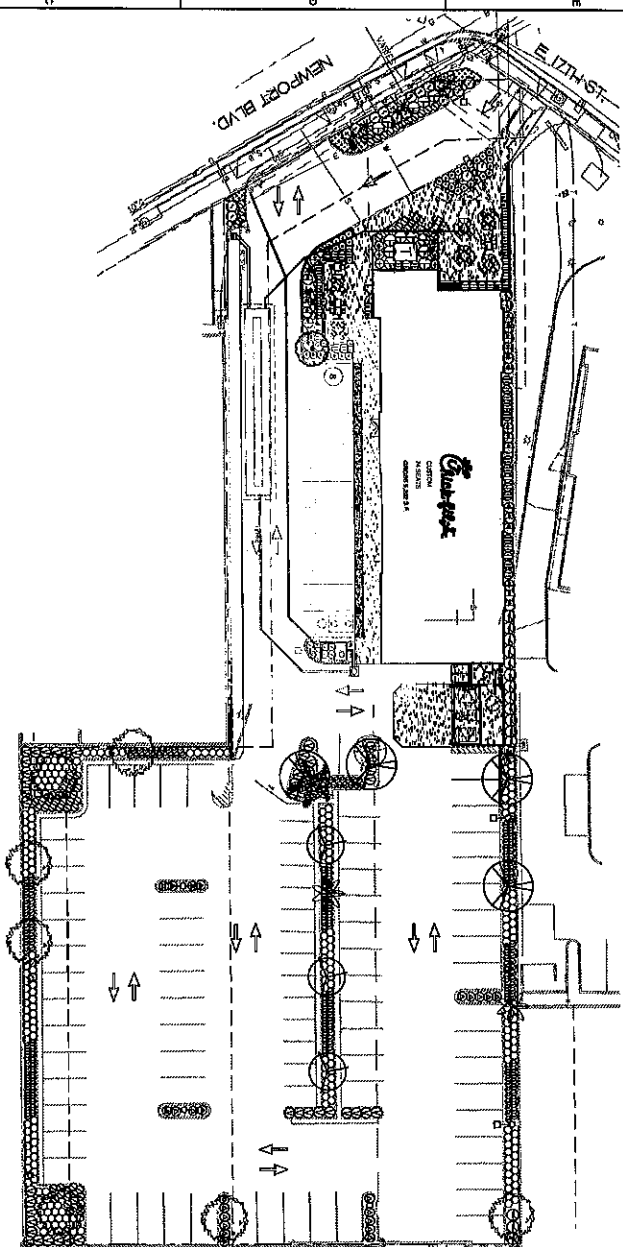
DRAWN BY: [NAME]

CHECKED BY: [NAME]

APPROVED BY: [NAME]

DATE: 02/16/23

SHEET NUMBER: C-100.3



PLANTING LEGEND

SYMBOL	PLANT NAME	COMMON NAME	SIZE	QTY	REMARKS	NOTES
	WASHINGTONIA FILIFERA	QUEEN PALM			TO REMAIN	
	CALIFORNIA FAN PALM				TO REMAIN	
	BRISBANE BOX				TO REMAIN	
	GIANT BIRD OF PARADISE				TO BE REMOVED	
	CANARY ISLAND PALM				TO BE REMOVED	
	QUEEN PALM				TO BE REMOVED	
	EASTERN REDBUD		24' BOX	3	STANDARD	M
	CHINESE PISTACHE		24' BOX	4	STANDARD	M
	DWARF FAN PALM		36' BOX	1	STANDARD	M
	AGAVE PARVIFLORA		5 GAL	3	AS SHOWN	L
	AGAVE DESERTI		5 GAL	4	AS SHOWN	L
	ALOE ARBORESCENS		5 GAL	5	3'-6" O.C.	L
	CHONDROPETALUM TERETIUM		5 GAL	77	3'-6" O.C.	L
	DIANELLA R. LITTLE REVY		5 GAL	34	2'-6" O.C.	L
	EURYCHORDA L. MOON JACOBSON		5 GAL	13	4'-0" O.C.	L
	HESPERALOE PARVIFLORA RED YUCCA		5 GAL	244	4'-0" O.C.	L
	LANTANA X INTERMEDIA LANTANA		5 GAL	24	3'-0" O.C.	L
	LEMNISCUS G. CANYON PRINCE WILD FIRE		5 GAL	24	3'-0" O.C.	L
	NICOTIANUS G. SWEET ZEBRA GRASS		5 GAL	18	3'-0" O.C.	L
	NELDERBERRY DORA PINE NALLY		5 GAL	14	3'-0" O.C.	L
	PENSTEMON L. HAVELER HAMMERPLANT GRASS		5 GAL	90	3'-0" O.C.	L
	PENSTEMON SPATULATION SIBERIAN VEIL GRASS		5 GAL	193	2'-0" O.C.	L
	PEROVSKIA ATRORHIZA RUSSIAN SAGE		5 GAL	48	3'-6" O.C.	L
	SALVIA G. GLANDULIFERA GLANDULAR SAGE		5 GAL	24	4'-0" O.C.	L
	PEROVSKIA G. SILIQUA BLUE BLUE FESCUE		1 GAL	12	12' O.C.	L

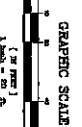
PLANTING NOTES

- CONTRACTOR IS TO REVIEW PLANS, VERIFY SITE CONDITIONS AND PLANT QUALITIES PRIOR TO THE START OF PLANTING. THESE PLANS OR WITH THESE PLANS SHALL BE SUBJECT TO THE ATTENTION OF THE OWNERS AND THE LANDSCAPE ARCHITECT PRIOR TO THE START OF PLANTING. ANY DEVIATIONS FROM THE PLANS OR SPECIFICATIONS IS TO HAVE WRITTEN APPROVAL.
- ALL PLANT MATERIAL SHALL BE IN ACCORDANCE WITH THE LATEST REVISIONS OF THE STANDARD SPECIFICATIONS FOR PLANTING AND THE LATEST REVISIONS OF THE STANDARD SPECIFICATIONS FOR PLANTING AND THE LATEST REVISIONS OF THE STANDARD SPECIFICATIONS FOR PLANTING AND THE LATEST REVISIONS OF THE STANDARD SPECIFICATIONS FOR PLANTING.
- LANDSCAPE ARCHITECT SHALL APPROVE PLANT MATERIAL PLACEMENT BY CONTRACTOR PRIOR TO INSTALLATION.
- CONTRACTOR TO INCLUDE IN HIS BID THE REPAIR OF ANY AND ALL DAMAGE RESULTING FROM THE PLANTING OPERATIONS. THESE REPAIRS SHALL BE COMPLETED PRIOR TO THE START OF PLANTING.
- ALL TREES WITHIN 5' OF ANY LANDSCAPE SERVICE TO HAVE A ROOT BARRIER TO PREVENT ROOT PENETRATION.
- FINISH GRADE TO BE 2" BELOW TOP OF CURB OR SPECIALTY PLANTING AREAS.

LANDSCAPE AREAS

- PERMITS REQUIRED FOR ALL PLANTING AREAS SHALL BE AS SPECIFIED WITHIN THE SOIL REPORT.
- ALL PLANTING AND REGULATION ON THIS SITE SHALL BE IN ACCORDANCE WITH THE LATEST REVISIONS OF THE STANDARD SPECIFICATIONS AND ASBESTO REQUIREMENTS.
- ALL PLANTING AREAS SHALL BE TOP DRESSED WITH 3" MINIMUM MULCH COVER.
- THE LANDSCAPE CONTRACTOR SHALL MAINTAIN ALL PLANTING AREAS BY MEANS OF PROPER IRRIGATION AND WATER SCHEDULES. FERTILIZATION APPLICATION OF GRADE FERTILIZERS SHALL BE DONE AT THE END OF EACH YEAR OF IRRIGATION TO PREVENT NUTRIENT DEFICIENCY. WEEDING AND/OR OTHER OPERATIONS NECESSARY FOR PROPER MAINTENANCE SHALL BE DONE BY THE CONTRACTOR AS SPECIFIED ABOVE FOR A PERIOD OF 12 MONTHS AFTER PLANTING. ALL PLANTING NEEDS TO BE AVOIDED WITHIN 10' OF ALL PLANTING AREAS. NO DEVIATIONS ARE ALLOWED.
- ALL PLANTING SHALL BE REGARDED WITH AVOIDANCE OF DAMAGE TO EXISTING UTILITIES AND/OR OTHER UTILITIES CONNECTED TO EXISTING UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE TO EXISTING UTILITIES.

SCALE - LOW WATER USE - 5307 SF.	REGULATION - HIGH EFFICIENCY 200' TURNS PERCENTAGE OF LANDSCAPED AREA - 7%
IRRIGATION - MODERATE WATER USE - 2628 SF.	REGULATION - HIGH EFFICIENCY 200' TURNS PERCENTAGE OF LANDSCAPED AREA - 4%
TOTAL LANDSCAPED AREA - 5395 SF.	



PRELIMINARY LANDSCAPE PLAN

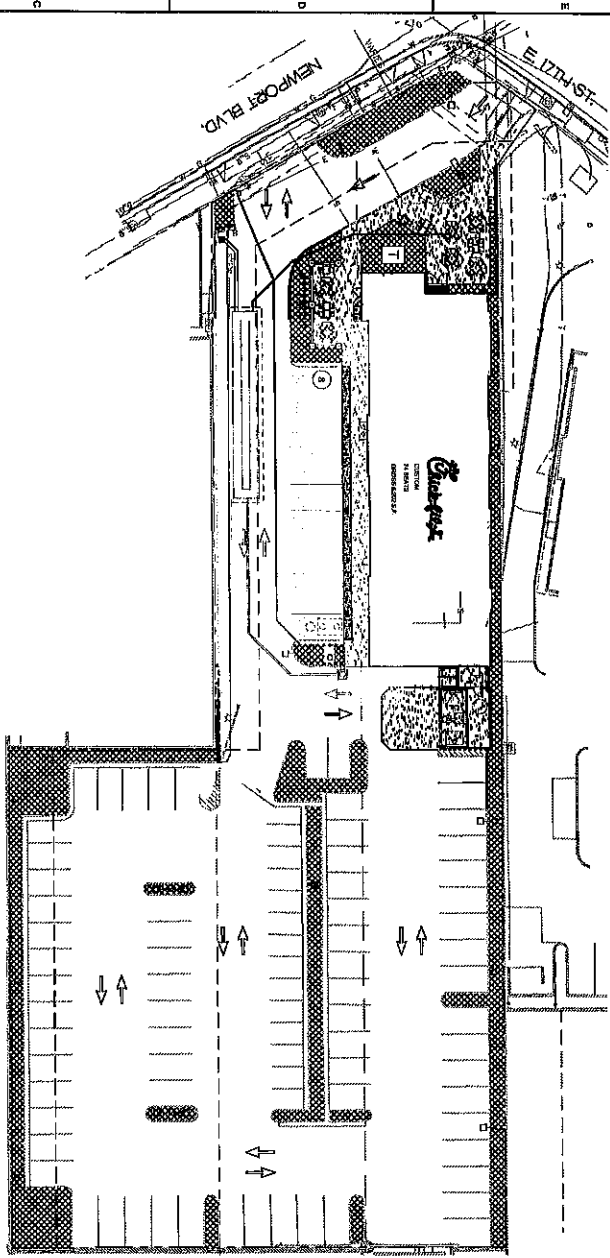
Chick-fil-A
5200 Durington Road
Costa Mesa, CA 92626

DAVID J. H. H. H. H. H.
REGISTERED PROFESSIONAL ENGINEER
COSTA MESA, CALIFORNIA
NO. 12345

CHICK-FIL-A
1870 NEWPORT BLVD.,
COSTA MESA, CA

STORE # 05344
REVISIONS
NO. DATE
DATE
PREPARED BY
CHECKED BY
DATE
DATE
DATE
DATE
DATE

PRELIMINARY LANDSCAPE PLAN
L-10



Maximum Applied Water Allowance (MAWA)

Calculate the project's Maximum Applied Water Allowance using the following formula:
 MAWA (Annual Gallons Allowed) = (ETP x LA) + (ETD x SLA) + (ETW x SLA)

Where:
 MAWA = Maximum Applied Water Allowance (Gallons per year)
 ETP = Conversion Factor
 ETD = 0.02 for Residential Areas & 0.04 for Non-Residential Areas
 ETW = 0.02 for Residential Areas & 0.04 for Non-Residential Areas
 LA = Landscape Area Includes Special Landscape Areas (sq ft)
 SLA = Special Landscape Area (sq ft)
 ETO = Irrigation Compensation (Gallons per year)
 ETO = Irrigation Compensation (Gallons per year)

Total Landscape Area (Including SLA) = 5,595 sq ft
 Special Landscape Area (SLA) = 0 sq ft
 Estimated Total Water Use (ETWLU)

Project ETWLU Calculation (Using Additional Details for Additional Zones, if Needed)
 Total Landscape Area (Including SLA) (LA) = 5,595 sq ft
 Special Landscape Area (SLA) = 0 sq ft
 ETP = 0.02 for Residential Areas & 0.04 for Non-Residential Areas
 ETD = 0.02 for Residential Areas & 0.04 for Non-Residential Areas
 ETO = Irrigation Compensation (Gallons per year)

Hydrozone	Plant Material	Plant Factor	Impervious	ETP	LA	ETD	SLA	ETW
1	ALL PLANT MATERIAL SELECTED FOR THIS SITE ARE APPROPRIATE FOR THE REGIONAL CLIMATE AND WATER CONSERVATION. PLANTS WITH HIGH WATER USE PLANTS ARE USED IN MODERATE WATER USE AREAS.	0.01	0.02	5,595	0.02	111,900	0	111,900
2	PLANTS WITH SIMILAR WATER USE REQUIREMENTS ARE GROUPED TOGETHER.	0.01	0.02	5,595	0.02	111,900	0	111,900
3	THE MAJORITY OF LANDSCAPE AREAS ARE PLANTED WITH LOW WATER USE PLANTS WITH THE BALANCE IN MODERATE WATER USE PLANTS.	0.01	0.02	5,595	0.02	111,900	0	111,900
4	IRRIGATION SECTIONS HYDROZONES ARE SEPARATED BY CONSERVING PLANT SPECIES FACTOR, PLANT DENSITY AND WOOD SHADE. LOW WATER USE PLANTS ARE USED WITH MODERATE WATER USE PLANTS IN THE SPECIAL LANDSCAPE AREAS. PLANT FACTOR IS USED FOR WATER USE CALCULATIONS. SEE HYDROZONE END-USE.	0.01	0.02	5,595	0.02	111,900	0	111,900
5	THE IRRIGATION SYSTEM UTILIZES A CONTROLLER SYSTEM WITH A MASTER VALVE, FLOW SENSOR, CHECK VALVES, ET BASED AUTOMATIC CONTROLS WITH COLD PLUMB SINK AND WATER SENSITIVE CAPABILITY, WEATHER STATION AND DRAIN SALT-OUT.	0.01	0.02	5,595	0.02	111,900	0	111,900
6	THE USE OF 1/2" P E BLACKWATER ALL THESE SCALE AND OCCUPANCY AREAS WILL BE DESIGNED WITH A 1/2" LAYER OF MULCH FOR MOISTURE RETENTION AND TO DISCOURAGE WEEDS.	0.01	0.02	5,595	0.02	111,900	0	111,900
7	THERE ARE NO SPECIAL LANDSCAPE AREAS IN THIS PROJECT.	0.01	0.02	5,595	0.02	111,900	0	111,900

WATER CONSERVATION STATEMENT

WATER CONSERVATION IS ACHIEVED IN THIS LANDSCAPE CONSTRUCTION DOCUMENT AS DESCRIBED BELOW:

- ALL PLANT MATERIAL SELECTED FOR THIS SITE ARE APPROPRIATE FOR THE REGIONAL CLIMATE AND WATER CONSERVATION. PLANTS WITH HIGH WATER USE PLANTS ARE USED IN MODERATE WATER USE AREAS.
- PLANTS WITH SIMILAR WATER USE REQUIREMENTS ARE GROUPED TOGETHER.
- THE MAJORITY OF LANDSCAPE AREAS ARE PLANTED WITH LOW WATER USE PLANTS WITH THE BALANCE IN MODERATE WATER USE PLANTS.
- IRRIGATION SECTIONS HYDROZONES ARE SEPARATED BY CONSERVING PLANT SPECIES FACTOR, PLANT DENSITY AND WOOD SHADE. LOW WATER USE PLANTS ARE USED WITH MODERATE WATER USE PLANTS IN THE SPECIAL LANDSCAPE AREAS. PLANT FACTOR IS USED FOR WATER USE CALCULATIONS. SEE HYDROZONE END-USE.
- THE IRRIGATION SYSTEM UTILIZES A CONTROLLER SYSTEM WITH A MASTER VALVE, FLOW SENSOR, CHECK VALVES, ET BASED AUTOMATIC CONTROLS WITH COLD PLUMB SINK AND WATER SENSITIVE CAPABILITY, WEATHER STATION AND DRAIN SALT-OUT.
- THE USE OF 1/2" P E BLACKWATER ALL THESE SCALE AND OCCUPANCY AREAS WILL BE DESIGNED WITH A 1/2" LAYER OF MULCH FOR MOISTURE RETENTION AND TO DISCOURAGE WEEDS.
- THERE ARE NO SPECIAL LANDSCAPE AREAS IN THIS PROJECT.

MAINTENANCE MANUAL

THIS MANUAL TO BE LEFT AT THE CONTROLLER LOCATION AT ALL TIMES.

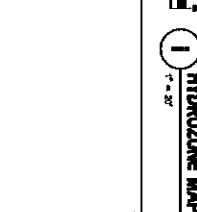
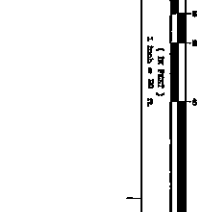
- LANDSCAPE MAINTENANCE CONTRACTOR TO CHECK ALL SYSTEMS EVERY WEEK.
- LANDSCAPE MAINTENANCE CONTRACTOR TO VISUALLY CHECK ALL SYSTEMS EVERY WEEK.
- LANDSCAPE MAINTENANCE CONTRACTOR TO VISUALLY CHECK ALL SYSTEMS EVERY WEEK.
- ALL IRRIGATION FILTERS AT THE WIRE SPEARERS AT THE SPOON END BRANCH AND ALL FILTERS AT THE END BRANCH VALVES TO BE CLEANED MONTHLY OR AS NEEDED.
- CHECK MAIN SALT OUT DEVICE AT THE BEGINNING OF THE RAINY SEASON AND DISCONNECT AS NEEDED. MAKE SURE DEVICE IS CLEAN, FREE OF ANY DEBRIS, AND IN GOOD WORKING ORDER.
- REPORT ANY PER ALL COVERS AND OCCUPANCY.
- SCHEDULE ALL SPRAY SYSTEMS TO RUN ONLY BETWEEN THE HOURS OF 3:00 AM AND 3:00 PM.
- ON A MONTHLY BASIS, VISUALLY CHECK ALL SYSTEMS AND CHECK WATERS TO SEE THAT PER COAN PROPERLY CLEAN OUT ANY DEBRIS, AND REPORT AS NEEDED. REPLACE FEA GRAVEL IN VALVE BODIES AS NEEDED.
- COVER OR REPORT ALL SPOON END DEVICES DURING POURSING WEATHER.
- OWNERS TO PROVIDE FOR A WATER ADJUST EVERY FIVE YEARS FROM OPENING OF STORE.

HYDROZONE MAP

SYMBOL	DESCRIPTION	AREA
[Symbol]	LOW WATER USE PLANT USE THESE ARE SPECIAL HYDROZONES	5,595 S.F.

LANDSCAPE AREAS

SYMBOL	DESCRIPTION	AREA
[Symbol]	SHADES - LOW WATER USE - 5,595 S.F.	5,595 S.F.
[Symbol]	PERCENTAGE OF LANDSCAPE AREA - 2%	111,900
[Symbol]	PERCENTAGE OF LANDSCAPE AREA - 4%	223,800
[Symbol]	PERCENTAGE OF LANDSCAPE AREA - 6%	335,700
[Symbol]	PERCENTAGE OF LANDSCAPE AREA - 8%	447,600
[Symbol]	PERCENTAGE OF LANDSCAPE AREA - 10%	559,500
[Symbol]	TOTAL LANDSCAPED AREA - 5,595 S.F.	5,595 S.F.



CHICK-FIL-A
 17TH ST & NEWPORT
 1670 NEWPORT BLVD.,
 COSTA MESA, CA

STORE # 05344

5200 Bluffington Road
 Atlanta, GA 30340-2998



Chick-fil-A
 5200 Springdale Rd
 Atlanta, GA 30328-2288

ortho
 architects
 1933 E. 17th Street
 2nd floor - Suite 201
 Santa Ana, CA 92705
 Phone: 714.827.1854

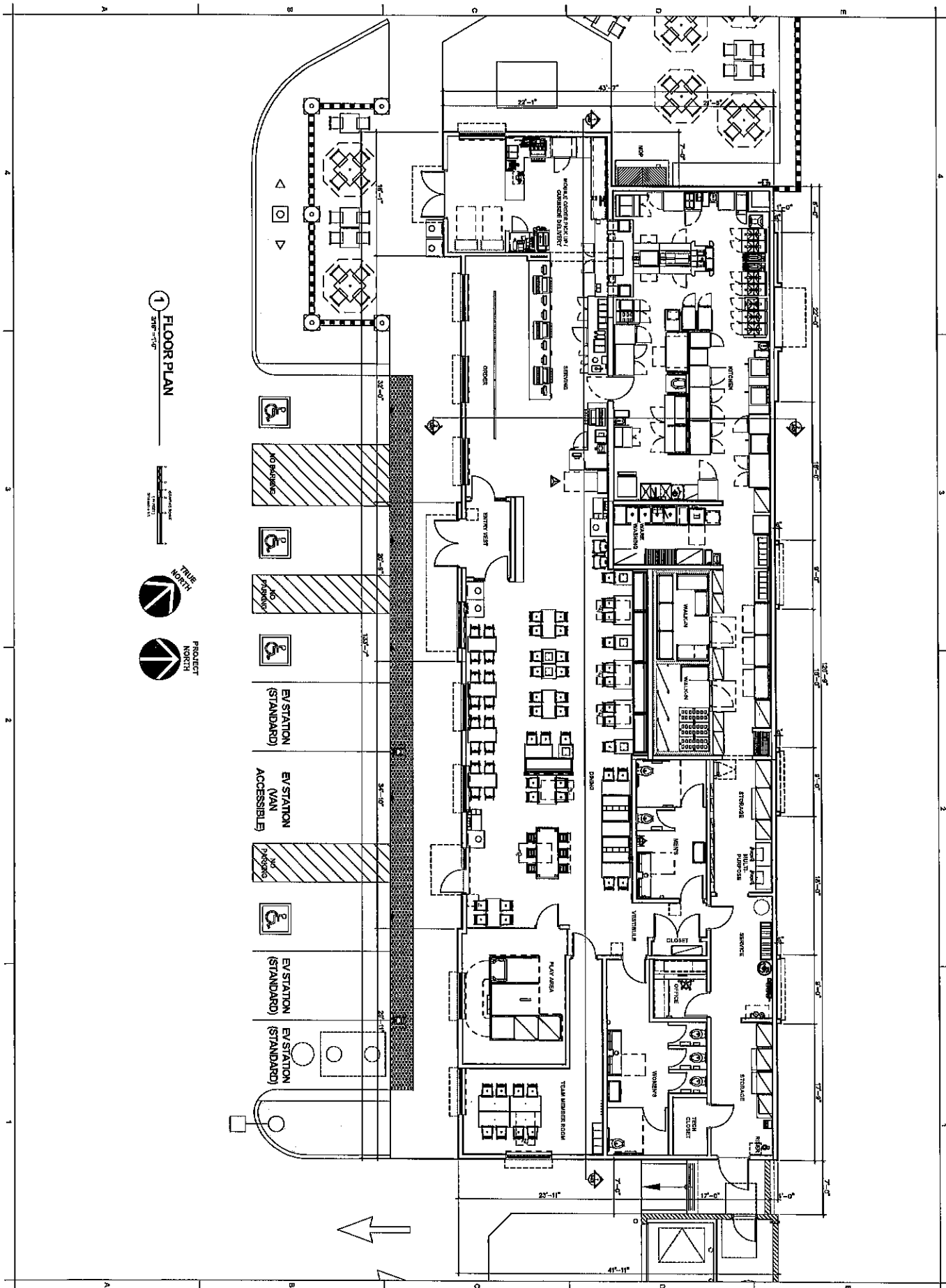
CHICK-FIL-A
 NEWPORT & 17TH
 1670 NEWPORT BLVD.,
 COSTA MESA, CA

STORE # 05344

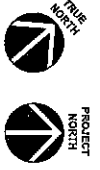
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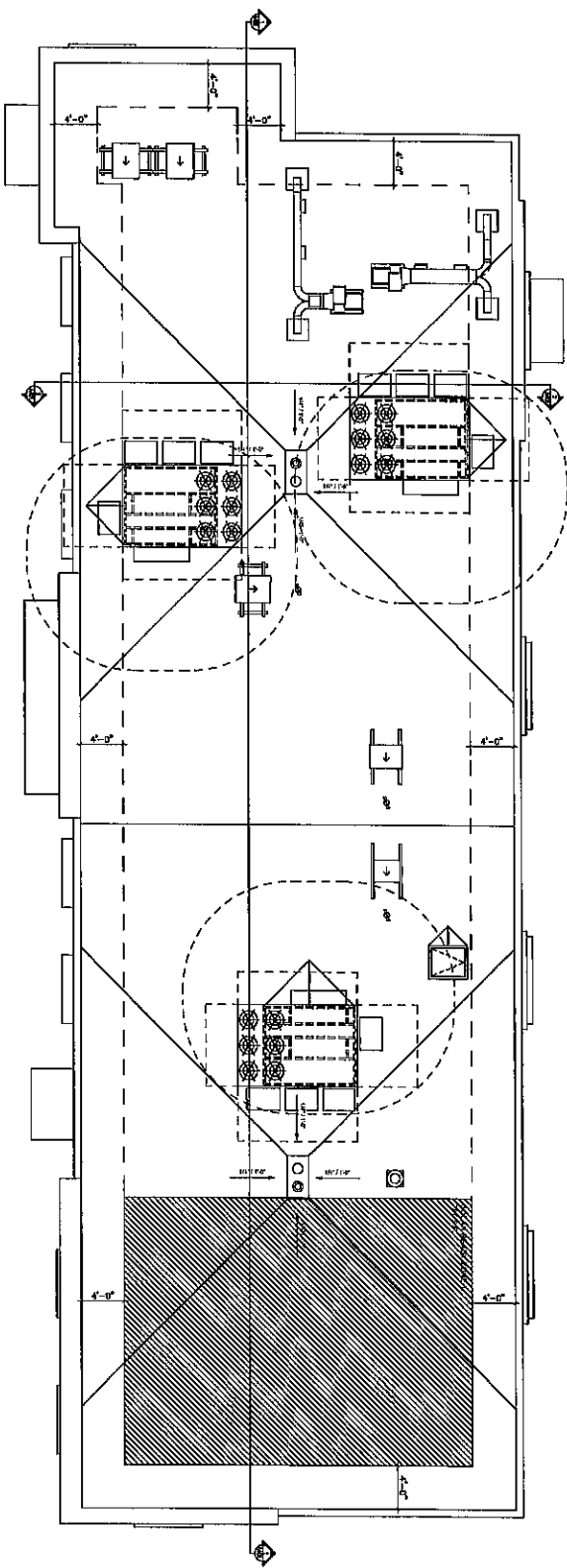
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REVISION	DATE
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REVISION	DATE

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A-101

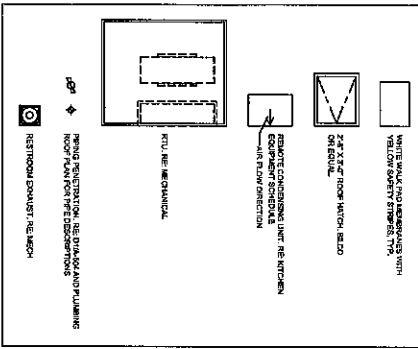


FLOOR PLAN
 SITE: 17-01





ROOF PLAN LEGEND



SOLAR ZONE AREA CALCULATION:

INCURRED AREA FROM SOLAR ZONE AREA	782 SF	PROVIDED AREA EXCLUDED FROM SOLAR ZONE AREA	782 SF
TOTAL SOLAR ZONE AREA	782 SF	TOTAL SOLAR ZONE AREA	782 SF
TOTAL ROOF AREA	782 SF	TOTAL ROOF AREA	782 SF
TOTAL SOLAR ZONE AREA	782 SF	TOTAL SOLAR ZONE AREA	782 SF

1 ROOF PLAN

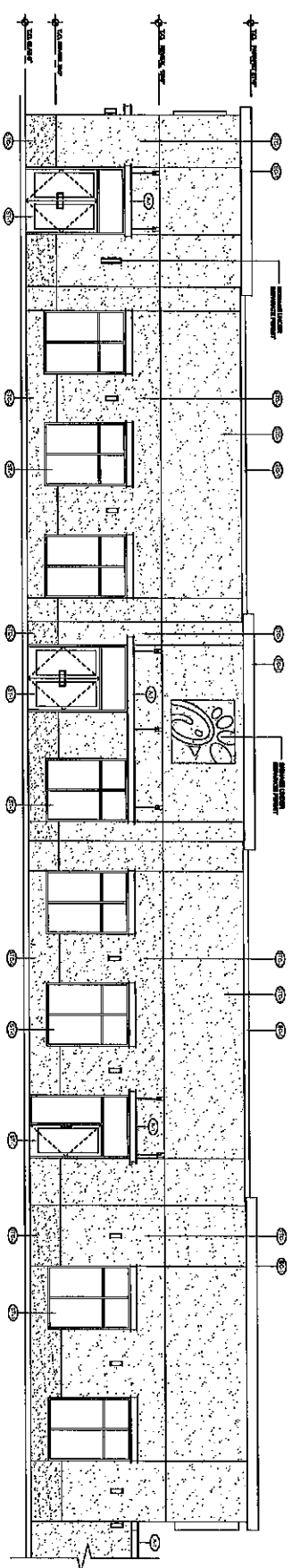


Chick-fil-A
2500 Buntingport Road
Costa Mesa, CA 92626

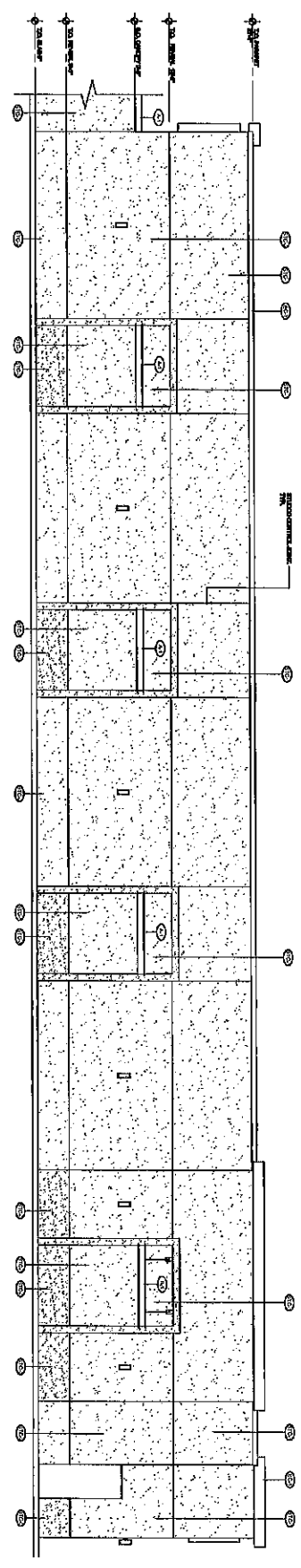
ortho architects
1833 E. 17th Street
3rd Floor - Suite 201
Santa Ana, CA 92705
Phone: 714.832.1158

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1670 NEWPORT BLVD.,
COSTA MESA, CA

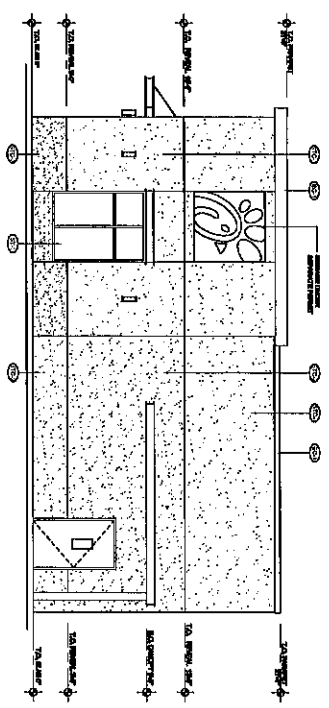
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GENERAL CONTRACTOR
ARCHITECT
MECHANICAL CONTRACTOR
ELECTRICAL CONTRACTOR
PLUMBING CONTRACTOR
ROOFING CONTRACTOR
CONCRETE CONTRACTOR
PAINTING CONTRACTOR
LANDSCAPE CONTRACTOR
SIGNAGE CONTRACTOR
FLOORING CONTRACTOR
GLASS CONTRACTOR
IRONWORK CONTRACTOR
STEEL ERECTION CONTRACTOR
TERRAZZO CONTRACTOR
WALLBOARD CONTRACTOR
WOODWORK CONTRACTOR
CABINETS CONTRACTOR
MILLWORK CONTRACTOR
METAL FABRICATION CONTRACTOR
MASONRY CONTRACTOR
MECHANICAL CONTRACTOR
ELECTRICAL CONTRACTOR
PLUMBING CONTRACTOR
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IRONWORK CONTRACTOR
STEEL ERECTION CONTRACTOR
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MILLWORK CONTRACTOR
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MASONRY CONTRACTOR



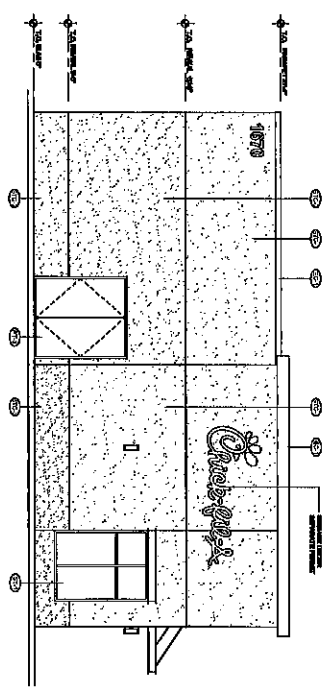
SOUTH ELEVATION
T = 60'-0"



NORTH ELEVATION
T = 60'-0"



EAST ELEVATION
T = 60'-0"



WEST ELEVATION
T = 60'-0"

EXTERIOR FINISHES	
(STC-1)	STUCCO COLOR TO MATCH SHERWIN WILLIAMS SW789 WESTERLAND WHITE
(STC-2)	STUCCO COLOR TO MATCH SHERWIN WILLIAMS SW473 HARBORNAVE
(STC-3)	STUCCO COLOR TO MATCH SHERWIN WILLIAMS CFA CUSTOM URBAN NIGHT
(A-1)	ALUMINUM FINISHES COLOR DARK BRONZE
(ST-1)	ALUMINUM STOREFRONT FIN. COLOR DARK BRONZE
(EC-1)	PANELLET WALL CORNING DUNLOP/ST/BOCERONAL METALS COLOR DARK BRONZE (QUATTS)
(PT-3)	EXTERIOR PAINT COLOR TO MATCH SHERWIN WILLIAMS CFA CUSTOM URBAN NIGHT



Chick-fil-A
3200 Darington Road
Atlanta, GA 30346-2899

ortho
architects
1933 E. 17th Street
3rd Floor - Suite 301
Santa Ana, CA 92705
Phone 714.822.1163

CHICK-FIL-A
NEWPORT & 17TH
1670 NEWPORT BLVD.,
COSTA MESA, CA

STORE # 05344
REVISIONS
NO. DATE REVISIONS
BY DATE BY DATE

PROJECT NUMBER: 2011
DATE: 07/2011
DRAWN BY: [Name]
CHECKED BY: [Name]
DATE: 07/2011
SCALE: AS SHOWN
PROJECT: CHICK-FIL-A
SITE: NEWPORT & 17TH
CITY: COSTA MESA, CA
COUNTY: ORANGE
STATE: CALIFORNIA
SHEET: A-301
TOTAL SHEETS: 3

CIP RESUBMITTAL
A-301



Chick-fil-A
 3200 Sullington Road
 Atlanta, GA 30345
 404-252-2838

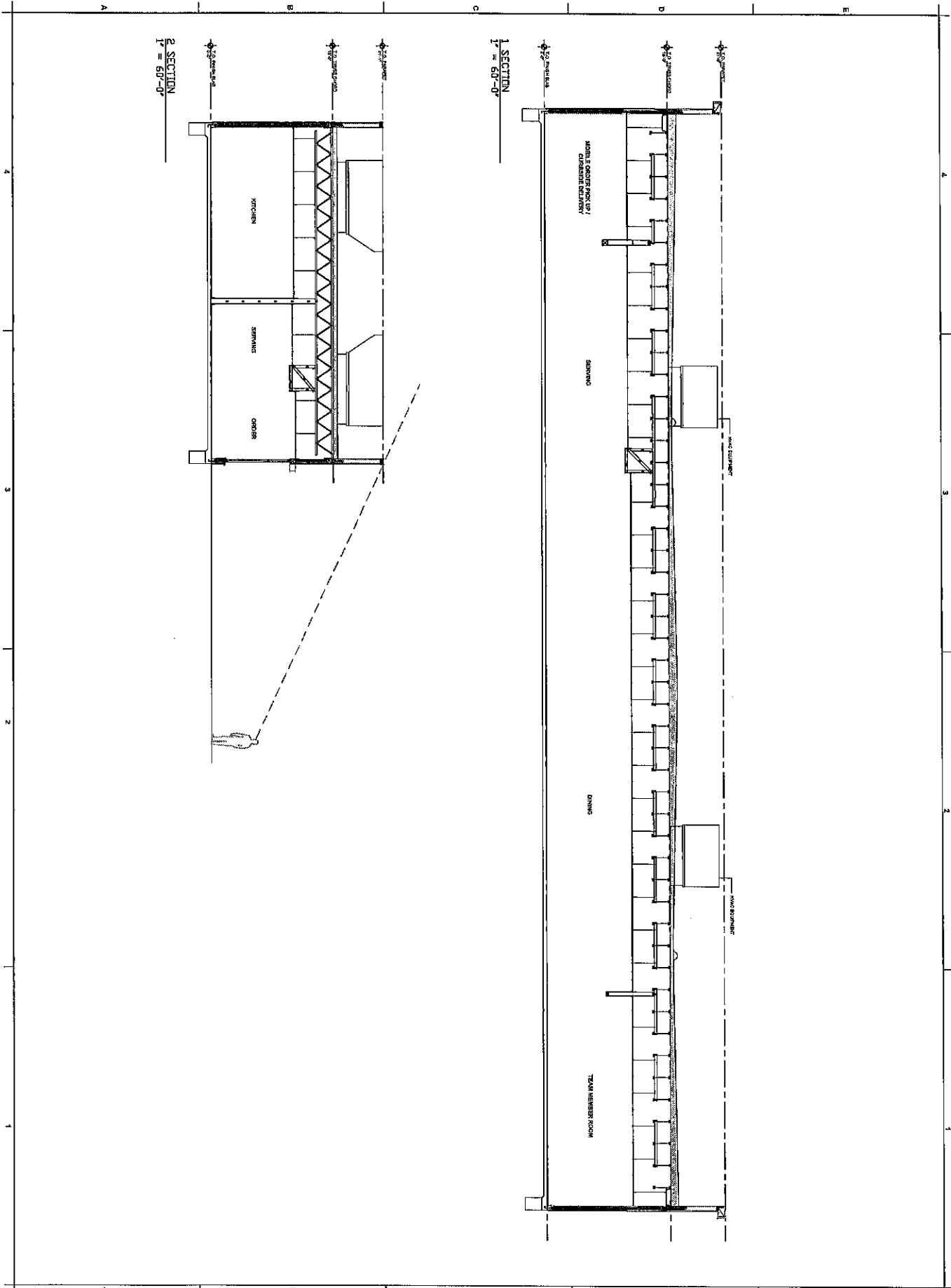
ortho architects
 1833 E. 17th Street
 3rd Floor - Suite 301
 Santa Ana, CA 92705
 Phone 714.832.1184

CHICK-FIL-A
 NEWPORT & 17TH
 1670 NEWPORT BLVD.,
 COSTA MESA, CA

STORE # 053444
 EXHIBITION SCHEDULE
 ALL EXHIBITORS
 MUST REGISTER
 AT THE EXHIBITION CENTER

EXHIBITION NUMBER	NAME
001	CHICK-FIL-A
002	WIPAC
003	WIPAC
004	WIPAC
005	WIPAC
006	WIPAC
007	WIPAC
008	WIPAC
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CUP SUBMITTAL
A-401

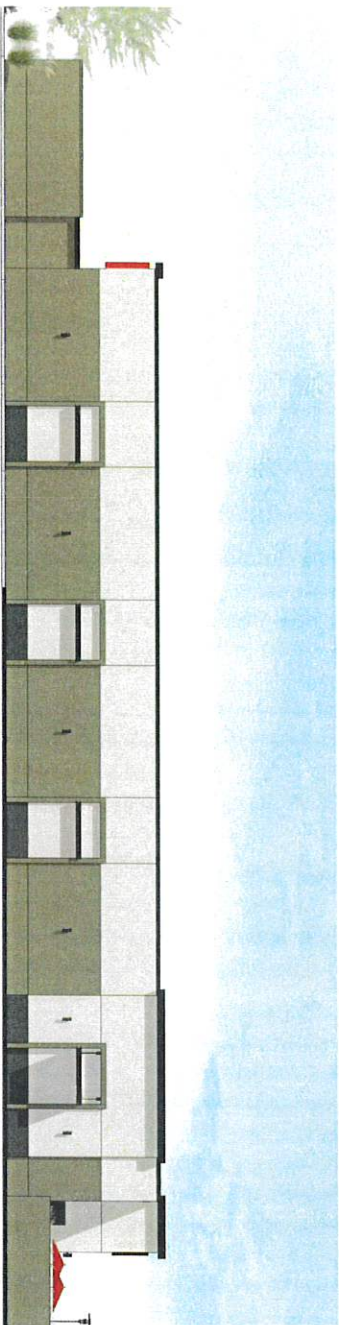




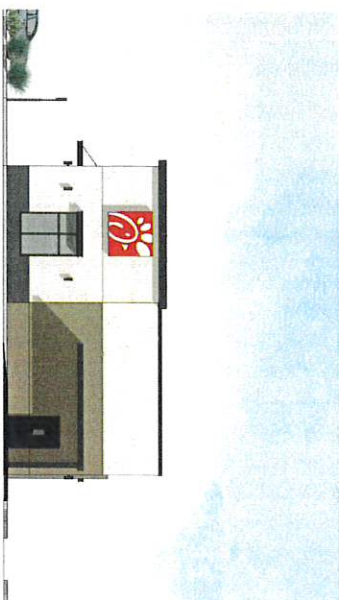
SOUTH ELEVATION



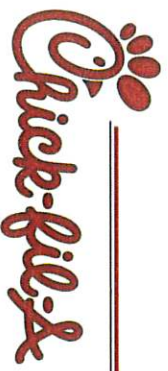
WEST ELEVATION



NORTH ELEVATION



EAST ELEVATION



PRELIMINARY ELEVATIONS
Newport & 17th, Costa Mesa, CA

File Name: 231791.dwg | 1/18/2015

08-15-22	08-18-22	03-10-23	03-23-23	03-28-23	04-11-23	06-26-23
08-17-22	03-02-23	03-15-23	03-24-23	04-10-23	06-23-23	06-28-23

Note:
All roof top mechanical equipment shall be located on equipment as of and accessed from view by pumps with.

COLOR AND MATERIAL LEGEND

- [SIC1] Stone - Cedar Sherwin Williams SW9756 "Schubertland Wine"
- [SIC2] Stone - Cedar Sherwin Williams SW9112 "Hudson"
- [SIC3] Stone - Cedar Sherwin Williams CVA Custom "Trian Night"
- [A1] Aluminum Siding - Cedar Park House
- [SIC1] Aluminum Siding - Cedar Park House
- [EC1] Paper Wall Ceiling - Portland Exquisite Metal - Park House (Mater)
- [FA1] Exterior Panel - Cedar on White Sherwin Williams CVA Custom "Trian Night"





SOUTH WEST



PRELIMINARY ELEVATIONS
Newport & 17th, Costa Mesa, CA

File Name: 23-1791_Cover_Rev-01.rvt

08-15-22 08-18-22 03-10-23 03-21-23 03-28-23 04-11-23 06-26-23
08-17-22 03-02-23 03-15-23 03-24-23 04-10-23 06-23-23 06-28-23



SOUTH EAST



PRELIMINARY ELEVATIONS
Newport & 17 th, Costa Mesa, CA

08-15-22 08-18-22 03-10-23 03-21-23 03-28-23 04-11-23 06-26-23
 08-17-22 03-02-23 03-15-23 03-24-23 04-10-23 06-23-23 06-28-23

File Name: 23179_Cover_Elevation



NORTH EAST



PRELIMINARY ELEVATIONS
Newport & 17 th, Costa Mesa, CA

08-18-22 08-18-22 03-10-23 03-21-23 03-28-23 04-11-23 06-26-23
08-17-22 03-02-23 03-15-23 03-24-23 04-10-23 06-23-23 06-28-23

File Name: 22179 Color Elevations



WEST



PRELIMINARY ELEVATIONS
Newport & 17 th, Costa Mesa, CA

08-15-22 08-18-22 03-10-23 03-23-23 03-28-23 04-11-23 06-26-23
 08-17-22 03-02-23 03-15-23 03-24-23 04-10-23 06-23-23 06-28-23

File Name: 23-179-Cafe-Exterior



NORTH WEST BIRD'S EYE VIEW



PRELIMINARY ELEVATIONS
Newport & 17 th, Costa Mesa, CA

08-18-22 08-18-22 03-10-23 03-23-23 03-28-23 04-11-23 06-28-23
08-17-22 03-02-23 03-15-23 03-24-23 04-10-23 06-23-23 06-28-23

File Name: 22179_Cover Elevations



SOUTH WEST BIRD'S EYE VIEW



PRELIMINARY ELEVATIONS
Newport & 17 th, Costa Mesa, CA

File Name: 13-179_CAFR_Rev04.rvt

08-15-22 08-18-22 03-10-23 03-21-23 03-28-23 04-11-23 06-26-23
 08-17-22 03-02-23 03-15-23 03-24-23 04-10-23 06-23-23 06-28-23



SOUTH EAST BIRD'S EYE VIEW



PRELIMINARY ELEVATIONS
Newport & 17 th, Costa Mesa, CA

08-15-22 08-18-22 03-10-23 03-23-23 03-28-23 04-11-23 06-26-23
 08-17-22 03-02-23 03-15-23 03-24-23 04-10-23 06-23-23 06-28-23

File Name: 23-179 Color Elevations

STC-1 STUCCO

Color to Match Sherwin Williams
SW 7566 "Westhighland White"

STC-3 STUCCO

PT-3 EXTERIOR PAINT

Color to Match Sherwin Williams
CFA Custom "Urban Night"

STC-2 STUCCO

Color to Match Sherwin Williams
SW 6172 "Hardware"

A-1 ALUMINUM AWNING

ST-1 ALUMINUM STOREFRONT

EC-1 PARAPET WALL COPING

Color: "Dark Bronze"



BUILDING COLORS & MATERIALS
05344 NEWPORT & 17TH, COSTA MESA, CA
03-23-23



1833 E. 17th Street
3rd Floor - Suite 301
Santa Ana, CA 92705
Phone 714.832.1834

CITY OF COSTA MESA


LOT LINE ADJUSTMENT No. -

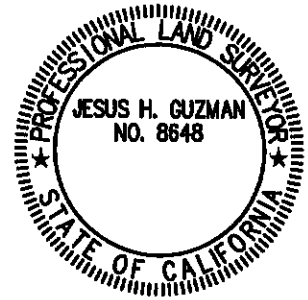
PREPARER: _____
CONTACT PERSON: Jesus H. Guzman

ADDRESS: 1915 W Oranewood Ave, Suite 101
Orange, CA 92868

DAYTIME TELEPHONE NO: 714-935-0265

This document consisting of 10 pages was prepared by me
or under my direction.


Name: Jesus H. Guzman PLS # 8648
License Expires: 12-31-2023



COUNTY: _____

Examined and Approved as to survey content only for
Kevin R. Hills, County Surveyor

By: Lily M. N. Sandberg, Deputy County Surveyor
P.L.S. 8402
Dated this _____ day of 2023

CITY ENGINEER: _____

This Lot Line Adjustment Application has been examined and approved
by the City of Costa Mesa.

Baltazar M. Mejia, City Engineer Date
R.C.E. C50330

PLANNING DEPARTMENT: _____

Examined and Approved as to Zoning Conformance by
the City of Costa Mesa Planning Department

Barry Curtis, Economic & Development Services Director Date

See Exhibits
A, B, and C,
attached
hereto.

EXHIBIT A-1
CITY OF COSTA MESA
LOT MERGER NO.

OWNERS	EXISTING PARCELS AP NUMBER	PROPOSED ADJUSTED PARCEL REFERENCE
DODD, SHAFFER, EMMONS	A.P.N. 425-423-20	PARCEL 1
DODD, SHAFFER	A.P.N. 425-423-15	PARCEL 1

LEGAL DESCRIPTION EXISTING:

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF COSTA MESA, COUNTY OF ORANGE, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

PARCEL 1

THE NORTHEASTERLY 48.40 FEET OF LOT 72 OF NEWPORT HEIGHTS, AS SHOWN ON A MAP RECORDED IN BOOK 4, PAGE 83 OF MISCELLANEOUS MAPS, RECORDS OF ORANGE COUNTY, CALIFORNIA, THE SOUTHWESTERLY LINE OF SAID LAND BEING PARALLEL TO AND DISTANT 48.40 FEET, MEASURED AT RIGHT ANGLES FROM THE NORTHEASTERLY LINE OF SAID LOT 72.

EXCEPTING THEREFROM THAT PORTION LYING SOUTHEASTERLY OF THE FOLLOWING DESCRIBED LINE:

COMMENCING AT THE MOST NORTHERLY CORNER OF THE LAND DESCRIBED IN A DEED TO A. F. ADAIR AND WIFE, RECORDED ON SEPTEMBER 3, 1954 IN BOOK 2810, PAGE 56 OF OFFICIAL RECORDS; THENCE, SOUTHEASTERLY PARALLEL WITH THE NORTHEASTERLY LINE OF SAID LOT 72, A DISTANCE OF 355.87 FEET TO THE MOST EASTERLY CORNER OF THE LAND DESCRIBED IN A DEED TO LUCILLE L. BARNETT, RECORDED JULY 16, 1959 IN BOOK 4350, PAGE 473 OF OFFICIAL RECORDS OF ORANGE COUNTY; THENCE, NORTHEASTERLY PARALLEL WITH THE SOUTHEASTERLY LINE OF SAID LOT 72, A DISTANCE OF 98.40 FEET TO ITS INTERSECTION WITH THE NORTHEASTERLY LINE OF SAID LOT.

ALSO EXCEPTING THEREFROM THAT PORTION OF SAID LAND CONVEYED TO THE STATE OF CALIFORNIA BY DEED RECORDED SEPTEMBER 30, 1952 IN BOOK 2389, PAGE 410 OF SAID OFFICIAL RECORDS.

ALSO EXCEPTING THEREFROM THOSE PORTIONS DESCRIBED IN DEEDS TO THE CITY OF COSTA MESA RECORDED NOVEMBER 12, 1986 AS INSTRUMENT NO.'S 86-554395 AND 86-554396 OF SAID OFFICIAL RECORDS.

PARCEL 2

THE SOUTHWESTERLY 50.00 FEET OF THE NORTHEASTERLY 98.40 FEET OF LOT 72 OF NEWPORT HEIGHTS, AS SHOWN ON A MAP RECORDED IN BOOK 4, PAGE 83 OF MISCELLANEOUS MAPS, RECORDS OF ORANGE COUNTY, CALIFORNIA.

EXCEPTING THEREFROM THAT PORTION LYING SOUTHEASTERLY OF THE FOLLOWING DESCRIBED LINE:

COMMENCING AT THE MOST NORTHERLY CORNER OF THE LAND DESCRIBED IN A DEED TO A. F. ADAIR AND WIFE, RECORDED ON SEPTEMBER 3, 1954 IN BOOK 2810, PAGE 56 OF OFFICIAL RECORDS; THENCE, SOUTHEASTERLY PARALLEL WITH THE NORTHEASTERLY LINE OF SAID LOT 72, A DISTANCE OF 355.87 FEET TO THE MOST EASTERLY CORNER OF THE LAND DESCRIBED IN A DEED TO LUCILLE L. BARNETT, RECORDED ON JULY 16, 1958 IN BOOK 4350, PAGE 473 OF OFFICIAL RECORDS OF SAID ORANGE COUNTY; THENCE, NORTHEASTERLY PARALLEL WITH THE SOUTHEASTERLY LINE OF SAID LOT 72 A DISTANCE OF 98.40 FEET TO ITS INTERSECTION WITH THE NORTHEASTERLY LINE OF SAID LOT.

LSO EXCEPTING THEREFROM THAT PORTION OF SAID LAND CONVEYED TO THE STATE OF CALIFORNIA BY DEED RECORDED SEPTEMBER 30, 1952 IN BOOK 2389, PAGE 410 OF SAID OFFICIAL RECORDS.

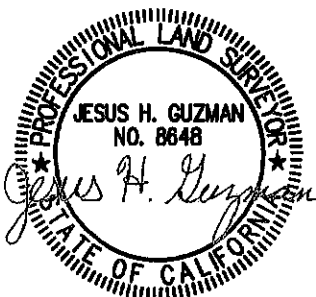


EXHIBIT A-2
CITY OF COSTA MESA
LOT MERGER NO.

OWNERS	EXISTING PARCELS AP NUMBER	PROPOSED ADJUSTED PARCEL REFERENCE
DODD, SHAFFER, EMMONS	A.P.N. 425-423-20	PARCEL 1
DODD, SHAFFER	A.P.N. 425-423-15	PARCEL 1

(CONTINUED FROM EXHIBIT A-1)

PARCEL 3

THE NORTHWESTERLY 170.00 FEET OF THE FOLLOWING: THAT PORTION OF LOT 72 OF NEWPORT HEIGHTS, AS SHOWN ON MAP RECORDED IN BOOK 4, PAGE 83 OF MISCELLANEOUS MAPS, RECORDS OF ORANGE COUNTY, CALIFORNIA, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT IN THE SOUTHEASTERLY LINE OF SAID LOT 72 DISTANT THEREON 98.40 FEET SOUTHWESTERLY FROM THE MOST EASTERLY CORNER OF SAID LOT, SAID POINT BEING ALSO THE MOST EASTERLY CORNER OF THE LAND CONVEYED TO FRANK P. JOHNSON AND WIFE BY DEED RECORDED DECEMBER 26TH, 1945 IN BOOK 1376, PAGE 343 OF OFFICIAL RECORDS, AND RUNNING THENCE, NORTHWESTERLY PARALLEL WITH THE NORTHEASTERLY LINE OF SAID LOT, BEING ALONG THE NORTHEASTERLY LINE OF SAID LAND CONVEYED TO JOHNSON, TO A POINT DISTANT THEREON SOUTHEASTERLY 185.87 FEET FROM THE MOST NORTHERLY CORNER OF SAID LAND CONVEYED TO JOHNSON; THENCE, SOUTHWESTERLY PARALLEL WITH THE SOUTHEASTERLY LINE OF SAID LOT, 70.90 FEET, MORE OR LESS, TO THE SOUTHWESTERLY LINE OF SAID LAND CONVEYED TO JOHNSON; THENCE, SOUTHEASTERLY ALONG SAID LAST MENTIONED SOUTHWESTERLY LINE TO THE SOUTHEASTERLY LINE OF SAID LOT 72; THENCE, NORTHEASTERLY ALONG SAID SOUTHEASTERLY LINE 70.90 FEET TO THE **POINT OF BEGINNING**.

PARCEL 4

THAT PORTION OF LOT 82 OF NEWPORT HEIGHTS AS SHOWN ON MAP RECORDED IN BOOK 4, PAGE 83 OF MISCELLANEOUS MAPS, RECORDS OF ORANGE COUNTY, CALIFORNIA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE CENTERLINE INTERSECTION OF 17TH STREET AND ORANGE AVENUE; THENCE, NORTH 49° 58' 52" WEST ALONG THE SAID CENTERLINE OF 17TH STREET A DISTANCE OF 792.00 FEET TO A POINT ON A LINE PARALLEL AND 792.00 FEET NORTHWESTERLY OF THE CENTERLINE OF ORANGE AVENUE; THENCE, SOUTH 40° 01' 08" WEST ALONG SAID PARALLEL LINE A DISTANCE OF 330.15 FEET TO A POINT OF THE SOUTHWESTERLY LINE OF SAID LOT 82; THENCE, NORTH 49° 58' 52" WEST ALONG SAID SOUTHWESTERLY LINE OF LOT 82 A DISTANCE OF 105.114 FEET TO THE **TRUE POINT OF BEGINNING**; THENCE, NORTH 74° 56' 07.05" EAST A DISTANCE OF 10.81 FEET TO POINT ON A TANGENT CURVE CONCAVE SOUTHERLY HAVING A RADIUS OF 597.00 FEET; THENCE, NORTHEASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE 0° 33' 13.54" AN ARC DISTANCE OF 5.77 FEET; THENCE, SOUTH 14° 30' 39.40" EAST 23.40 FEET; THENCE, NORTH 49° 58' 52" WEST A DISTANCE OF 28.571 FEET TO THE **TRUE POINT OF BEGINNING**.

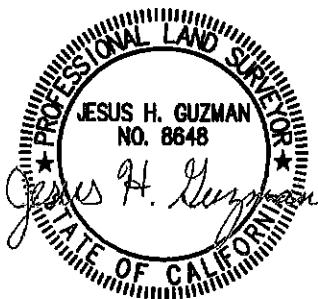


EXHIBIT A-3
CITY OF COSTA MESA
LOT MERGER NO.

OWNERS	EXISTING PARCELS AP NUMBER	PROPOSED ADJUSTED PARCEL REFERENCE
DODD, SHAFFER, EMMONS	A.P.N. 425-423-20	PARCEL 1
DODD, SHAFFER	A.P.N. 425-423-15	PARCEL 1

LEGAL DESCRIPTION PROPOSED:

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF COSTA MESA, COUNTY OF ORANGE, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

PARCEL 1

THOSE PORTIONS OF LOT 72 AND LOT 82 OF NEWPORT HEIGHTS, AS SHOWN ON A MAP RECORDED IN BOOK 4, PAGE 83 OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF ORANGE COUNTY, CALIFORNIA, DESCRIBED AS FOLLOWS:

BEGINNING AT THE CENTERLINE INTERSECTION OF ORANGE AVENUE AND OLD 17TH STREET AS SHOWN ON PARCEL MAP NO. 2010-134, RECORDED IN BOOK 371, PAGES 47 THROUGH 50, INCLUSIVE, OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY; THENCE, ALONG THE CENTERLINE OF SAID ORANGE AVENUE, SOUTH 40°40'00" WEST 330.49 FEET TO THE INTERSECTION WITH THE SOUTHEASTERLY PROLONGATION OF THE NORTHEASTERLY LINE OF SAID LOT 72; THENCE, NORTH 49°20'25" WEST 30.00 FEET ALONG SAID PROLONGATION TO THE EASTERLY CORNER OF SAID LOT 72; THENCE, NORTH 49°20'25" WEST 500.96 FEET, ALONG THE NORTHEASTERLY LINE OF SAID PARCEL 72, TO THE **TRUE POINT OF BEGINNING**, BEING A SOUTHWEST CORNER OF PARCEL 3 OF SAID PARCEL MAP NO. 2010-134, SAID CORNER BEING THE SOUTHEASTERLY TERMINUS OF THE COURSE HAVING A DISTANCE OF 81.03 FEET PER SAID MAP; THENCE, ALONG THE SOUTHWESTERLY LINES OF PARCELS 2 AND 3 RESPECTIVELY OF SAID PARCEL MAP, SOUTH 40°40'00" WEST 169.28 FEET TO THE WEST CORNER OF SAID PARCEL 2 AND THE SOUTHWESTERLY LINE OF THE LAND CONVEYED TO FRANK P. JOHNSON AND WIFE BY DEED RECORDED DECEMBER 26TH, 1945 IN BOOK 1376, PAGE 343 OF OFFICIAL RECORDS; THENCE, NORTH 49°20'25" WEST 169.32 FEET ALONG SAID SOUTHWESTERLY LINE OF JOHNSON; THENCE, NORTH 40°40'00" EAST 70.88 FEET TO THE NORTHEASTERLY LINE OF SAID JOHNSON PROPERTY; THENCE, NORTH 49°20'25" WEST 185.87 FEET ALONG SAID NORTHWESTERLY LINE OF JOHNSON TO THE MOST NORTHERLY CORNER OF LAND TO A.F. ADAIR AND WIFE PER DEED RECORDED SEPTEMBER 3, 1954, IN BOOK 2810, PAGE 56, OF OFFICIAL RECORDS, AND THE NORTHEASTERLY RIGHT OF WAY OF NEWPORT BOULEVARD, A NON-TANGENT CURVE, CONCAVE NORTHEASTERLY, HAVING A RADIUS OF 3,885.00 FEET, A RADIAL TO WHICH BEARS NORTH 79°25'40" WEST; THENCE, NORTHERLY ALONG SAID NORTHEASTERLY RIGHT OF WAY OF NEWPORT BOULEVARD, ALSO BEING THE PROPERTY CONVEYED TO THE STATE OF CALIFORNIA PER DEED RECORDED SEPTEMBER 30, 1952, IN BOOK 2389, PAGE 410 OF OFFICIAL RECORDS AND SAID CURVE 81.27 FEET, THROUGH A CENTRAL ANGLE OF 01°11'55" TO THE SOUTHEASTERLY LINE OF THE PROPERTY CONVEYED TO CITY OF COSTA MESA PER DEED RECORDED NOVEMBER 12, 1986 AS INSTRUMENT NO. 86-554396 OF OFFICIAL RECORDS; THENCE, NORTH 39°03'43" EAST 27.67 FEET ALONG SAID LINE TO SAID NORTHEASTERLY LINE OF LOT 72; THENCE, ALONG SAID LINE, NORTH 49°20'25" WEST 0.32 FEET; THENCE, LEAVING SAID LINE, NORTH 75°34'34" EAST 10.81 TO THE BEGINNING OF A CURVE, CONCAVE SOUTHERLY, HAVING A RADIUS OF 597.00 FEET; THENCE, EASTERLY ALONG SAID CURVE, 5.77 FEET, THROUGH A CENTRAL ANGLE OF 00°33'13"; THENCE, SOUTH 13°52'12" EAST 23.40 FEET TO SAID NORTHEASTERLY LINE OF LOT 72; THENCE, ALONG SAID LINE, SOUTH 49°20'25" EAST 367.73 FEET TO THE **TRUE POINT OF BEGINNING**.

CONTAINING AN AREA OF APPROXIMATELY 49,690 SQAURE FEET OR 1.141 ACRES

SUBJECT TO EASEMENTS, COVENANTS, CONDITIONS, RESTRICTIONS, RESERVATIONS, RIGHTS, RIGHTS-OF-WAY, AND OTHER MATTERS OF RECORD, IF ANY.

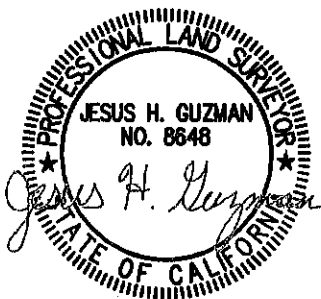


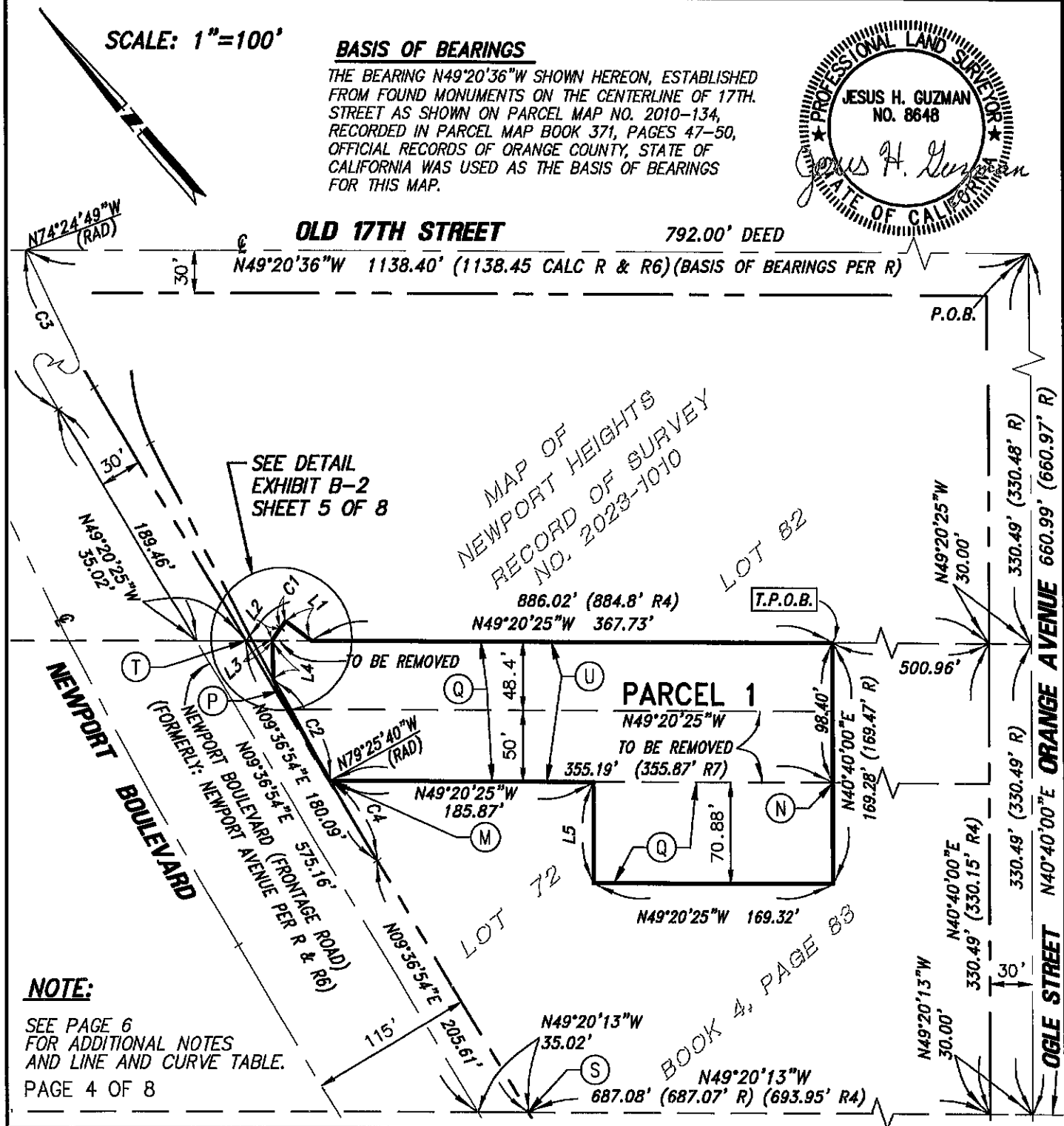
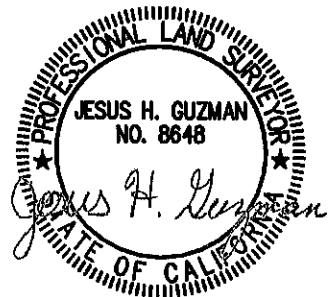
EXHIBIT B-1
CITY OF COSTA MESA
LOT MERGER NO.

OWNERS	EXISTING PARCELS AP NUMBER	PROPOSED ADJUSTED PARCEL REFERENCE
DODD, SHAFFER, EMMONS	A.P.N. 425-423-20	PARCEL 1
DODD, SHAFFER	A.P.N. 425-423-15	PARCEL 1

SCALE: 1"=100'

BASIS OF BEARINGS

THE BEARING N49°20'36"W SHOWN HEREON, ESTABLISHED FROM FOUND MONUMENTS ON THE CENTERLINE OF 17TH STREET AS SHOWN ON PARCEL MAP NO. 2010-134, RECORDED IN PARCEL MAP BOOK 371, PAGES 47-50, OFFICIAL RECORDS OF ORANGE COUNTY, STATE OF CALIFORNIA WAS USED AS THE BASIS OF BEARINGS FOR THIS MAP.



SEE DETAIL
EXHIBIT B-2
SHEET 5 OF 8

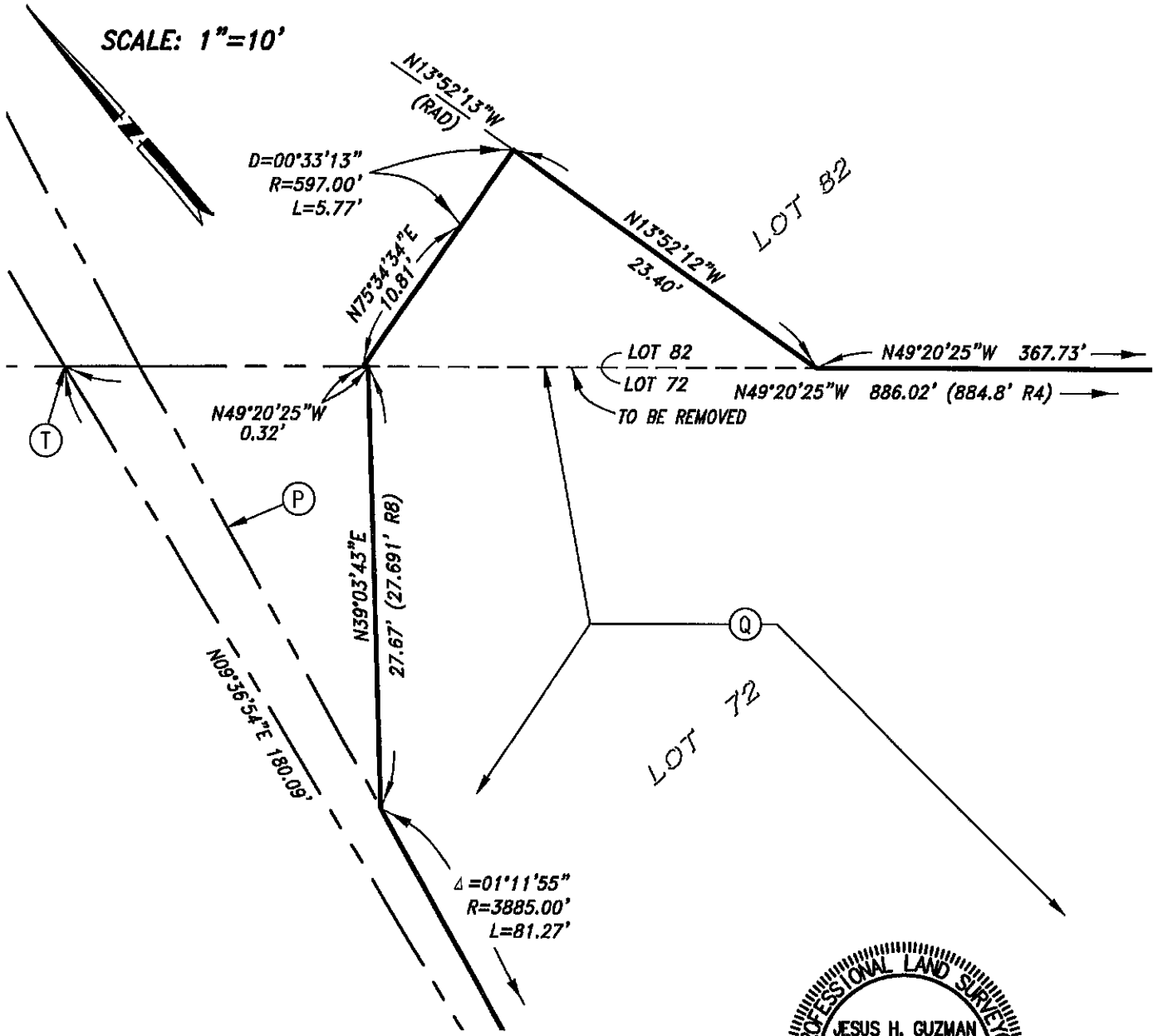
MAP OF
NEWPORT HEIGHTS
RECORD OF SURVEY
NO. 2023-1010

NOTE:
SEE PAGE 6
FOR ADDITIONAL NOTES
AND LINE AND CURVE TABLE.
PAGE 4 OF 8

BOOK 4, PAGE 83

EXHIBIT B-2
CITY OF COSTA MESA
LOT MERGER NO.

OWNERS	EXISTING PARCELS AP NUMBER	PROPOSED ADJUSTED PARCEL REFERENCE
DODD, SHAFFER, EMMONS	A.P.N. 425-423-20	PARCEL 1
DODD, SHAFFER	A.P.N. 425-423-15	PARCEL 1



NOTE:
 SEE PAGE 6
 FOR ADDITIONAL NOTES
 AND LINE AND CURVE TABLE.

DETAIL
 FROM EXHIBIT B-1

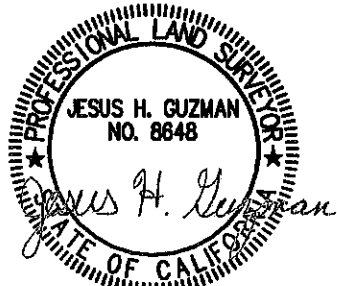


EXHIBIT B-3
CITY OF COSTA MESA
LOT MERGER NO.

OWNERS	EXISTING PARCELS AP NUMBER	PROPOSED ADJUSTED PARCEL REFERENCE
DODD, SHAFFER, EMMONS	A.P.N. 425-423-20	PARCEL 1
DODD, SHAFFER	A.P.N. 425-423-15	PARCEL 1

LINE & CURVE TABLE:

L1 = N13°52'12"W 23.40'
 L2 = N75°34'34"E 10.81'
 L3 = N49°20'25"W 0.32'
 L4 = N39°03'43"E 27.67'
 L5 = N40°40'00"E 70.88'
 L6 = N49°20'25"W 81.19' (81.03' R)
 L7 = N49°20'36"W 56.71' (56.71' R6)

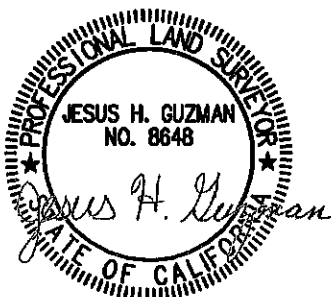
C1: D=00°33'13" C2: D=01°11'55"
 R=597.00' R=3885.00'
 L=5.77' L=81.27'

C3: D=05°58'17"
 R=1828.69' (1828.69' R6)
 L=190.59'

C4: D=00°57'27" (00°57'40" R6)
 R=3885.00' (3885.00' R6)
 L=64.92' (65.17' R6)

LEGEND:

P.O.B. = POINT OF BEGINNING
 T.P.O.B. = TRUE POINT OF BEGINNING
 OF PROPOSED PARCEL



RECORD DATA

(R) = PARCEL MAP NO. 2010-134, PARCEL MAP BOOK 371, PAGES 47-50
 (R1) = COUNTY OF ORANGE CORNER RECORD DOCUMENT NO. 2019-2950
 (R2) = COUNTY OF ORANGE CORNER RECORD DOCUMENT NO. 2016-1106B
 (R3) = CITY OF COSTA MESA TIE NOTE 136B
 (R4) = MAP OF NEWPORT HEIGHTS, M.M. BOOK 4, PAGE 83
 (R5) = RECORD OF SURVEY NO. 2007-1129, BOOK 222, PAGE 6
 (R6) = CALTRANS R/W MAP NO. F 1612-6RI
 (R7) = QUITCLAIM DEED INSTRUMENT NO. 2017000236127, O.R.
 (R8) = GRANT DEED INSTRUMENT NO. 86-554396, O.R.

NOTES:

- (C) MOST SOUTHERLY CORNER OF LOT 72 OF (R4)
- (M) MOST NORTHERLY CORNER OF LAND TO A.F. ADAIR AND WIFE PER DEED RECORDED 9/3/54, IN BOOK 2810, PAGE 56, O.R.
- (N) MOST EASTERLY CORNER OF LAND TO LUCILLE L. BARNETT PER DEED RECORDED 7/16/59, IN BOOK 4350, PAGE 473, O.R. AND ALSO A POINT ON THE NORTHWESTERLY LINE OF PARCEL 2 OF (R).
- (P) EASTERLY LINE OF LAND CONVEYED TO THE STATE OF CALIFORNIA PER DEED RECORDED 9/30/52, IN BOOK 2389, PAGE 410, O.R.
- (Q) LAND DESCRIBED BY QUITCLAIM DEED RECORDED 6/9/2017, AS INSTRUMENT NO. 2017-000236127, O.R.
- (S) MOST WESTERLY CORNER OF LOT 72 OF (R4)
- (T) MOST NORTHERLY CORNER OF LOT 72 OF (R4)
- (U) PARCEL NO. 1 OF LAND DESCRIBED IN QUITCLAIM DEED INSTRUMENT NO. 2000-0003715, O.R.

EXHIBIT C-1
CITY OF COSTA MESA
LOT MERGER NO.

OWNERS	EXISTING PARCELS AP NUMBER	PROPOSED ADJUSTED PARCEL REFERENCE
DODD, SHAFFER, EMMONS	A.P.N. 425-423-20	PARCEL 1
DODD, SHAFFER	A.P.N. 425-423-15	PARCEL 1

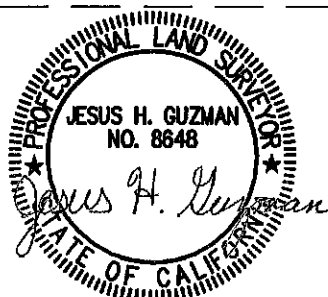
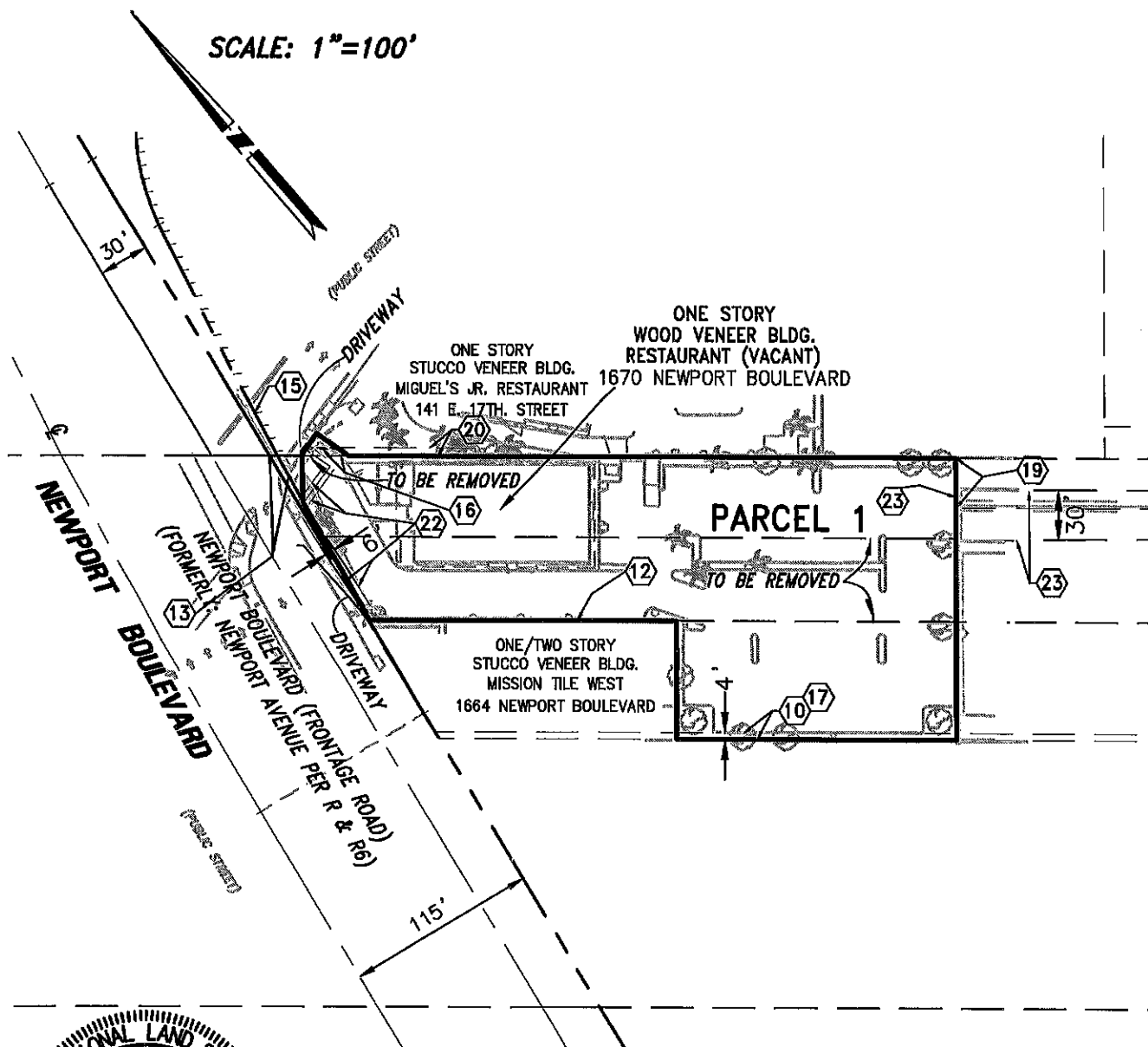


EXHIBIT C-2
CITY OF COSTA MESA
LOT MERGER NO.

OWNERS	EXISTING PARCELS AP NUMBER	PROPOSED ADJUSTED PARCEL REFERENCE
DODD, SHAFFER, EMMONS	A.P.N. 425-423-20	PARCEL 1
DODD, SHAFFER	A.P.N. 425-423-15	PARCEL 1

EASEMENT NOTES:

EASEMENT INFORMATION OBTAINED FROM PRELIMINARY TITLE REPORT PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY ORDER NUMBER: NCS-1139378-SD, DATED: JULY 13, 2022.

- ⑩ THE TERMS, PROVISIONS AND EASEMENT(S) CONTAINED IN THE DOCUMENT ENTITLED "AGREEMENT" RECORDED SEPTEMBER 7, 1937 AS BOOK 909, PAGE 168 OF OFFICIAL RECORDS.
- ⑫ THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "PARTY WALL AGREEMENT" RECORDED AS BOOK 1648, PAGE 382 OF OFFICIAL RECORDS. NOTE 1: THE EFFECT OF AN INDIVIDUAL QUITCLAIM DEED EXECUTED BY LUCILLE C. EMMONS, A MARRIED WOMAN, ALSO KNOWN AS LUCILLE DODD, AS GRANTOR, AND THE WARLEN COMPANY, A CORPORATION, AS GRANTEE, QUITCLAIMING A PORTION OF THE PARTY WALL AGREEMENT AFFECTING PARCELS 1, 2 AND 3, RECORDED FEBRUARY 17, 1978, AS INSTRUMENT NO. 21650, BOOK 12568, PAGE 1860 OF OFFICIAL RECORDS.
- ⑬ ABUTTER'S RIGHTS OF INGRESS AND EGRESS TO OR FROM ADJOINING FREEWAY OR HIGHWAY HAVE BEEN RELINQUISHED IN THE DOCUMENT RECORDED SEPTEMBER 30, 1952 AS BOOK 2389, PAGE 410 OF OFFICIAL RECORDS. SAID DEED PROVIDES, HOWEVER, THAT THE GRANTORS SHALL HAVE ACCESS TO A FRONTAGE ROAD WHICH WILL BE CONNECTED TO SAID HIGHWAY AT SUCH POINTS AS MAY BE ESTABLISHED BY PUBLIC AUTHORITY.
- ⑯ AN EASEMENT FOR UNDERGROUND SEWER PIPE LINES AND INCIDENTAL PURPOSES IN THE DOCUMENT RECORDED JULY 31, 1957 AS BOOK 3990, PAGE 555 OF OFFICIAL RECORDS.
- ⑰ A RIGHT OF WAY 4 FEET IN WIDTH FOR INSTALLING AND MAINTAINING A PIPE LINE FOR THE CONVEYANCE OF WATER AND INCIDENTAL PURPOSES, ALONG THE SOUTHERLY PORTION OF THAT PORTION OF SAID PARCELS 1 AND 8 INCLUDED WITHIN THE LAND DESCRIBED IN THE DEED TO NISSWA PROPERTIES, INC., RECORDED JUNE 9, 1958 IN BOOK 4308, PAGE 443 OF OFFICIAL RECORDS, AS PROVIDED IN AN AGREEMENT BY AND BETWEEN EDWARD E. MURPHY AND L. G. GOODMAN, RECORDED SEPTEMBER 7, 1937 IN BOOK 909, PAGE 168 OF OFFICIAL RECORDS, TO WHICH RECORDS REFERENCE IS HEREBY MADE FOR FULL PARTICULARS. BY QUITCLAIM DEED RECORDED AUGUST 17, 1978 IN BOOK 12804, PAGE 379 OF OFFICIAL RECORDS, JUDY JUNE SUSAK, AN UNMARRIED WOMAN, QUITCLAIMED TO THE WARLEN COMPANY, A CORPORATION, AND J. WARREN LENNON, TRUSTEE UNDER THE DECLARATION OF TRUST FOR J. WARREN LENNON DATED DECEMBER 7, 1973, HER INTEREST IN SAID EASEMENT AS DESCRIBED THEREIN.
- ⑲ THE TERMS AND PROVISIONS CONTAINED IN THE DOCUMENT ENTITLED "GRANT DEED" RECORDED AS BOOK 4350, PAGE 477 OF OFFICIAL RECORDS.
- ⑳ AN EASEMENT FOR PUBLIC UTILITIES AND INCIDENTAL PURPOSES, RECORDED MARCH 30, 1983 AS INSTRUMENT NO. 83-133543 OF OFFICIAL RECORDS. IN FAVOR OF: SOUTHERN CALIFORNIA EDISON COMPANY, A CORPORATION
- ㉑ AN EASEMENT FOR RIGHT OF WAY FOR UNDERGROUND ELECTRICAL SUPPLY SYSTEMS AND COMMUNICATION SYSTEMS AND INCIDENTAL PURPOSES, RECORDED FEBRUARY 09, 1998 AS INSTRUMENT NO. 19980071676 OF OFFICIAL RECORDS. IN FAVOR OF: SOUTHERN CALIFORNIA EDISON COMPANY, A CORPORATION, ITS SUCCESSORS AND ASSIGNS THE LOCATION OF THE EASEMENT CANNOT BE DETERMINED FROM RECORD INFORMATION.
- ㉓ THE TERMS, PROVISIONS AND EASEMENT(S) CONTAINED IN THE DOCUMENT ENTITLED "EASEMENT AGREEMENT" RECORDED OCTOBER 16, 1998 AS INSTRUMENT NO. 19980698557 OF OFFICIAL RECORDS.

