

City of Costa Mesa

Memorandum

TO: SCOTT DRAPKIN, ASSISTANT DEVELOPMENT SERVICES DIRECTOR

FROM: GABRIEL VILLALOBOS, ASSISTANT PLANNER

DATE: APRIL 23, 2024

SUBJECT: MINOR MODIFICATION PMND-24-0002 FOR A REDUCED FRONT YARD SETBACK TO ACCOMODATE A PROPOSED RESIDENTIAL ADDITION AT 374 ESTHER STREET

BACKGROUND

The property at 374 Esther Street is zoned R1 (Single-Family Residential District) and is developed with a detached single-family residence and an attached garage. The property is located on the north side of Esther Street, between Raymond Avenue and Tustin Avenue. The existing home has an area of 2,044 square feet and an attached 382 square-foot garage. The residence was constructed in 1955 under Building Permit Number 1391. The residence was renovated and expanded by 867 square feet in 2004 under permit number B03-02123. The single-story residence is currently developed with three bedrooms, a home office, and 2.5 bathrooms.

DESCRIPTION

The proposed renovations include an entry addition of 76 square feet, a garage addition of 79 square feet, a new second-story addition above the garage of 1,073 square feet, and an attached 375-square-foot ADU proposed at the rear of the residence. The applicant has applied for a minor modification to allow a proposed residential addition to encroach into the required 20-foot front yard setback by one-foot.

The existing attached garage is currently measured with a front setback distance of 19'-10" with interior dimensions of 19'-5" by 17'-5". The proposal would expand the garage to accommodate the code required interior dimensions of 20 feet by 20 feet, moving the garage door to 19 feet from the public right-of-way. The proposal includes the renovation of the entire front façade of the residence and the new garage face would be designed to accommodate the new second-story addition to be located above the garage. The proposed second-story addition will be setback 20'-6" from the front property line. With the exception of the proposed front setback encroachment, the proposed residential additions will comply with all development standards of the Costa Mesa Municipal Code (CMMC), including such standards as height and open space.

ANALYSIS

CMMC Section 13-28(j)(1) allows for minor deviations from certain code requirements, including a 20% or less decrease in required front yard depth; provided that in residential zones, the garage is set back a minimum of 19 feet from the front property line. The applicant's request for a one-foot reduction (i.e. 5%) is consistent with what is authorized by the CMMC. Table 1 below summarizes the proposed minor modification request:

Table 1 – Minor Modification Request

Deviation Type	Existing Condition	CMMC Requirement	Maximum Deviation Permitted	Proposed Minor Modification
20% or less Decrease in required front yard depth	House is located 19' – 10" feet from front property line	20 feet	20 percent (4 foot encroachment)	5 percent or 19' from property line (1 foot encroachment)

The request for a minor modification is allowable as the face of the garage will be setback 19 feet from the front property line in accordance with CMMC Table 13-28(j)(1). In addition, per CMMC Section 13-85(a)(1), each garage space shall have interior dimensions that are a minimum 10 feet wide by 20 feet long, unobstructed inside measurements. The attached garage parks two cars and will be expanded to have unobstructed interior measurements of 20 feet by 20 feet to bring the existing garage into conformance with the zoning code.

Minor Modification Findings

Per CMMC 13-29(g)(6), two findings must be made for the Director of Economic and Development Services to approve a minor modification. These findings and facts in support of the findings are provided below:

Finding I: *The improvement will not be materially detrimental to the health, safety and general welfare of persons residing or working within the immediate vicinity of the project or to property and improvements within the neighborhood.*

Facts in Support of Finding:

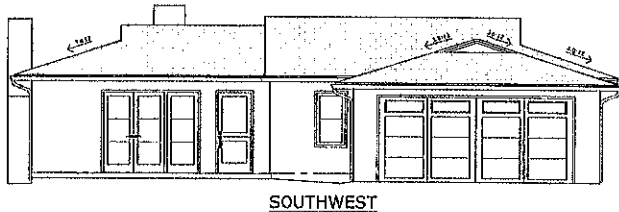
The proposed residential addition will not be materially detrimental to the health, safety and general welfare of persons residing or working within the immediate vicinity of the property in that the proposed additions will allow for a relatively minor expansion of the existing footprint of the residence. With the exception of the requested minor modification, the proposed development would be in conformance with residential development standards. The proposal benefits the development by allowing the nonconforming garage

to be brought into conformance with current standards and will include a new façade that will improve the aesthetic quality of the development.

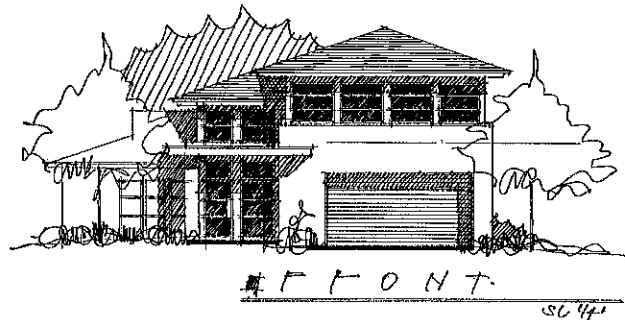
Finding II: *The improvement is compatible and enhances the architecture and design of the existing and anticipated development in the vicinity. This includes the site planning, land coverage, landscaping, appearance, scale of structures, open space and any other applicable features relative to a compatible and attractive development.*

Facts in Support of Finding:

The improvement is considered compatible and would enhance the architecture and design of the existing and anticipated development in the vicinity as the request would allow for the renovation of the street facing façade of the residence. The requested encroachment would allow for the expansion of an existing attached garage which would include the addition of new second-story livable area and a revamped street-facing façade which would improve the aesthetic quality of the residence. The proposed additions will maintain all other setback and height requirements, as well as, the required driveway length and interior garage dimensions required by code. The second-story addition will be setback 20'-6" from the front property line and will be stepped back from the first-floor garage.



Existing Front Elevation



Proposed Front Elevation

RECOMMENDATION

Approve the minor modification.

ATTACHMENTS


1. PLANS

DIRECTOR DECISION

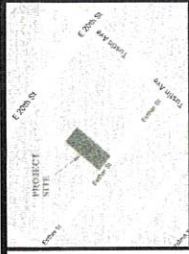
THE MINOR MODIFICATION REQUEST IS **APPROVED** / **DENIED** BASED ON THE FOLLOWING FINDINGS:

The improvement **will not be** / **will be** materially detrimental to the health, safety, and general welfare of persons residing or working within the immediate vicinity of the project or to property and improvements within the neighborhood.

The improvement **is** / **is not** compatible and enhances the architecture and design of the existing and anticipated development in the vicinity. This includes the site planning, land coverage, landscaping, appearance, scale of structures, open space and any other applicable features relative to a compatible and attractive development.

Zone: R1 (Single-Family Residential) Approved by:  Decision Date: 4/22/24

Appeal of this decision shall be filed within 7 days of the decision date noted above by remittance of the appeal fee and according to the procedures set forth in Title 2, Chapter IX, of the Costa Mesa Municipal Code.



VICINITY MAP
NOT TO SCALE

ADDRESS OF PROJECT
174 ESTHER STREET
COSTA MESA

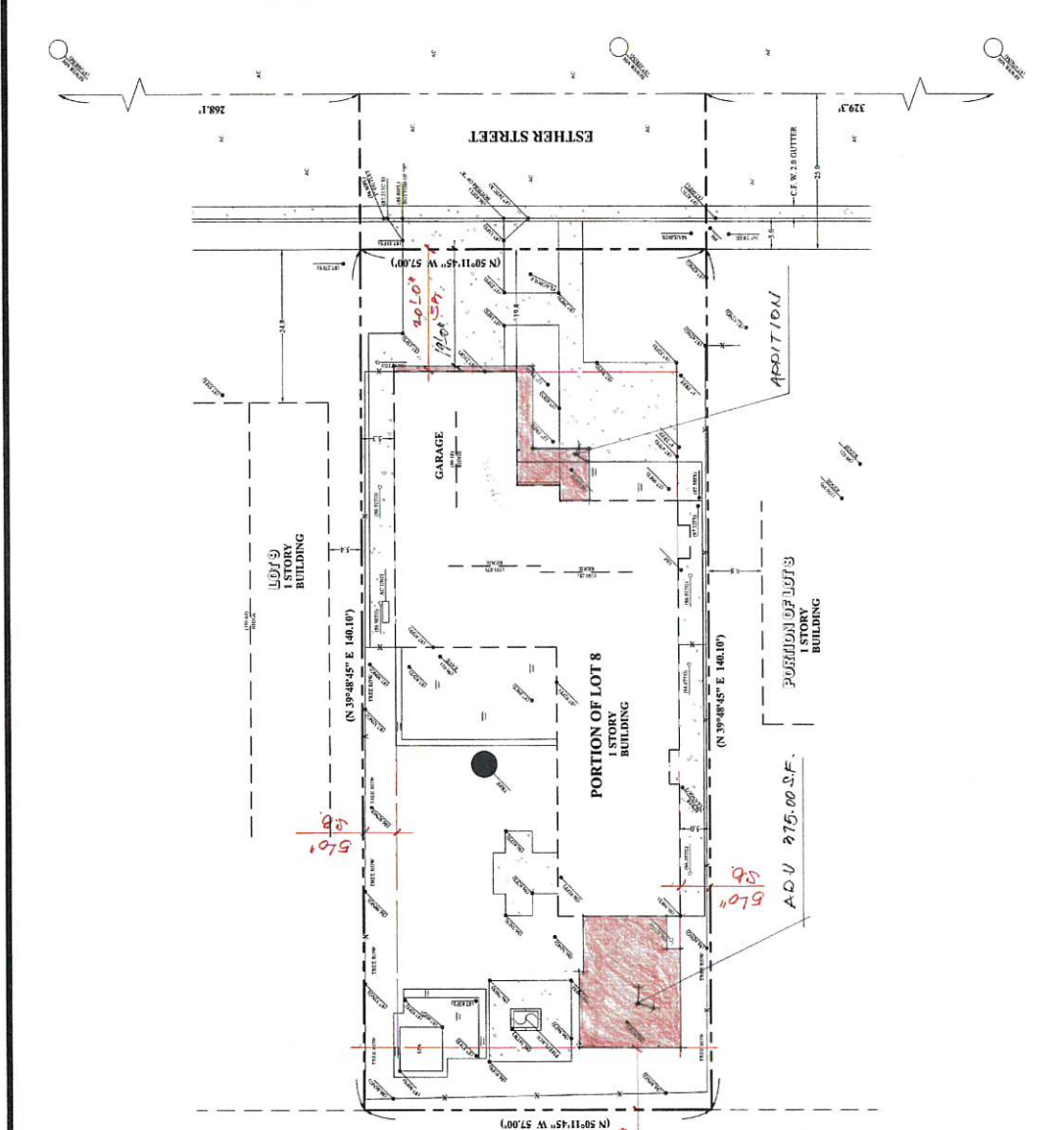
OWNER
JONATHAN AND ROMANA WEIL

LEGAL DESCRIPTION
A PORTION OF LOT 4 OF TRACT NO. 278
APN 426-304-15

BENCH MARK
BENCH MARK PUB-21-92
DATUM: NAD 83
ELEVATION: 97.259

TOPOGRAPHIC SURVEY
JOB: 97-11 DATE: 1/05-24

RDM SURVEYING INC.
RON MUEBBERG L.S. 4653
2308 LAKE FOREST DRIVE #609
COSTA MESA, CALIFORNIA 92626
(949) 422-1869 OFFICE
(949) 422-1869 CELL
RDMSURVEYING@GOLDFONTS.COM



SURVEY NOTES

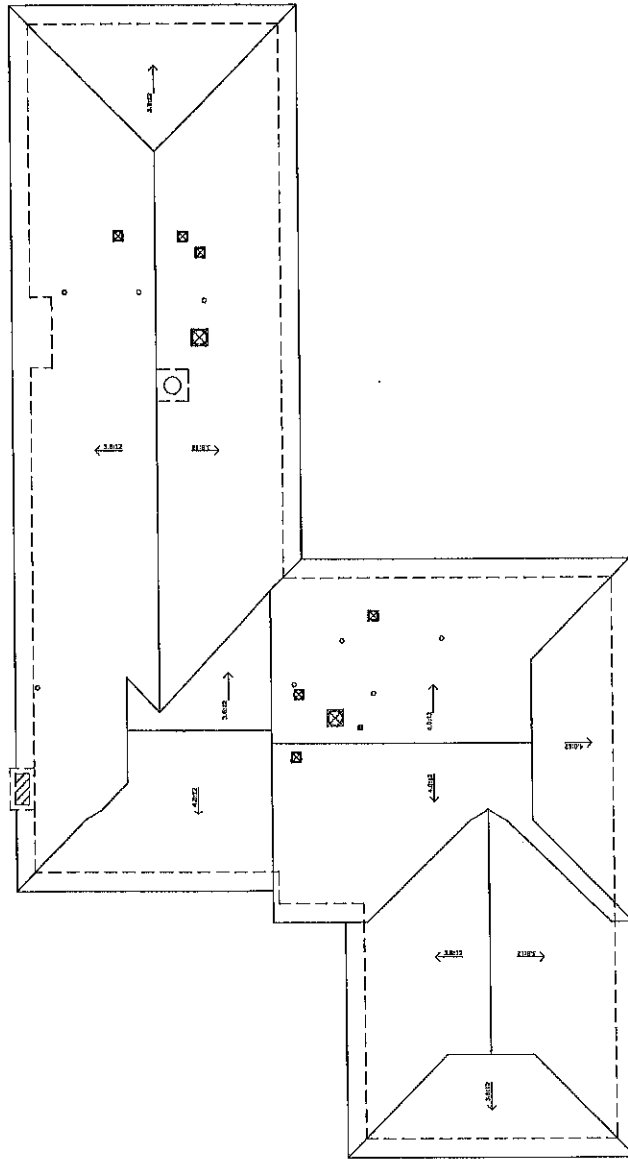
- ALL MEASUREMENTS SHOWN HEREIN ARE TO EXISTING EXTERIOR FINISHED SURFACE.
- THE ONLY EASEMENTS SHOWN, IF ANY, ARE PER THE TRACT MAP OF SUBJECT PROPERTY. THE PLAN FOR THIS SURVEY IS NOT TO BE CONSIDERED AS A BASIS FOR REPORT. UNLIT EASEMENTS MAY EXIST ON THE SUBJECT PROPERTY.

LEGEND

DESCRIPTION	SYMBOL
MEASUREMENTS	(123.45)
RECORD BEARING & DISTANCE	()
BRICK	[Symbol]
CONCRETE	[Symbol]
WALL	[Symbol]
BUILDING	[Symbol]
EASEMENTS	[Symbol]
PROPERTY LINE	[Symbol]
FENCE	[Symbol]
BENCH MARK	[Symbol]
ASPHALT	[Symbol]
CONTROL POINT	[Symbol]
EDGE OF PAVEMENT	[Symbol]
FINISHED SURFACE	[Symbol]
FIRE HYDRANT	[Symbol]
FLOW LINE	[Symbol]
FINISHED SURFACE	[Symbol]
CEILING FLOOR	[Symbol]
LEAD & TAG	[Symbol]
GAS METER	[Symbol]
MAN HOLE	[Symbol]
PLANTER	[Symbol]
POWER POLE	[Symbol]
TOP OF CURB	[Symbol]
TOP OF ROOF	[Symbol]
SPIKE & WASHER	[Symbol]
WATER VALVE	[Symbol]

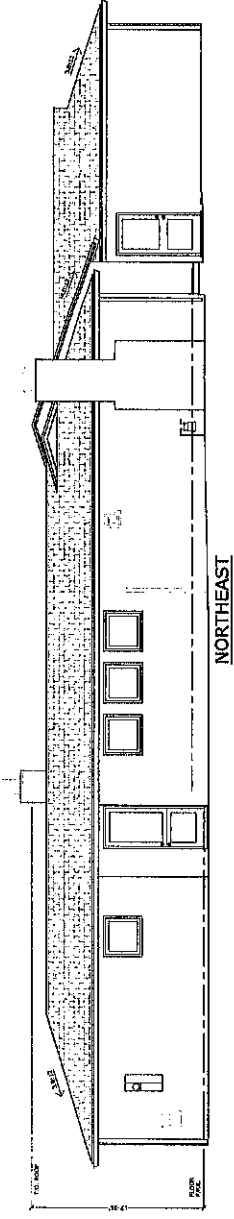
W E I L R E S I D E N C E
COSTA MESA, CALIFORNIA

LEGEND	
	Area Construction
	Room Number
	Utility Room
	Staircase
	Room Wall
	Staircase Wall
	Utility Wall
	Staircase Entry

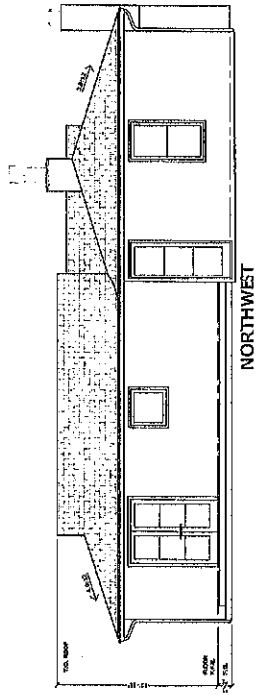


WEIL RESIDENCE
COSTA MESA, CALIFORNIA

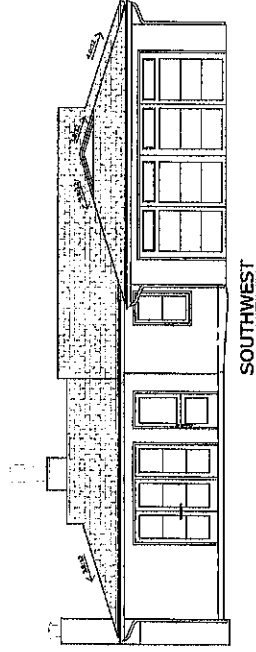
Studio 6
ARCHITECTS
STUDIO & ARCHITECTS, INC.
ARCHITECTURE • PLANNING
INTERIOR DESIGN • LANDSCAPE
2875 COLUMBIA AVENUE
COSTA MESA, CA 92626
TEL: 714.440.2222
WWW.STUDIO6ARCHITECTS.COM



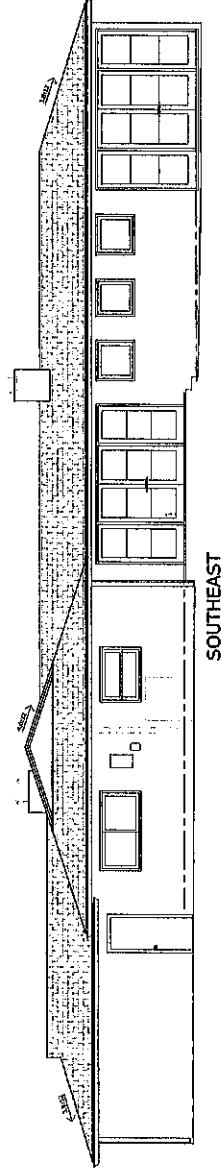
NORTHEAST



NORTHWEST



SOUTHWEST



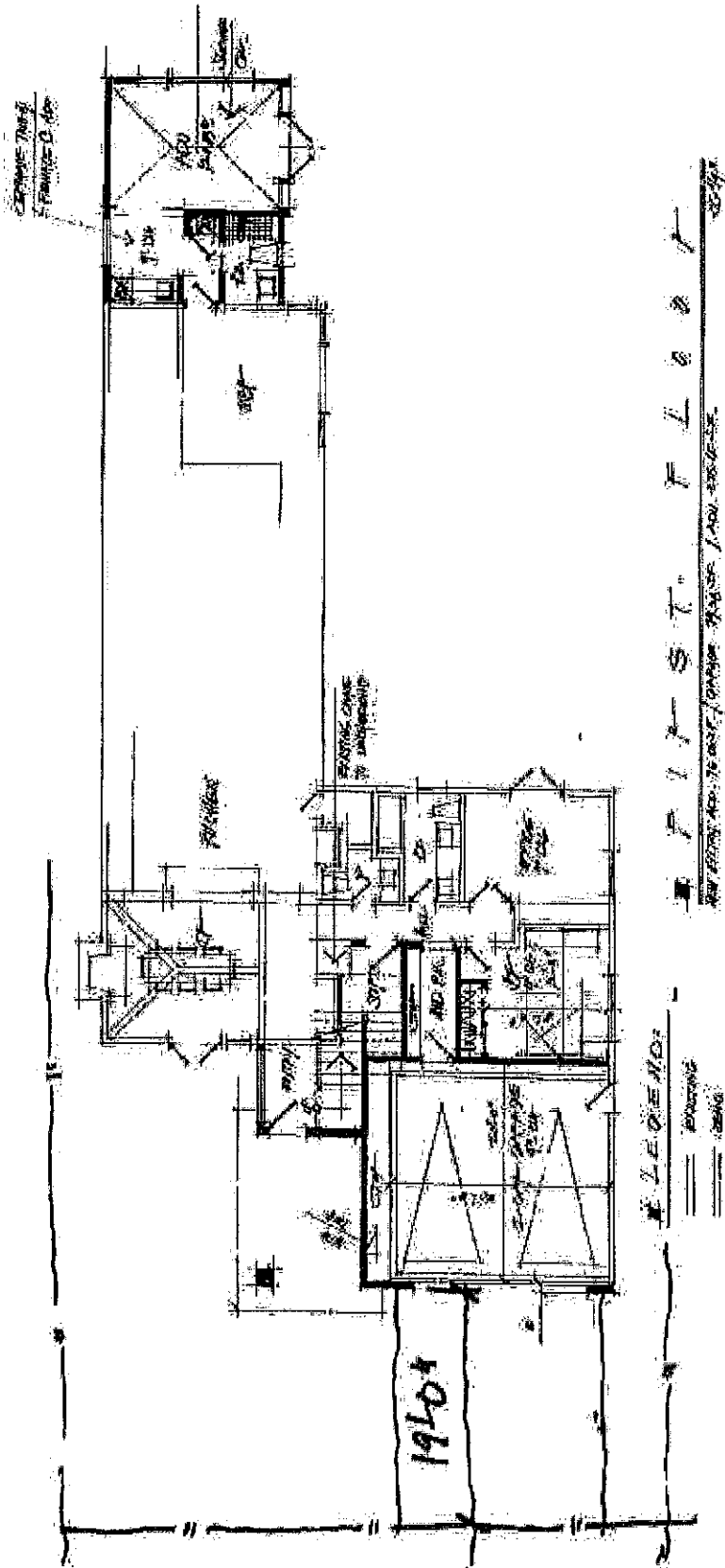
SOUTHEAST

WEIL RESIDENCE
COSTA MESA, CALIFORNIA



Shalloo
ARCHITECTS
COSTA RICA

10/14



LEGEND:

- EXISTING
- DEMOLISH
- NEW

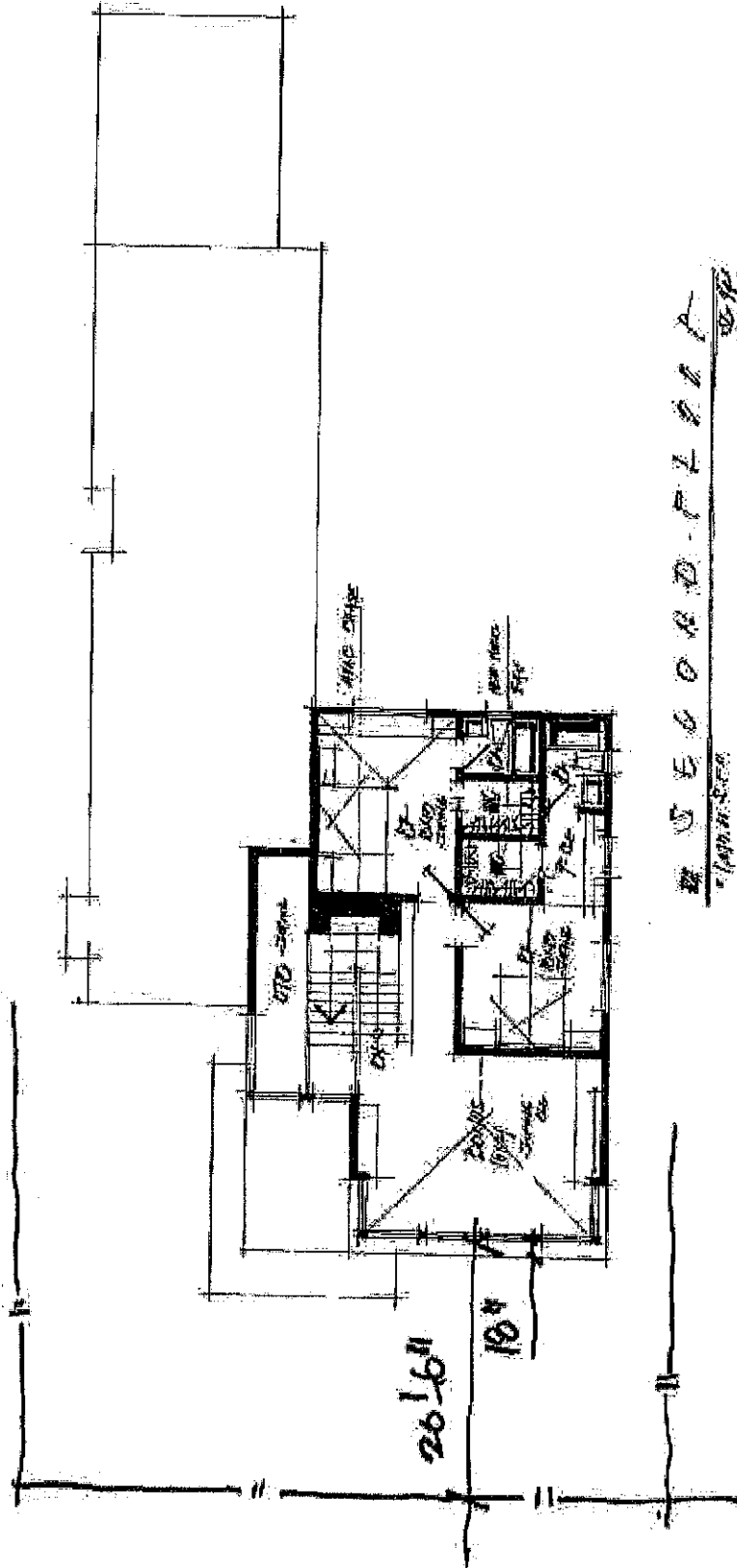
P I S T. F L O O R

NOT TO SCALE. SEE ARCHITECT'S OFFICE FOR MORE INFORMATION.

WEILL RESIDENCE

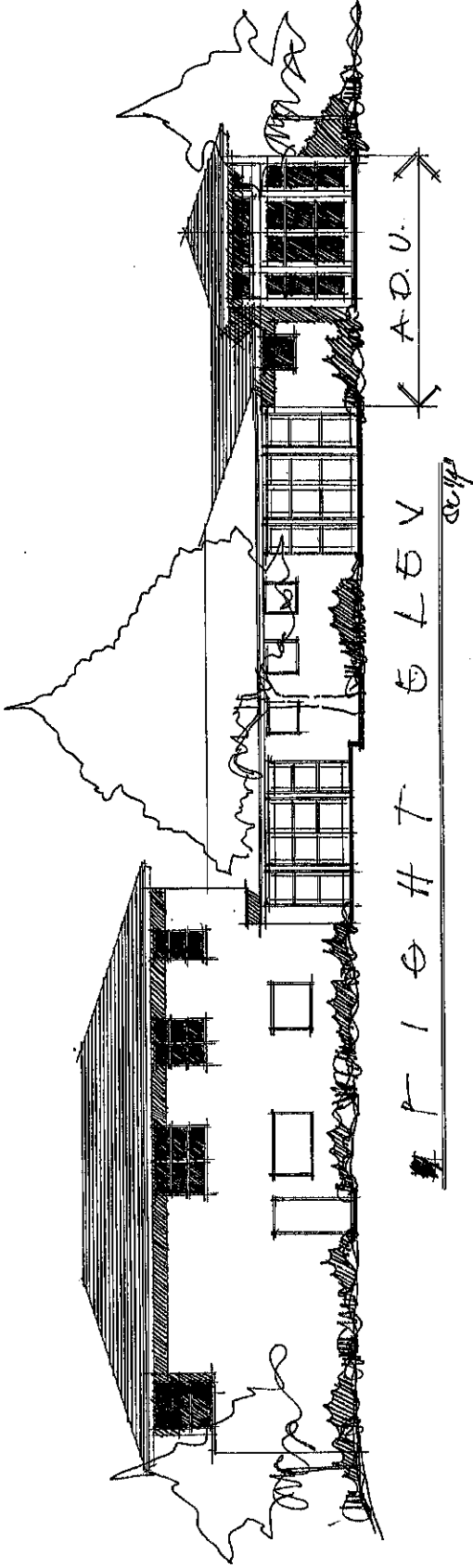
COSTA RICA, TURKEY

3022017



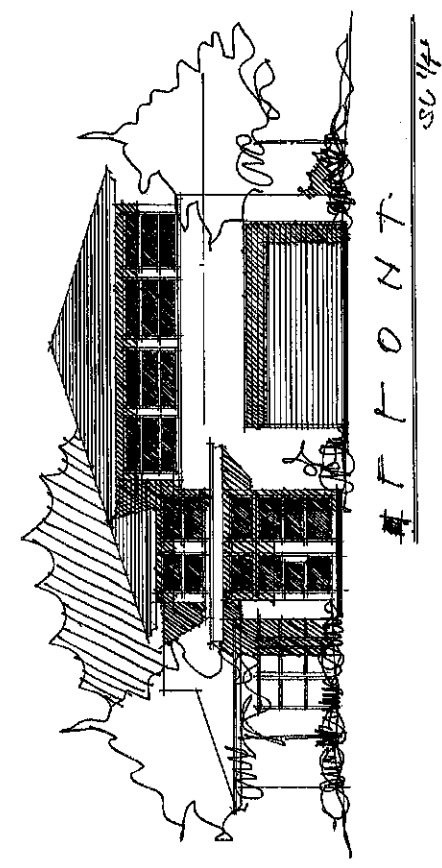
26'6" 10'6"

WEIL RESIDENCE
 SOUTH-EST CALIFORNIA



FRONT ELEV

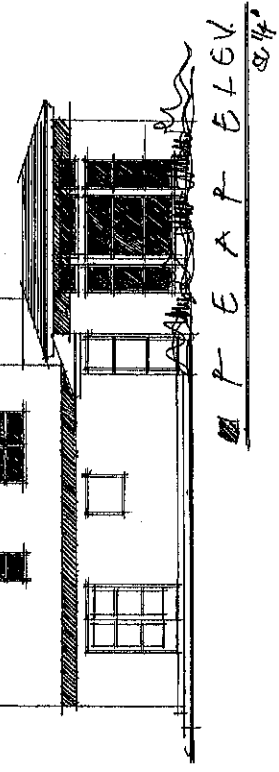
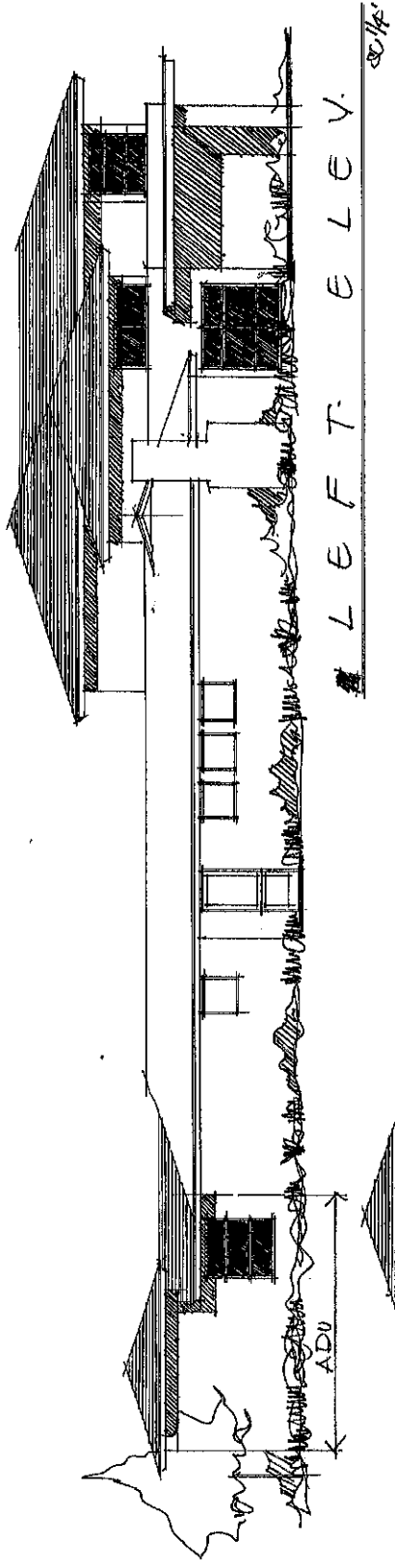
A.D.U.



FRONT

SC 1/2"

WEIL RESIDENCE
COSTA MESA, CALIFORNIA



WEIL RESIDENCE

 COSTA MESA, CALIFORNIA