

NOTICE OF A ZONING ADMINISTRATOR DECISION DATE

The Costa Mesa Zoning Administrator will make a decision regarding the following application:

Decision Date:	May 09, 2024 or soon thereafter as possible	City Hall Address:	City Hall <u>(No meeting required.)</u> 77 Fair Drive Costa Mesa, CA 92626
Application No.	ZA-22-44	Applicant/Agent:	Walker Group Ventures/Coralee Newman
Site Address:	2750 Bristol Street	Zone:	Local Business (C1)
Contact:	Planning Division (714) 754-5245	Email comments to:	ZAPublicComments@costamesaca.gov
Website:	www.costamesaca.gov		

Description: Zoning Application 22-44 is a request for a Minor Conditional Use Permit (MCUP) to establish a planned signing program for No. 1 Collision Group located at 2750 Bristol Street. The application proposes one new wall sign that extends above the first floor of a two-story building and one new freestanding monument sign that would exceed the maximum sign height permitted by right in a commercial zone.

Environmental Determination: The project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) per CEQA Guidelines Section 15311 (Accessory Structures).

Additional Information: For more information, call (714) 754-5245, or email planninginfo@costamesaca.gov. Planning Division staff are available from 8:00 AM to 5:00 PM Monday through Thursday and alternating Fridays, except specified holidays. There will be **no public hearing** on this request. Any written correspondence must be emailed to ZAPublicComments@costamesaca.gov prior to **12:00 PM** on the day of the decision date (see above). The staff report and related documents may be viewed on the City's website at <https://www.costamesaca.gov/>. If you challenge this action in court, you may be limited to raising only those issues you, or someone else raised, prior to the decision date.



CITY OF COSTA MESA ZONING ADMINISTRATOR STAFF REPORT

SUBJECT: Minor Conditional Use Permit Application ZA-22-44 for a Planned Signing Program

SITE LOCATION: 2750 Bristol Street

APPLICANT: Coralee S. Newman

OWNER: Walker Group Ventures

PLANNER: Christopher Aldana, Assistant Planner
714-754-4868 or christopher.aldana@costamesaca.gov

DECISION DATE: May 9, 2024

RECOMMENDATION:

Staff recommends that the Zoning Administrator approve the application based on the report, findings of fact, and subject to the conditions of approval.

DECISION:

This Zoning Administrator will make a decision on May 9, 2024, or soon thereafter. The decision will become final at 5:00 p.m. seven days after the Zoning Administrator makes a decision, unless it is appealed by an affected party by filing the necessary application within seven days of the decision date and paying the appropriate fee.

COMMENTS OR CONCERNS:

If you have any comments or concerns about the proposed project, please communicate those thoughts prior to May 9, 2024 in writing to Christopher Aldana at christopher.aldana@costamesaca.gov, or submit to the Economic & Development Services Department located at 77 Fair Drive, Post Office Box 1200, 92628-1200.

PLANNING APPLICATION SUMMARY

Location	2750 Bristol Street	Application Number	ZA-22-44
Request	To allow 1) a building wall sign above the first floor of a two-story building, and 2) a freestanding sign that exceeds the maximum height in a commercial zone.		
CEQA	Exempt per CEQA Guidelines Section 15311 (Accessory Structures)		
Final Action	Zoning Administrator		

SUBJECT PROPERTY

Zoning District	C1 (Local Business)
General Plan Land Use Designation	General Commercial
Lot Dimensions	Lot Width: 278'1" Lot Depth: 293' 11" (Irregular Shaped lot)
Lot Area	65,514-square-feet (approximately 1.5-acres)
List of Approved Plans / Land Use Entitlements	ZA-20-13, Minor Conditional Use Permit DR-20-04, Development Review
Existing Development	Construction underway for a new two-story, 37,485-square-foot building to be occupied as an auto body repair business by No.1 Collision.

SURROUNDING PROPERTY

	Zoning District	General Plan Land Use Designation	Existing Development:
North	C1 (Local Business)	General Commercial	Vacant lot
East	State Route (SR) 73 Freeway	Not Applicable	SR 73 Freeway
South	C1 (Local Business)	General Commercial	Dog Day Care Center
West	CL (Commercial Limited)	General Commercial	General Office Uses

SIGN REGULATIONS COMPARISON

Commercial Zones	Required/Allowed	Proposed/Provided
Total Sign Area Per Street Frontage: 1.0 sq. ft. per ft. of lot width + 0.5 sq. ft. per ft. of lot depth	425 sq. ft.	335 sq. ft.
Building Wall Sign		
Maximum Area: 1.5 sq. ft. per lineal foot of building frontage	280 sq. ft.	195 sq. ft.
Illumination	Allowed without flashing or blinking	Internally illuminated with no flashing or blinking
Maximum Number of Signs – Single Tenant	3	1
Sign Location – Two-story Building	(1) Building wall abutting a public street or parking area (2) Not permitted above the first floor	(1) Building wall along Bristol St. (2) Above the first floor ¹
Freestanding (Monument) Sign		
Maximum Area: 50% of total allowed sign area per street frontage	213 sq. ft.	145.8 sq. ft. (including sign base)
Maximum Height	12 feet	21 feet (including sign base) ¹
Maximum Number and Separation	300 ft. separation between freestanding signs on the same site	1 freestanding sign
Illumination	No flashing or blinking allowed	Internally illuminated with no flashing or blinking
Landscaped Planter Area: Must be located within a landscape planter equal to twice the sign area	Must be located within a landscape planter equal to twice the sign area	Located within a 1,075-square-foot landscaped area
¹ Proposed deviation from sign regulations pursuant to Costa Mesa Municipal Code (CMMC) Section 13-115		

BACKGROUND:

The subject property is an approximate 1.5-acre parcel located on the interior curve/east side of Bristol Street adjacent to State Route (SR) 55 and SR 73 interchange. The subject property has a General Plan Land Use Element designation of General Commercial and a zoning designation of C1, Local Business.

Properties to the north, south, and west are also commercially designated and zoned. Across Bristol Street, development generally consists of two-story buildings used for office purposes. There are two residential apartment complexes located across Bristol Street and within close proximity. Properties abutting the project site include a vacant lot to the north and a dog daycare and boarding use to the south. The freeway interchange is located to the east of the project site.

On October 22, 2020 the Zoning Administrator approved Zoning Application 20-13 and Development Review 20-04 for a new two-story, 37,485-square-foot auto body repair facility (No.1 Collision Group) on the site of a former car wash and oil change business. Construction of the auto repair building is underway and access to the property will continue to be from the existing Bristol Street driveway.

REQUEST:

This application requests approval of a planned signing program (PSP) to consider project signage that does not conform to the standards in Table 13-115. Pursuant to Costa Mesa Municipal Code (CMMC) Section 13-120, a planned sign program is intended to provide maximum incentive and latitude to encourage variety and good design, and to be responsive to special circumstances while not circumventing the objectives of the Costa Mesa's Sign Code.

The planned sign program for No. 1 Collision Group proposes to deviate from the following standards:

- For the freestanding sign: To exceed maximum sign height by nine feet; and
- For the building wall sign: To allow part of the sign above the first-floor level.

The Zoning Administrator has the authority to approve, modify, or deny such requests; or, to forward the application to the Planning Commission for action.

DESCRIPTION:

In conjunction with development of the new building, the applicant proposes to construct one freestanding sign and install one building wall sign. In a commercial zone, the maximum height allowed for a freestanding sign is 12 feet. The freestanding monument

sign ("Sign Type A") is proposed to be 21 feet in height which would exceed the allowable height by nine feet.

Pursuant to CMMC Section 13-115, freestanding signs are required to be installed within a landscaped planter equal to the size of twice the sign area. The freestanding sign area is 145.8 square feet (including the base). The freestanding sign would be installed within a 1,075 square-foot landscape area and therefore complies with the City's applicable freestanding sign landscape provisions. The signage would be positioned perpendicular to Bristol Street and the design would consist of a double-sided pylon sign. In terms of illumination, the freestanding sign is proposed to be internally illuminated with no blinking or flashing lights.

The new building wall sign ("Sign Type B") is proposed to be 195 square feet in area and approximately 19' – 6" in height. The wall sign is proposed to be located on the front building façade parallel to Bristol Street. Pursuant to CMMC Section 13-115, a single tenant may be allowed a maximum of three wall signs per street frontage with a maximum area of 1.5 square feet of building wall signage per lineal foot of building frontage of the business. The site building is designed with a lineal frontage of approximately 187 feet which results in an allowed combined wall signage of 280.5 square feet. The applicant is proposing one 195 square-foot wall sign which is within the allowed maximum number of signs and sign area for the subject property.

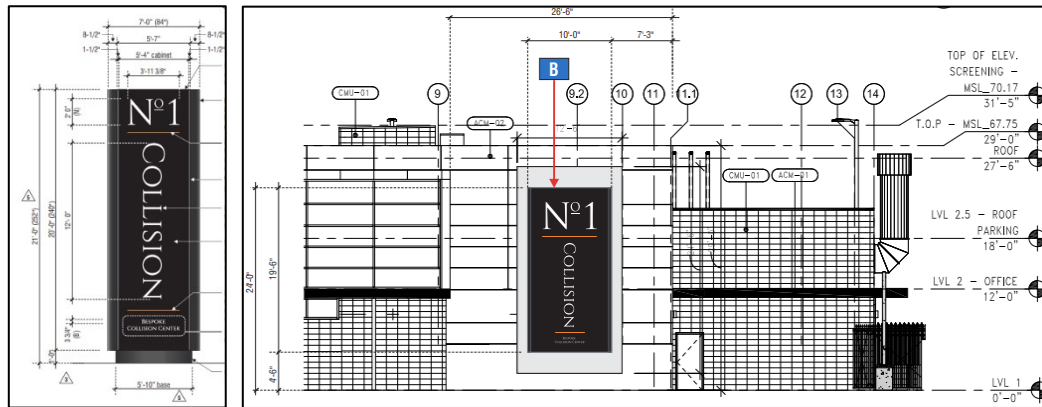
Pursuant to the Costa Mesa Municipal Code (CMMC), no sign is permitted above the first floor of any commercial building except for a single sign per street frontage on the uppermost portion of the building fascia identifying either the street address, name of the building, major tenant and/or logo. However, as proposed in the PSP the wall sign would extend above the first floor and span up to the second floor. The building wall sign would also be internally illuminated and is consistent in design with the proposed freestanding sign.

The proposed PSP outlines design standards for No.1 Collision Group, covering one wall sign and one freestanding monument sign. See Table 1 for a summary of the proposed signs and their standards, and Image 1 for the sign design. Any future signage not covered by this PSP will necessitate an amendment to the program.

Table 1 – Proposed PSP Summary

Sign Type	Number of Signs	Sign Area	Sign Height	Sign Location
A – Freestanding Sign	One	140 sq. ft.	21 ft.	Front landscape setback along Bristol Stret
B – Building Wall Sign	One	195 sq. ft.	19 ft. 6 in. (Above the first floor)	Building façade along Bristol Street
Total Sign Area	335 sq. ft.			

Image 1 – Proposed Freestanding and Building Wall Signs



Along Bristol Street there are existing legal non-conforming freestanding signs that exceed the CMMC maximum height of 12 feet (Image 2 below shows examples of existing signs along Bristol Street that average 25 feet in height). While taller freestanding signs were once allowed, a code amendment approved in 2011 lowered the allowable height to 12 feet. However, through the PSP process, taller signs can be approved if appropriate circumstances exist. The applicant contends that due to the curvature of the front property line, the project has a unique circumstance that affects visibility of the site and supports the request for additional sign height. In addition, the proposed signs for this facility are important to improve site visibility, brand recognition, and wayfinding for visitors and customers of the collision center. Because of the site's location on the inside curve of Bristol and how this affects the driver's site lines, approval of the PSP would not be precedent setting for future requests to exceed sign height throughout the City.

Image 2 – Existing Signs along Bristol Street (Averaging 25 feet in height)



ANALYSIS:

The CMMC Section 13-120 allows signage to be authorized as part of a PSP when sign requests do not conform to all specific regulations contained in the CMMC. A PSP is intended to provide maximum incentive and latitude to encourage variety and good design, and to allow response to special circumstances. A PSP is not to be used to circumvent the objectives of the CMMC.

Once constructed, No. 1 Collision Group's facility will consist of a new two-story, 37,485-square-foot auto collision center. The facility specializes in servicing a lineup of luxury vehicles and offers a variety of vehicular related services. The building's exterior is designed with clean lines that intersect with floor-to-floor ceiling windows and white walls featuring dark accents, creating a seamless blend of transparency and privacy. The building's mass includes an 187 linear foot horizontal façade that stands approximately 31' – 5" tall. The façade of the structure faces west and is primarily white with a slim dark trim.

The proposed signs are consistent with the modern design of the building. Both signs are rectilinear, which is compatible with the rectangular shape of the building. The dark aluminum wall sign is oriented vertically and is positioned between a break between the dark trim that runs alongside the building and is centered in a manner that the lighter tone of the front façade provides a natural border. The wall sign projects eight inches from the wall and parallels the building's second story glass window projection. The wall sign does not exceed the allowed square footage; however, due to the vertical design it extends beyond the first floor. A horizontal sign limited to the first floor would not have the same visibility.

The project is located on an irregularly shaped lot on the interior curve (east) of Bristol Street, a major arterial highway pursuant to the City's Master Plan of Streets and Highways. Motor vehicles traveling northbound and southbound along Bristol Street, at this location, generally drive at speeds of 40 to 50 miles per hour. Due to the unique curvature of the lot, the reduced visibility of the front property line and the typical vehicle speed of the adjacent right-of-way, the applicant proposes to construct a 21-foot-tall freestanding monument sign.

The proposed freestanding sign is oriented perpendicular to Bristol Street and the monument sign is 1" – 5" inches thick and features 1/8th thick aluminum faces on both sides of the sign. Additionally, given the scale of the new commercial building and large site size (approximately 1.5-acres), the proposed increase in height and location is appropriate and would be proportional with the overall form and shape of the two-story, approximately 37,000-square-foot building. The design is consistent with the proposed wall sign in that the logo letters are white acrylic and read "No 1 Collision," with two thin orange acrylic highlights. The proposed rectangular wall sign is oriented vertically and includes internally illuminated.

GENERAL PLAN CONFORMANCE:

The following analysis evaluates the proposed project's consistency with applicable policies and objectives of the 2015-2035 General Plan.

1. **Policy LU-6.2:** *Continue to promote and support the vitality of commercial uses to meet the needs of local residents and that support regional-serving commercial centers.*

Consistency: The proposed sign program would promote business visibility for the newly proposed commercial building. The project site is located along a major arterial highway and would attract local and regional visitors to Costa Mesa. The new high quality LED signs with the newly constructed building would be consistent with the surrounding commercially zoned area.

2. **Policy CD-11.5:** *Develop and design signage that helps with way-finding throughout the City so visitors and residents can easily access destination locations and identify landmarks.*

Consistency: The proposed sign program would allow signage that helps with wayfinding by allowing a proposed commercial business additional sign size and height which would allow residents to easily recognize and identify the type of services accessible at the location.

Review Criteria

The following are the applicable Review Criteria pursuant to CMMC Zoning Code Section 13-29 (e):

- (1) Compatible and harmonious relationship between the proposed building and site development, and use(s), and the building and site developments, and uses that exist or have been approved for the general neighborhood.**

The proposed project consists of signage and the design is harmonious in relationship with the design of the commercial building and site developments and is compatible with the neighboring commercial development.

- (2) Safety and compatibility of the design of buildings, parking area, landscaping, luminaries and other site features which may include functional aspects of the site development such as automobile and pedestrian circulation.**

There are no safety concerns with the proposed signage. The parking lot and spaces are adequately designed for automobile and pedestrian circulation. The project has been designed and conditioned to adequately address compatibility of the parking area, site and adjacent right-of-way visibility, landscaping, luminaries and other site features.

(3) Compliance with any performance standards as prescribed in the Zoning Code.

The proposed signage complies with the performance standards as described in Section 13-115 of the Costa Mesa Municipal Code, and as conditioned in this staff report.

(4) Consistency with the General Plan and any applicable specific plan.

The proposed project is in conformance with the City of Costa Mesa General Plan. The Costa Mesa General Plan establishes long-range planning and policy direction that guides change and preserves the qualities that define the community. The 2015-2035 General Plan sets forth the vision for Costa Mesa. Among other direction, the General Plan focuses on “accommodating an array of businesses that both serve local needs and attract regional and international spending”. Over the long term, General Plan implementation will ensure that development decisions and improvements to public and private infrastructure are consistent with the goals, objectives, and policies contained in the Plan. The following analysis evaluates the proposed project’s consistency with applicable policies and objectives of the 2015-2035 General Plan:

1. **Policy LU-6.2:** *Continue to promote and support the vitality of commercial uses to meet the needs of local residents and that support regional-serving commercial centers.*

Consistency: The proposed sign program would promote a new auto repair business, increase visibility and would help attract local and regional visitors to Costa Mesa.

2. **Policy CD-11.5:** *Develop and design signage that helps with way-finding throughout the City so visitors and residents can easily access destination locations and identify landmarks.*

Consistency: The PSP would allow signage that promotes wayfinding by allowing a commercial site to be more recognizable and identify the type of services accessible at the location.

(5) The planning application is for a project-specific case and is not to be construed to be setting a precedent for future development.

The zoning application is for a unique project-specific case at a unique site with special circumstance and will not be precedent setting for future development.

FINDINGS:

Pursuant to CMMC Section 13-29(g) (8), Planned Signing Program Findings, in order to approve the project, the Zoning Administrator shall find that the evidence presented in the

administrative record demonstrates that the proposed project substantially meets specified findings. Staff recommends approval of the request, based on the following assessment of facts and findings.

- A. The proposed project complies with Title 13, Section 13-29(g)(8), Planned Signing Program “findings,” based on the following:

Finding: The proposed signage is consistent with the intent of Chapter VIII, Signs, and the General Plan.

- **Facts in Support of Finding:** Although the proposed signs do not comply with all development standards of the Sign Code, the Planned Signing Program is consistent with the intent of the Sign Code and the General Plan. The signs included in the Planned Signing Program include a wall sign and a freestanding monument sign and increase the allotted height. The signs will not be out of character with the immediately surrounding neighborhood and are consistent with signage in the same general area. The sign complies with the general plan policies and Objective CD-1A and CD-11.5. The sign would not negatively impact residential districts because the signs are located to not affect nearby residential zoned properties.

Finding: The proposed signs are consistent with each other in design and construction, taking into account sign style and shape, materials, letter style, colors and illumination.

- **Facts in Support of Finding:** The proposed signs in the signing program incorporate similar color palette and consists of high-quality aluminum covers with LED lighting.

Finding: The proposed signs are compatible with the buildings and developments they identify, taking into account materials, colors and design motif.

- **Facts in Support of Finding:** The signs proposed in the Planned Signing Program are compatible with the existing development. The proposed signs are consistent in color, including black, white and complement the newly constructed architecturally modern commercial building.

Finding: Approval does not constitute a grant of special privilege or allow substantially greater overall visibility than the standard sign provisions would allow.

- **Facts in Support of Finding:** Approval of the Planned Signing Program does not constitute a grant of special privilege or allow substantially greater overall visibility than the standard sign provisions would allow because signs may be authorized as part of a Planned Signing Program even if they do not conform to all specific regulations contained in the Zoning Code. As proposed and conditioned, the proposed signs would not incorporate any flashing, moving or intermittent lighting, intended to increase visibility and would be consistent with

other signage in the immediate area. Further, the site is influenced by special circumstances such as being immediately located on a curved portion of Bristol Street which justifies the need for special signage considerations.

- B. The project has been reviewed for compliance with the California Environmental Quality Act (CEQA), the CEQA Guidelines, and the City environmental procedures, and has been found to be exempt under Section 15311 (Class 11), Accessory Structures, of the CEQA Guidelines.
- C. The project is exempt from Chapter XII, Article 3, Transportation System Management, of Title 13 of the Costa Mesa Municipal Code.

CONDITIONS OF APPROVAL (ZA-22-44):

- Plng. 1. All signage shall comply with the sign parameters contained within the approved planned signing program. If the planned signing program is silent on any aspect of the proposed signs or their placement, the City's Sign Code shall be applied.
2. The applicant shall defend, indemnify, and hold harmless the City, its elected and appointed officials, agents, officers and employees from any claim, legal action, or proceeding (collectively referred to as "proceeding") brought against the City, its elected and appointed officials, agents, officers or employees arising out of (1) City's approval of the project, including but not limited to any proceeding under the California Environmental Quality Act. The indemnification shall include, but not be limited to, damages, fees and/or costs awarded against the City, if any, and cost of suit, attorney's fees, and other costs, liabilities and expenses incurred in connection with such proceeding whether incurred by the applicant, the City and/or the parties initiating or bringing such proceeding. This indemnity provision shall include the applicant's obligation to indemnify the City for all the City's costs, fees, and damages that the City incurs in enforcing the indemnification provisions set forth in this section.
3. The project is subject to compliance with all applicable Federal, State, and local laws. A copy of the applicable Costa Mesa Municipal Code requirements has been forwarded to the Applicant and, where applicable, the Authorized Agent, for reference.
4. Any modification, addition, or deletion to signs installed pursuant to the approved planned signing program shall be reviewed by the Development Services Director or designee to determine if an amendment to the planned signing program is necessary. If required, the amendment shall be reviewed by the Zoning Administrator pursuant to CMMC Section 13-29(p). Any demolition of a legal non-conforming sign must be replaced with a legal conforming sign.
5. The planned signing program may be referred to the Planning Commission for modification or revocation at any time if the conditions of approval have not been complied with, or if, in the reasonable opinion of the Development

Services Director or his/her designee, any of the findings upon which the approval was based are no longer applicable.

6. The final paint color of the sign shall be reviewed and approved by the Planning Division prior to the planning final inspection.

The proposed sign lighting shall be designed to limit spill light from extending beyond the property line.

CODE REQUIREMENTS:

The following list of State and local laws applicable to the project has been compiled by staff for the applicant's reference. Any reference to "City" pertains to the City of Costa Mesa. The applicant is also required to comply with any other applicable State and local laws not provided below.

- Plng. 1. Approval of the planning/zoning application is valid for two years from the effective date of this approval and will expire at the end of that period unless applicant establishes the use by one of the following actions: 1) a building permit has been issued and construction has commenced, and has continued to maintain a valid building permit by making satisfactory progress as determined by the Building Official, 2) a certificate of occupancy has been issued, or 3) the use is established and a business license has been issued. A time extension can be requested no less than 30 days or more than sixty (60) days before the expiration date of the permit and submitted with the appropriate fee for review to the Planning Division. The Director of Development Services may extend the time for an approved permit or approval to be exercised up to 180-days subject to specific findings listed in Title 13, Section 13-29 (k) (6). Only one request for an extension of 180 days may be approved by the Director. Any subsequent extension requests shall be considered by the original approval authority.
2. Hours of construction shall comply with Section 13-279, Title 13, of the Costa Mesa Municipal Code.
 3. Street address shall be visible from the public street and/or shall be displayed on the freestanding sign. If there is no freestanding sign, the street address may be displayed on the fascia adjacent to the main entrance or on another prominent location. When the property has alley access, address numerals shall be displayed in a prominent location visible from the alley. Numerals shall be a minimum twelve (12) inches in height with not less than three-fourth-inch stroke and shall contrast sharply with the background. Identification of individual units shall be provided adjacent to the unit entrances. Letters or numerals shall be four (4) inches in height with not less than one-fourth-inch stroke and shall contrast sharply with the background.
 4. Construction vehicle standing, loading and unloading shall be conducted so as not to interfere with normal use of streets, sidewalks, driveways and on-site parking.
 5. All freestanding and directional signs placed in proximity to a driveway or intersection shall be placed outside of the appropriate visibility triangle.

- Bldg. 6. A building permit shall be obtained for all signs according to the provisions of the Costa Mesa Sign Ordinance.
7. Comply with the requirements of the following adopted codes: 2022 California Residential Code, 2022 California Building Code, 2022 California Electrical Code, 2022 California Mechanical Code, 2022 California Plumbing Code, 2022 California Green Building Standards Code and 2022 California Energy Code (or the applicable adopted, California Residential Code, California Building Code, California Electrical Code, California Mechanical Code, California Plumbing Code, California Green Building Standards and California Energy Code at the time of plan submittal or permit issuance) and California Code of Regulations also known as the California Building Standards Code, as amended by the City of Costa Mesa. Requirements for accessibility to sites, facilities, buildings and elements by individuals with disability shall comply with chapter 11B of the 2022 California Building Code.
8. The conditions of approval and ordinance or code provisions of ZA-22-44 including subsequent amendments shall be blueprinted on the face of the site plan as part of the plan check submittal package when building permits are necessary.
9. Plans shall be prepared by a California licensed Architect or Engineer. Plans shall be wet stamped and signed by the licensed Architect or Engineer prior to the issuance of building permits.
- Fire 10. Equipment shall comply with California Building and Fire Code requirements, including, but not limited to, the requirement that equipment be approved by a recognized testing laboratory for the specific use.
11. Comply with the requirements of the 2022 California Fire Code, including the 2022 Intervening Update and referenced standards as amended by the City of Costa Mesa.
12. Quarterly Fire & Life Safety Inspections will be conducted by the Community Risk Reduction Division to verify compliance with the approval operation. The applicant will pay for the inspection according to the Additional Required Inspections as adopted in the Fee Schedule.
13. Annual Fire & Life Safety Inspections will be conducted by the Fire Station Crew for emergency response pre-planning and site access familiarization. The applicant will pay for the inspection according to the adopted Fee Schedule.
- Bus. 14. All contractors and subcontractors must have valid business licenses to do
Lic. business in the City of Costa Mesa. Final inspections, final occupancy and utility releases will not be granted until all such licenses have been obtained.





superior
electrical advertising

1700 West Anaheim Street
Long Beach, California
90813-1195
Phone: 562.495.3808
Facsimile: 562.435.1867
www.superiorsigns.com

Project:
No. 1 Collision

Address:
**2750 Bristol Street
Costa Mesa, CA 92626**

Account Manager:
Cynthia Lima

Scale:	T.A.:
As Noted	43.00

Design No.:
22-08-8658-07P

Reg. No.:

Revision History:
R0 8/10/22 pl New Drawing
R1 11/21/22 pl rev. flag pole banner layout (1.00)
R2 2/9/23 pl add photo rendering for flag pole (2.50)
R3 3/21/23 pl reduce Sign A to 25' per City (2.50)
R4 9/28/23 KO New elevations and reduce proportionally signs (2)
R5 1/17/24 pl add halo illum. to wall sign (9.00)
R6 1/23/24 pl
R7 3/01/24 mdm (.5) add vis. tri. and change sq ft on mon.
R7P 3/26/24 mdm (.5) remove flags change logo on cover.



This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

• CONSTRUCTION APPROVALS •
Acct. Mgr: Date:

Design: Date:

Mfg/QC: Date:

Page: 1 of 15

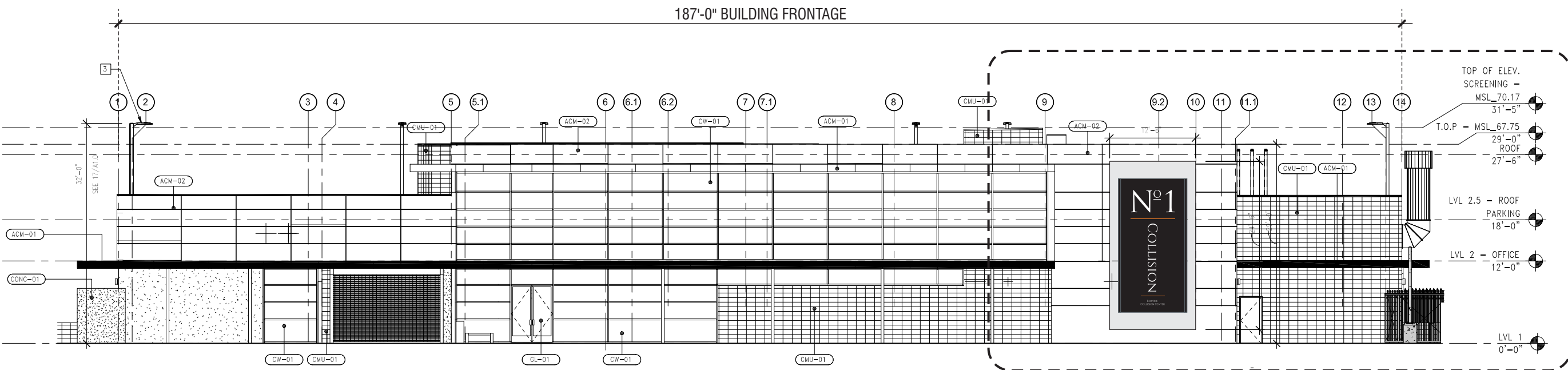
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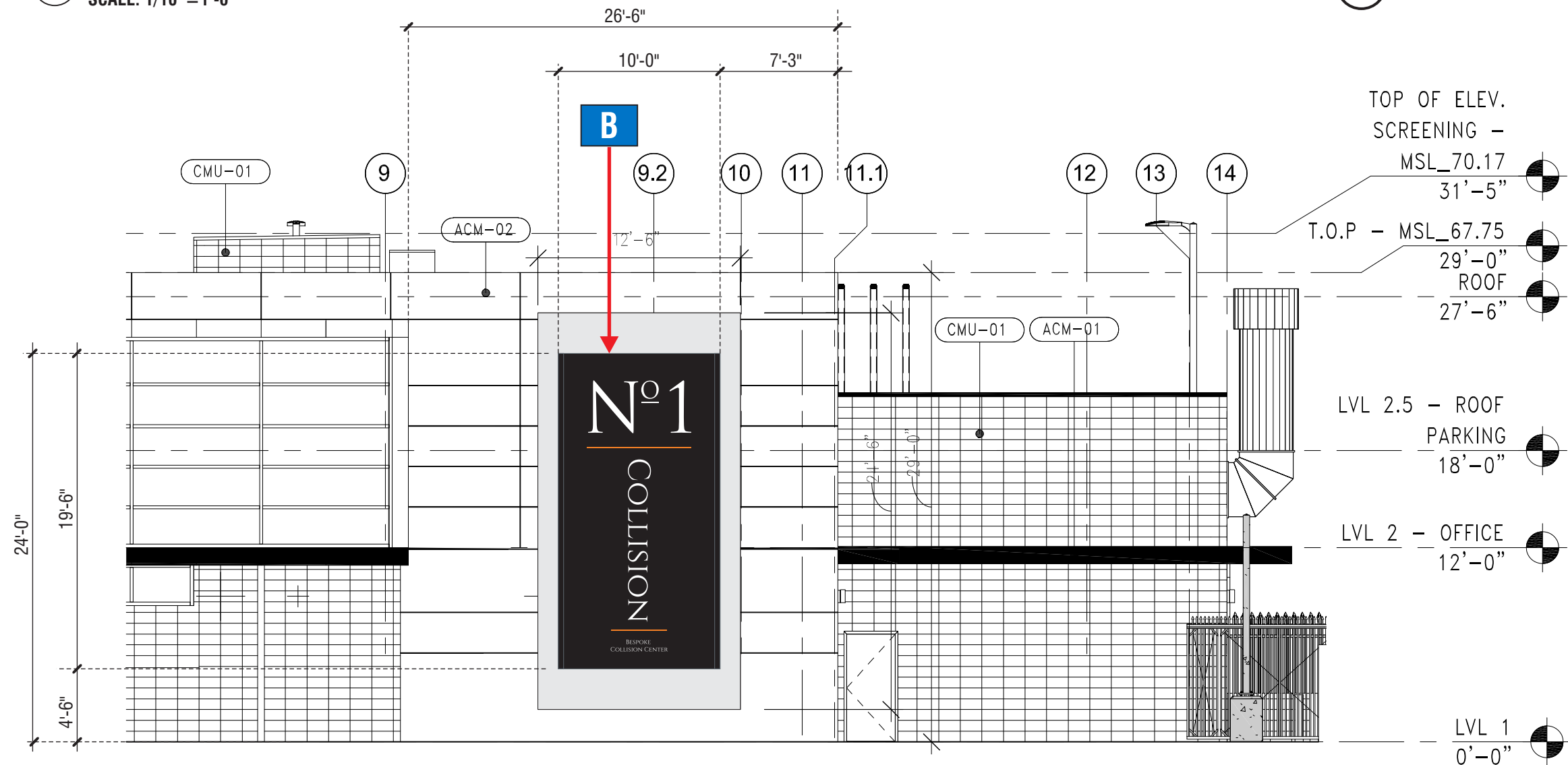
2750 BRISTOL STREET COSTA MESA, CA 92626



1 VICINITY MAP
SCALE: NTS



1 WEST ELEVATION - SIGN LOCATION
SCALE: 1/16"=1'-0"



2 PARTIAL WEST ELEVATION
SCALE: 1/8"=1'-0"



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Scale: T.A.:
As Noted 43.00

Design No.:
22-08-8658-07P

Reg. No.:

Revision History:

R0 8/10/22 pl New Drawing
R1 11/21/22 pl rev. flag pole
banner layout (1.00)
R2 2/9/23 pl add photo rendering
for flag pole (2.50)
R3 3/21/23 pl reduce Sign A to 25'
per City (2.50)
R4 9/28/23 KO New elevations and
reduce proportionally signs (2)
R5 1/17/24 pl add halo illum. to
wall sign (9.00)
R6 1/23/24 pl
R7 3/01/24 mdm (.5) add vis. tri. and
change sq ft on mon.
R7P 3/26/24 mdm (.5) remove flags
change logo on cover.



ELECTRIC SIGN

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accordance with the requirements of Article
600 of the National Electrical Code and/or
other applicable local codes. This includes
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CONSTRUCTION APPROVALS

Acct. Mgr: Date:

Design: Date:

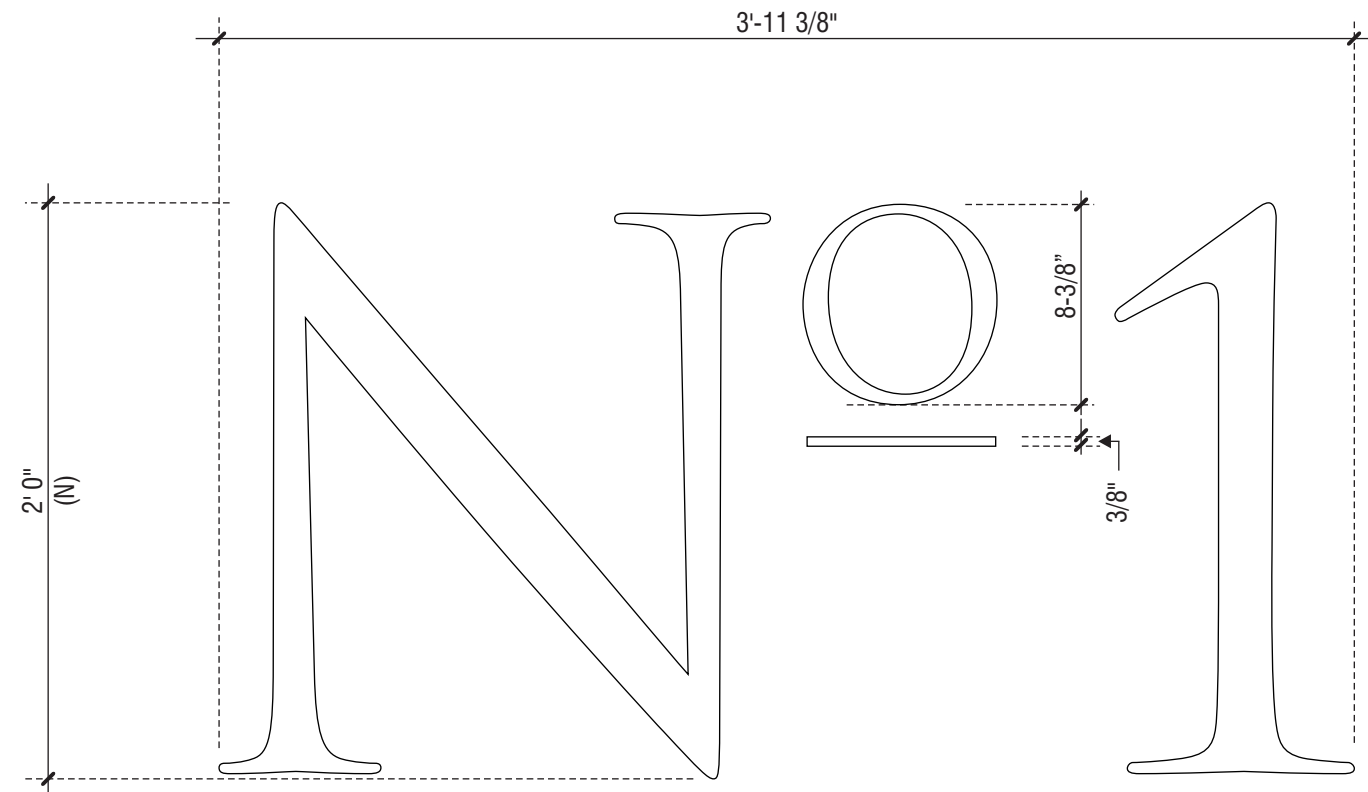
Mfg/QC: Date:

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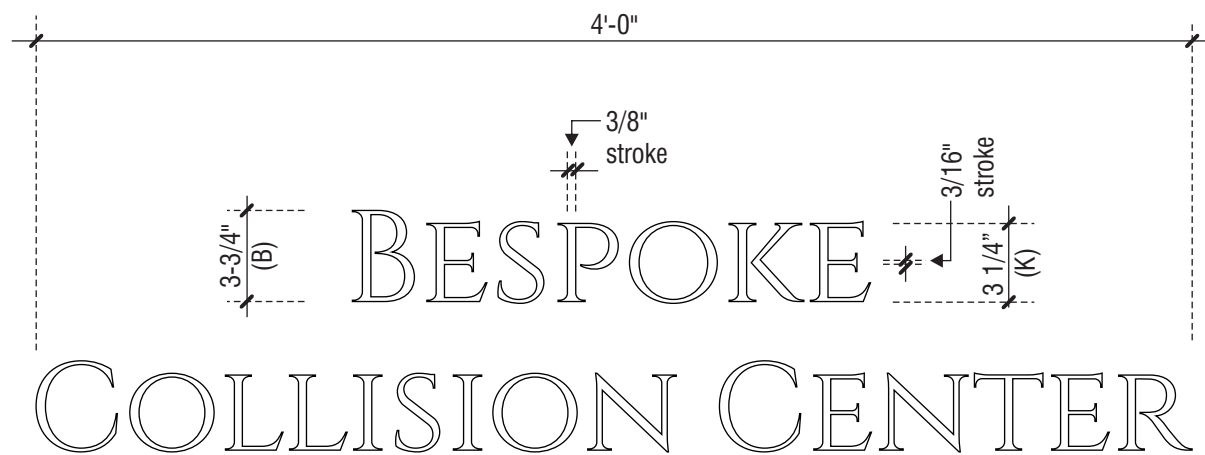
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color specifications.



3 LOGO COPY LAYOUT
SCALE: 1-1/2" = 1'-0"



4 SUB-COPY LAYOUT
SCALE: 1-1/2" = 1'-0"

A SIGN ELEVATION / DOUBLE FACE ILLUM. PYLON SIGN 140.0 SQ FT
QUANTITY: ONE (1) SIGN REQUIRED SCALE: 1/4" = 1'-0"

1 RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



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Facsimile: 562.435.1867

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Project:
No. 1 Collision

Address:
**2750 Bristol Street
Costa Mesa, CA 92626**

Account Manager:
Cynthia Lima

Scale: T.A.:
As Noted 43.00

Design No.:
22-08-8658-07P

Reg. No.:

Revision History:

R0 8/10/22 pl New Drawing
R1 11/21/22 pl rev. flag pole banner layout (1.00)
R2 2/9/23 pl add photo rendering for flag pole (2.50)
R3 3/21/23 pl reduce Sign A to 25' per City (2.50)
R4 9/28/23 KO New elevations and reduce proportionally signs (2)
R5 1/17/24 pl add halo illum. to wall sign (9.00)
R6 1/23/24 pl
R7 3/01/24 mdm (.5) add vis. tri. and change sq ft on mon.
R7P 3/26/24 mdm (.5) remove flags change logo on cover.



ELECTRIC SIGN

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CONSTRUCTION APPROVALS

Acct. Mgr: Date:

Design: Date:

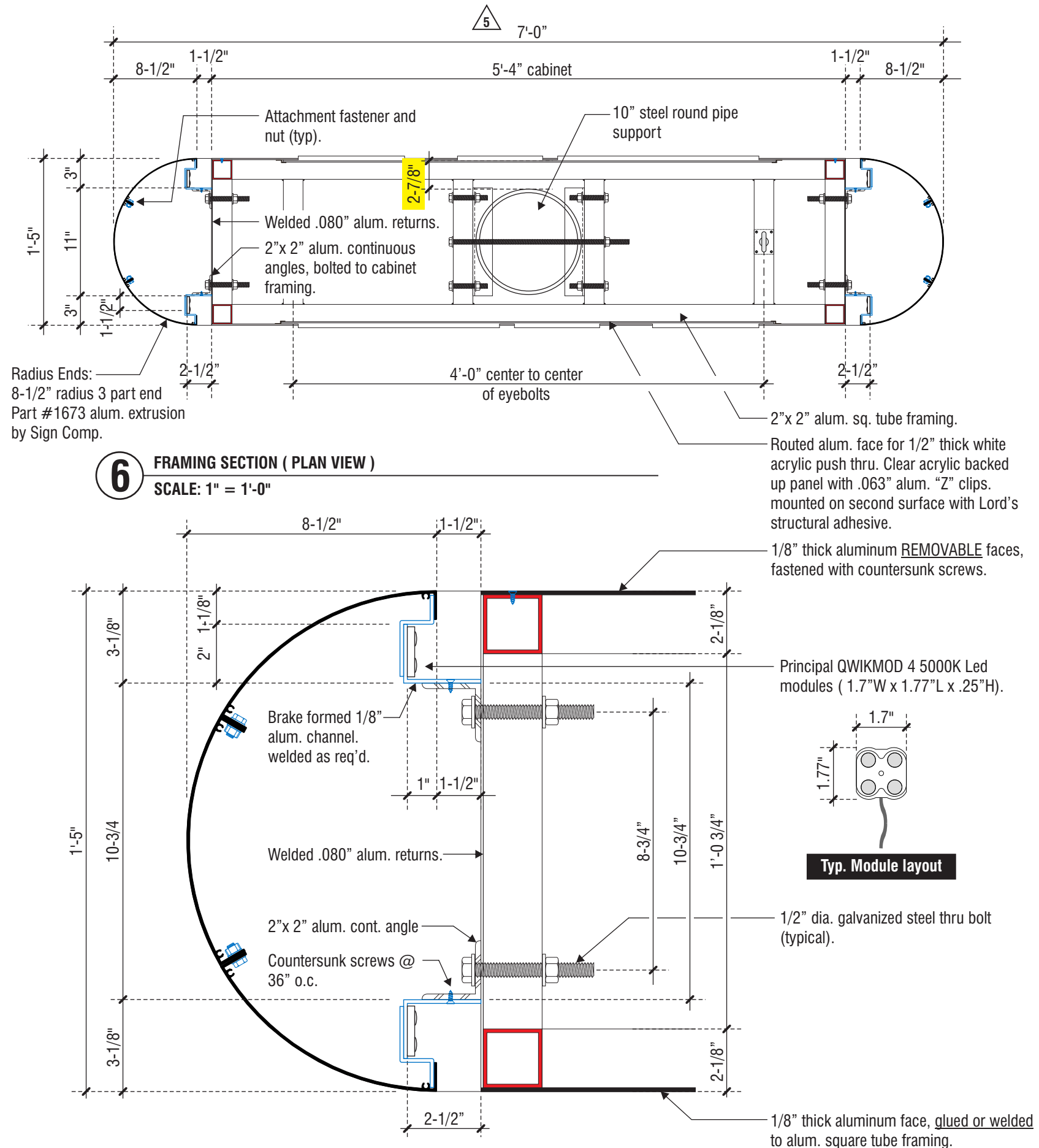
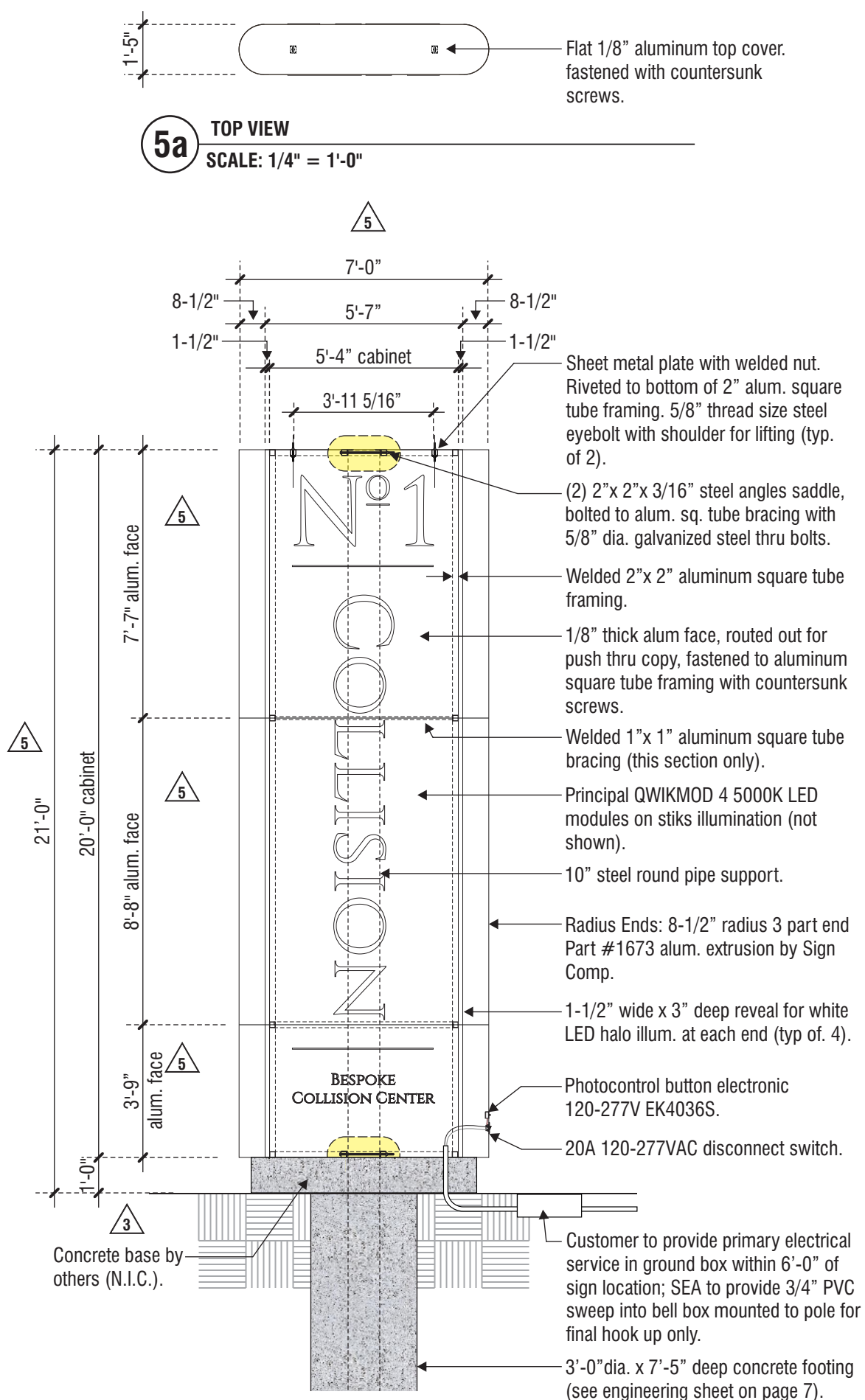
Mfg/QC: Date:

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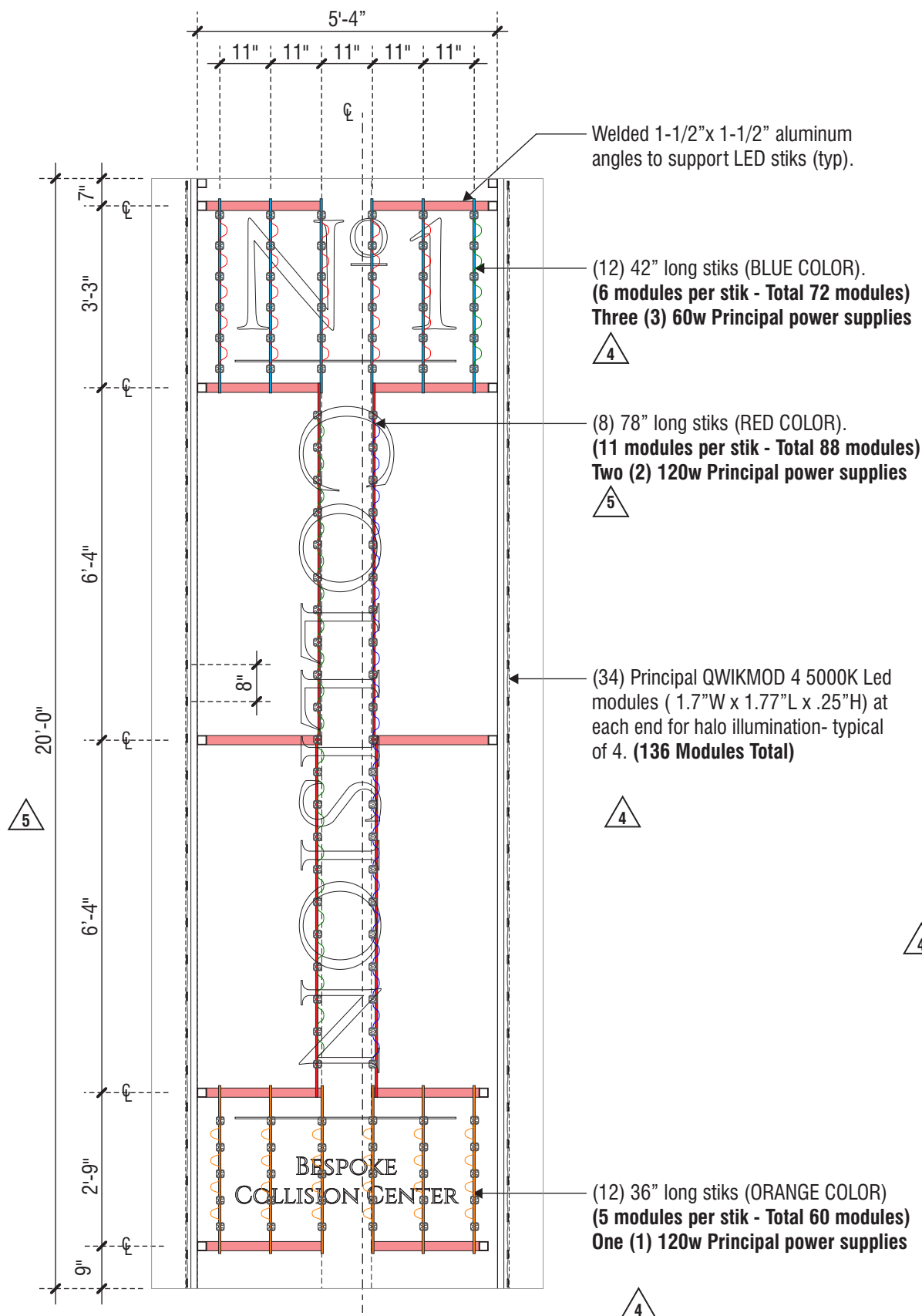
Mfg/QC: Date:

Page: 5 of 15

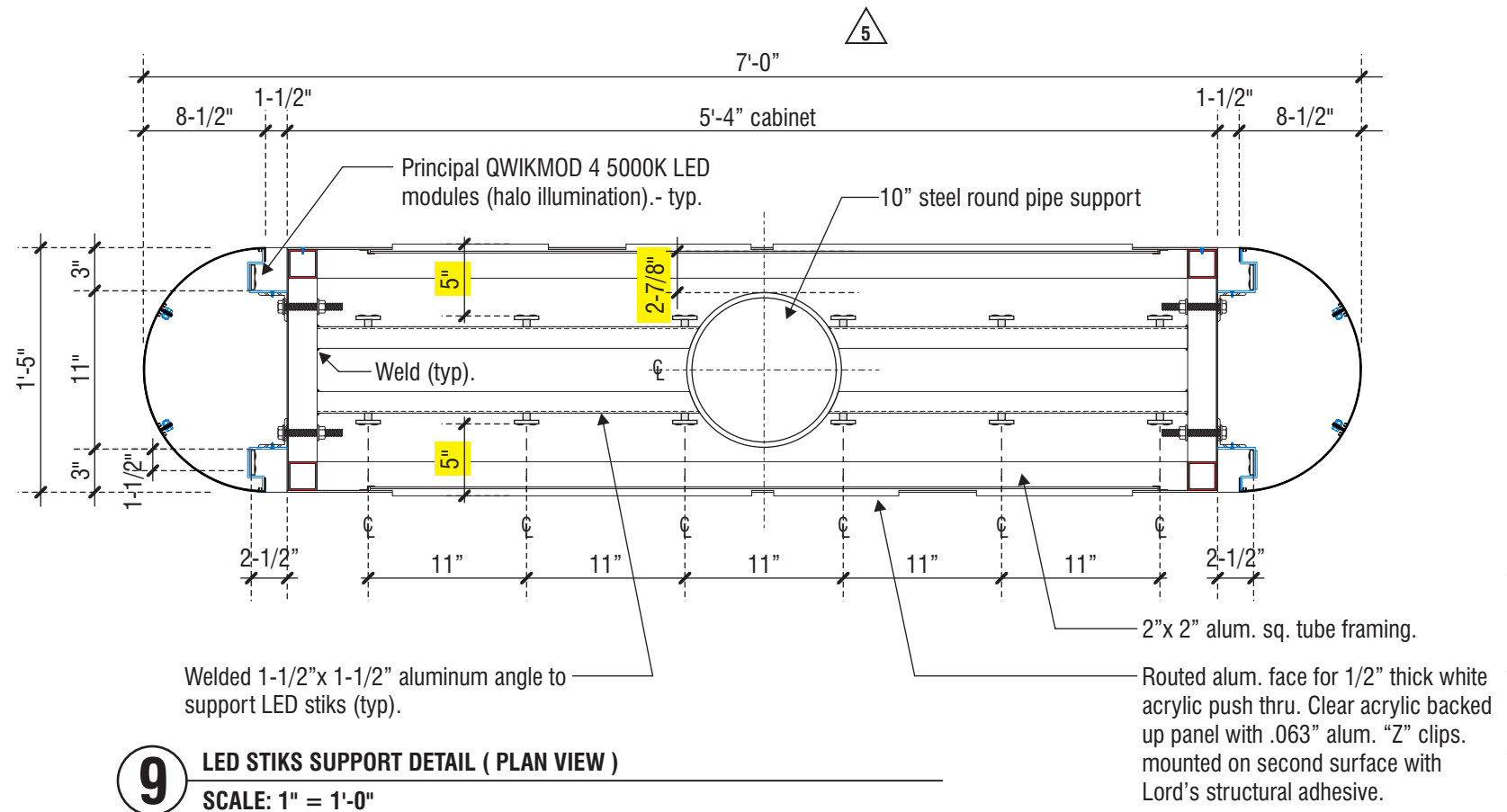
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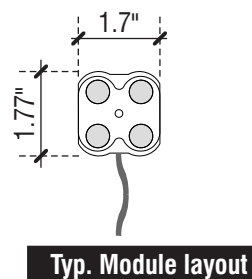
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8 LED MODULES LAYOUT PER SIDE
SCALE: 3/8" = 1'-0"



ELECTRICAL	
LOGO/COPY AREA:	
(220) PRINCIPAL QWIKMOD 4 5000K LED MODULES (1.6 WATTS EACH- 352 WATTS TOTAL) (UL #E351517)	
(3) PRINCIPAL 60W POWER SUPPLIES @ 1.1 AMPS EACH	
(3) PRINCIPAL 120W POWER SUPPLIES @ 2.2 AMPS EACH	
HALO ILLUM. AT EACH REVEAL:	
(136) PRINCIPAL QWIKMOD 4 5000K LED MODULES (1.6 WATTS EACH- 217.6 WATTS TOTAL) (UL #E351517)	
(2) PRINCIPAL 120W POWER SUPPLIES @ 2.2 AMPS EACH	
TOTAL LOAD:	14.3 AMPS AT 120 VOLTS (1) 20 AMP DEDICATED CIRCUIT



NOTE TO ALL CONTRACTORS: SIGN VOLTAGE 120

ALL WALL PENETRATIONS TO BE SEALED WITH UL LISTED SILICONE SEALANT. IN ACCORDANCE WITH NEC AND UL GUIDELINES, IT IS REQUIRED THAT PRIMARY CIRCUITS TO EACH SIGN MUST HAVE DEDICATED CIRCUIT WITH PROPER GROUND FROM MAIN PANEL AND MUST BE BONDED.

NOTE: ALL SIGNAGE REQUIRED DISCONNECT SWITCH TO COMPLY WITH ARTICLE 600.6(A)(1) OF THE NATIONAL ELECTRICAL CODE

CALIFORNIA TITLE 24 REQUIREMENT

NOTE: THIS SIGN TO BE CONTROLLED BY A PHOTO CELL SUPPLIED AND INSTALLED BY S.E.A.

PRIMARY ELECTRICAL COMING TO THE SIGN TO BE CONTROLLED BY AN AUTOMATIC TIME-SWITCH OR AN ASTRONOMICAL TIME-SWITCH CONTROL. THESE SWITCHES SHALL BE INSTALLED BY OTHERS BEFORE SIGN IS INSTALLED.



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NOTES :

- ### GENERAL :
- SIGN DESIGN IS BASED ON ADEQUATE EXISTING SUPPORT ELEMENTS.
 - PROVIDE ISOLATION OF DISSIMILAR MATERIALS.
 - COAT ALUMINUM IN CONTACT WITH CONCRETE WITH ZINC RICH PAINT.
 - THERE IS NO PROTECTION ZONE AS DEFINED IN AISC 341-16.
 - PROVIDE FULLY WELDED END CAPS AT EXPOSED OPEN ENDS OF STEEL / ALUM. TUBES, MATCH THICKNESS LIKE FOR LIKE.
 - SLOPE TOP OF EXPOSED FOOTING AWAY FROM DIRECT BURIAL POSTS
 - ALL EXPOSED STEEL TO BE PRIMED & PAINTED (POWDER COAT AS AN OPTION) OR ALTERNATIVELY USE GALVANIZED STEEL.
- ### ANCHORS :
- BRAND NAME APPROVED POST INSTALLED ANCHORS SPECIFIED ON PLANS MAY BE SUBSTITUTED BY APPROVED EQUAL.

- STEEL :**
- DESIGN AND FABRICATION ACCORDING TO 2022 CBC
- PLATE, ANGLE, CHANNEL TEE: ASTM A36
 - WIDE FLANGE: ASTM A992
 - ROUND PIPE: ASTM A53 GRADE B OR EQUIVALENT.
 - HSS ROUND, SQUARE, AND RECTANGULAR TUBE: ASTM A500 GRADE B OR EQUIVALENT.
 - ALL ANCHORS BOLTS SHOULD BE: ASTM F1554
 - ALL STEEL MACHINED BOLTS SHOULD BE: ASTM A307 OR ASTM A449
 - ALL STAINLESS STEEL MACHINED BOLTS SHOULD BE: ASTM A276
 - ALL BOLTS TO BE ZINC COATED: ASTM B633
 - DEFORMED REINFORCING REBAR: ASTM A615 GRADE 60.
- ALUMINUM :**
- DESIGN AND FABRICATION ACCORDING TO 2020 ALUM. DESIGN MANUAL
- PLATES, ANGLES, CHANNELS, TEE, AND SQUARE TUBING: ALUMINUM
- ALLOY 6061 - T6 WITH 0.098 LBS PER CUBIC INCH.

- WELDING :**
- STEEL**
- DESIGN AND FABRICATION ACCORDING TO AWS D1.1. / D1.3
- AWS CERTIFICATION REQUIRED FOR ALL STRUCTURAL WELDERS.
 - E70 XX ELECTRODE FOR SMAW PROCESS.
 - E70S XX ELECTRODE FOR GMAW PROCESS.
 - ER7 XX ELECTRODE FOR GTAW PROCESS.
 - E70T XX ELECTRODE FOR FCAW PROCESS.
- ALL WELDS SHALL BE MADE WITH A FILLER METAL THAT CAN PRODUCE WELDS THAT HAVE A MINIMUM CHARPY V-NOTCH TOUGHNESS OF 20FT-LB AT ZERO ° AS DETERMINED BY THE APPROPRIATE AWS A5 CLASSIFICATION TEST METHOD OR MFG'S. CERTIFICATION.
- ALUMINUM**
- DESIGN AND FABRICATION ACCORDING TO AWS D1.2. ALL WELDING IN ACCORDANCE WITH THE LATEST EDITION OF THE AWS A.5.10.
- FILLER ALLOYS PER TABLES M.9.1 & M.9.2 OF 2020 ALUMINUM DESIGN MANUAL.

- ## CONCRETE :
- DESIGN AND CONSTRUCTION ACCORDING TO ACI 318-19
- COMPRESSIVE STRENGTH AT 28 DAYS, $f'_c = 2500$ PSI MINIMUM.
 - CEMENT TYPE II OR IV. W/C RATIO 0.45 BY WEIGHT FOR PIER AND CAISSON
 - FOOTINGS CONCRETE MUST BE POURED AGAINST UNDISTURBED EARTH.
 - MAINTAIN A MINIMUM 3" CONCRETE COVER OVER ALL EMBEDDED STEEL.

SOIL:
LATERAL SOIL BEARING PER IBC CLASS 4 TABLE 1806.2 (150 PSF/FT). MODIFIED PER SECTION 1806.3.4.



DRN BY: J.A.	DATE LAST REVISED: Jan 15, 2024	REV. NO.	REV. DATE	REVISED BY	PROJECT JOB #: 102913322_No.1 Collision_Monument_Bristol_Costa Mesa_CA.dwg	PROJECT LOCATION: NO. 1 COLLISION 2750 BRISTOL ST COSTA MESA, CA	SHEET # 1 OF 1
CHK BY: T.J.	PROJ. START DATE: 08-18-22	1	03/22/23	J.A.			
REV BY: T.J.	SCALE: AS SHOWN	2	10/10/23	J.A.			
PLOTTED BY: Michelle Grady	ON 1/15/2024 3:17:39 PM	3	01/15/24	J.A.			

R0 8/10/22 pl New Drawing
R1 11/21/22 pl rev. flag pole
 banner layout (1.00)
R2 2/9/23 pl add photo rendering
 for flag pole (2.50)
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R7 3/01/24 mdm (.5) add vis. tri. and
 change sq ft on mon.
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 change logo on cover.



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• CONSTRUCTION APPROVALS
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Design: _____ Date: _____

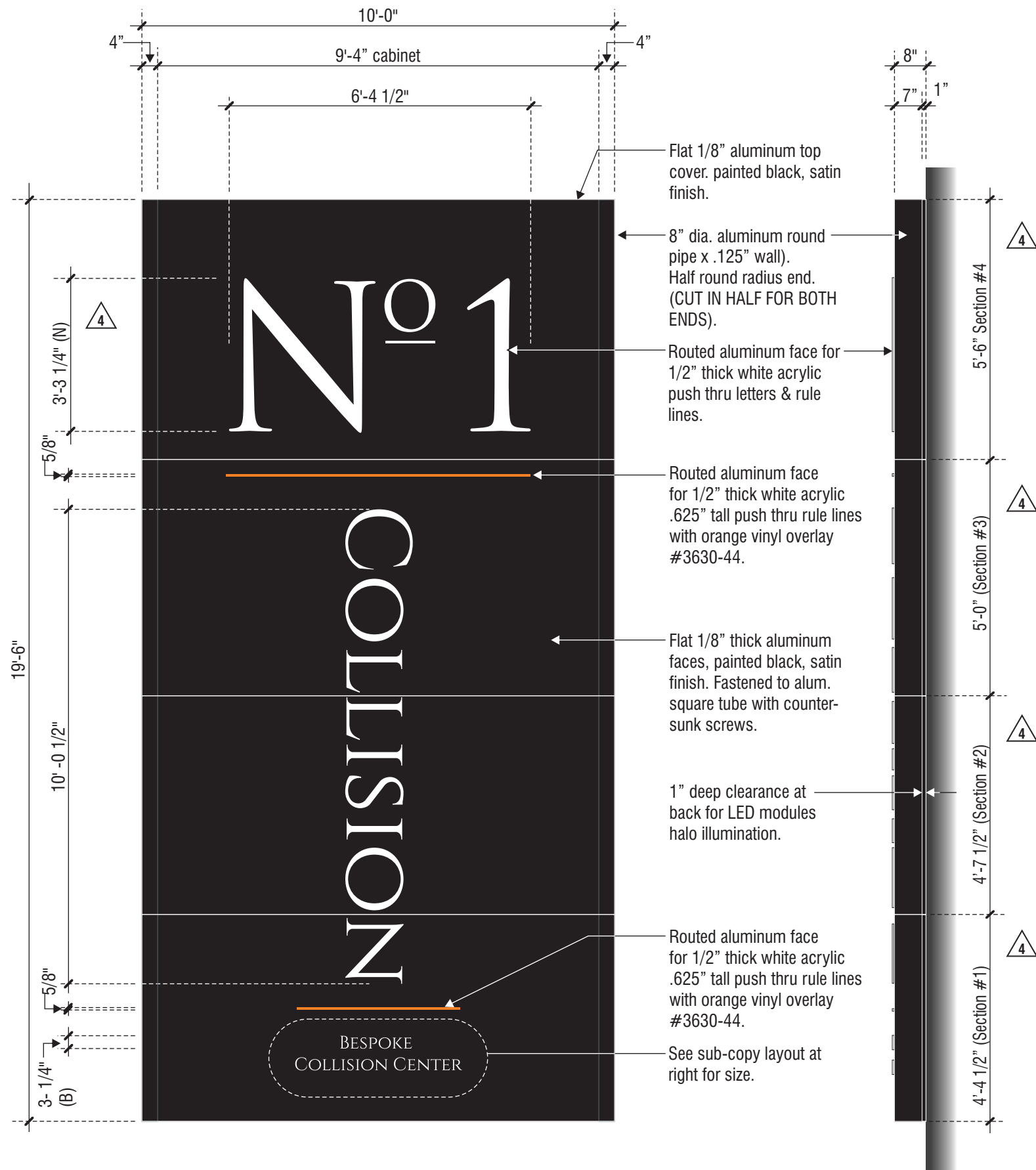
Mfg/QC: _____ Date: _____

Page: 7 of 15

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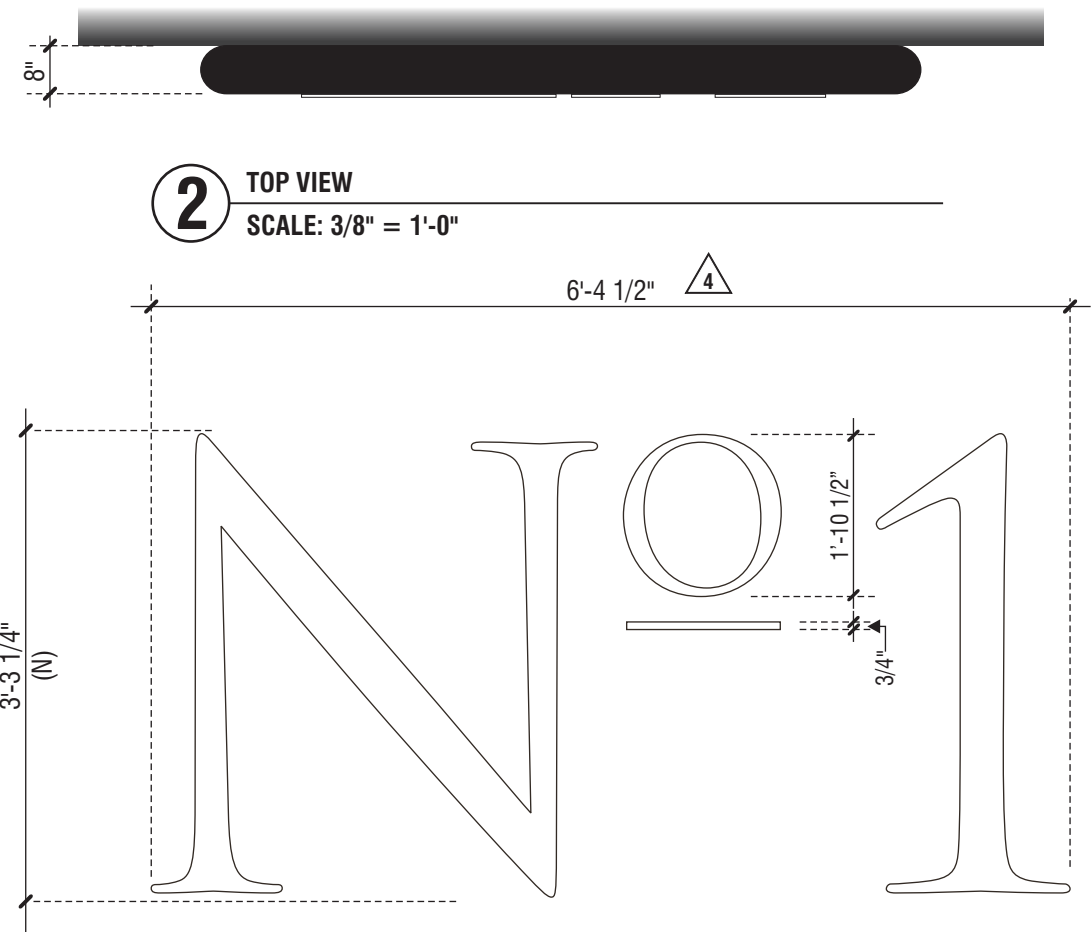
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B SIGN ELEVATION / SINGLE FACE ILLUM. WALL SIGN
QUANTITY: ONE (1) SIGN REQUIRED

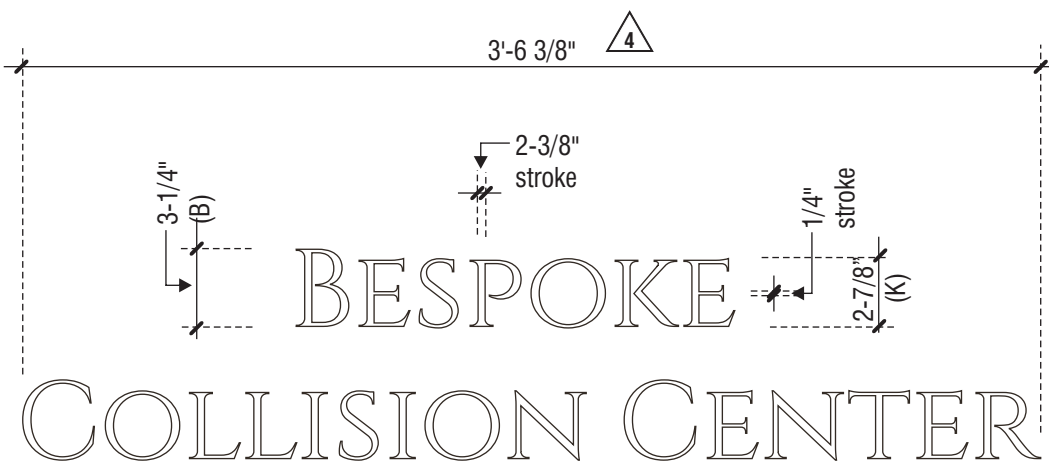
195.0 SQ FT
SCALE: 3/8" = 1'-0"

1 RIGHT SIDE ELEVATION
SCALE: 3/8" = 1'-0"



2 TOP VIEW
SCALE: 3/8" = 1'-0"

3 LOGO COPY LAYOUT
SCALE: 1-1/2" = 1'-0"



4 SUB-COPY LAYOUT
SCALE: 1-1/2" = 1'-0"



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Project:
No. 1 Collision

Address:
**2750 Bristol Street
Costa Mesa, CA 92626**

Account Manager:
Cynthia Lima

Scale: T.A.:
As Noted 43.00

Design No.:
22-08-8658-07P

Reg. No.:

Revision History:

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banner layout (1.00)
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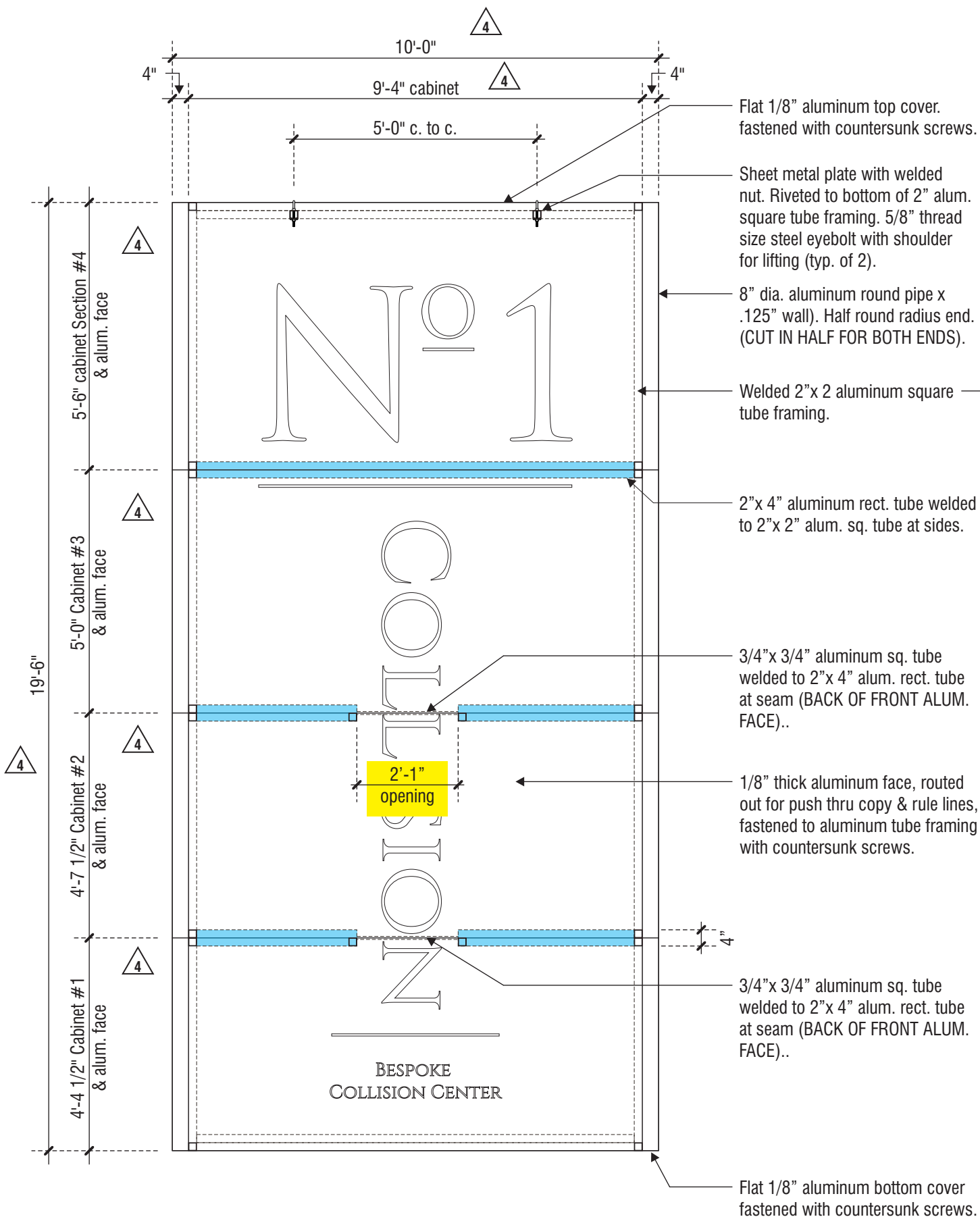
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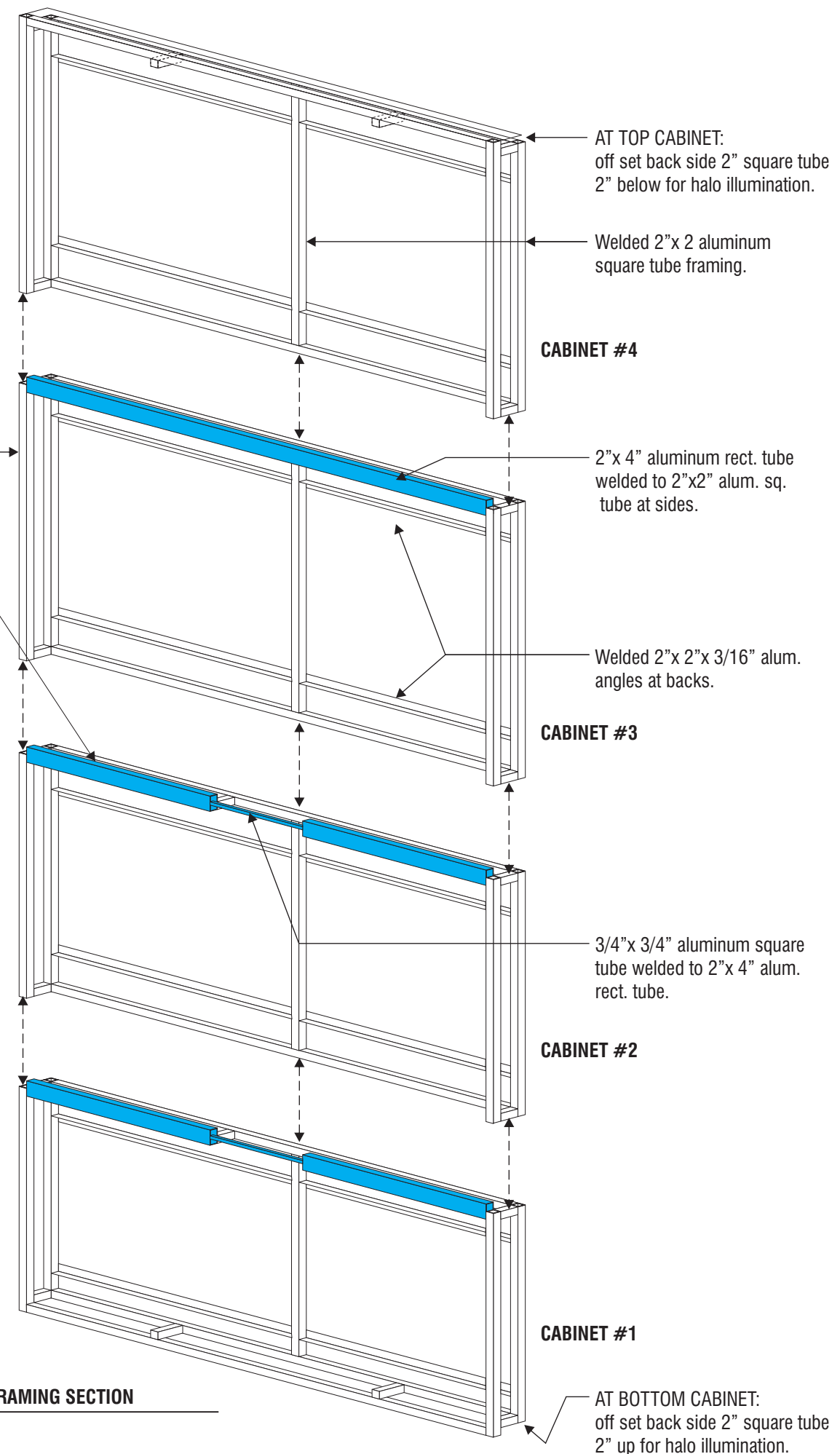
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5 FRAMING ELEVATION (FRONT FACE SIDE)
SCALE: 3/8" = 1'-0"

6 INDIVIDUAL FRAMING SECTION
SCALE: NTS



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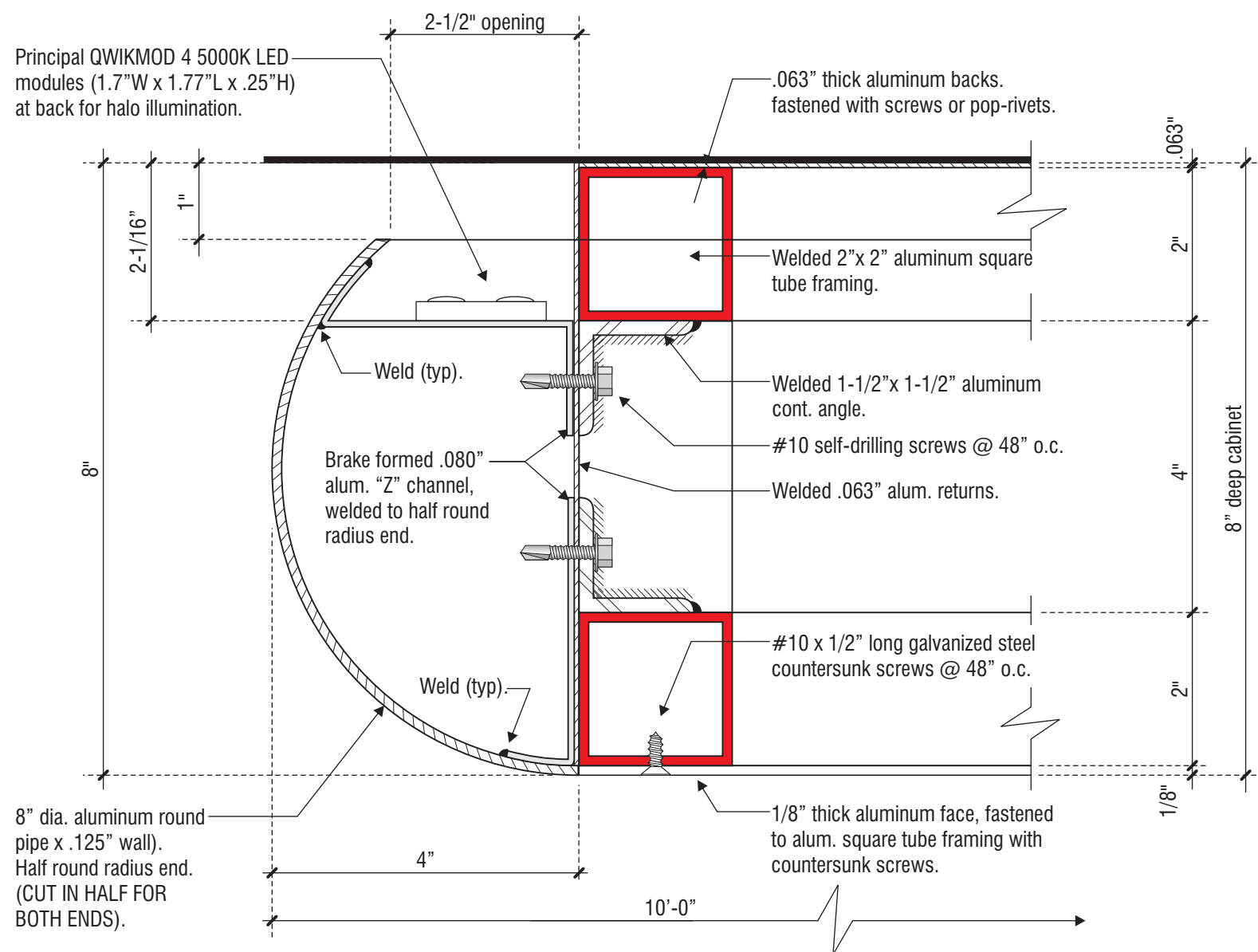
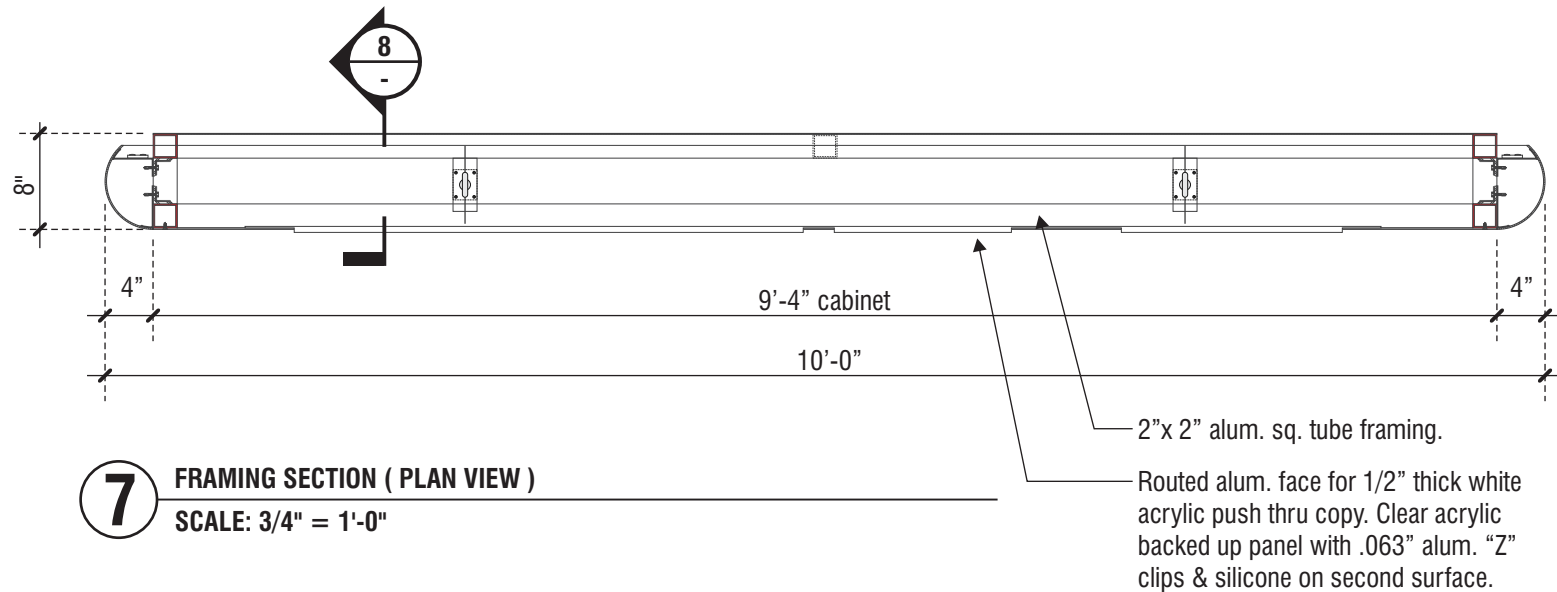
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9 TYP. LEFT RADIUS END ATTACHMENT DETAIL (TOP VIEW)
SCALE: HALF SIZE

SIMILAR AT RIGHT END

1/8" thick aluminum top cover, fastened with countersunk screws.

1/8" thick aluminum front face, fastened with countersunk screws.

Brake formed .080" alum. "Z" channel, welded to top of sq. tube framing.

Welded 2"x 2" aluminum square tube framing.

Brake formed .063" alum. hat channel. tack welded or riveted to alum. backs.

.063" pre-coat white baffle panel. Riveted to top alum. square tube framing & to hat channel.

Principal QWIKMOD 4 5000K Led modules mounted on alum. baffle with silicone.

Clear acrylic backed up panel with brake formed .063" alum. "Z" clips. mounted on aluminum face with lord's adhesive.

Routed aluminum face for 1/2" thick white acrylic push thru letters & lines.

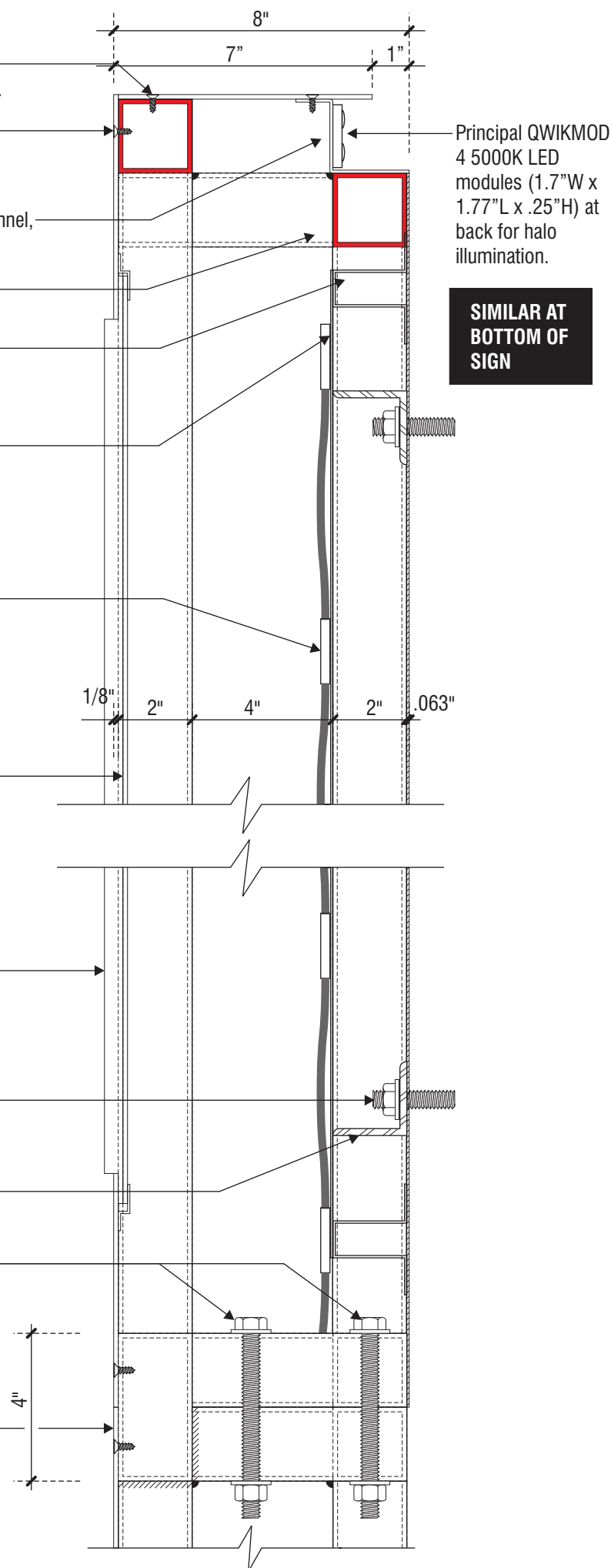
See engineering sheet 14 for specifications.

Welded 2"x 2"x 3/16" alum. angles at back.

1/2" dia. galvanized steel thru bolt at each section (typ).

2"x 4" aluminum rect. tube at panel seam.

8 CABINET SECTION
SCALE: 3" = 1'-0"



Principal QWIKMOD 4 5000K LED modules (1.7"W x 1.77"L x .25"H) at back for halo illumination.

SIMILAR AT BOTTOM OF SIGN

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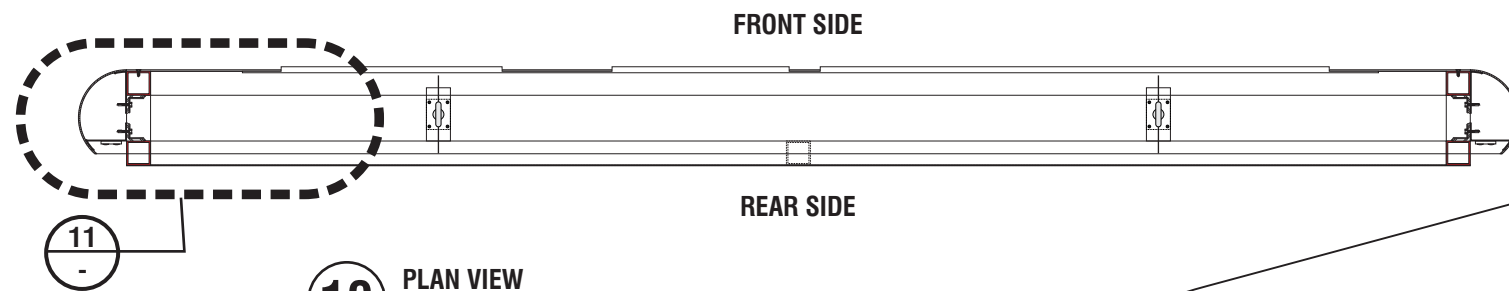
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1/8" thick aluminum top cover.
fastened with countersunk
screws.

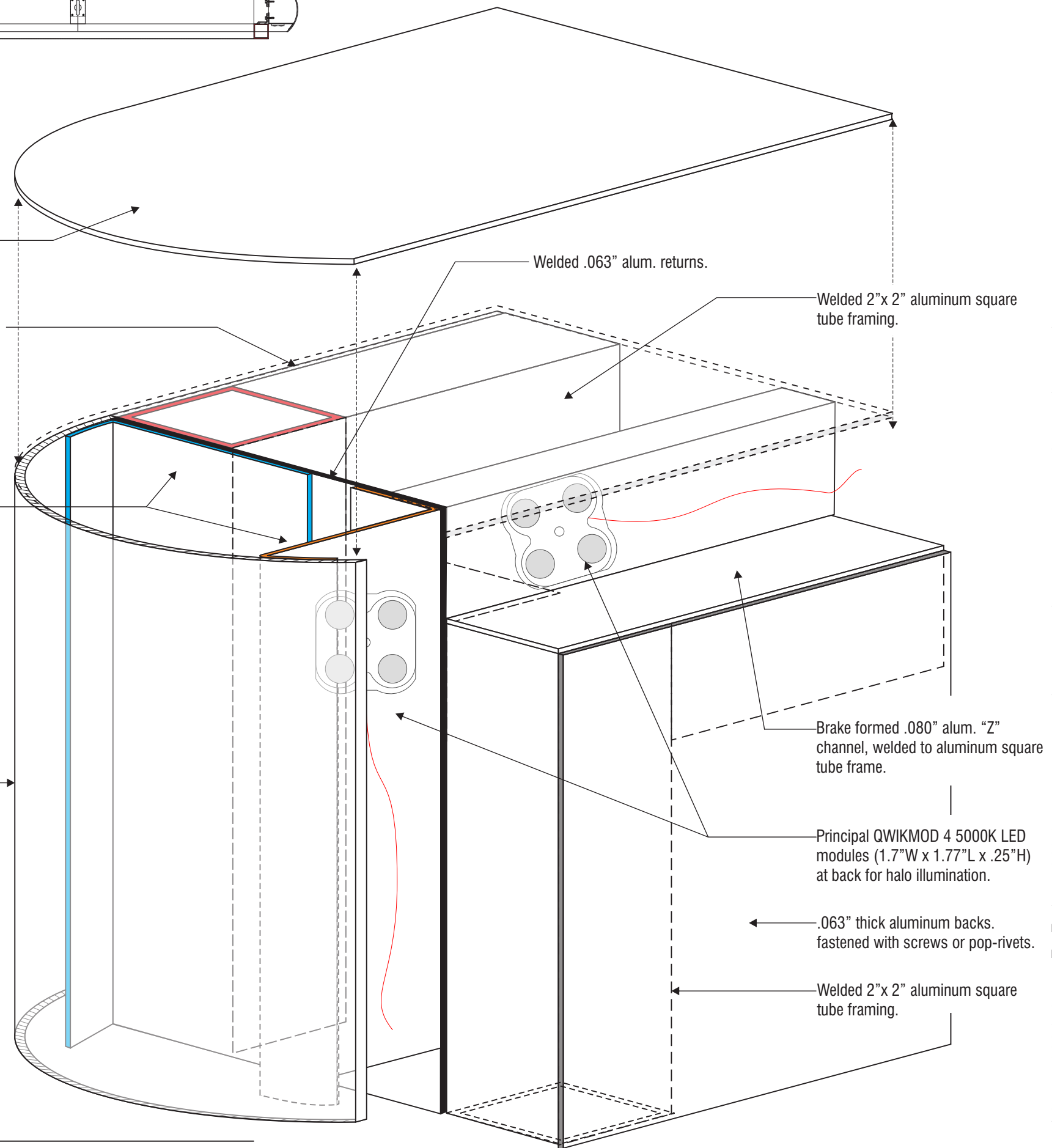
1/8" thick aluminum face, fastened
to alum. square tube framing with
countersunk screws.

Brake formed .080" alum.
"Z" channel, welded to half
round radius end.

8" dia. aluminum round
pipe x .125" wall).
Half round radius end.
(CUT IN HALF FOR
BOTH ENDS).

SIMILAR AT BOTTOM OF
SIGN

11 ISOMETRIC VIEW (AT LEFT REAR)
SCALE: NTS



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600 of the National Electrical Code and/or
other applicable local codes. This includes
proper grounding and bonding of the sign.

• CONSTRUCTION APPROVALS •

Acct. Mgr: Date:

Design: Date:

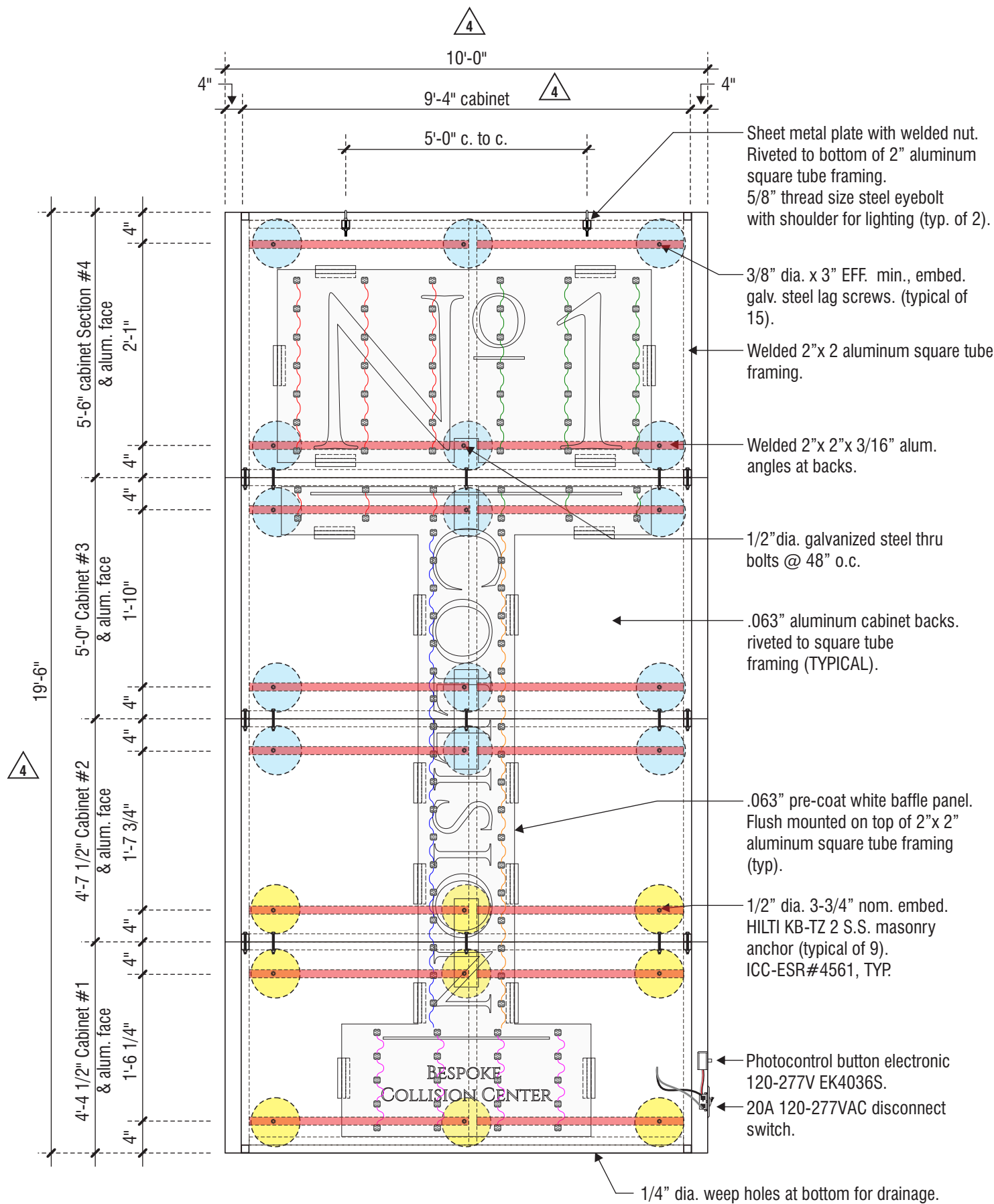
Mfg/QC: Date:

Page: 11 of 15

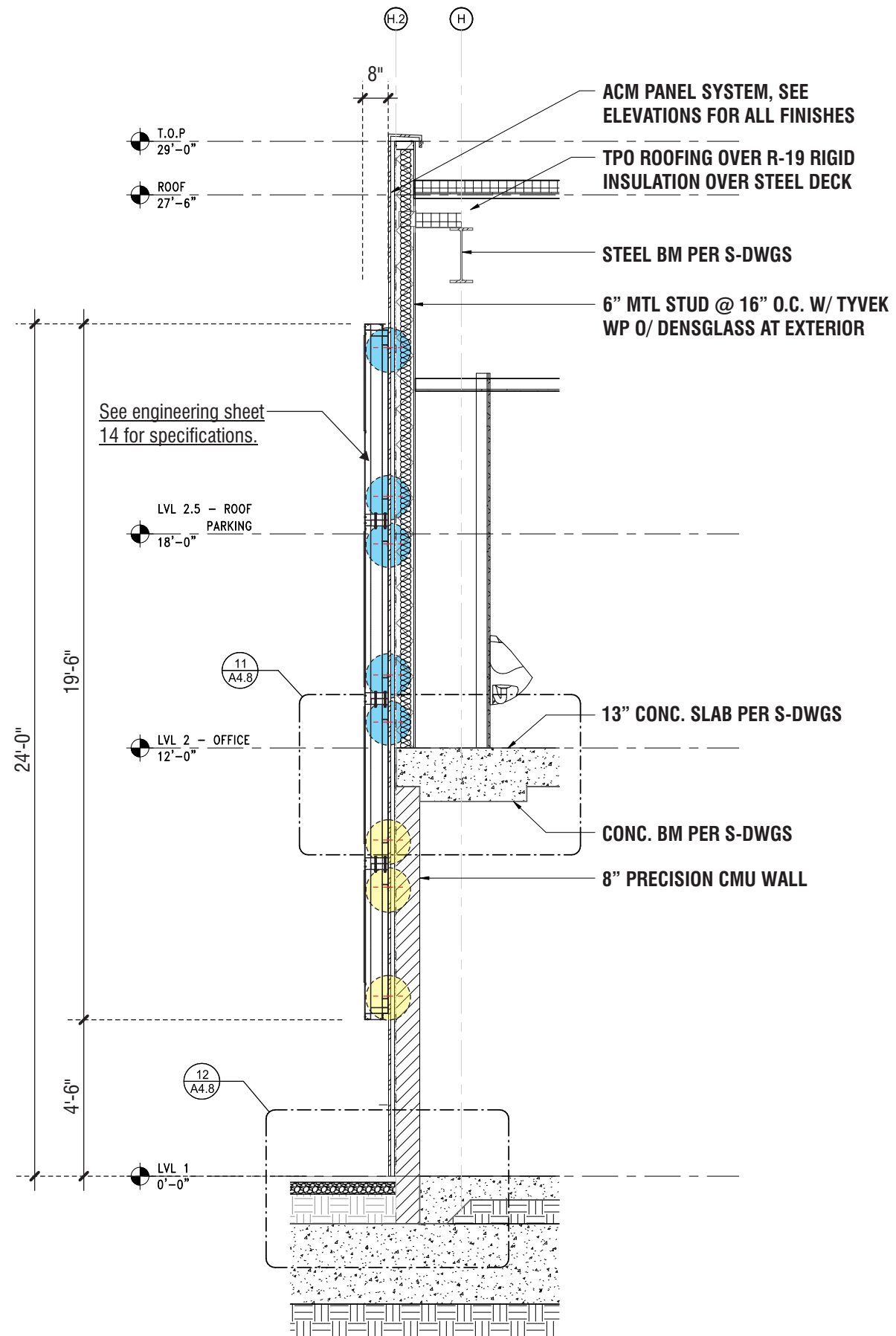
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13 FRAMING ELEVATION (BACK SIDE)
SCALE: 3/8" = 1'-0"



12 WALL SECTION 07
SCALE: 1/4" = 1'-0"



superior
electrical advertising

1700 West Anaheim Street
Long Beach, California
90813-1195
Phone: 562.495.3808
Facsimile: 562.435.1867

www.superiorsigns.com

Project:
No. 1 Collision

Address:
**2750 Bristol Street
Costa Mesa, CA 92626**

Account Manager:
Cynthia Lima

Scale: T.A.:
As Noted 43.00

Design No.:
22-08-8658-07P

Reg. No.:

Revision History:

R0 8/10/22 pl New Drawing
R1 11/21/22 pl rev. flag pole banner layout (1.00)
R2 2/9/23 pl add photo rendering for flag pole (2.50)
R3 3/21/23 pl reduce Sign A to 25' per City (2.50)
R4 9/28/23 KO New elevations and reduce proportionally signs (2)
R5 1/17/24 pl add halo illum. to wall sign (9.00)
R6 1/23/24 pl
R7 3/01/24 mdm (.5) add vis. tri. and change sq ft on mon.
R7P 3/26/24 mdm (.5) remove flags change logo on cover.



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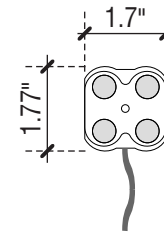
Mfg/QC: Date:

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Typ. Module layout

ELECTRICAL

(198) PRINCIPAL QWIKMOD 4 5000K LED MODULES
(1.6 WATTS EACH- 316.8 WATTS TOTAL) (UL #E351517)

(3) PRINCIPAL 120W POWER SUPPLIES @ 2.2 AMPS EACH

(3) PRINCIPAL 60W POWER SUPPLIES @ 1.1 AMPS EACH

**TOTAL LOAD: 9.9 AMPS AT 120 VOLTS
(1) 20 AMP DEDICATED CIRCUIT REQUIRED**

NOTE TO ALL CONTRACTORS: SIGN VOLTAGE 120
ALL WALL PENETRATIONS TO BE SEALED WITH UL LISTED SILICONE SEALANT. IN ACCORDANCE WITH NEC AND UL GUIDELINES, IT IS REQUIRED THAT PRIMARY CIRCUITS TO EACH SIGN MUST HAVE DEDICATED CIRCUIT WITH PROPER GROUND FROM MAIN PANEL AND MUST BE BONDED.

NOTE: ALL SIGNAGE REQUIRED DISCONNECT SWITCH TO COMPLY WITH ARTICLE 600.6(A)(1) OF THE NATIONAL ELECTRICAL CODE

CALIFORNIA TITLE 24 REQUIREMENT

NOTE: THIS SIGN TO BE CONTROLLED BY A PHOTO CELL SUPPLIED AND INSTALLED BY S.E.A.

PRIMARY ELECTRICAL COMING TO THE SIGN TO BE CONTROLLED BY AN AUTOMATIC TIME-SWITCH OR AN ASTRONOMICAL TIME-SWITCH CONTROL. THESE SWITCHES SHALL BE INSTALLED BY OTHERS BEFORE SIGN IS INSTALLED.

TOP & LEFT SIDE
Halo illumination at back side of cabinet
(44) Principal QWIKMOD 4 5000K LED modules (1) 120W power supply.

.063" pre-coat white baffle panel.
Flush mounted on top of 2"x 2" aluminum square tube framing (typ).

Brake formed .063" x 2" deep aluminum hat channel. tack welded to aluminum backs.

Total 42 modules)
One (1) 120w Principal power supplies

Welded 2"x 2"x 3/16" alum. angles at backs.

(Total 26 modules)
One (1) 60w Principal power supplies

.063" aluminum cabinet backs. riveted to square tube framing (TYPICAL).

RIGHT SIDE & BOTTOM
Halo illumination at back side of cabinet
(44) Principal QWIKMOD 4 5000K LED modules (1) 120W power supply.

(Total 16 modules)
One (1) 60w Principal power supplies

(110) Principal QWIKMOD 4 5000K LED modules (3) 60W power supplies.
(16" row spacing, 6-7/8" module spacing).

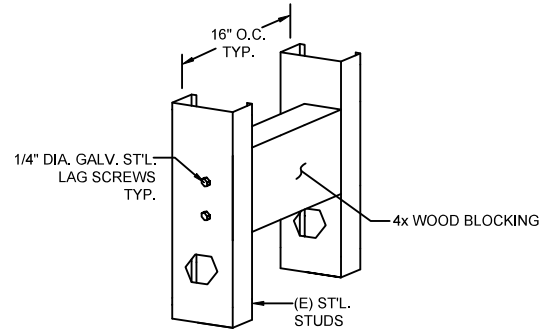
(Total 26 modules)
One (1) 60w Principal power supplies

Photocontrol button electronic 120-277V EK4036S.

20A 120-277VAC disconnect switch.

1/4" dia. weep holes at bottom for drainage.

14 LED MODULES LAYOUT
SCALE: 3/8" = 1'-0"



N.T.S.

N.T.S.

N.T.S.

N.T.S.





1 ELEVATION (SOUTH BOUND ON BRISTOL STREET)
SCALE: NTS



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**CITY OF COSTA MESA
PUBLICATION**

NOTICE IS HEREBY GIVEN that the Costa Mesa Zoning Administrator will render a decision on **May 9, 2024**, or as soon thereafter as possible, on the following item:

Application No.: ZA-22-44

Applicant/Agent: Walker Group Ventures/Coralee Newman

Site Address: 2750 Bristol Street

Zone: Local Business (C1)

Description: Zoning Application 22-44 is a request for a Minor Conditional Use Permit (MCUP) to establish a planned signing program for No. 1 Collision Group located at 2750 Bristol Street. The application proposes one new wall sign that extends above the first floor of a two-story building and one new freestanding monument sign that would exceed the maximum sign height permitted by right in a commercial zone.

Environmental Determination: The project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) per CEQA Guidelines Section 15311 (Accessory Structures).

Additional Information: For more information, call (714) 754-5245, or email planninginfo@costamesaca.gov Planning Division staff are available from 8:00 AM to 5:00 PM Monday through Thursday and alternating Fridays, except specified holidays. There will be **no public hearing** on this request. Any written correspondence must be emailed to ZAPublicComments@costamesaca.gov prior to **12:00 PM** on the day of the decision date (see above). The decision letter can be downloaded from the City's website following the decision date at: <http://www.costamesaca.gov/index.aspx?page=940> If you challenge this action in court, you may be limited to raising only those issues you, or someone else raised, prior to the decision date.