CITY OF COSTA MESA PROFESSIONAL SERVICES AGREEMENT WITH STV CONSTRUCTION, INC.

THIS PROFESSIONAL SERVICES AGREEMENT ("Agreement") is made and entered into this 23rd day of May, 2024 ("Effective Date"), by and between the CITY OF COSTA MESA, a municipal corporation ("City"), and STV CONSTRUCTION, INC., a Pennsylvania corporation ("Consultant").

RECITALS

- A. City proposes to utilize the services of Consultant as an independent contractor to provide construction management and special inspection support services for the training facility reconstruction of the Fire Station No. 4 Training Tower; and
- B. Consultant represents that it has that degree of specialized expertise contemplated within California Government Code section 37103, and holds all necessary licenses to practice and perform the services herein contemplated; and
- C. City and Consultant desire to contract for the specific services described in Exhibit "A" and desire to set forth their rights, duties and liabilities in connection with the services to be performed; and
- D. No official or employee of City has a financial interest, within the provisions of sections 1090-1092 of the California Government Code, in the subject matter of this Agreement.

NOW, THEREFORE, for and in consideration of the mutual covenants and conditions contained herein, the parties hereby agree as follows:

1.0. SERVICES PROVIDED BY CONSULTANT

- 1.1. <u>Scope of Services</u>. Consultant shall provide the professional services described in City's Request for Proposals, attached hereto as Exhibit "A," and Consultant's Proposal, attached hereto as Exhibit "B," both incorporated herein.
- 1.2. <u>Professional Practices</u>. All professional services to be provided by Consultant pursuant to this Agreement shall be provided by personnel experienced in their respective fields and in a manner consistent with the standards of care, diligence and skill ordinarily exercised by professional consultants in similar fields and circumstances in accordance with sound professional practices. Consultant also warrants that it is familiar with all laws that may affect its performance of this Agreement and shall advise City of any changes in any laws that may affect Consultant's performance of this Agreement.

1.3. Reserved.

1.4. <u>Warranty</u>. Consultant warrants that it shall perform the services required by this Agreement in compliance with all applicable Federal and California employment laws, including, but not limited to, those laws related to minimum hours and wages; occupational health and safety; fair employment and employment practices; workers' compensation insurance and safety in employment; and all other Federal, State and local laws and ordinances applicable to the services required under this Agreement. Consultant shall indemnify and hold harmless City from

and against all claims, demands, payments, suits, actions, proceedings, and judgments of every nature and description including attorneys' fees and costs, presented, brought, or recovered against City for, or on account of any liability under any of the above-mentioned laws, which may be incurred by reason of Consultant's performance under this Agreement.

- 1.5. <u>Non-Discrimination</u>. In performing this Agreement, Consultant shall not engage in, nor permit its agents to engage in, discrimination in employment of persons because of their race, religious creed, color, national origin, ancestry, physical disability, mental disability, medical condition, genetic information, marital status, sex, gender, gender identity, gender expression, age, sexual orientation, or military or veteran status, except as permitted pursuant to section 12940 of the Government Code.
- 1.6. <u>Non-Exclusive Agreement</u>. Consultant acknowledges that City may enter into agreements with other consultants for services similar to the services that are subject to this Agreement or may have its own employees perform services similar to those services contemplated by this Agreement.
- 1.7. <u>Delegation and Assignment</u>. This is a personal service contract, and the duties set forth herein shall not be delegated or assigned to any person or entity without the prior written consent of City. Consultant may engage a subcontractor(s) as permitted by law and may employ other personnel to perform services contemplated by this Agreement at Consultant's sole cost and expense.
- 1.8. <u>Confidentiality</u>. Employees of Consultant in the course of their duties may have access to financial, accounting, statistical, and personnel data of private individuals and employees of City. Consultant covenants that all data, documents, discussion, or other information developed or received by Consultant or provided for performance of this Agreement are deemed confidential and shall not be disclosed by Consultant without written authorization by City. City shall grant such authorization if disclosure is required by law. All City data shall be returned to City upon the termination of this Agreement. Consultant's covenant under this Section shall survive the termination of this Agreement.

2.0. COMPENSATION AND BILLING

- 2.1. <u>Compensation</u>. Consultant shall be paid in accordance with the fee schedule set forth in Exhibit "C," attached hereto and made a part of this Agreement. Consultant's total compensation shall not exceed Three Hundred Eight Thousand Sixty-Eight Dollars (\$ 308,063.00).
- 2.2. <u>Additional Services</u>. Consultant shall not receive compensation for any services provided outside the scope of services specified in the Consultant's Proposal unless the City Manager or designee, prior to Consultant performing the additional services, approves such additional services in writing. It is specifically understood that oral requests and/or approvals of such additional services or additional compensation shall be barred and are unenforceable.
- 2.3. <u>Method of Billing</u>. Consultant may submit invoices to the City for approval on a progress basis, but no more often than two times a month. Said invoice shall be based on the total of all Consultant's services which have been completed to City's sole satisfaction. City shall pay Consultant's invoice within forty-five (45) days from the date City receives said invoice. Each invoice shall describe in detail, the services performed, the date of performance, and the associated time for completion. Any additional services approved and performed pursuant to this Agreement shall be designated as "Additional Services" and shall identify the number of the

authorized change order, where applicable, on all invoices.

2.4. Records and Audits. Records of Consultant's services relating to this Agreement shall be maintained in accordance with generally recognized accounting principles and shall be made available to City or its Project Manager for inspection and/or audit at mutually convenient times from the Effective Date until three (3) years after termination of this Agreement.

3.0. TIME OF PERFORMANCE

- 3.1. <u>Commencement and Completion of Work</u>. Unless otherwise agreed to in writing by the parties, the professional services to be performed pursuant to this Agreement shall commence within five (5) days from the Effective Date of this Agreement. Said services shall be performed in strict compliance with the Project Schedule approved by City as set forth in Consultant's Proposal (Exhibit "B"). The Project Schedule may be amended by mutual agreement of the parties. Failure to commence work in a timely manner and/or diligently pursue work to completion may be grounds for termination of this Agreement.
- 3.2. Excusable Delays. Neither party shall be responsible for delays or lack of performance resulting from acts beyond the reasonable control of the party or parties. Such acts shall include, but not be limited to, acts of God, fire, strikes, pandemics (excluding COVID-19), material shortages, compliance with laws or regulations, riots, acts of war, or any other conditions beyond the reasonable control of a party (each, a "Force Majeure Event"). If a party experiences a Force Majeure Event, the party shall, within five (5) days of the occurrence of the Force Majeure Event, give written notice to the other party stating the nature of the Force Majeure Event, its anticipated duration and any action being taken to avoid or minimize its effect. Any suspension of performance shall be of no greater scope and of no longer duration than is reasonably required and the party experiencing the Force Majeure Event shall use best efforts without being obligated to incur any material expenditure to remedy its inability to perform; provided, however, if the suspension of performance continues for sixty (60) days after the date of the occurrence and such failure to perform would constitute a material breach of this Agreement in the absence of such Force Majeure Event, the parties shall meet and discuss in good faith any amendments to this Agreement to permit the other party to exercise its rights under this Agreement. If the parties are not able to agree on such amendments within thirty (30) days and if suspension of performance continues, such other party may terminate this Agreement immediately by written notice to the party experiencing the Force Majeure Event, in which case neither party shall have any liability to the other except for those rights and liabilities that accrued prior to the date of termination.

4.0. TERM AND TERMINATION

- 4.1. <u>Term.</u> This Agreement shall commence on the Effective Date and continue for a period of three years, ending on March 18, 2027, unless previously terminated as provided herein or as otherwise agreed to in writing by the parties. This Agreement may be extended by two [2] additional one [1] year periods upon mutual written agreement of both parties.
- 4.2. <u>Notice of Termination</u>. The City reserves and has the right and privilege of canceling, suspending or abandoning the execution of all or any part of the work contemplated by this Agreement, with or without cause, at any time, by providing written notice to Consultant. The termination of this Agreement shall be deemed effective upon receipt of the notice of termination. In the event of such termination, Consultant shall immediately stop rendering services under this Agreement unless directed otherwise by the City.
 - 4.3. Compensation. In the event of termination, City shall pay Consultant for

reasonable costs incurred and professional services satisfactorily performed up to and including the date of City's written notice of termination. Compensation for work in progress shall be prorated based on the percentage of work completed as of the effective date of termination in accordance with the fees set forth herein. In ascertaining the professional services actually rendered hereunder up to the effective date of termination of this Agreement, consideration shall be given to both completed work and work in progress, to complete and incomplete drawings, and to other documents pertaining to the services contemplated herein whether delivered to the City or in the possession of the Consultant.

4.4. <u>Documents</u>. In the event of termination of this Agreement, all documents prepared by Consultant in its performance of this Agreement including, but not limited to, finished or unfinished design, development and construction documents, data studies, drawings, maps and reports, shall be delivered to the City within ten (10) days of delivery of termination notice to Consultant, at no cost to City. Any use of uncompleted documents without specific written authorization from Consultant shall be at City's sole risk and without liability or legal expense to Consultant.

5.0. INSURANCE

- 5.1. <u>Minimum Scope and Limits of Insurance</u>. Consultant shall obtain, maintain, and keep in full force and effect during the life of this Agreement all of the following minimum scope of insurance coverages with an insurance company approved to do business in California, rated "A," Class X, or better in the most recent A.M. Best's Rating Guide, and approved by City:
 - (a) Commercial general liability, including premises-operations, products/completed operations, broad form property damage, blanket contractual liability, independent contractors, personal injury or bodily injury with a policy limit of not less than One Million Dollars (\$1,000,000.00) per occurrence, Two Million Dollars (\$2,000,000.00) general aggregate.
 - (b) Business automobile liability for owned vehicles, hired, and non-owned vehicles, with a policy limit of not less than One Million Dollars (\$1,000,000.00) combined single limit per accident for bodily injury and property damage.
 - (c) Workers' compensation insurance as required by the State of California. Consultant agrees to waive, and to obtain endorsements from its workers' compensation insurer waiving subrogation rights under its workers' compensation insurance policy against the City, its officers, agents, employees, and volunteers arising from work performed by Consultant for the City and to require each of its subcontractors, if any, to do likewise under their workers' compensation insurance policies.
 - (d) Professional errors and omissions ("E&O") liability insurance with policy limits of not less than One Million Dollars (\$1,000,000.00), combined single limits, per occurrence and aggregate. Architects' and engineers' coverage shall be endorsed to include contractual liability. If the policy is written as a "claims made" policy, the retro date shall be prior to the start of the contract work. Consultant shall obtain and maintain, said E&O liability insurance during the life of this Agreement and for three years after completion of the work hereunder.

- 5.2. <u>Endorsements</u>. The commercial general liability insurance policy and business automobile liability policy shall contain or be endorsed to contain the following provisions:
 - (a) Additional insureds: "The City of Costa Mesa and its elected and appointed boards, officers, officials, agents, employees, and volunteers are additional insureds with respect to: liability arising out of activities performed by or on behalf of the Consultant pursuant to its contract with the City; products and completed operations of the Consultant; premises owned, occupied or used by the Consultant; automobiles owned, leased, hired, or borrowed by the Consultant."
 - (b) Notice: "Said policy shall not terminate, be suspended, or voided, nor shall it be cancelled, nor the coverage or limits reduced, until thirty (30) days after written notice is given to City."
 - (c) Other insurance: "The Consultant's insurance coverage shall be primary insurance as respects the City of Costa Mesa, its officers, officials, agents, employees, and volunteers. Any other insurance maintained by the City of Costa Mesa shall be excess and not contributing with the insurance provided by this policy."
 - (d) Any failure to comply with the reporting provisions of the policies shall not affect coverage provided to the City of Costa Mesa, its officers, officials, agents, employees, and volunteers.
 - (e) The Consultant's insurance shall apply separately to each insured against whom claim is made or suit is brought, except with respect to the limits of the insurer's liability.
- 5.3. <u>Deductible or Self Insured Retention</u>. If any of such policies provide for a deductible or self-insured retention to provide such coverage, the amount of such deductible or self-insured retention shall be approved in advance by City. No policy of insurance issued as to which the City is an additional insured shall contain a provision which requires that no insured except the named insured can satisfy any such deductible or self-insured retention.
- 5.4. <u>Certificates of Insurance</u>. Consultant shall provide to City certificates of insurance showing the insurance coverages and required endorsements described above, in a form and content approved by City, prior to performing any services under this Agreement.
- 5.5. <u>Non-Limiting</u>. Nothing in this Section shall be construed as limiting in any way, the indemnification provision contained in this Agreement, or the extent to which Consultant may be held responsible for payments of damages to persons or property.

6.0. GENERAL PROVISIONS

6.1. <u>Entire Agreement</u>. This Agreement constitutes the entire agreement between the parties with respect to any matter referenced herein and supersedes any and all other prior writings and oral negotiations. This Agreement may be modified only in writing, and signed by the parties in interest at the time of such modification. The terms of this Agreement shall prevail over any inconsistent provision in any other contract document appurtenant hereto, including exhibits to this Agreement.

6.2. <u>Representatives</u>. The City Manager or his or her designee shall be the representative of City for purposes of this Agreement and may issue all consents, approvals, directives and agreements on behalf of the City, called for by this Agreement, except as otherwise expressly provided in this Agreement.

Consultant shall designate a representative for purposes of this Agreement who shall be authorized to issue all consents, approvals, directives and agreements on behalf of Consultant called for by this Agreement, except as otherwise expressly provided in this Agreement.

6.3. <u>Project Managers</u>. City shall designate a Project Manager to work directly with Consultant in the performance of this Agreement.

Consultant shall designate a Project Manager who shall represent it and be its agent in all consultations with City during the term of this Agreement. Consultant or its Project Manager shall attend and assist in all coordination meetings called by City.

6.4. <u>Notices</u>. Any notices, documents, correspondence or other communications concerning this Agreement or the work hereunder may be provided by personal delivery or mail and shall be addressed as set forth below. Such communication shall be deemed served or delivered: (a) at the time of delivery if such communication is sent by personal delivery, and (b) 48 hours after deposit in the U.S. Mail as reflected by the official U.S. postmark if such communication is sent through regular United States mail.

IF TO CONSULTANT:

STV Construction, Inc. 1055 West Seventh Street, Suite 2900 Los Angeles, CA 90017

Tel: (530) 802-6911 Attn: David Watson

IF TO CITY:

City of Costa Mesa 77 Fair Drive Costa Mesa, CA 92626

Tel: (714) 754-5045 Attn: Hector Soriano

Courtesy copy to:

City of Costa Mesa 77 Fair Drive Costa Mesa, CA 92626 Attn: Finance Dept. | Purchasing

- 6.5. <u>Drug-Free Workplace Policy</u>. Consultant shall provide a drug-free workplace by complying with all provisions set forth in City's Council Policy 100-5, attached hereto as Exhibit "D" and incorporated herein. Consultant's failure to conform to the requirements set forth in Council Policy 100-5 shall constitute a material breach of this Agreement and shall be cause for immediate termination of this Agreement by City.
- 6.6. <u>Attorneys' Fees</u>. In the event that litigation is brought by any party in connection with this Agreement, the prevailing party shall be entitled to recover from the opposing party all costs and expenses, including reasonable attorneys' fees, incurred by the prevailing party in the exercise of any of its rights or remedies hereunder or the enforcement of any of the terms, conditions, or provisions hereof.

- 6.7. <u>Governing Law.</u> This Agreement shall be governed by and construed under the laws of the State of California without giving effect to that body of laws pertaining to conflict of laws. In the event of any legal action to enforce or interpret this Agreement, the parties hereto agree that the sole and exclusive venue shall be a court of competent jurisdiction located in Orange County, California.
- 6.8. <u>Assignment</u>. Consultant shall not voluntarily or by operation of law assign, transfer, sublet or encumber all or any part of Consultant's interest in this Agreement without City's prior written consent. Any attempted assignment, transfer, subletting or encumbrance shall be void and shall constitute a breach of this Agreement and cause for termination of this Agreement. Regardless of City's consent, no subletting or assignment shall release Consultant of Consultant's obligation to perform all other obligations to be performed by Consultant hereunder for the term of this Agreement.
- Indemnification and Hold Harmless. Consultant agrees to defend, indemnify, hold free and harmless the City, its elected officials, officers, agents and employees, at Consultant's sole expense, from and against any and all claims, actions, suits or other legal proceedings brought against the City, its elected officials, officers, agents and employees to the extent arising out of the negligent performance of the Consultant, its employees, and/or authorized subcontractors, of the work undertaken pursuant to this Agreement. The defense obligation provided for hereunder shall apply without any advance showing of negligence or wrongdoing by the Consultant, its employees, and/or authorized subcontractors, but shall be required whenever any claim, action, complaint, or suit asserts as its basis the negligence, errors, omissions or misconduct of the Consultant, its employees, and/or authorized subcontractors, and/or whenever any claim, action, complaint or suit asserts liability against the City, its elected officials, officers, agents and employees based upon the work performed by the Consultant, its employees, and/or authorized subcontractors under this Agreement, whether or not the Consultant, its employees. and/or authorized subcontractors are specifically named or otherwise asserted to be liable. To the extent ultimately determined by a court of competent jurisdiction that Consultant is only partially liable, City shall reimburse the allocated adjudicated defense costs on a comparative fault basis. Notwithstanding the foregoing, the Consultant shall not be liable for the defense or indemnification of the City for claims, actions, complaints or suits arising out of the sole active negligence or willful misconduct of the City. This provision shall supersede and replace all other indemnity provisions contained either in the City's specifications or Consultant's Proposal, which shall be of no force and effect.
- 6.10. Independent Contractor. Consultant is and shall be acting at all times as an independent contractor and not as an employee of City. Consultant shall have no power to incur any debt, obligation, or liability on behalf of City or otherwise act on behalf of City as an agent. Neither City nor any of its agents shall have control over the conduct of Consultant or any of Consultant's employees, except as set forth in this Agreement. Consultant shall not, at any time, or in any manner, represent that it or any of its agents or employees are in any manner agents or employees of City. Consultant shall secure, at its sole expense, and be responsible for any and all payment of Income Tax, Social Security, State Disability Insurance Compensation, Unemployment Compensation, and other payroll deductions for Consultant and its officers, agents, and employees, and all business licenses, if any are required, in connection with the services to be performed hereunder. Consultant shall indemnify and hold City harmless from any and all taxes, assessments, penalties, and interest asserted against City by reason of the independent contractor relationship created by this Agreement. Consultant further agrees to indemnify and hold City harmless from any failure of Consultant to comply with the applicable worker's compensation laws. City shall have the right to offset against the amount of any fees due

to Consultant under this Agreement any amount due to City from Consultant as a result of Consultant's failure to promptly pay to City any reimbursement or indemnification arising under this paragraph.

- 6.11 Conflicts with Independent Contractor. Contractor/consultant's duties and services under this Agreement shall not include preparing or assisting the public entity with any portion of the public entity's preparation of a request for proposals, request for qualifications, or any other solicitation regarding a subsequent or additional contract with the public entity. The public entity entering into this Agreement shall at all times retain responsibility for public contracting, including with respect to any subsequent phase of this project. Contractor/consultant's participation in the planning, discussions, or drawing of project plans or specifications shall be limited to conceptual, preliminary, or initial plans or specifications. Contractor/consultant shall cooperate with the public entity to ensure that all bidders for a subsequent contract on any subsequent phase of this project have access to the same information, including all conceptual, preliminary, or initial plans or specifications prepared by contractor pursuant to this Agreement.
- 6.12. PERS Eligibility Indemnification. In the event that Consultant or any employee, agent, or subcontractor of Consultant providing services under this Agreement claims or is determined by a court of competent jurisdiction or the California Public Employees Retirement System (PERS) to be eligible for enrollment in PERS as an employee of the City, Consultant shall indemnify, defend, and hold harmless City for the payment of any employee and/or employer contributions for PERS benefits on behalf of Consultant or its employees, agents, or subcontractors, as well as for the payment of any penalties and interest on such contributions, which would otherwise be the responsibility of City.

Notwithstanding any other agency, state or federal policy, rule, regulation, law or ordinance to the contrary, Consultant and any of its employees, agents, and subcontractors providing service under this Agreement shall not qualify for or become entitled to, and hereby agree to waive any claims to, any compensation, benefit, or any incident of employment by City, including but not limited to eligibility to enroll in PERS as an employee of City and entitlement to any contribution to be paid by City for employer contribution and/or employee contributions for PERS benefits.

- 6.13. <u>Cooperation</u>. In the event any claim or action is brought against City relating to Consultant's performance or services rendered under this Agreement, Consultant shall render any reasonable assistance and cooperation which City might require.
- 6.14. Ownership of Documents. All findings, reports, documents, information and data including, but not limited to, computer tapes or discs, files and tapes furnished or prepared by Consultant or any of its subcontractors in the course of performance of this Agreement, shall be and remain the sole property of City. Consultant agrees that any such documents or information shall not be made available to any individual or organization without the prior consent of City. Any use of such documents for other projects not contemplated by this Agreement, and any use of incomplete documents, shall be at the sole risk of City and without liability or legal exposure to Consultant. City shall indemnify and hold harmless Consultant from all claims, damages, losses, and expenses, including attorneys' fees, arising out of or resulting from City's use of such documents for other projects not contemplated by this Agreement or use of incomplete documents furnished by Consultant. Consultant shall deliver to City any findings, reports, documents, information, data, in any form, including but not limited to, computer tapes, discs, files audio tapes or any other Project related items as requested by City or its authorized representative, at no additional cost to the City.

- 6.15. Public Records Act Disclosure. Consultant has been advised and is aware that this Agreement and all reports, documents, information and data, including, but not limited to, computer tapes, discs or files furnished or prepared by Consultant, or any of its subcontractors, pursuant to this Agreement and provided to City may be subject to public disclosure as required by the California Public Records Act (California Government Code section 6250 *et seq.*). Exceptions to public disclosure may be those documents or information that qualify as trade secrets, as that term is defined in the California Government Code section 6254.7, and of which Consultant informs City of such trade secret. The City will endeavor to maintain as confidential all information obtained by it that is designated as a trade secret. The City shall not, in any way, be liable or responsible for the disclosure of any trade secret including, without limitation, those records so marked if disclosure is deemed to be required by law or by order of the Court.
- 6.16. <u>Conflict of Interest</u>. Consultant and its officers, employees, associates and subconsultants, if any, will comply with all conflict of interest statutes of the State of California applicable to Consultant's services under this agreement, including, but not limited to, the Political Reform Act (Government Code sections 81000, *et seq.*) and Government Code section 1090. During the term of this Agreement, Consultant and its officers, employees, associates and subconsultants shall not, without the prior written approval of the City Representative, perform work for another person or entity for whom Consultant is not currently performing work that would require Consultant or one of its officers, employees, associates or subconsultants to abstain from a decision under this Agreement pursuant to a conflict of interest statute.
- 6.17. Responsibility for Errors. Consultant shall be responsible for its work and results under this Agreement. Consultant, when requested, shall furnish clarification and/or explanation as may be required by the City's representative, regarding any services rendered under this Agreement at no additional cost to City. In the event that an error or omission attributable to Consultant occurs, then Consultant shall, at no cost to City, provide all necessary design drawings, estimates and other Consultant professional services necessary to rectify and correct the matter to the sole satisfaction of City and to participate in any meeting required with regard to the correction.
- 6.18. <u>Prohibited Employment</u>. Consultant will not employ any regular employee of City while this Agreement is in effect.
- 6.19. Order of Precedence. In the event of an inconsistency in this Agreement and any of the attached Exhibits, the terms set forth in this Agreement shall prevail. If, and to the extent this Agreement incorporates by reference any provision of any document, such provision shall be deemed a part of this Agreement. Nevertheless, if there is any conflict among the terms and conditions of this Agreement and those of any such provision or provisions so incorporated by reference, this Agreement shall govern over the document referenced.
- 6.20. <u>Costs</u>. Each party shall bear its own costs and fees incurred in the preparation and negotiation of this Agreement and in the performance of its obligations hereunder except as expressly provided herein.
- 6.21. <u>Binding Effect</u>. This Agreement binds and benefits the parties and their respective permitted successors and assigns.
- 6.22. <u>No Third Party Beneficiary Rights</u>. This Agreement is entered into for the sole benefit of City and Consultant and no other parties are intended to be direct or incidental beneficiaries of this Agreement and no third party shall have any right in, under or to this Agreement.

- 6.23. <u>Headings</u>. Paragraphs and subparagraph headings contained in this Agreement are included solely for convenience and are not intended to modify, explain or to be a full or accurate description of the content thereof and shall not in any way affect the meaning or interpretation of this Agreement.
- 6.24. Construction. The parties have participated jointly in the negotiation and drafting of this Agreement and have had an adequate opportunity to review each and every provision of the Agreement and submit the same to counsel or other consultants for review and comment. In the event an ambiguity or question of intent or interpretation arises with respect to this Agreement, this Agreement shall be construed as if drafted jointly by the parties and in accordance with its fair meaning. There shall be no presumption or burden of proof favoring or disfavoring any party by virtue of the authorship of any of the provisions of this Agreement.
- 6.25. <u>Amendments</u>. Only a writing executed by the parties hereto or their respective successors and assigns may amend this Agreement.
- 6.26. Waiver. The delay or failure of either party at any time to require performance or compliance by the other of any of its obligations or agreements shall in no way be deemed a waiver of those rights to require such performance or compliance. No waiver of any provision of this Agreement shall be effective unless in writing and signed by a duly authorized representative of the party against whom enforcement of a waiver is sought. The waiver of any right or remedy in respect to any occurrence or event shall not be deemed a waiver of any right or remedy in respect to any other occurrence or event, nor shall any waiver constitute a continuing waiver.
- 6.27. <u>Severability</u>. If any provision of this Agreement is determined by a court of competent jurisdiction to be unenforceable in any circumstance, such determination shall not affect the validity or enforceability of the remaining terms and provisions hereof or of the offending provision in any other circumstance. Notwithstanding the foregoing, if the value of this Agreement, based upon the substantial benefit of the bargain for any party, is materially impaired, which determination made by the presiding court or arbitrator of competent jurisdiction shall be binding, then both parties agree to substitute such provision(s) through good faith negotiations.
- 6.28. <u>Counterparts</u>. This Agreement may be executed in one or more counterparts, each of which shall be deemed an original. All counterparts shall be construed together and shall constitute one agreement.
- 6.29. <u>Corporate Authority</u>. The persons executing this Agreement on behalf of the parties hereto warrant that they are duly authorized to execute this Agreement on behalf of said parties and that by doing so the parties hereto are formally bound to the provisions of this Agreement.

[Signatures appear on following page.]

IN WITNESS WHEREOF, the parties hereto have caused this Agreement to be executed by and through their respective authorized officers, as of the date first above written.

David Watson Vice President, West Region Manager	Date: 5/23/2024
Lori Ann Farrell Harrison	Date: <u>6/12/203</u> 4
City Manager ATTEST: Brenda Green 6 12 2024 Brenda Green	
APPROVED AS TO FORM: Lymbril Harl Barlow	Date: 6/5/24
Kimberly Hall Barlow City Attorney APPROVED AS TO INSURANCE:	Date: 5/31/54
Ruth Wang Risk Management	Date:

APPROVED AS TO CONTENT:

Finance Director

for	Hector Soriano Project Manager	Date: 6	5/3/2024	
	DEPARTMENTAL APPROVAL: Raja Sethuraman Public Works Director	Date:6	/3/24	
	APPROVED AS TO PURCHASING:	Date: 5	129/2024	

EXHIBIT A

REQUEST FOR PROPOSALS



REQUEST FOR PROPOSAL

FOR

CONSTRUCTION MANAGEMENT AND SPECIAL INSPECTION SUPPORT SERVICES FOR FIRE STATION NO. 4 – TRAINING TOWER FACILITY (CITY PROJECT NO. 23-04)



PUBLIC WORKS DEPARTMENT
CITY OF COSTA MESA

Released on December 6, 2023

CITY OF COSTA MESA





FROM THE DEPARTMENT OF PUBLIC WORKS ENGINEERING DIVISION

December 6, 2023

SUBJECT: REQUEST FOR PROPOSALS (RFP) TO PROVIDE PROFESSIONAL CONSTRUCTION MANAGEMENT AND SPECIAL INSPECTION SUPPORT SERVICES FOR FIRE STATION NO. 4 - TRAINING TOWER FACILITY (CITY PROJECT NO. 23-04)

Dear Consultant:

The City of Costa Mesa (City) is requesting a proposal from your firm to provide professional construction management and special inspection support services for Fire Station No. 4 – training tower facility (City Project No. 23-04). The schedule is as follows:

	SCHEDULE	TIME	DATE
1.	Mandatory Job Walk*	9:00 a.m.	12/15/23
2.	Inquiries Deadline	5:00 p.m.	12/22/23
3.	Proposal Due Date	5:00 p.m.	01/12/24
4.	Evaluation and Selection Period		01/15/24 - 01/22/24
5.	City Council Award (Professional Services Agreement)		02/20/24
6.	Kick off meeting	T.B.D.	03/04/24

Enclosed is a Request for Proposal (RFP) to provide the City professional services for the subject project. The proposal requirements and the necessary professional services required by the City are stated within the RFP. The consultant shall provide all services as requested in the RFP and stated in the submitted proposal.

CITY OF COSTA MESA CONTACT PERSON

The City of Costa Mesa contact person for this project is Hector Soriano, at (714) 754-5045. <u>All inquiries shall be submitted in writing and via Planet Bids by 5:00 p.m.</u>, on <u>December 22</u>, 2023. Inquiries submitted other than via Planet Bids will not receive a response.

PROPOSAL SUBMITTAL REQUIREMENTS

Proposals shall be submitted electronically via Planet Bids:

https://www.planetbids.com/portal/portal.cfm?CompanyID=45476

No other form of submittal shall be accepted by the City.

FEE PROPOSAL

Fee Proposals shall be submitted in a separate file electronically via Planet Bids:

https://www.planetbids.com/portal/portal.cfm?CompanyID=45476

Your participation is greatly appreciated by the City. It is the intent of this RFP to establish the minimum consultant services required by the City. To assist in your preparation, this RFP was categorized into sections stating the specific requirements of the City. All insurance documents must be submitted and approved prior to the award of contract.

Hector Soriano

Sincerely.

Associate Engineer

^{*}A mandatory job walk is scheduled for Friday, December 15, 2023, at 9:00 a.m. at Fire Station No. 4 existing training tower located at 2300 Placentia Ave, Costa Mesa, CA 92627. Access will be granted through the front entrance off of Placentia Avenue.

1. INTRODUCTION

The City of Costa Mesa (City) is soliciting proposals for selection of a consultant firm for work related to construction management and special inspection support services for Fire Station No. 4 – training tower facility project.

The project will replace the existing training tower facility built in 1966 with a new tower structure and slab on grade pavement located on the site owned by the City at 2300 Placentia Ave, on approximately 1.4-acres of land.

The general scope of work includes site and ground improvements in addition to the installation of a prefabricated tower, a water recirculation system, solar panel mounted on carports among other miscellaneous improvements to the training area. The structure is designed and constructed in accordance with the Orange County Fire Authority (OCFA) and Fire Station Development Standards. All plans are provided in Appendix B.

Additionally, the scope of work will also include professional construction management services; working closely with City project staff; review of the construction documents and constructability analysis; review, coordination and analysis of general contractor and WHP training towers project schedules; construction oversight and coordination; project close-out; special inspections and testing critical to the structural integrity of the project, and post job walks for the project and related site improvements.

The objective of this RFP is for the City to identify and select a consultant firm (with a proven track record by both the firm and the individuals to be assigned to the project) to provide comprehensive construction management and project oversight services. The selected firm and identified staff shall demonstrate strong construction knowledge and background in construction of municipal public works projects; capable of providing leadership to the entire design and construction team and be able to work in close partnership with City staff; and able to oversee/manage/control schedules and costs during all phases of the project construction. Strong organization, documentation and communication skills are also required to be considered for selection.

The City's goal is to have a proposal for the professional services needed to complete this project. If you believe that any items should be added to the scope of work to accomplish this goal, please include a separate description and cost item in your proposal.

2. PROJECT DESCRIPTION

This project includes coordination among two (2) separate contractors: a General Contractor performing the site and grading improvements and WHP Training Towers who is currently prefabricating the tower structure; the Costa Mesa Fire & Rescue staff; Costa Mesa Building Department Inspectors; and various utility companies and nearby residents. The project components are shown in the project plans inside Attachments 1, 2, 3 & 4, including the following general categories:

- 2.1. Existing Tower Demolition: The General Contractor will demolish and dispose of the existing 5-story tower, and will relocate or dispose of the training structures located at the Fire Station No. 4 Training Facility.
- 2.2. <u>Grading improvements:</u> Consisting of a combination of asphalt seal coat to the existing surface, demolition of the existing asphalt pavement and replacement with a reinforced concrete slab on grade, and miscellaneous pavement improvements.
- 2.3. <u>Site improvements:</u> Includes the addition of an attached structure to the existing classroom space, the new structure includes decontamination showers and restrooms for training use (not for public use), with an estimated area of 1,280 SF; a water reclamation system with underground storage and electric pumps, adjusting or relocating all necessary utilities, signage and monuments, and solar panels mounted on carports.
- 2.4. <u>Prefabricated Five-Story Tower Structure:</u> Consists of a fully equipped and operational turn-key prefabricated permanent structure built on a structural concrete reinforced footing and slab on grade.

This improvement will require coordination with the City of Costa Mesa Building Division through the establishment of a specialized inspection schedule and deputy inspections to different components that include but are not limited to: Concrete slab reinforced steel, footing reinforced steel, stem wall steel and anchor bolt locations, installation of anchors epoxied in concrete, verification of concrete mix design, slump, air content & concrete temperature, concrete placement, bottling inspections.

The construction cost estimate for this project is approximately \$3,000,000 and construction duration is estimated in 180 working days. The construction is anticipated to start in the second trimester of 2024. The project should be completed before the end of 2024.

3. CONTENT OF PROPOSAL

To maintain uniformity, your proposal must be limited to <u>a maximum of twenty (20) pages</u> (excluding front and back covers, section dividers, resumes, and photographs) and must include the following:

- 3.1. A statement of project understanding containing any suggestions for successful completion of the project or additional concerns that the City should be made aware of, and a project approach containing any scope of work tasks you feel are necessary for the successful completion of the project.
- 3.2. A project team organization chart identifying those who will perform work, identifying the Deputy Inspectors and accredited personnel that will perform any specialized inspection, and a brief resume of each team member, qualifications, and state accreditations, including similar type projects in which they have been directly involved. Identify the Project Manager and the Project Engineer proposed for this project. The Project Manager will be the primary contact person to represent your firm and to conduct the presentation, if invited for an interview. Sub-consultants, if any, shall be identified in the proposal with the same requirements as for the main consultant.
- 3.3. A list of similar projects that your firm has completed within the last five years. Information of the completed projects should include project name and description, agency or client name along with the person to contact and telephone number, year completed, engineering fee, and project construction cost.
- 3.4. A proposed schedule indicating stages of work, time frames, and ability to perform the required services in a timely manner taking into consideration the required meetings noted below and any shipping and prefabrication lead times for the construction of the project.
- 3.5. A fee proposal provided in a separate electronic file.

4. CONSULTANT SELECTION COMMITTEE

The Public Works Department has established a Consultant Selection Committee consisting of members from this department who have acted in the capacity of a Project Manager or Project Engineer for the City on previous similar projects. The evaluation of each proposal will be based on the technical information and qualifications presented in the proposal, reference checks, and other information, which will be gathered independently.

5. FEE PROPOSAL

- 5.1. A separate electronic file containing the fee schedule for the project shall be submitted labeled "Fee Proposal" with your company's name and the project title.
- 5.2. A cover letter stating the not-to-exceed total fee.
- 5.3. The fee schedule shall depict individual project tasks, work hours, and basic hourly rates for specific personnel to be used. Personnel hourly rates will reflect all costs for office overhead, including direct and indirect costs. The fee proposal shall reflect all anticipated fee increases during the contract duration. Travel time and mileage will not be allowed. A pre-award audit may be required to confirm and establish a final fee schedule.
- 5.4. The consultant's cost proposal for the prime and subcontractors / subconsultants should contain a breakdown of all cost components including labor base rate, other direct costs, overhead, and fees. It is requested that the fee includes all meetings, reproduction, materials, mailings, and associated project expenses.
- 5.5. Include a \$25,000 allowance for additional tasks requested by the City.

6. ESTABLISHMENT OF FEES

The fee proposal will not be opened until the Consultant Selection Committee has evaluated the consultants' submitted proposals. In conformance with the Mini-Brooks Act, the City will select the Consultant based on qualifications, and then negotiate a contract price based on available funding and a further breakdown of the "not-to-exceed" fee submitted in the fee proposal.

7. PROFESSIONAL SERVICES AGREEMENT

The RFPs and the consultant's proposal will be attached to and become part of the executed professional services agreement as exhibits. A sample of the Professional Services Agreement (PSA), is provided in Attachment 5.

The City will not permit reduction in the City's "Scope of Consultant Services" without written approval.

8. INSURANCE REQUIREMENTS

General Liability: \$1,000,000
Automobile Liability: \$1,000,000
Workers Compensation and Employers' Liability: \$1,000,000
Professional Liability: \$1,000,000

Additional and primary Insurance endorsements shall include the City of Costa Mesa.

9. SCOPE OF CONSULTANT SERVICES

Project Description: This scope of services is to provide the construction management, special inspection and testing services, for the Fire Station No. 4 – Training Tower Facility Project within construction phase per the project plans in Attachments 2 and 3.

The following are the typical services and deliverables anticipated for this project.

9.1. SPECIALIZED INSPECTION SERVICES

- A. Inspector's Monitoring of the Special Inspection and Materials Testing Program: The Construction Management Services are responsible for monitoring the work of any Special Inspectors and materials testing laboratories to ensure that all inspections and testing required for the project, are satisfactorily completed in accordance with the approved plans and project specifications as well as the Costa Mesa Building Division requirements and applicable codes. The Construction Manager must coordinate all required tests with the laboratory or testing services and the construction contractors and make the necessary arrangements for the materials testing lab and Special Inspectors to perform the required material sampling or special inspections. The Construction Management staff is also responsible to observe any Special Inspector's on-site presence, performance of duties, and the Special Inspector's documentation of complying and non-complying work, and keep the City's Project Manager updated with the most current status of the project.
- B. Records of Inspections: The Project Inspector must maintain detailed records of all inspection requests and communications. The inspector's records must provide a comprehensive and timely documentation of the inspected work, promptly identifying all compliant and non-compliant construction. These records must be readily accessible and maintained in an organized manner and must be available to City staff upon request.
- C. <u>Material Testing</u>: Tests of materials are required as set forth in the applicable regulations, plans and specifications of this project, the Construction Management shall coordinate the schedule between the Construction Contractor, the Special Inspector and the Testing Laboratory in order to meet and expedite the project schedule. Laboratory tests will be required to different components of the project when applicable by the codes, regulations, plans and specifications of this project as described in number 3, scope of this project and Attachment 2 and 3.

D. <u>Deputy Inspector</u>: A designated project Special Inspector responsible for ensuring that all code-prescribed inspections and requirements defined in a scope of work specified by the Architect, Manufacturer and/or required by applicable code. The Project Inspector(s) will comply with the qualification and performance requirements outlined in California Building Code (CBC); and all inspections must be completed in timely manner in a continuous and/or periodic basis and in consultation with the Architect, the Project manager, and the Construction Manager charged with the administration of the construction of the project. Prompt notification shall be made to the Construction Manager of the project for any deviation of the requirements, so that the deviation can be immediately addressed or corrected. If the deviation is not immediately corrected, the City requires the Project Inspector notify the Project Manager.

9.2. PRE-CONSTRUCTION SERVICES

- A. <u>Review</u>: Perform a thorough review of the construction documents and conduct a thorough constructability analysis.
- B. <u>Procedure</u>: Prepare the Construction Management Procedures Manual and provide an overview presentation to the project team for final review/acceptance.
- C. Records: Establish project filing and other record keeping systems.
- D. Pre-Construction Meeting:
 - Schedule, notify appropriate parties, and conduct an initial pre-construction meeting with the Contractor, utilities, other City's divisions and departments and potentially adjacent community and neighbors.
 - Prepare and distribute pre-construction minutes to attendees and other parties. The pre-construction meeting shall cover, as a minimum, the overall project objectives, responsibilities of key personnel and agencies, schedules, schedule of values (bid breakdown), procedures for handling submittals, correspondence, utility relocations, local agency permit requirements, requests for clarification, progress payments, change orders, safety issues, emergency response requirements, and other pertinent topics.
 - Allow opportunities to have the Contractor's questions answered and will collect from the Contractor the submittal items required to be submitted at the pre-construction meeting.
- E. <u>Project Baseline Schedule</u>: Conduct project schedule workshop for the Contractor's development of the baseline schedule adhering to the contract schedule specifications. Ensure the timely preparation, analysis and review with the City for acceptance prior to the first payment.

9.3. CORRESPONDENCE, REPORTS, AND OTHER FORMS OF COMMUNICATION

- A. <u>Document Standards</u>: Prepare project correspondence and other forms of communication in accordance with industry standard document control and management procedures.
- B. <u>Document/Tracking Control</u>: Manage the receipt, logging, control, tracking, and timely processing of project documents, including correspondence and other forms of communication, technical documents, shop drawings, calculations, data, submittals, manuals, and samples received as part of the construction process, non-compliance, work to be completed, and other tracking logs as requested.
- Records: Maintain records of inspections, reports, and test results received from the Contractor, Design Engineer, manufacturers, and others.

9.4. SITE CONDITIONS AND PROGRESS VISUAL DOCUMENTATION

A. Pre-Construction Video and Photos:

- Coordinate and review the Contractor's video and photos of pre-construction site conditions and utilities prior to beginning any construction operation.
- Confirm existing conditions within the limits of the work in adjacent areas and along access and haul roads. The Contractor's documentation shall clearly depict the preexisting conditions of public and private improvements, including, but not limited to, street, drainage, utilities, landscaping, and irrigation improvements.
- Gompare Gontractor's pre-construction site surveys to the site surveys performed under this scope of work. Note any discrepancies and resolve issues.
- Describe in memorandum, submitted prior to the beginning of any construction operation, pre-existing damage identified within the limits of work and along access and haul roads.
- Meet with owners of pre-existing damage to document and confirm existing conditions.
 Document any damage to public and private improvements incurred during
 construction operations and meet with owners immediately following discovery of
 damage to resolve repair requirements and responsibilities. As part of this task, it is
 required to document all the existing utilities for any needed utility adjustment/relocation
 coordination and planning.

B. Progress and Other Photos:

- Maintain a digital photographic library of significant critical construction scheduled activities.
- Include grading, relocatedladded utilities, foundations and building structures.
- Take additional photographs to document differing site conditions, change orders and claim items, and any special or unique conditions as they arise.
- Incorporate photographs taken by others into the overall photo documentation record of the project.

9.5. MEETINGS

A. Weekly and Monthly Construction Meetings:

- Schedule and conduct construction project meetings with the Contractor and the City.
- Provide meeting agendas and discuss the schedule, near-term activities, clarifications and problems which need resolution, coordination with other Contractors, status of change orders, submittals and RFIs, safety issues, OSHA visits and citations, and other topics.
- Identify action items and assign responsibility for the action and date action is to be completed.
- Prepare minutes of the meetings and include identified action items.
- Review the meeting minutes with the Contractor and obtain the Contractor's concurrence with the content.
- Distribute the minutes to the attendees within five (5) calendar days of the meeting.
- B. Other Meetings: Attend other construction-related meetings as requested by the City.

9.6. SHOP DRAWING AND SUBMITTAL REVIEWS

A. Submittal Reviews:

 Review each submittal received from the Contractor for conformance with the requirements of the drawings and specifications.

Check each submittal against the Contractor's schedule for potential resubmittals that may

cause schedule impacts.

- Coordinate required reviews of submittals with the Design Engineer and the City.
 Submittals of a general nature are to be reviewed and processed by the selected CM consultant.
- Distribute submittals to appropriate reviewers with dated transmittal letters.

B. Submittal Log and Status of Submittals:

- Log, track, and monitor shop drawings, calculations, data samples, submittals, and manuals from the Contractor.
- Update the submittal log as items are received and responses given.
- Prepare weekly exception reports identifying outstanding submittals and reviews.
- Review with the Contractor the status of submittals at the weekly construction meeting using the submittal log and the master submittal list.

9.7. PLAN AND SPECIFICATION INTERPRETATION AND CONTROL

A. Requests for Information (RFI):

- · Coordinate the RFI log.
- Review and respond to Contractor RFI and make every effort to review and provide appropriate response to RFI prior to involving the Design Engineer.
- Distribute RFI to appropriate staff and coordinate timely response.
- Review answers and prepare formal response to Contractor within five (5) calendar days
 of receipt of response, or as needed to meet schedule requirements.
- Respond in writing to Contractor questions from a reasonable review of the drawings and specifications for clarification items.
- Record changes in the record specifications and plans.

B. Requests for Changes in Design:

- Review and respond to requests for design revisions by the Contractor.
- Responses to requests for design revisions require prior written approval from the City and/or Design Engineer.
- Revisions in design may take the form of value engineering (VE) and shall require extensive research, evaluation, and recommendation from the Design Engineer.
- Provide written recommendations, as required.

C. Field Orders:

- Initiate and review field orders and schedule requirements when a change in the work is needed to maintain the design intent.
- Issue the field order to the Contractor and monitor the work for compliance.
- Track the issued field orders in a log.
- Record the changes in the record specifications and plans. If required, follow-up with a change order within fourteen (14) calendar days of mutual agreement with Contractor on pricing and conditions.

D. Substitution Requests:

• Coordinate evaluation of "or-equal" or product substitution requests with the Design Engineer, the City, vendors, manufacturers, and others.

 Prepare evaluations and recommendations for "approved equal" or product substitution requests.

E. Record Drawings and Specifications:

- Update continually the plans and specifications as the work progresses, including utilities record drawings.
- Incorporate modifications and changes from all sources, such as submittals, RFI, VE, field orders, extra work, and change orders.
- Compare the record drawings and specifications with the Contractor record drawings and specifications monthly.

9.8. CONSTRUCTION MANAGEMENT ADMINISTRATION AND SPECIAL STAFFING

A. Management:

- Oversee, perform, and coordinate construction management services including a process for on-going risk analysis as required to verify and assure the timely completion of the work.
- Prepare reports, letters, and memoranda.
- Conduct meetings; monitor and track the expiration of insurance requirements and obtain updated certificates from the Contractor (City to process through its Risk Management).
- Coordinate with field users, school district and utility agencies.
- Coordinate subconsultants, testing, and specialty services.
- Review daily inspection notes and identify and resolve nonconforming items.
- Notify the City of significant problems and discrepancies.
- · Interpret drawings, specifications, and reference standards.
- Monitor construction activities and schedules.
- Resolve constructability problems.
- Coordinate connections and operations.
- Prepare change orders.
- Review and notify the Contractor of test results.
- Investigate claims.
- Perform inspections.
- Review the Contractor's project record drawings periodically and concurrently with Contractor progress payments.
- Prepare project punch lists; and all other duties related to construction management as requested by the City.

B. Resolution of Day-to-Day Construction Issues:

- Lead resolution of day-to-day construction issues raised.
- Coordinate with the City, Design Engineer, and Contractor on technical issues and concerns, as well as interpretation of the design documents.
- Interface with the Design Engineer for resolution of technical issues, processing of change order requests or design changes to suit actual conditions encountered in the field.

9.9. PROJECT SCHEDULE UPDATES AND PROGRESS PAYMENT APPLICATIONS

A. <u>Project Schedule:</u> The schedule is a critical factor on this specific project; therefore, the Construction Manager must take the lead in managing the overall timeframe of the project, prioritizing milestones and tracking the project activities to make sure that the project is on schedule. If a change of scope emerges during the project activities, the construction manager must propose changes in the activities' timeline of the original project schedule and propose agreements with the parties involved in order to meet the project original schedule.

B. Monthly Review:

- Conduct monthly schedule and progress payment meetings with the Contractor and coordinate and update the record drawings at this meeting. The construction progress meetings and payments shall be based on an agreement between the Construction Manager and the Contractor of the physically installed bid item quantities. The result of these meetings shall be the update of the construction schedule and the progress payment estimate.
- Coordinate the review of the Contractor's monthly progress payment request with City staff and prepare a recommendation stating the proper amount of payment, and use the Schedule of Values and actual quantities installed as a basis for the recommendation.
- C. <u>Progress Reports.</u> Prepare detailed monthly progress reports to the satisfaction of the City.

9.10. CHANGE CONTROL MANAGEMENT

- A. <u>Identify and Track Changes</u>: Identify and track potential changes to the work and schedule. Prepare, log, and monitor Contractor or City initiated changes to the work, extra work, and change orders.
- B. Request for Quote (RFQ): Request cost proposals from the Contractor for extra work and negotiate final cost.
- C. <u>Justification of Extra Work or Change</u>: Prepare written justification and cost estimates for each extra work or change item. Justification shall include a statement of the extra work or change, background leading to issue, and resolution alternatives/recommendations for action by the City.
- D. <u>Prepare Change Orders</u>: Prepare and submit change orders in the City's format to the City for written approval within seven (7) calendar days of the finalization of negotiations.

9.11. CLAIMS MANAGEMENT

A. Identify and Track Claims:

- Identify, prepare, log, and monitor Contractor potential claims.
- Report verbal and written claims immediately to the City.
- Coordinate claims among the City's Project Manager and Risk Manager.
- B. Resolution Alternative: Prepare written explanation of each claim with full background of issues, proposed resolution alternatives, and resolution recommendation for action.
- C. <u>Negotiate and Resolve Claims</u>: Assist and support the City in resolving claims minimizing the impacts and disputes, including written responses to the Contractor and private parties; giving depositions; assisting with dispute resolution, arbitration and litigation; serving as an expert witness; investigating claims for damages by private sources, design services for replacement of damaged work, and services made necessary by Contractor default; and negotiate claims to an agreed conclusion.
- D. Private Party Claims: Investigate claims for damages by private parties and respond in writing

within two (2) calendar days of receipt of the claim, and coordinate the written response with the City's Project Manager and Risk Manager.

9.12. STARTUP, CLOSEOUT, AND ACCEPTANCE SERVICES

A. Punch List:

- Prepare detailed project punch lists at substantial completion of the project.
- Upon correction of deficiencies, schedule, coordinate, and conduct a final walk-through prior to the acceptance of work with the City and other parties.
- Provide certification of Contractor's compliance on work items specifically requested by the City.
- Verify that work, testing, cleanup, and Contractor demobilization are complete.
- B. <u>Final Walk-Through</u>: Schedule, coordinate, and conduct a final walk-through and project review prior to the acceptance of work with the City.
- C. <u>Recommend Acceptance</u>: Recommend acceptance of the work in writing in preparation for issuance of the Certificate of Substantial Completion and/or Notice of Completion.

9.13. POST CONSTRUCTION

- A. <u>Operations and Maintenance Materials</u>: Deliver the Operations and Maintenance Manuals and any spare parts and equipment upon project acceptance by the City.
- B. <u>Record Drawings Certification</u>: Review and certify that the Contractor's project record drawings are complete and accurate and provide the drawings to the Design Engineer.

C. Final Payment:

- Recommend final payment in the form of release of retention to the Contractor in accordance with contract requirements.
- Verify that the Contractor has made all payments to the subcontractors and vendors and that any stop notices or liens have been released.
- Obtain a Conditional Waiver of Lien from the Contractor prior to recommending final payment.
- D. As-builts: Provide Contractor's red-lines to the City for "as-built" drawings.
- E. <u>Closing Out Contract</u>: Take the lead in negotiating and closing out the construction contract. Prepare the memorandum to the City recommending acceptance of the project and the Notice of Completion.
- F. <u>Final Project Records and Documents</u>: These records must be turned over to the City upon completion of the project.

9.14. <u>EXTENDED SERVICES (BY SEPARATE FEE REQUEST)</u>

A. <u>Other Services</u>: If there are other services that are directly related to project management administrative support services that are not specifically listed above, please indicate these services in your proposal.

10. EXAMINATION OF SITE PRIOR TO SUBMITTING PROPOSAL

Each consultant must fully know all project conditions and the effort required to successfully complete the project. Failure to do so will not relieve the selected consultant of the obligations to carry out the contract and complete the project.

11. RIGHT TO REJECT ALL PROPOSALS

- The City of Costa Mesa reserves the right to reject any or all proposals submitted, and no representation is made hereby that any contract will be awarded pursuant to this RFP or otherwise.
- B. The City also reserves the right to award a portion of work or combination, thereof.
- C. All costs incurred in the preparation of the proposal, the submission of additional information and/or any aspect of a proposal prior to award of a written contract will be borne by the consultant. The City will provide only the staff assistance and documentation specifically referred to herein and will not be responsible for any other cost or obligation of any kind that may be incurred by the consultant. All proposals submitted to the City of Costa Mesa become the property of the City.

12. SUMMARY

The City appreciates your firm's participation, and the intent of this RFP is to establish the minimum consultant services required. If you feel that any items should be added to the scope of work, please include a separate description and cost item in your proposal. Prior to awarding a contract, all insurance documents must be submitted and approved.

- Attachments: 1. Project Location Map
 - 2. Site Development Plans
 - 3. Prefabricated Tower Structure & Footing Plans
 - 4. Existing Facilities "As-Builts"
 - 5. City Standard Professional Services Agreement
 - 6. Certificate of Insurance Forms

ATTACHMENT 1

(Project Location Map)



CITY OF COSTA MESA Public Works/Engineering



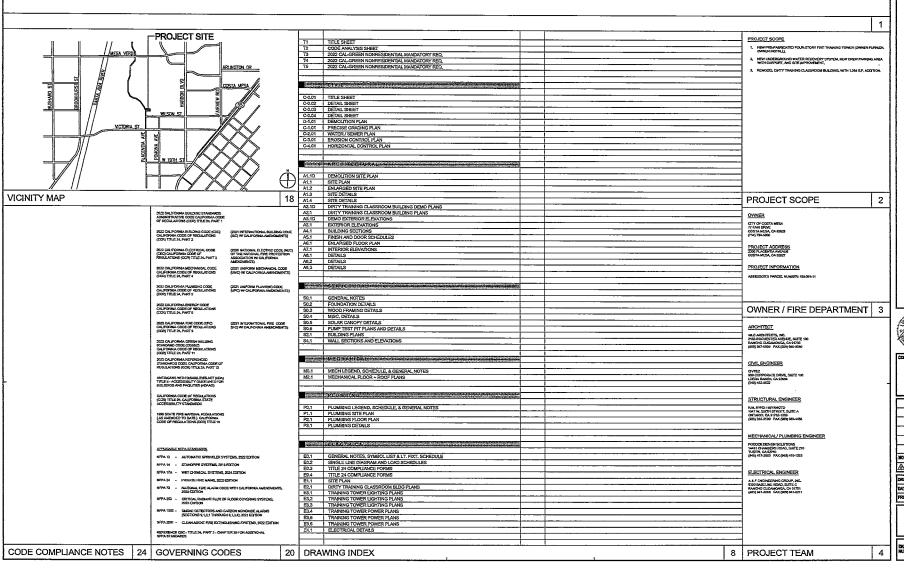
PROJECT LOCATION MAP

FIRE STATION NO. 4 - TRAINING TOWER FACILITY CITY PROJECT NO. 23-04

ATTACHMENT 2 (Site Development Plans)

Costa Mesa Fire Training Center

2300 Placentia Avenue City of Costa Mesa, California



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COSTA MESA FIRE TRAINING CENTER

CITY OF COSTA MESA 2300 PLACENTIA AVENUE COSTA MESA, CA 92627

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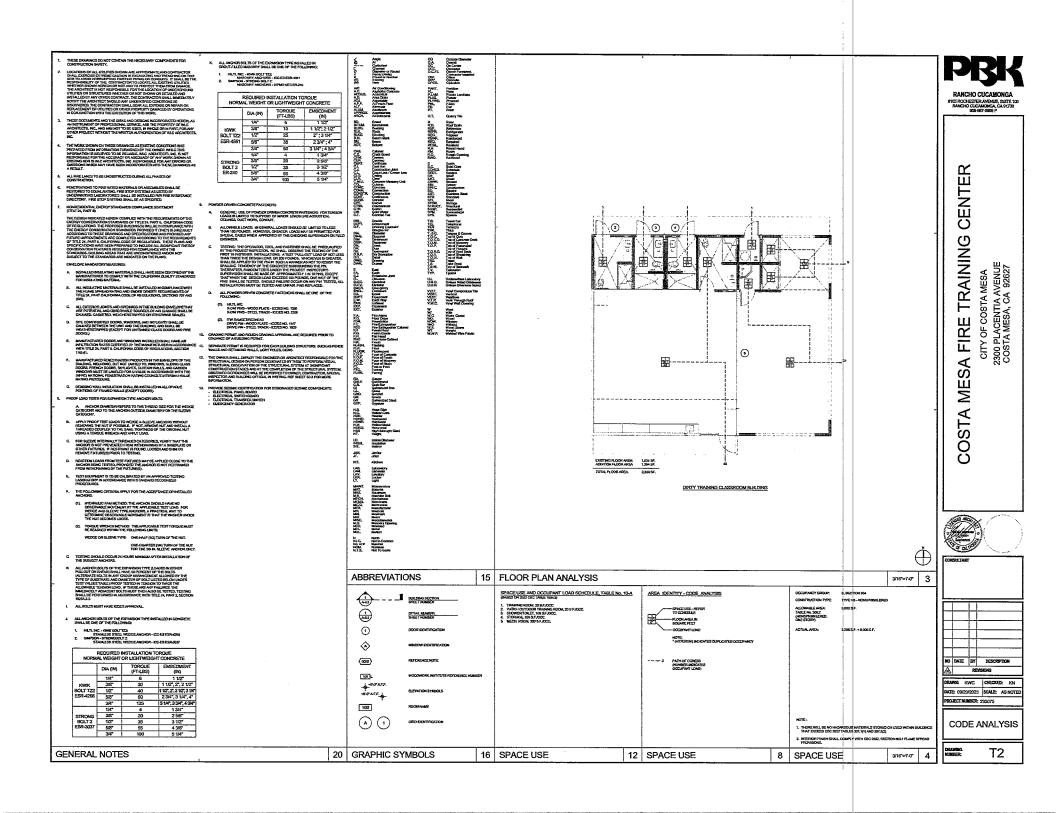
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2022 CALIFORNIA GREEN BUILDING STANDARDS CODE NONRESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2023)

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COSTA MESA FIRE TRAINING CENTER CITY OF COSTA MESA 2300 PLACENTA AVENUE COSTA MESA, CA 92627

September 2

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DRAWN: CHECKED:
DATE: 09/29/2023 SCALE: NONE
PROJECT NUMBER: 230075

2022 CAL-GREEN NON-RESIDENTIAL MANDATORY REQ.

RAMING UMBER:

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L		SECTION 5303 INDOOR WATER USE				50	APPE 2 CONNECTION OF THE PROPERTY OF THE PROPE		5 410,44 Reporting, After completion of history, rejuding and believeing, provide a Snell report of basing signed by the historyal maspeciates for performing these services.
49		SJECT METERS. Experte surmilles or milliong divides shut be transporter the time described in Sections 5014.1 act 513.12.	H	į.		TT	and over, building communicating shell be included to the deeps and communication problems. Of the building project is needy that the building systems and compressor must the cover's or leavest agreement in project equiversities.		signed by the inches we responsible for performing these services.
1 5	- 1	1302.7.9 Buildings in secrets of SEASS equivarient. Expense subvaries small behindred applicant.	1	SECTION \$402 DEFIN	mors .	11	Communicating shall be performed in accommands with this section by trained pursonnal with experience on projects of compositors after shall confedence. For independence that are not required for CGP-PD or for incomposition and	111	5.410.45 Operation and instruments (0.8.16) restruct. Proving the building queue or representative with detailed appearing and transformation instructions and conjunction for proving the much system. Q.S.M.
1 5	- 1			SAIZE DEFINITIONS, The bas	nang kerna any definint in Chipine 2. (part are probability by Albertock)	11	Licrosporate that also not regulated y the Collection Emergy Code Section (SE & Society, all regulatements in Sections 5.616.2 prompts \$.414.28 shall apply.		detailed operating and publishes on instructions and product of guaranteed statements for each system, O.S. M. instructions while the connections with OSHA requirements on CCR, Tyle 8. Section SAZ, and other jointed.
1	- 1	 Porsinch indicitud kassed, rentall for other herust ignormable the booking popular for consistent experience (NO parking (NO (1044)) including not not deligate to, species used inheritaring for discipation, segment or four enterior, regulated or deside little, thorough, or bessely asked or or backer high. 		Alianist, In opposing that there	tale and an independent for included administrate strain as include (the economics, prints)	11			mpulsons.
1 1	- 1	Millians microphic schemelung für instruction bindering mehantu one er neuentralist, für seinere profess to profitiere instruction of an automorphism to profitiere instruction.		Del corre Tomason Corr	Matthis that abulification implicate, fruit inting that a funion, between yord formittage.		Note: For example-visited systemic under the source (Seption 1987) of the Colombia Spirity Choice, Inchesing Ingelling, anticlation, all cumilitiesing (FEMC) systems was continue, reduced by the property and contribut, as each as users from any processing or comment, where to Continue (Serving) Continue Spirity (Seption 2010) or inchesionating processing-		SANAST Inspections and reports include a copy of all inscitation verifications and reports required by the entering agreety.
1 5	- 1	Editoria was for coming a west intentified to be \$100 per \$10 per \$100 per		Sociable Klumbis distante		11	Companions recomments and include	11	
1		Making India Street, contraction from a grader flow of grant 3 De Ling Street and that water, believe with entropy input more transport 500 (00) Steph (147 May)		BUILDING COMMISSIONING.	in systematic spooling processors process that speed the entire design and construction abcomments that building systems and consponents are planted, designed, included, as speed the eventure project cognitionants.	11			DIVISION 5.5 ENVIRONMENTAL QUALITY
1 3	- 1			process, including reciying and a feeting operation and members	documenting that building syntams and operationers are planted, designed, installed, for some the overer's project requirements.		Charts of Christopheuropean project inquirements. Recincil design.	111	SECTION 5.501 GENERAL
1		5303.1.2 Electric construction. A superplu bibliotic to making device and be provided for engineers. With a zone building or will from existion that is projected to construct their (1.03) guilding.		ORGANIC WANTE FROMING	e, grisen-estes, landscalpé iznit pickeny vedes, northazurospir woodweste, ond frost in alla tind weste.	11	Commissioning processing shown in process asian concensus. Commissioning class.		\$5.56 L.T.S.COPPE. The provisioner of this triangue shield outlines resource of enducing the granting of air compagnisms that sale copputs, initiating, and for her half to the context and webbeing of a building's initiation, occupants and resignions.
L						11	Charact or Characteristrativis project organization. Balanci dear pt. Characteristrativis project organization denomina. Characteristrativis plane. Foreigned selectoristrativis (Marie Characteristrativis). Foreigned selectoristrativis (Marie Characteristrativis). Characteristrativis normalistrativis.		SECTION 6.502 DEFINITIONS
P		S JOSE WATER CONSERVING PLURIBURG POTURES AND PITTURES. Proming features (wear cicules and priest) and fillings (laugh), and plures have such a comply with the leadwing.		TEST. Aprendure to determine	-diministra inglamming a signer of with the ex	11	7. Conventioning resets	3 1	
a	-	CML14 Plan Clares. The effective Cale spice of all patter charges had not exceed \$18 pillowaper		SECTION 5.407 WATE	R RESISTANCE AND MOISTURE MANAGEMENT	11	Exceptions:		ARTERIAL HIGHWAY, A general larm delected in sciences provintly for involgis traffic teams on a conscious science.
П	╗	CDCLC1 Phase Classes. The effective think updating CDI without classes what no spaced 1,28 picking per Care. Teach-frie water classes what has circles to the performance when up the U.S. EPA Vising terms Specification for Turk-Type within.		California Salating Code Section	Die Provide is princhte-proving until authorie mit den beschicht verschien geschied by MAZZ (Windfred Protestion), deutschieden beschieden untraktion in beschieden.	. 1 1	Characterised (exercises of any size. Areas from 10 CD square had used for others or other conditioned accessory spaces within		A-WEXCHTED SOUND LEWEL (4854). The sound pressure level in discloses as monitorides; a sound level master searging stampatorally stampard A-mergiting filter or on computed their search exercise that as which is receipting
11	- 1	Moder, The offering fruit returned that familiates is defeated as the composition, everage liters retirate of the public of thicker and give full field.	-		- Corpling michelem colorinal monascume by the Robinsking micheles.			111	ACCURATION TALLS DAVIN PRINCIP
11	- 1	ten proceed teacher and are tall their.			sign you represe briggings soundaine by the screens some an executive.		Traver in processors into the NEDED require hed as diseased in Section FELT-C. Copes partially groupes of any side, or open partially groups began, of any size within a bindrium.		1 STEMOUR, finish theoretise's professe, accombined to existe. The sentent of heart requires to these one pound of water and degree Televisions professor, a concern measure of their bander rote. A concern het operation is 12,000 pounds of the cast of the foundation of the 12,000 pounds of the cast of the foundation of the cast of the
1	_	1.301.1.2 Oxfords. 1.301.1.2 i Walf-connected Orientic, The effective Each interest of and invarious proper solution recently	Ш			l i	Note: Forther, proposit of this weeks, we make the reads a switcher, area, or some which is and not provide basing and or or machiners.		Discovering colours in process per com, a contract measure of new spices real, a contract registration is 12200 too.
17		 TELLES Well-removable University. The effective Such interest of and invaring injuries plant on excepts 0.125 galaxies per Ruel. 		GM7.2.2 Errore and op	entings. Dissign symptor eityries andfür régunings innijent im find turtle ler vern-disser nion inti balattagt pa folken:	.		111	COMMENTY NOISE EQUIVALENT LEVEL (CHEC). A movie similar to the reposition arrange sound level (Lark.
11	- 1	\$203.322 (food-mounted brimate. The officials hash volumed between his or other usuals trust not exceed \$5 pattern per form.		\$407.221 6004	or documentation. Primary articlar entitles stad becommend to passent trade	11	Arthresident Mater		COMMENTY WORSE EXCENTABLEFT EXPORT. A most window to the expectable average assent level (tank, assent) that of decidal adjustment is subside to be expected consistent assent despoture level for evening focus (from a 1000pt) and adjustment assent assent assent assent the evening focus (from a 1000pt) and adjustment assent as a consistency as a consistency assent as a consistency assent as a consistency as a c
13		SNICES Society and ERST-CRI	Ш	and and the second	or decompressociales. Primasy antiedomentidas attait tercomened tai gazanti inclue absociationem flori nen essi filmines netten jai lupel 2 kiert littelet end perprimangest to aj kandi nen di the pintangest		 PCARCHTER are introduction complete representations descriptioning and presentations of descriptioning promption. ACM Play represents in the Action of the Complete in the Complete in the Complete in the qualifications of communicating promoves. AC 478 days in a carify individuals to constant hardinal professional value of the Special and Section application. 		COMPOSITE WOOD PRODUCTS. COmposite vasification include hardwood structure, portractioners and products
45		\$300.00 Stockersholds, Editi-Cris. 0.205.0.17. Single advisorational. Convertinally shall have a maximum flow jakest sect more than 1.25 genom per minus of 67 per. Stockersholds to be careful to the parties perce years of one 67.5. GPA.		1 400000	inf washing of hand it Thought, - A profession flag a multi-semanty of memi 4 heatin degra. To make multi-stand of how.	11	qualitations of communicating parameter. AG 418 day has carries and electrical to constant heatiesal	111	COMPORTE WOOD PRODUCTS. Coassisse under president with provident hardward (in reconstruction) and representation of the reconstructions. It was not become the reconstruction of
1 1	ì	genom per minuse of RC psi. S'reasyments short be carried to the purious secure or took of the R.S. SPA Weller Serve Specification for Champingham.	Ш	2 Terrora	A protected by a mid-among of sensi 4 feetin degre.			111	Regis-justiced further, at an apartities in Galdonie Code of Regulations (CCR), Title 17, Sussen 93/20, (a).
1	- 1			S. Onerte	States and a single constraint busings. In constant or sort 4 said.	11	 Kuradonal performance livering for nearby, incettation, oil contributing ejetoms and lighting controls must be performed jor compliance risks the California Diverge Code. 		Note: See CEP, ThirtY. Seinfor STYZE.E.
1	- 1	\$2000000 Contribute showed maintain winning comprisence. Where is alreaded to instead by interesting an ex- ercicularities, the contributed that speed all sets to provide actions about a store or showed and taken maintained and exercical displacement provides all 20 per, or this placement study to descript and about to by the about of cold to be in operation and all the cold to be placed only the description of which is transferred descripted by the provides are placed. Make it is noted first descripted below the comprision of a shower study.			ng, trent turning integral with a drawing plane.	11			CATABORY AVERAGE SCORD LEVEL (L.d.). The A-washind explained continuous search exposure form for a 24-line period with a 10-pix adjustment accord to round investigating agreement according to 7 a m.).
	- 1	term confluence could be be purchasing and have	111			[]	N.416.2.3. Overlan's on Demon Representation's Project Respirituation (IRPS), (Fig. 7th septembers) and representation of the business photogeness the property and a Accumulation of Accumulation of Accumulation of Accumulation (IRPS). The disconvenient shall enture the Accumulation of Accumulation of Accumulation (IRPS) and Accumulation (IRPS). The disconvenient of Accumulation (IRPS) and Accumulation (IRPS).	111	24 ting price with 10 pt adjustment acced to round while containing surring adjustment fourt (10), in \$7 a.m.).
11	- 1	महाकार, ता स्थापन एक्टि प्रोचनकर प्रोपाली केत रेक्ट्राइटकराई के और स्थापन हैं हार्यों.		SECTION 5.408 CONS	TRUCTION WASTE REDUCTION, DISPOSAL AND	11	promit heaves. The documentation shall entitle the bittering:		DECRESC (dis), a reconservora logarithmic spair of the magneties of a particular quantity (teats are sound pressure, count power, sound intensity) with respect to a reference quantity.
H		0.0013.d Females and Investigate	111	RECYCLING		11	theorement and numerically gener. Bushing transmosting gener. Industry transmosting specific angularments.		
T	_		88	SANTA CONSTRUCTION WAS	TE BANGGERETHE. Pocyclic methol methol provide recept in inhibitation of OSTS of the compliant would be accordance with Section C.408.1.1, C.406.1.2 or 5,408.1.3) or recipies methol primary orient actionspiral, which recept to those sciences.	11	Innear invitormental quality requirements. Project program, including bookly functions and fecula efficient feather feeting and the second feeting for the requirement of the second feeting for the requirement of the second feeting feeting feeting for the requirement of the second feeting feet		EBECTRO-VENCLE (CP). An informative dynamic indicate more used an appearance authorized by bours, UNLS, 1964. Replaced on the property of the
	- 1	\$.000.04.7 Storonalizardial Europhy Invasta. Larginry buspite shad have a making on Tour quisit of that store. Item 0.5 palices per remain of 60 pai.		west of formi construction and do	entition ments rearranged at a facultical wind remarks from several and a second	11			Purple places where a recommend according contact, that the processes array, to other equate of electric current, Purple places where electric process, are consistent mention whereour for purplets of the Constant Electrical Const.
1 5	- 1	\$1873.47 Anothers Indones, indicine histories into these presentations to represent them 1.0' getting for the country of the process of the country of the c		S.4961.1 Combraction v	menter insenseperment plant. Witherin in lecht phisolotion dustriech bezern auchdeuten neut misse bestehnigen, aufmit in gemannschien ausste mannigarpasit plant mat		Equatorizational systems importations Ecology occupants and operation and maintenance (CSAA) paraceted expectations,		En-read, nen-proposero mentric vehicles, sech up intentivisi buchs, isonib, illis, invesports, politicoris, sed en pround Export non-prince, tracerre, buchs, into the may are not recepted
	- 1	getting per installe of 60 per following facilities, may hange their jet jettings they better person than president plants. In the following the common manager of 60 and their states better the president from the of 6 is sufficient.	Ш				SANDATE Break of Design (BODE) (E. A webser exploration of host the cession of the building systems means	111	BLECTISE VISINCES CHARGING STATIONES (BVCS). One or more spaces interests for charging a little, whiches
11	- 1	Dec subsect of Git but		C. Marathes tractor	restriction, and districtions were created to the internet from this post of places. by region for the ground or early up to the tree uses of safe, materially and characters were restored to the characters for the comments.	11	SATELEZ Books of Division (BROS) DE A vertices explanations of hole the design of the habiting systems in mass the DPS what has consisted at the design of habit of the building project. The Division Division Granters what court the bilinating explanat.		DECEMBER OF STREET PROPERTY STREET, No. of Street, Str
	- 1	\$13003.4.3. Which therefoles, Which tourselve shall have a missional powers of his three treet in galaxie percental 25 (newspace-Grottes) at \$6 per.	Н	2. Detection des	presentation print committee venture multipropie sell be extract consiste (strattle-conjuments) for		Deparatible sharply systems. Laidraupt improve systems. What Years space.	111	SURCTION VEHICLE SUPPLY EQUIPMENT (SYSE). The description, including line region dust, opening, and making providing and providing and the states vehicle connection, shortwark plays, and all other states, descriptions are districted policy and all other states, descriptions are descripted to the states of the
	- 1			3. Mentiderchers	ple strennis). In the first continue consistent soul of the continue continue continue continue continue consistent soul continue consistent soul continue consistent soul continue consistent continue c		3. Labitacyci impelicus systems. 3. West inter-propert.		and the electric selecter power or every as you consider programs of the property of anticipation of selection and property and broaders are also because of the property of
11	- 1	5.38(3.84) Melanting Gaussian, Melaning Gaussianskall and Galbert more from 0.27 galbers per cycle.	11	Dyweight o vo	Mark and any other		\$410.20 Commissioning plan, OC Prior to participance a commissioning plan statifies comments		EMERGY EXCRAFACE (MODESTLEVEL (Cost). The level of a strong materiality would be not be surrelized by
	1	5.741.3.4.5 Mentaling Secretar Four-west from which following became for maint francising school flows to register-on four-stor- of fron reservoir (2.2) gathers per minute 20 (see space (nature) at day put			denied Company. Utilize is which readily provent company that can provide servicely a exemply in company or a demonstrative regard regards privated to be free free located.		5.4 (19.23) Chromofosticating jober, (HQ Prior to permit lenguages in constraint length prior stated for completend to Company of hor life a reject will be a soften infection. The commissionwing plan shall endular the following: 2. General Expellation Strategies.		The facturated point accommissioned over the time of belong substitutes.
1	- 1	Mother Witnessentry Principles on a securitarity, assessment other means appropriate and its actions.	H	distanted that the pe	enemages of construction and thereastics injust material programs true trailorate	11	7. General project manage. 2. Commissioning goals.		EXPERIMENT, As a strick highway for through hells which clay have partial control of account, fact which may or may not be described in these places a control of account, fact which may or may
13	- 1	and any of the state of the sta	Ш		1	11	University styles, International, Plants to led systems and components shall include: Hopingers but no commissioned. Plants to led systems and components shall include: Hopingers and by legislation below to be losted, refunding the centrel different. Hopingers and by legislation be losted, refunding the centrel different. Combined under self-of-the feet Softing preferred. Hopingers and composition self-of-the feet Softing preferred. Hopingers are composition to composition of the self-of-the feet Softing Preferred. Hopingers are composition to composition of the self-of-the feet Softing Preferred. Hopingers are composition to composition of the self-of-the	H	
1 8	- 1	S.202.2.41 Pro-rises states value	Ш	will be reported by a years	uniter strait reals the internation if the construction and devoting music make it is minimportant company.		b. Equipment and epitime to be tested, including the extent of tests.		FRETMAY, A distinct answer highway with GA control of accept and with grade supporting strings accept.
1 :	- 1	SCHOOLS APProvision in injury value. When implicit, shape more true requirements for the California Library (Pagusiations), Take 20 (Applications Statement) implications). Sections (1807) (1914) Taken Ind. Sections 1908 3 (19)(4)(4)), and Section 1907 (1977) and shall be explored with an experient sections; the section 1909 (1977) and shall be expected with an experient sections; the section 1909 (1977).		Excuptions to Sections:	5408.1,1 and SACR.12:		d. Conditions under which the fact shall be performed.		GLOBAL WARRING POTENTIAL (OWP). The taddenic forces impact of one requirement ont of a given opportunate gas return to use accelerate and of centron disease over a given period of seal. Cantern decide is the reference symptoms onthe GMP of one.
П	- 1			1. Department and a	ind brodisharing dubin		Commission plans of acceptant party matter Commission of acceptant party matter		sompound with a GMP of one.
H	- 1	FOR REFERENCE ONLY. The Extrating substantionals section have been recorded from the Cultimate	111	2. Alempis imple	isket herdisplanskrig deskrije reguleriten refer broth derektated by herdisking with float byjenassen if diksentials de henydde ok diampilanskrij skrij plak storm det mod peingt. De mending jamat ordinanske om ordinalskrij in completentien pår famat perythings begletter.		 Distance using process accesses, activitates and responsibilities. Plans for the completion of commences shall be included. 		GLOBAL WARRING POTENTIAL VALUE (CHP-VALUE), A 100-YAK GYP VAKE SACHING by Fe
	1	POR REPRESENT ONLY: The Estruling sizes and code section have been reprinted from the Cultimate Code of Projections. The 20 Interiornal Stationaly Regulations), Section 1993 (1)(4) and Section 10003 (1)(4)(4).		3. Dansirka was	is making total ordinator or catalogic in consideration of hand substitute failed		941974 Renational conferences business NV Constitutional Constitution and Constitution Cons		GLOBAL WARRANCE POTTOTTAL VALUE (CORP-MALIS). A ROUGHOUT ONFO Water pickinnes by Fish interpretational Proof on Control Guarge (ACCID) to relate to Second Anaessment Record (SAF), (SPCC, 1005); or all Fourth Assessment Anal-Malicol (AAA) (SPCC, 2007). The SAR OMP water A rollate or solven TEAP) (1004)" of Table 27-45; the MG GPV water and rollated to show 1000 of the SAR OMP water A rollate or solven TEAP).
	i			,			"BALEZA Financiarial performagness investiga. Pill, Consciously performance leads state consciously for correct problems and operated of each consystem, operate and system-secondarial extended in Augustica path in a system of the state of the state of a specific path of the state of the state of a specific path of the state of t		Yable 274; the AM GMY values are found in solute "100 yr" of Table 2.14.
1	- 1	TABLE H-2	Ш	5.40E1.7 Wastersteams not received this pounds pe	teduction afternation. The combined images of new construction designate that does it reports find of feeting some may be described to result the EPS-machines requires out.		many of two preferred confidentials parties and substantial property and parties and substantial and substantials		HIGH-CWP REFIGERANT, A compound continue by a transfer fact or que that is; (a) of dendessation, as installed the continue of
	- 1	STANDARDS FOR COMMERCIAL PRE-RINSE SPRAY	Ш	Wetaland of presupe	and coloured.				HIGH-CHRF RESPONDED. An executant community businesses fruit or positive is (x) indisophisocombon, a specificaçión contractor, a lapsochrenden (x) a perinduciation. Cere an executar de local contractural, with a CIRF value excella or greater terro USO, or gill may accese recipient geudaturas au disfered as USA disci the Case of Februid (legislation, Part 21, section 23) also executed match 110, (2005).
1	- 1	VALUES MANUFACTURED ON OR AFTER JANUARY 28, 2019		SANK LA Documentation	n. Consistencian signil be provided to the embedia accomprisate demonstration SASK 1.1,1 spourph SASK 1.1. The winde extension planned to the updated as national curving constitution for extensions by the embeding improv.	11	5.470.2.5 Documentation and parking. (M) A System Status and System A Committee Training and Impact, Indiang Otto parking States, and Health Act (COHA) argumentum in Colleges Carle of Regulators (COR).		
13	- 1	PRODUCT CLASS [apray force in curice force [cid]] MADDRILLY PLOW FRATE (apra)		recording and their be an	consists only animation for succession by the expectal agency.		Title 8, 5-stars 5442, and other relieful angulations.	111	LONG RADIASE ELECAN. Prior history lectured Services and temperature papers to transport and a service of the color, with a nature 1.5 torus the paper decrease.
1 3	- 1	Product Class 1 25 50 cm 1 34 50		Monte:			5.470 25.5 Distance maintal, TMI Discomentation of the contribution at the builting short by		LEWI-GAMP REPROCERANT, A compound inserting a functional private function (AFT the a CAVP waterings from
1	- 1	Product Chair Z C 5.0 and and 5.5 and 5.30	111	1. Sample bereit	mandale "A Guide to the Coltomor Green Building Standards Circle (Honorecologists)"		competed militarities systems maked and delivered to the busing owner or representative. The		LIDEFORM REPROCERANT, in compared bisacras a hastriansforchaid or gas that, (A) that is CAPT valuebas that, 100, and (B) is not an above declaring autospace as desiring in Title 40 of the Code of Passes Regulations, Prot 42, social 24, 30 or memoral March 19, 2009;
	- 1	Product Class 3 (> E.D.oct) L.38		Harated was do	nadár A Guide to the California Grand Building Soundards Code (Fiorentados) (F m.a. gard TiCherosanes Pago Calerto Building - Bancards Commission Folkey CAL (Page Guy Hos Loss de Sopial es description gardelanes, which ha waste	11	A-MIXES Systems revenue. IN IDFOCUMENTATION of the operational appeals of the bottom pract to complated inform the systems relevant and delivered in the placing owner or consensation. The operation facility instance to furnishing the processing of the processing		METAL Filtranianus of Compression when transfer ASPEAC SECTION.
1		SAIDA COMMERCIA, NTCHEN SCHWMENT,					2. Supermental and maintenance indicators recorded in translation recognists train-		
۳			Ш		ert. Line merf depentitions; entheris quadramisers sold (see forceing) of these Continued Deputy ment of hydrog and filmedistry (Chilledge Dept.)	11	troubletrocking, recommended membersenda requirements, sele events log.		MACRISTIN DECIDENCIAL REACTIONTY (MICL. The maniput change in weight of corne formed by recting to tomourne to the "East Reported Operation (ROC) (Motors' per away) of compaged index, expressed to transfer and agree (p.C) in Contract of the contract of
1 1	1	\$3.00.4.4 Teach foliate Cliffornia. Depictury shall reflow including the contribution from the Committee Country of the contribution of the Committee Country of the Countr	det		Al Additions and situations as a balding or board space that must be stopping promitering intelligent and attendance, shall become perfections but I imperial Wastel	[]	Major systems. See analyses of the forey and maintenance value. A copy of ventorsions required by the estimating agency or this axios.		
1	- 1	more than 10 minutes of Machinity. Disposes at all use so more than 5 give at water. More: They come secrets done for select local periodicism personness assessed as Region disposes.	II	James took to fear extent tente	committeetum tettiliseen seid allinentoimi, pinali hispiem verilisahan hell (Janubrja) Vijatej mist baltani anti naksany centiaring belerrontoid se lukil se ohne Catilothia phykishigi dobeld of poljulaj alaj anj aluenoj hom pinalinig, ahisi of proprisje bin asemal mesop		A copy of ventorsom required by the estocking agency or this pace. Other seconders and cocumulation, if applicable.		PRODUCT WEIGHTED BIRK (PWWMM). The statust at leaving that RDM for all regressions in a gradual subject to find status. The PMINES on the state product headerly expected to buildings of a grain of claims broked pay grate of product (exchange provisions and peoploggics).
1 5	- 1	energy,	Ш	Company and principles to be	and programming the second of the second sec	1	CANTET Statement Commission IDS accommission and accommission of the commission of the canter of the		
11	- 1	SCHILLI AND AS OF ABOUTION OR ACTORISTION. For frome popularizing with timeschool of the California Fraction Shootsons Committees has possible on Shidmit 101, the projections of Septem 1,300.1 and 5,000.4 stop 400/y In the Shitmit in additions or among the delection to the building.	Ш	Hotel (New to the Univer	und Whente Forle' links als 1820 Process Statutes growtening statements."		S.Prid.T.S.T. Systems operations training. [P] A programmer whilesy of the operated maintainess and training at the artist and training at the systems of the systems and the substitution of contractions of initial distributions report and while Colombia and States the Handarday.		PORC. Promiti per square inch., galga.
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COSTA MESA FIRE TRAINING CENTER CITY OF COSTA MESA 2300 PLACENTIA AVENUE COSTA MESA, CA 92627

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DATE: 09/29/2023 SCALE: NONE

2022 CAL-GREEN NON-RESIDENTIAL MANDATORY REQ.

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and delivery or	2004.4.07 Permittation of Complements. Conferentiation shall be provided serifying that accordingly 2004 regionals should be adolpted or becampled in	
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-	SECTION 5.505 INDOOR MOISTURE CONTROL SUCT 180000 ABORDISE CONTROL, (solings before the recent the provision of Carle min (basing Date, CDI, Tab 2a, Post 2, George at 750 (Westernia) and Chapter 36 (solin) for a placeting regions, and Section 5.675 (2018).	
	SECTION 5.506 INDOOR AIR QUALITY SIGN. DUSSIGN AND DELIDENT, For restarting producing specified above, is burishing. Part for instrument producing and action (CL) Plantament of Vindeland of the College Conference above, Selection Co. Action (Cl.) Plantament of Vindeland (Cl.) Plantament (C.) Plantamen	
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	SECTION 5.507 ENVIRONMENTAL CONFORT 5001-A COURTEAL CONTROL L'ENDIQUENT INTERNATION DE CONTROL DE	STATE OF THE PARTY
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diam'r.	Standards, their or property by personnal approach by the architect or projector of security. 5.537.A.3 Indicate about transactions. Wall and too reliefup assembles separating security space and beautiful power and property of their power.	
A CHARLES	Note: Exemples of assertation and feet various (FIC safetys any be found at the California Citiza of horse Crosse; manufactures any CFF County should be provided by the County of the C	
	SECTION 1.598 (ULTIDOOR AIR QUALITY: 1884 I Dea Routies are presented as acceptant, includations of HMAC, refrigeration and No. Supposition represent what comply with Sections 1,503.1.3 and 5,004.1.5.	400

CHAPTER 7
INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS
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TOZ TISTALLER TRANSING. Mode speciminates in the particular of portrained in the

COSTA MESA FIRE TRAINING CENTER CITY OF COSTA MESA 2300 PLACENTIA AVENUE COSTA MESA, CA 92627

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PROJECT NUMBER: 230075

2022 CAL-GREEN NON-RESIDENTIAL MANDATORY REQ.

T5

GRADING NOTES

- Grading shall not be slafed without first neithyles the Dakkic Grading inspector. A pre-grading meeting on the first in explored before start of grading with the following people present Device, Grading Contractor, Design CHI Explored, 500 Bryanes, Organizeron, Geological Dakkic Clariding Inspector and when required the Archaeogold and Paleontal opicit. The required (inspections for grading will be aspatished all (it) meeting.
- issuance of a grading permit does not eliminate the need for permit from other agencies with regulatory responsibilities for communities activities associated with the work authorised on this plan.
- The Grading Fermit and an approved copy of the Grading Flor shall be an the permitted site while work is in progress.
- Frelimhary soil and geology reports and all subsequent reports as approved by PDSD, Grading Section, are considered a part of the approved grading plan.
- The Solt Engineer and Engineering Geologist shall perform sufficient inspections and be available during proding and construction to verify compliance with the plans specifications and the code within their pursies.
- the Civil Engineer shall be evaluate during grading to verify compliance with the plans specifications code and any special conditions of the permit which their pursue.
- F. Subdrain pullets shall be completed at the beginning at the subdrain construction The exact location of the sub-drains shall be surveyed in the field for line/grade and shown on as-graded plans.
- Areas to receive that be property prepared and approved in writing by the fall Engineer and the fielding official prior to placing lift.
- 13. All existing (its shid be approved by the Suiding official or removed prior to placing additional like.
- 14. PBs shall be compocied fivoughout to a minimum of 90°s relative compaction. Aggregate base for apphilitic uses shall be compacted to a minimum of 13% relative compaction, Maximum density shall be determined by Uniform ButCoing Code Standard No. 73.1 or approved applyration and field density by Uniform Hudding Code Standard No. 73.0 approved applyration and field density by
- Cut and fit stopes shall be no sleeper than 2-fool harisonial to 1-loot vertical (2:1) sucesp) where specifically approved otherwise.
- 17. Where support to full-training of cut and induced aliques is determined to be execution; by the Engineering Geological tools for Registers, that is determined to be execution; by the Engineering Geological tools and Registers, the Engineering Geological control and Engineering Control and Engineering Geological Control C
- 18. When cut pack are brought to next grade, the Engineering Geologist shall determine if the bedspck is extensively hackured or louted and will transity transmit water. If considered necessary by the Engineering Geologist and tole fragment, a composited fit binker will be placed.
- 19. All trench backtly shall be lested and approved by the Soll Engineer per the Grading Code
- Any existing integration thes and obtains shall be removed or crushed in proce and approved by the Building Official and Sall Enginee.
- Any existing water wells that be opportioned in compliance with the specifications approved by Orange County, Health Care Agency, and Division of Environmental Health
- Any existing cospools and septic tanks shall be abandoned in compliance with the Unitarim Humbing Code to the approval of PB3D/Building Inspection
- 22. Mockelling of excess motorial shall be approved by the Subdian official rater in excession
- Export soil must be hansported to a legal dunity or to a permitted site approved by the District Grading inspector
- 25 The permittee shall comply with the Grading Code requirements for hout routes when an excess of 5 acc cubic yards of earth is transported to or from a permitted site on public roadways.
- 24. The permittee is responsible for dust control megaves
- 27. The permittee shall give reasonable and/ce to the owner of opinting bands and buildings pain to beginning excrumation; which may affect the intered and ubglacest support of the editoring property. The notice when this like his handed depth of according and when the according will continue. The adjusting event shall be disweed of least 30 days and reasonable access on the permitted property to protect his absolute. The results of the continue of the co
- 28. At concrete structures that come in contact with the on-are sole shall be constructed with Type V cament, unless deemed unnecessary by soluble suitate-content lesis conducted by the Soil Engineer. Mopes exceeding 5 feet in height what be planted with an approved plant material, in addition, sopes
 exceeding 15 feet in height shall be provided with an approved intigation system unless atherwise
 approved by the full-late) Official.
- All existing draftage courses through this site shad remain open until lackfilles to honder dammerter are approved and functional; however, in. any case, the permittee shad by held slable for any damage due to obstituting natural definings patients.

- Approved profective mediums and temporary drainage provisions shall be used to profect adjoining properties during grading.
- 34 Grading operations including motors name of equipment within one-half wife of a human occupancy shall not be conducted between the hours of 6 p,m and 7 a,m, daily, on Sunday or on a Federal Holiday.
- (b) All operations shall comply with Orange County Codified Ordinance Division & (Notice Control)
- (C) Stockpiling and/or vehicle staging areas shall be located as for a practicable from dwellings and within the limits of grading permit 35 Grading and excavation shall be halled during periods of high winds. According to AQMD Measure F.4. high winds are defined on 30 MPI or greater. This level occurs only under unusually exterine conditions, such as large Anni Mad exceptions.

- 38 Aggregate base section shall be constructed per RDMD Standard No. 1884.
- 40. The Civil Engineer, as a condition of rough grade approval, shall provide a bible loo with accompanying without stake, set of the center of each paol reflecting the paid elevation for practice permits and a bible with without stake set of the activities to each paid to the paid elevation for hatterinary.
- Frier to tind approval, the Cirli Engineer shall certify to, the fielding Official the amount of earth moved during the grading advertision.
- the Engineering Geologist shall perform periodic impections and subnut a complete report and map upon completion of the rough graphing.
- 43. The Grading Contractor shall submit a statement of compliance to the approved Grading Son pater to fine approved.
- 44. The compaction is part and approved from the Sold Engineer shall indicate the type of field Irstling performed. The method of abbidning this in-place density into the laterities whether sond cone, othering, an indice, and while he need for each lest Sufficient maximum density determination into the performed to verify the according of the maximum density cures used by the Field Technician.
- 45. In the event that sol contamination is discovered during exception and removal of an existing tank, work shall be elooped until a site assertment and miligation plan has been prepared, submitted and approved by MCA/Environmental fellow and PSD/Endoding

EROSION CONTROL NOTES

- 44 In the case of emergency, call at 24-HII. Phase 6
- 47 Equipment and workers for amergency work shall be made available at all fitnes during the rainy season. Necessary materials shall be available on life and stackpled at convenient locations to faultilities regulations when the property of the proper
- 45. Easion control devices shall not be moved at modified without the approval of the full ding
- After a rainstorm, of siff and debris shall be removed train streets, check berms and basing
- Graded area on the permitted area perimeter must stain away from the tace of stopes of the conclusion of each working day. Drainage is to be directed lowerd desting facilities.
- The perhittee and contractor shall be responsible and shall take necessary precautions to prevent public hesposs onto preps where impounded valer creates a hazardous condition. 53. The permittee and confractor shall impect the erasion control work and insure that the work is in occordance with the approved plans.

ENVIRONMENTAL NOTES

- The permittee shall notify all general contractors, subcontractors, malarial suppliers, lessees, and property a wheel' that dumping of chemicals into the stammards system or the watershall is
- "refrishes bild middick conclude consideration in a feasible concludes that or conflicted allem does no middick production of the site. The state of about site of the consideration of the site of th

rore. Construents shall be preserved and referenced before construction and replaced after for presonnt to Section 8771 of the Resident and Trofessional Gode."

DUST CONTROL NOTES

- A. MOISTEN SOIL PRIOR TO GRADING
- B. WAIRE EXPOSED SUBFACES AT LEAST TWICE A DAY UNDER CALM CONCEITORS AND AS OFFEN AS MEDIDO ON WHICH DATE WHICH MINIOR ARE USS FRAM 25 MALES FEE DAY OR DURING VERY DRY MILARIES IN ORDER TO MARIJAN AS SUBFACE CRUST AND PREVENT THE EDICASE OF VISIBLE LANGUIGHS FROM THE CONSTRUCTION SITE.
- C. TREAT ANY AREA INAT WILL BE EXPOSED FOR EXTENDED PERIODS WITH A SOIL CONDITIONER TO STABILIZE SOIL OF TEMPORABLY FLANT WITH VEGETATION.
- D. WASH MUD-COVERED TIRES AND UNDER-CARRIAGES OF TRUCES LEAVING CONSTRUCTION SIES.
- SECURELY COVER LOADS OF DIST WITH A TIGHT FITTING TARP ON ANY TRUCK LEAVING THE CONSTRUCTION SITES TO DISPOSE OF EXCAVATED SOIL.
- G. CEASE GEADING DURING FERIODS WHEN WINDS EXCEED 25 MILES FER HOUE.
- H. PROVIDE FOR PERMANENT SEALING OF ALL CRADED AREAS, AS APPLICABLE, AT THE EASILEST PRACTICABLE TIME AFTER SOIL DISTURBANCE.

OWNER CITY OF COSTA MASA COSTA MESA PIRE DEPARTMENT

ARCHITECT

FBE. BILL ROCHESTER AVE., SMIE 100 EANCHO CUCAMONGA, CA 11730 CONIACT; RELLEY NEEDHAM PH. 101-187-0707

SOIL ENGINEER

LEGEND

		RDG.	BUILDING
	GRADING LIMITS	C.B.	CATCH BASIN
		C.LF.	CHAIN UNK JEHCE
pas	EXISTING CONTOUR	CTC	CUEB & GUTTER
544.7		C.L	CENTERLINE
N	EXISTING SPOT ELEVATION	C.O.	CLEANOUT
		CONC.	CONCAPIE
	PROPOSED CONTOUR	D.G.	DECOMPOSED GRANTE
	CMI/BITT THE	DWY.	DMYSWAT
	CHI/PILL LINE	D.F.	DEHLING POUNTAIN
-AA	PROPOSED SLOPE	ELEC:	ELECTRIC
	PROPOSED STOPE	E.P.	EDGE OF PAVEAGET
— — 12°V — —	EXISTING UTILITY LINE	F.F.	MHISHED PLOOR
	(ITPE AND SIZE AS HOTED)	F.H.	FIRE HYDRANI
	(TITE AND SIZE AS NOTED)	P.L.	LOMINE
	GEADE BREAK LINE	Es.	FIRESHED SURFACE
	GRADE SECAR LINE	G.B.	GRADE BREAK
	FLOWUNE	H.C.	HANDICAP
	PLOWUNE	H.P.	HIGH POINT
	FLOW DIRECTION	INV.	INVERT
	PLOW DIRECTION	IRE OF IREG.	INGATION
	STORM DRAIN & GRATE	LP.	TOM LOIM!
	TOTAL DIOCH & GRAIS	ALH.	MANHOLE
	STORM DRAIN AND CLEANOUT	P/A	MANTER AREA
	HORM DEATH AND CLEANOUS		FORE FORE
	STEFFT LIGHT	P.O.C.	
*	SIKEEL TIPMS	I.D.	BOOJ DRAIN
ú	VALVE	E.O.W.	EIGHT OF WAY
	VALVE	\$0	STORM DRAIN
di di	FIRE HYDRANI	ST.	REPORT
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≫	UGKI MANDARD	T.D.	TOP OF DECA
00	(100) TIMBONED	157	TELEPHONE
		T.G	TOP OF GRATE
		t.r.	TOP OF FOOTING
		1,Q.1	TOP OF SUNGAADE
		T.W.	10P OF WALL
		5	SANGIARY SEWER
		w	WATER
		W.J.P.	WROUGHT (RON PENCE
		W.M.	WATER METER
		W.V.	MALEK ANTAK

SITE IMPROVEMENT PLANS

COSTA MESA FIRE TRAINING CENTER COSTA MESA FIRE DEPARTMENT

2300 PLACENTIA AVE.

COSTA MESA, CA 92627

COUNTY OF ORANGE STATE OF CALIFORNIA

NOTICE TO CONTRACTOR

CAUTION. THE ENGINEER PELFARING THESE PLANS WILL NOT BE ELSPONSIBLE FOR, OR UABLE FOR, UNAUTHORIZED CHANGES IO, OR USES OF THESE PLANS, ALL CHANGES IO THE FLANS MUST BE IN WHITING AND MUST BE AFFROVED BY THE FETARES OF THESE FLANS.

THE EXISTENCE AND LOCATION OF ANY SHORESCROUND USUIT FACUURES HOWN ON HIRE FLANS WERE OBTAINED BY A FLANCH OF A VALIGABLE ECOURD. THE LOCATION SHOWN AND ANY TOWNING AND THAT IS COMMAND BY OF FIRE AY ALCHOMATIVE ANGLO GARD OF THE PROTODIL HIS FORWARD THE CONTRACTION OF THE TOWN AND ANY COURSE TO LAKE OWN ALCHOMATIVE ANGLO GARD OF THE PROTODIL HIS FORWARD THAT CONTRACTORS I FACEURIST TO LAKE OWN FIRE-CAUTIONARY MEASURES TO REVENU GARAGE TO ANY UTURY FACILITIES WHO WE AND ANY COURSE FACILITIES NO!

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EXISTING UNDERGROUND STRUCTURES

THE STETLING AND LOCATION OF ANY INSPECTION PRISE OF COLOURS INDIVING ON THE FLAGS. ARE ARRIVED AND ANALYSIS CONTROLLED AND ANY INSPECTION OF THE FLAGS ARE ARRIVED AND ANY OFFICE WHICH ANY INSPECTION OF THE FLAGS AND ANY OFFICE WHICH ANY INSPECTION OF THE FLAGS AND ANY OFFICE WHICH ANY INSPECTION OF THE FLAGS AND ANY OFFI ANY INSPECTION OF THE FLAGS AND ANY ANY OFFI ANY OF

BENCHMARK

COUNTY OF GRANGE BENCH MARK NO. "CM-57-64"

DECERSO BY OCT 2004 - FOUND 3 3/4" OCD ALIMANOM RENCHMARK DIR STAMPTO "CM-51-86", SF IN THE NORTHWESTELLY COSHED OF AN SF, IN 4 SP. N. CONCERT CANCER AGAIN MONIMENTAL SOCIATION FOR DIR DOUBLE OF AN SF, IN 5 SP. N. CONCERT CANCER AGAIN MONIMENTAL TO STAMPACE TO STAMPACE AGAINST AGAINST AND STAMPACE TO STAMPACE AGAINST AGAINST

BASIS OF BEARINGS

THE BEARINGS SHOWN RESEON ARE RAJED UPON THE CENTERINE OF JOANN ST, HAVING A BEARING OF M 877730" E, PER TRACT MAP MO 14137, RECORDED IN 8000 474, PAGES & AND 9, OFFICIAL RECORDS OF COUNTY OF DIAMOE

LEGAL DESCRIPTION

A PORTION OF LOT A OF THE BANKING TRACT, AS PER PLAT RECORDED IN BOOK 1, PAGES 34-35, OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

APN: 429-012-05

LOOD TONE	ZONE X (AREAS DETERMINED TO BE OUTSIDE THE B.2% ANNUAL CHANCE OF PLOODFIAIN)
	PER PLOOD INSURANCE BATE MAP (RIBM) PANEL 244 OF 539
	MAP NO. 04059CD244J, DATED DECEMBER 3, 3009

EARTHWORK

AREA DISTURBED:	0.7±	ACRES	
RAW CUT	150	CUBIC YARDS	
SHRINKAGE (7.5%) *	(10)	CURIC YARDS	
FILL	100	CUBIC YARD	
SHRINKAGE - O/E [7.5%] * SUBSIDENCE (0.1-FOOT) *	110 270	CUMC YARDS	
IMPORT **	270	CUBIC YARD	
OVER-EXCAVATION *	2,725	CUBIC YARD	

* THE ABOVE CUTTIFIC QUANTITIES ARE FOR PERMIT PURPOSES ONLY. THIS CALCULATION DOES NOT INCLUDE SOILS FROM BUILDING OR WALL FOOD!

** NOTICE TO THE CONTRACTOR

THE GRADING CONTRACTOR SHALL BE RESPONSIBLE AND ACCOUNT FOR DISTRIBUTING ANY EXCESS MAJERIAL OF SUPPLYING ANY DERICHMICES TO BEING THE SITE TO DESIGN GRADE.

NOTE TO CONTRACTOR:

ALL GRADING AND EARTHWOTE IS TO BE DONE IN ACCORDANCE WITH THE EARTHWORK SPECIFICATION AND AS DIRECTED BY THE GEOTECHNICAL ENGINEER.

CONSTRUCTION NOTES/ESTIMATE OF QUANTITIES

NO.	DESCRIPTION	QUANTTY
	GENTRAL CONSTRUCTION NOTES	1
0	CONSTRUCT & CONC. PAVING PER ARCHITECT PLANS	22,260 1
0	CONSTRUCT & CONC. PAYING PER ARCHITECT PLANS	7,345 5
0	CONSTRUCT CURB & GUITER PER CITY OF COSTA MESA SID. DWG. NO. 312, C.F. PER FLAN	40 (
0	CONSTRUCT CURB PER CITY OF COSTA MESA STO, DWG, NO. 31 I., C.F. PER PLAN	290 L
0	CONSTRUCT 3" Y-GUTTER PER DETAIL 1, SHEET C-0.02	1so Li
യ	CONSTRUCT FULL-DEPTH A.C. PAVING PER DETAIL 2, SHEET C-0.02	7901
രി	APPLY 2 COARS OF ASPHALT EMULSION SEALCOAT PER SUPPIC SECTION 203-9	29,450 31
Õ	CONSTRUCT CATCH BASH & GRATE PER DETAIL S, SHEET C-0.02	3 84
0	CONSTRUCT TRENCH SEPLACEMENT PER CITY OF COSTA MESA STD. DWD. NO. 813	310 ti
0	INSTALL CONCEXTE TEENCH DEAIN FER DETAIL 4, SHEET G-0 02	300 Li
0	PROTECT IN PLACE	
0	CONSTRUCT 4" PVC [SCH 80] STORM DRAIN MPE, BEDDING PER DETAIL S, SHEET C-0 03	360 1
0	CONSTRUCT 8" PVC (SCH BO) STORM DRAIN MPE, BEDDING FER DETAIL 5, SHEET C-D CD	235 [
2	CONSTRUCT TO FVC (SCH BD) STORM DRAIN FIFE, REDDING FER DETAIL 5, SHEET C-0.03	20 LI
0	INSTALL HYDRODYNAMIC SEPARATOR (CDS UNET) PER DETAIL 1. SHEET C-0.03	1EA
0	INSTALL UNDERGROUND PERMITENTED DETENTION SYSTEM PER DETAIL 1, SHEET C-0.04) EA
0	INSTALL 3,000 GALLON CLARINER PER DETAIL 3, SHEET C-0,03	2 64
0	INSTALL SAMPLE BOX PER DETAIL 2, SHEET C-0 BS	2 EA
0	CORE INTO EXISTING CATCH SASIN AND CONNECT - WATERPROOF CONNECTION WITH GROUT	1 E4
0	CONNECT TO EXISTING STORM DRAIN	I EA
0	CONSTRUCT STORM DRAIN CLEAN OUT PER DESAUL 4, SHEET C-CDZ	3 EA
0	CONNECT TO BUILDING BOOF DRAIN	2 54
0	CONNECT TO RENCH DEATH	2 EA
0	CONNECT TO UNDERGROUND STORAGE TANK - LEE PLUMBING PLANS	I EA
0	CONSTRUCT SCANKET PROTECTION FOR FIFES FEB SPPWC STD. DWG. 225-3	I EA
Г	SEE SHEET D-1.01 FOR DEMOUTON CONSTRUCTION NOTES	
\Box	SEE SHEET G-2.01 FOR WATER/SEWER CONSTRUCTION NOTES	
	SEE SHEET C-3.01 FOR ERONON CONTROL CONSTRUCTION HOTES	
	SEE SHEET C-4-DI FOR HORZONTAL CONTROL CONSTRUCTION NOTES	

NOTICE TO CONTRACTOR:

THE ESTIMATES OF IMPROVIMENT AND GEADING QUANTITIES AS SHOWN HERDON ARE PEDISIDED FOR SALISATING. FARK CHECK INFORMATION REPRESENTED ON IT HE CONTRACTOR MALE PERSONNA HINDERFUNDER ISTANATE OF ALL IMPROVIMENT QUANTITIES, INCLUDING GEADING DUANTITIES AND SHALL USE SAME AS A SASIS FOR INCIR. EIDISTS AND CONTRACTIST.

SHEET INDEX

SHEET	NUMBER	
RTLE SHEET	C-0.01	
DETAIL SHEET	C-0 02 10 C-0.04	
DEMOLITION FLAN	0-1.01	
PRECISE GRADING PLAN	C-1.0)	
WATER/SEWER PLAN	C-2,01	
MOSION CONTROL FLAN	C-2.01	
HORIZONTAL CONTROL PLAN	C-4.91	





RANCHO CUCAMONGA 8163 ROCHESTER AVENUE, SUITE 100 RANCHO CUCAMONGA, CA 91730 909-987-0909 P

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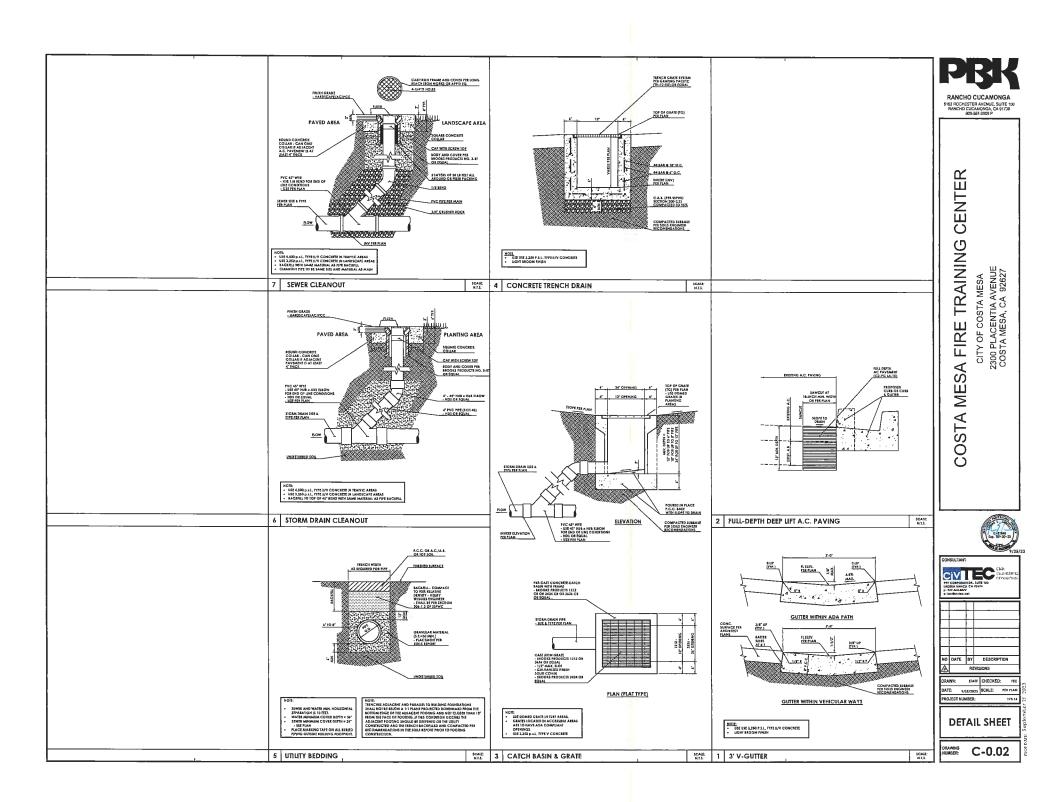
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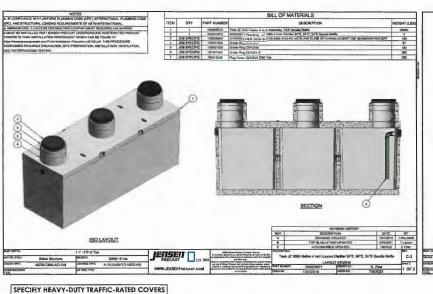
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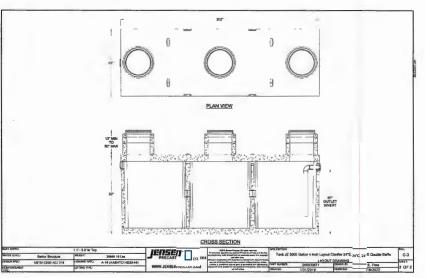
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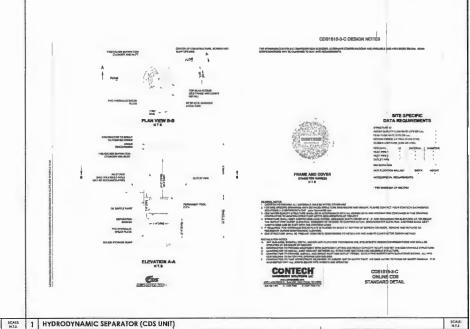


SAMPLE BOX WITH PIPE CONNECTORS MODEL EV200-H TAMATYO TOP YEN COMMIS AND INSTRU MEMORID

VI/19/C9 LY/INTermedia-_144-4 @ (CR) Jamps Protect

3 3,000 GALLON CLARIFIER

2 SAMPLE BOX



TRAINING CENTER COSTA MESA FIRE

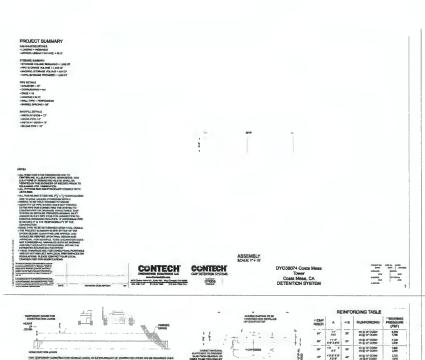
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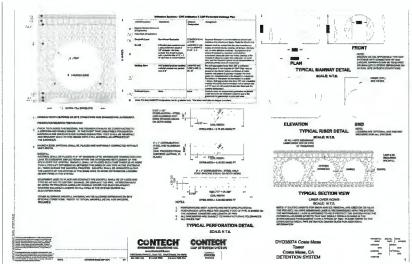
CITY OF COSTA MESA 2300 PLACENTIA AVENUE COSTA MESA, CA 92627

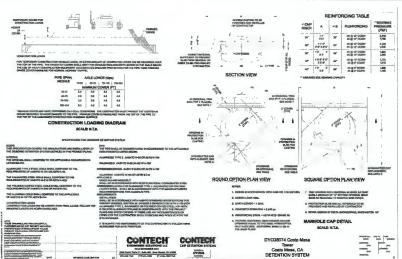
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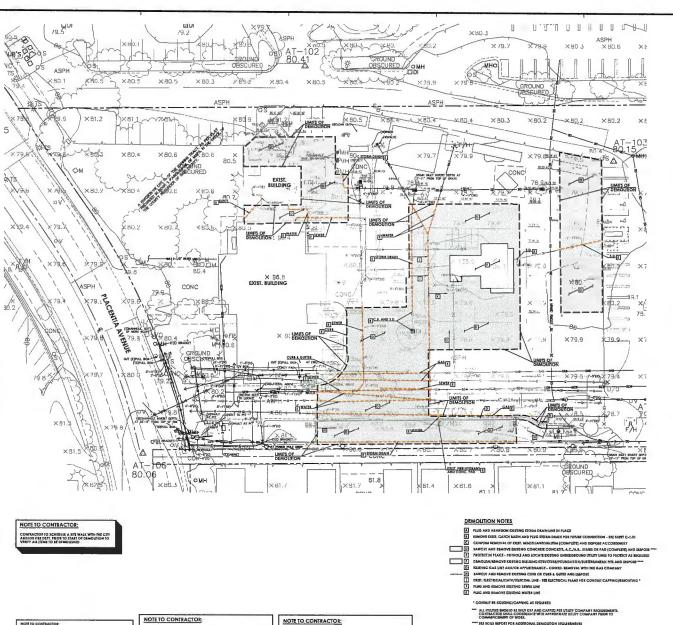
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CITY OF COSTA MESA

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NOTE TO CONTRACTOR:

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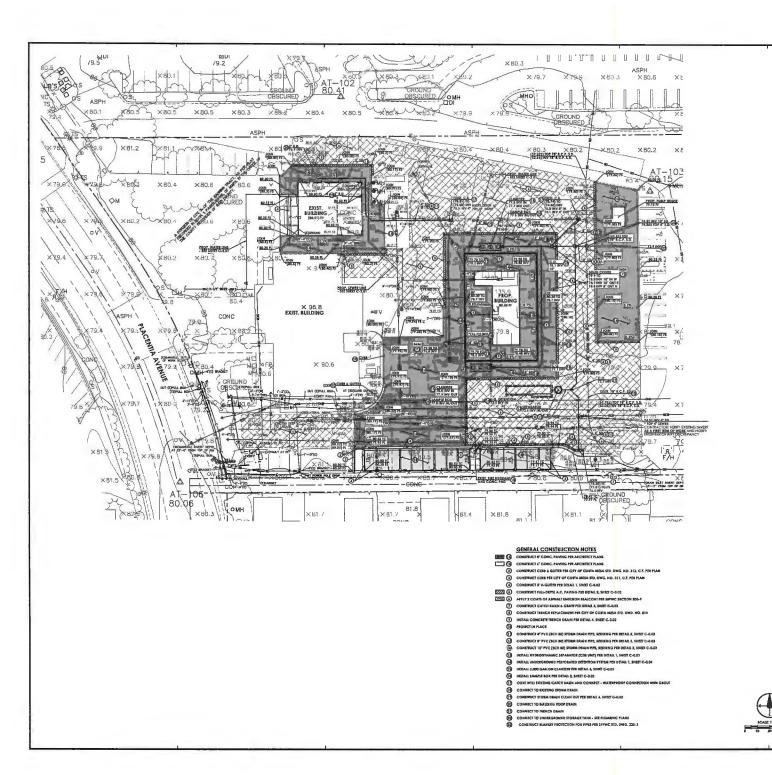
NOTE TO CONTRACTOR

NETALL 4-FOOT CHAIN LINK FINCE WITH WINDSCREIN AND GATES, WHERE NECESSAY, ALONG THE FREMENTER OF THE SITE AS HEIDER CONTRACTOR SHALL PROTOCT HEISE FINCES AND EEP PARE PULL SECURE DURING DEBRUGON, FOO NCT TENCE, GATE, PILVATE LICENS, PERMAPTE WATER DULINDON COMMENCE, LIVATE BATES AND THE PARE PULL OF THE PROTOCOL LIVE AND THE PARE PULL OF THE PULL OF THE PARE PULL OF THE PARE PULL OF THE PULL OF THE PARE PULL OF THE PARE PULL OF THE PULL O

LOCATION OF EXETING FACILITIES SHOWN HEREON A LE BASED ON TH EXISTING JOPOGRAPHIC SURVEY RESPONMED BY CHTC., INC., DATED APEL 2023, PIELD OBSERVATION AND A SEASON OF AVAILABLE SECORDS AND MAY MOT ESPRESSHI ACTUAL CONDITIONS.

COMPACTOR MALL PROTECT IN PLACE THE UTILITY LIMES BHOWN AND ANY OTHER UNIES NOT OF RECORD OR NOT BHOWN ON THESE PLANS. COMPACTOR SMALL BY EXPONEUR FOR ANY DAMAGE TO THE EXISTING UTILITY LIMES.

CONTRACTOR TO YEST AND INFOEM THE CITY OF ANY FACILITIES SUCCUMPERED IN THE HELD WHICH IS NOT SHOWN ON THIS FLAN, OR DIFFERS IN LOCATION OR SIZE, FRIOR TO REMOVAL



* NOTE TO CONTRACTOR:

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** NOTE TO CONTRACTOR:

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NOTE TO CONTRACTOR:

LOCATE ALL EXISTING UTILITIES AS A PRESTITEM OF WORK AND PROTECT THEM IN PLACE AS REQUIRES

NOTE TO CONTRACTOR:

ALL GRADING AND EARTHWORE IS TO BE DONE IN ACCORDANCE WITH THE EARTHWORE SPECIFICATIO AND AS DESCRED BY THE GEOTECKISCAL ENGINEES COSTA MESA FIRE TRAINING CENTER
CITY OF COSTA MESA
2300 PLACENTA AVENUE
COSTA MESA, CA 92627

8163 ROCHESTER AVENUE, SUITE 100 RANCHO CUCAMONGA, CA 91730 909-887-0809 P

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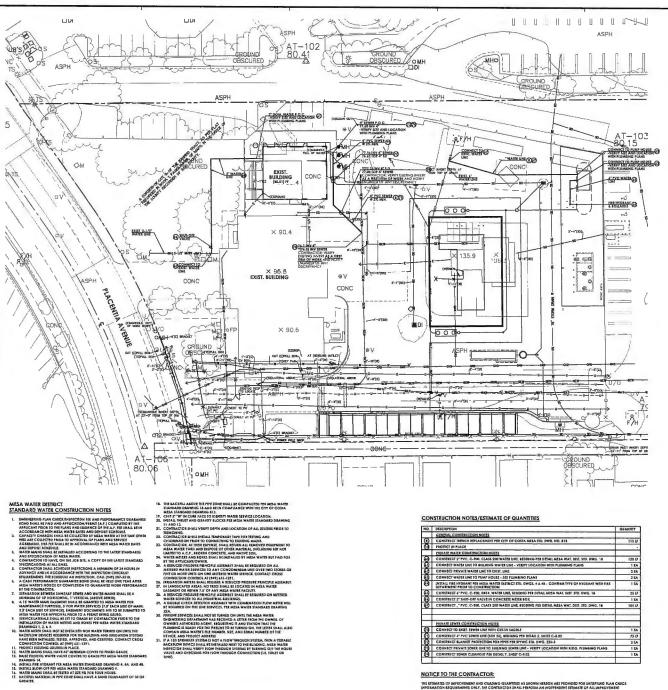
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PRECISE GRADING

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CONTRACTOR TO YERFY EXISTING REPVATION PRIOR TO CONSTRUCTION AND NOTIFY CITY AND CIVIL ENGINEER DAMAEDIATELY OF ANY DISCREPANCY.

NOTE TO CONTRACTOR:

VERFY EXACT SIZE AND LOCATION OF BUILDING WATER F.O.C. WITH FLUMBING DRAWINGS FRIDE TO CONSTRUCTION AND COORDINATE INSTALLAND.

NOTE TO CONTRACTOR:

EOCATE ALL EXISTING UTILITIES AS A FIRST ITEM OF WORK AND PROTEIN PLACE AS REQUIRED

EXISTING UNDERGROUND STRUCTURES

INE SERSING AND LOCATION OF ANY INDERECTIONS PIPEL OF COMMETT
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NOTICE TO CONTRACTOR:

CONTRACTOR TO VERIFY BY FORMOLING THE EXITING ELEVATION AND HORZONFAL LOCATION OF ALL FORMS OF CONNECTIONS AND CIFOLENGS FROM TO CONSTRUCTION. THE ENGINEER MUST BE NOTIFIED OF ANY DISCREPANCY

THE CONTRACTOR IS REQUISED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE KITISTY LINES SHOWN AND ANY OTHER LINES NOT OF RECORD OR NOT SHOWN ON THESE PLANS. LOCATIONS OF UTILITIES SHALL REV SPRINED BY THE CONTRACTION FOR TO COMMERCEMENT OF CONTRACTION.

THE QUANTITY ESTIMATE SHOWN HEREON IS FOR THE USE OF GOVERNING AGENCIES IN DETERMINING BOND AMOUNTS AND/OR FEES AND IS NOT TO SE USED FOR NO PURPOSES.

RANCHO CUCAMONGA 8163 ROCHESTER AVENUE, SUITE 100 RANCHO CUCAMONGA, CA 81730 B09-587-0009 P

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WATER /SEWER PLAN

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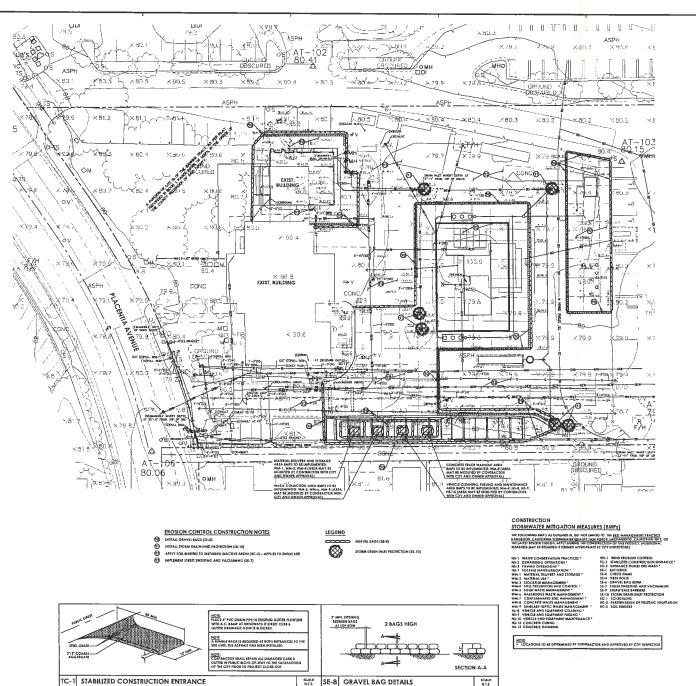
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NO.	DESCRIPTION	QUANTITY
	GENERAL CONSTRUCTION NOTES	
OΠ	CONSTRUCT TRENCH REPLACEMENT PER CITY OF COSTA MESA STD, DWD, NO. 813	115 13
@ I	MOTICT IN PLACE	
	PRIVATE WATER CONSTRUCTION HOTES	
⊕ I	CONSTRUCT 2" PVC, C-POO, CLASS 200 WATER LINE, BEDDING FER DETAIL MESA WAT, DIST, STD, DWG. 18	120 1
മ	CONNECT WATER LINE TO BUILDING WATER LINE - VERIFY LOCATION WITH FLUMRING PLANS	184
9	CONNECT PRIVATE WATER UNE TO EXIST. UNE	2 54
ΘI	CONNECT WATER UNE TO PUMP HOUSE - SEE PLUMBING PLANS	2 EA
ଡା	INSTALL FIRE HYDRANT FEE MESA WATER DISTRICT STD, DWGS, 4 & 48 - CONFIRM TYPE OF HYDRANT WITH FIRE DEFAILMENT FROM TO CONSTRUCTION	1 EA
1	CONSTRUCT 4" PVC, C-100, DR14, WATER LINE, BEDDING PER DETAIL MESA WAT, DIST. SED, DWG, 18	25 LI
9	CONSTRUCT 2" SHUT-OFF VALVE IN CONCRETE METER BOX	154
Ø	CONSTRUCT _* PVC, C+900, CLASS 200 WATER LINE, BEDDING PER DETAIL META WAT, CRIT. STD. DWG, 18	105 (1
\exists	PRIVATE SEWER CONSTRUCTION NOTES	
69	CONNECT TO EXIST. SEWER LINE WITH CUT-IN SADDLE	1 EA
(D)	CONSTRUCT 4" PVC SEWER LINE (SDR 35), BEDDING PER DETAIL 5, SHEET C-0.02	75 ()
3	CONSTRUCT BLANKET PROTECTION FOR PIPES FER SFFWC STD. DWG. 226-3	2 EA
69	CONNECT PRIVATE SEWER LINE TO BUILDING SEWER LINE - VERIFY LOCATION WITH ELDG. PLUMBING PLANS	124
0	CONSTRUCT SEWER CLEANOUT FER DETAIL 7, SHEET C+0.02	1 EA

NOTICE TO THE CONTRACTOR:

THE ESTIMATES OF IMPROVEMENT AND GRADING QUANTILES AS SHOWN RESEON ARE PROVIDED FOR LAITSFRING FLAN CREC'S IMPORANTION SEQUERAMENTS ONLY. THE CONTRACTOR SHALL PENGUA, AN INDIFFENDENT ESTIMATE OF ALL MEROVMENT GRANITIES ENCULNING GRADING QUANTILES, AND SHALL USE SHARL AS A BASES FOR THISE BROSS) AND CONTRACTIS.

- If ROUSING ON HE USE TRYCK, THE META WATER TARACASE DARWING THE REGISTER OF THE META WATER THE REGISTER OF THE REGISTER OF THE META WATER OF THE META WATER



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(RESPONSIBLE PERSON) (FIRM MARE) [24 HOUR TELEPHONE)

- THE CONTRACTOR SHALL RESPONSES TO SAME SHALL PREVENT THE THEFALL OF INCIDENCE WAS THE OWNER OF THE CONTRACTOR SHALL AND THE CENTRACTOR CALABODAS CONSISTION OF THE CONTRACTOR SHALL OF THE CENTRACTOR CALABODAS CONSISTION OF THE CONTRACTOR SHALL OF THE CENTRACTOR SHALL OF THE CENTRACTOR SHALL OF THE CENTRACTOR SHALL SHA

- PROJECT AREA AS WILL AS ADDICTIONED FOOTET MEAS THAN ASSAURT THAN ASSAURT AND ASSAURT ASSAURT
- IMPACTED AREAS.

 DICOPY OF THIS PLAN SHALL BE KEPT AVAILABLE TO THE CITY AT THE PROJECT
- ATION ON THIS PLAN IS FOR SECSION CONTROL ONLY. THE CITY PRIGINGS MAY
- INCOMMATION ON THE TARE IS FOR SECTION CONTINUE ONLY, THE CITY ENGINEER MAY MODELY THEY ALL AS MECESSARY. AN APPROVAL OF THE FLAN FILAL NOT ELEVEY THE CONTINUED OF ESPONSIBILITYS TO HES ART OR AD LACES POPERSHET ENGINEER FED CONTINUED ON CONTINUE SHALL INCLUDE CONTINUED ON THE ALL RESERVED ON THE STATE OF THE STATE
- ACCUMES.

 APPROVAL OF THIS PLAN SHALL NOT BELIEVE ING DEVELOPER OF THE RESPONSIBILITY FOR THE
 CORRECTION OF DEEDORS AND OMISSIONS DISCOVERED DURING CONSTRUCTION. UPON
 REQUEST, THE REQUIRED REVISIONS SHALL BE SUBMITTED FOR APPROVAL.

GRAVELBAGS:

GENERAL NOTES

- GENERAL GRAVEURAG SHALL INCLUDE PROVIDING ALL LABOR, MATERIALS, AND EQUIPMENT TO PARTICALE AND INSTALL GRAVELRAGS AS REQUIRED TO PACILITATE THE CONTROL OF
- LOCATION: GRAVELRAGS SHALL BE PLACED FEE FLAN. AND IN LOCATIONS SPECIFIED BY THE CITY, AND IN LOCATIONS DESAED NECESSARY BY THE CONTRACTOR.
- FABRICATION GRAVES AGS SHALL BE FABRICATED USING FACTORY SHAWN OF SZALED BAGS OF WORN POLYPROPTISH, TELESTED TO RESIST DEGLADATION BE VILLANDUES HORS AND USE HORS AND A

THE BAGS SHALL BE FILLED WITH SUBROUNDED TO ROUNDED GEAVEL LESS THAN 3/4-INCH IN DIAMETER, WITH LESS THAN THE FERCEN OF MATERIAL FASSING A NO. 30 YEAVE THE FILLED BAGS SHALL HAVE THE OPEN FIRDS SECURELY FASTINGTE PIDE FOO DELEVER TO THE SILL.

INSTALLATION GRAVELAGGS SHALL BE INSTALLED IN A 3105 BY SIDE MAMMER TO ENTER SILT AND MUD AND TO CHEST THE FLOW OF WAITE NOTWINSTANDING THE OWINE ECCUREMENTS OF THIS PECULIFORM OF THIS PECULIFORM FALLED OF THE BAGS TO PERFORM THIS FUNCTION SHALLE OF BEAGS TO PERFORM THIS FUNCTION SHALL BE REASON TO REJECT THEIR INSTALLATION.

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EROSION CONTROL NOTES

- A STANDEY CREWFOR EMERGENCY WORK SHALL BE AVAILABLE AT ALL TIMES DURING THE EARLY LEASON, NECESSARY MATERIALS THALL BE AVAILABLE ON THE AND STOCKHLID AT CONVENENT LOCALIDORS TO FACULTAIN EARLY CONSTRUCTION OF THE AMPORANT PORTOR TO REPAIR ANY DAMAGOR LOCATION CONTROL MEASURES WHICH RAIN IS IMMERICAL
- DEVICES SHALL NOT BE MOVED OR MODIFIED WITHOUT THE APPROVAL OF THE CITY INSPECTOR.
- AFTER A RAINSTORM, ALL SILF AND DEBETS SHALL BY REMOVED FROM CHECK BERM AND DESCRING BASINS AND THE BASINS PUANTED DRY. ANY GRADED SLOPE SUPFACE PROTECT MEASURES DAMAGED DURING A RAINSTORM SHALL ALSO BY MAREDIATER YESISETS.
- RILI SLOPES AT THE CONSTRUCTION AREA PERIMETER MUST DRAIN AWAY FROM THE TOP OF THE SLOPE AT THE CONCLUSION OF EACH WORKING DAY.
- A GUARD SHALL BE POSTED ON THE SITE WHENEYER THE DEPTH OF WATER IN ANY DEVICES EXCEEDS TWO FEET.
- Dueing Grading Operations and Peior to Construction of Permanent Deanage Structures Newderry Deanage Control Stall & Provided to Prevent Fonding Watte and Damage to Adjacent Properties.
- ALL ENSTRING DRAINAGE COURSES ON THE PEOJECT SITE MUST CONTINUE TO PUNCTION, SPECIALLY DURING STORM CONDITIONS, PROTECTIVE MEASURES AND TEMPORARY DRAINAGE FROM SHORE MUST BE USED TO PROTECT ADDITIONING PROTERTES DURING





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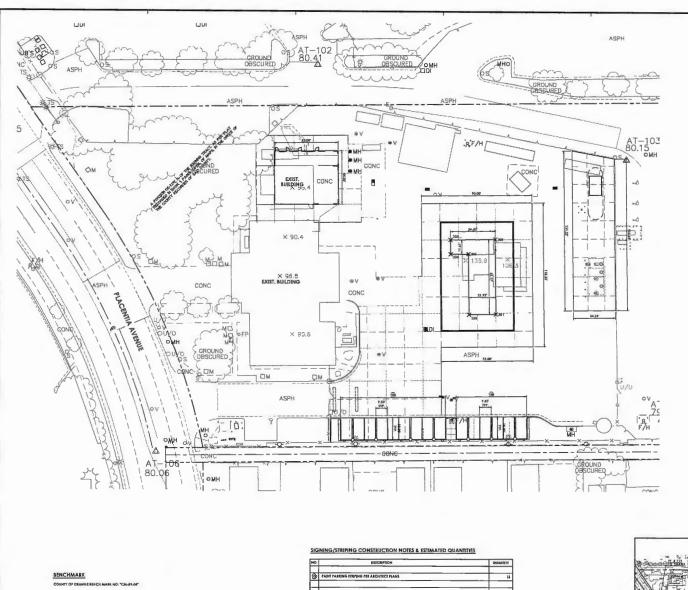
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EROSION CONTROL PLAN

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NOTE TO CONTRACTOR

GENERAL NOTES

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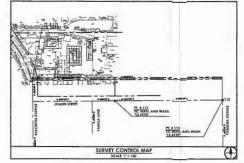
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6	PAINT PARKING STRIPING PER ARCHITECT PLANS	1.5

NOTICE TO THE CONTRACTOR







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TRAINING CENTER COSTA MESA FIRE

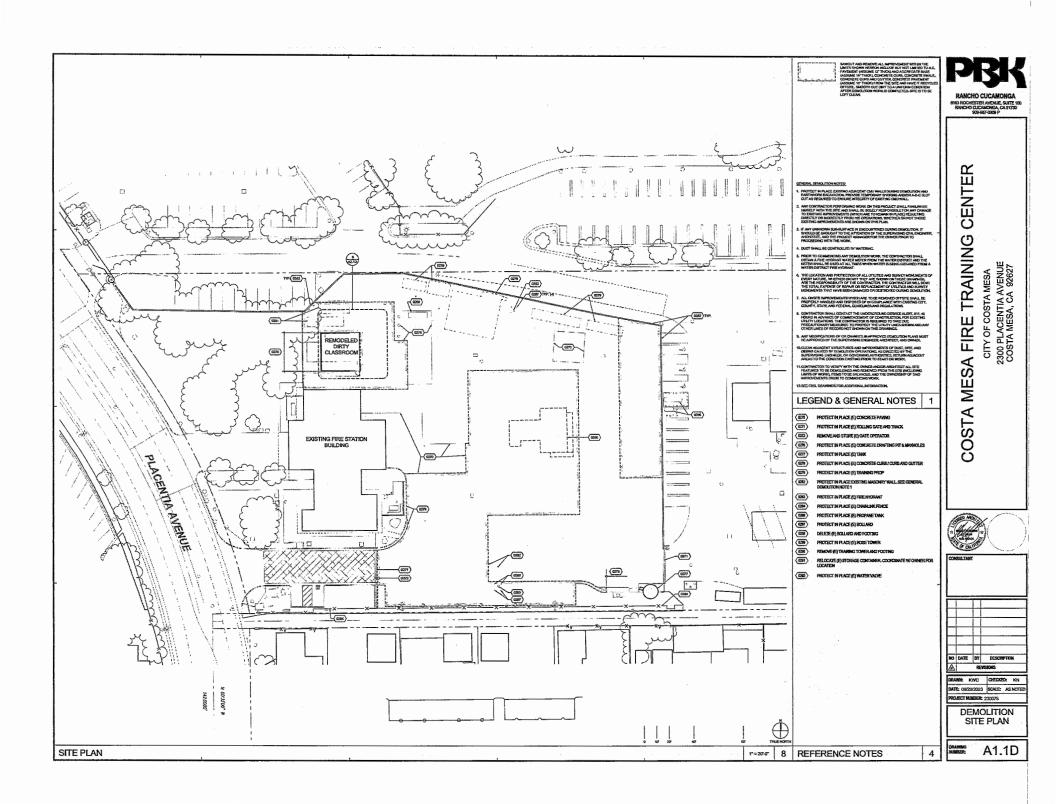
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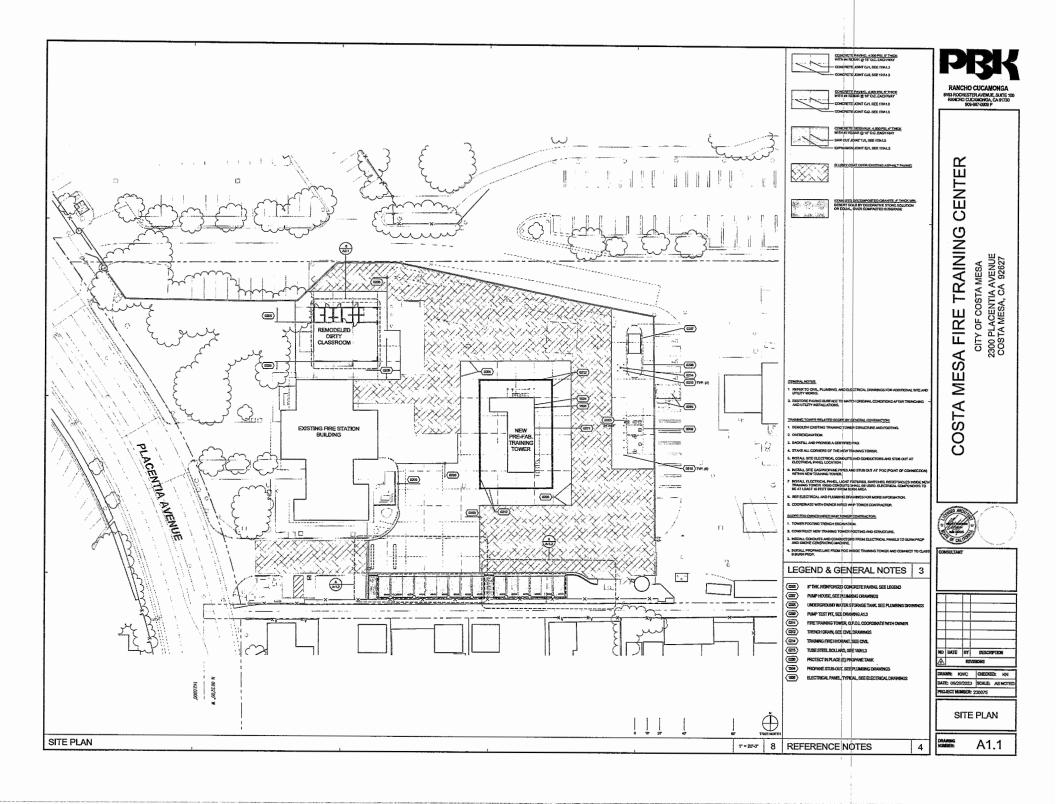


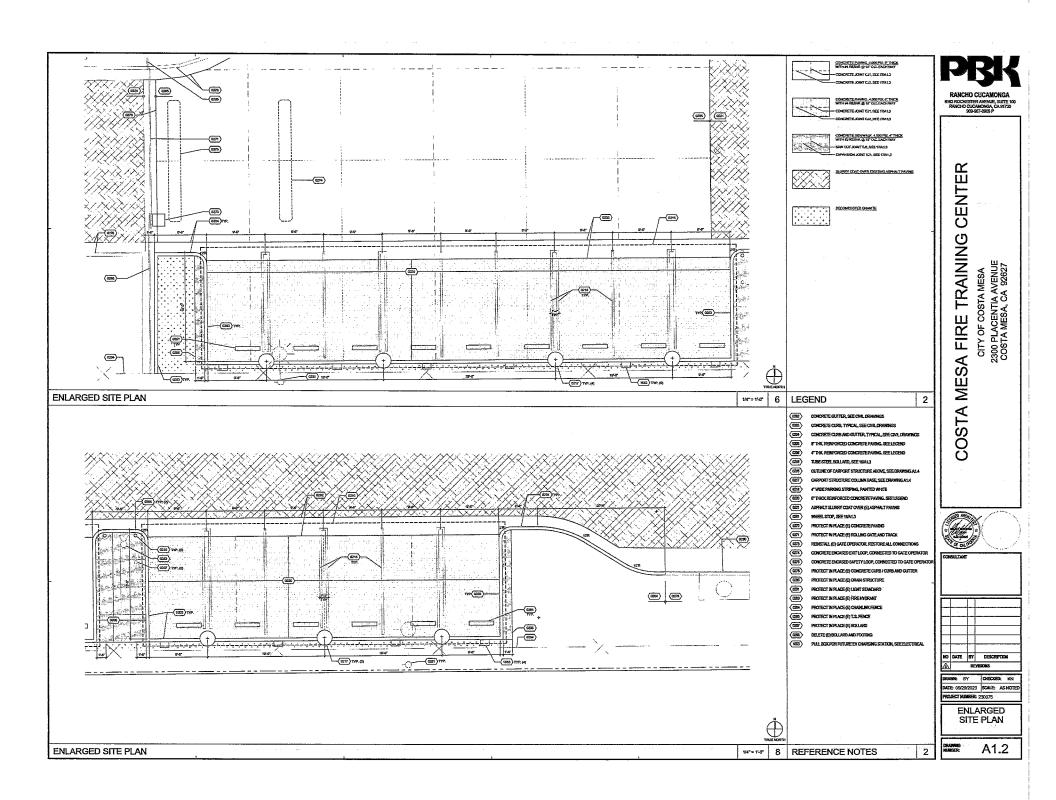
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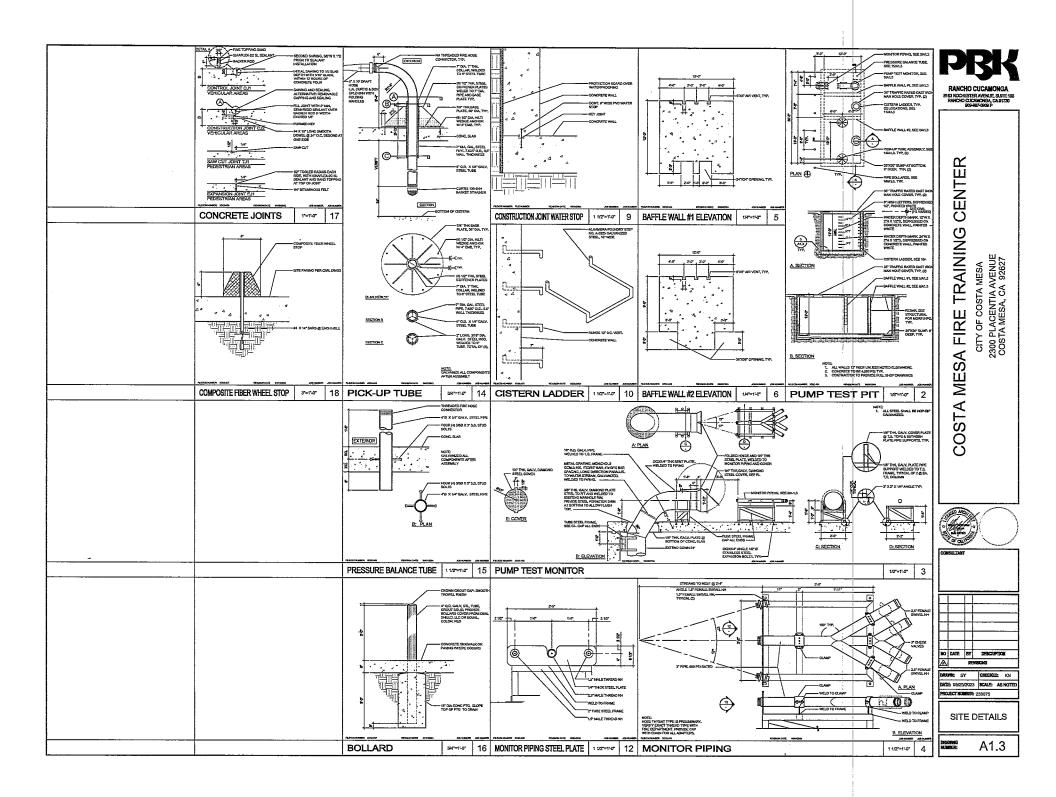
HORIZONTAL CONTROL PLAN

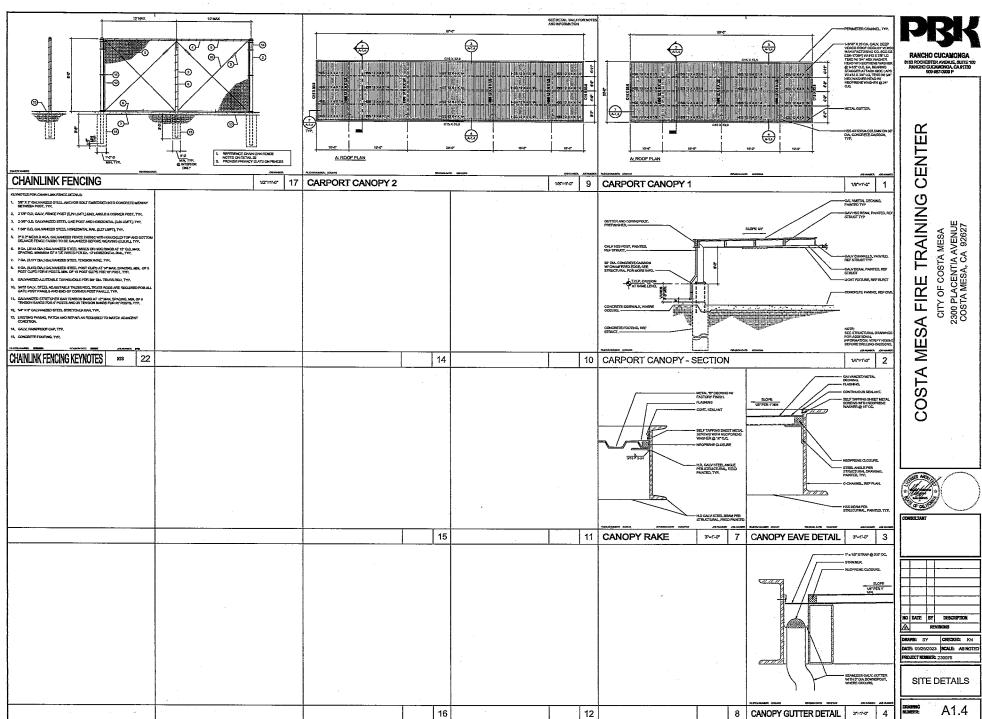
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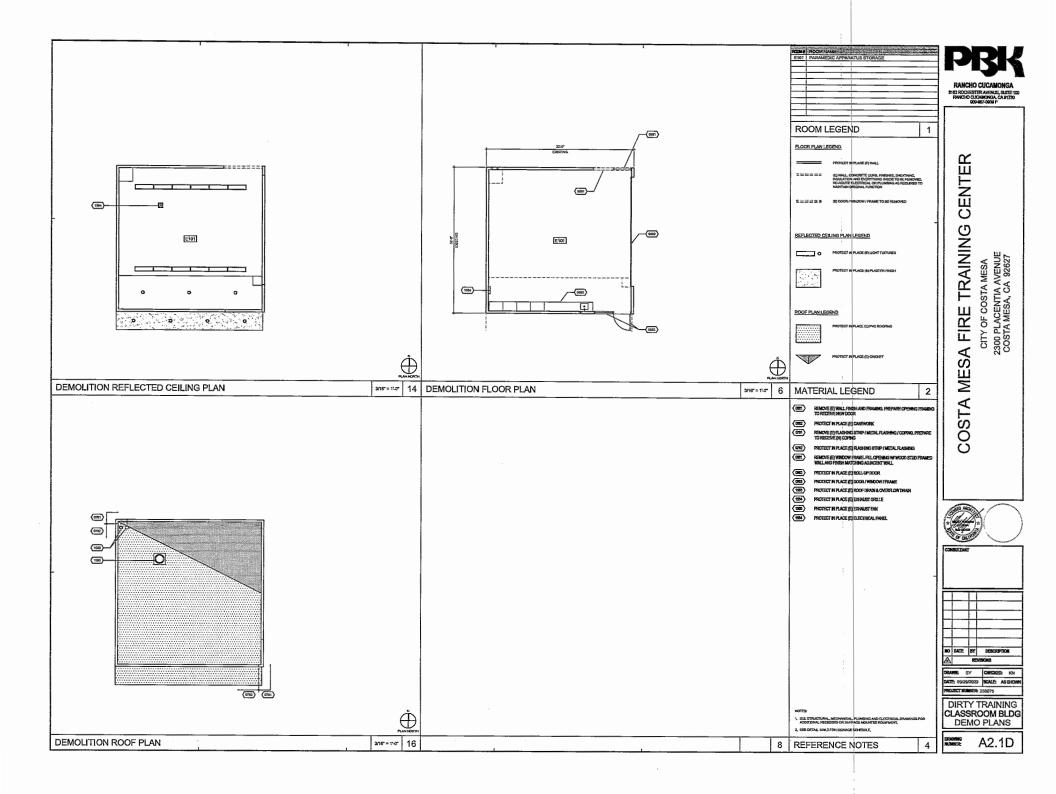


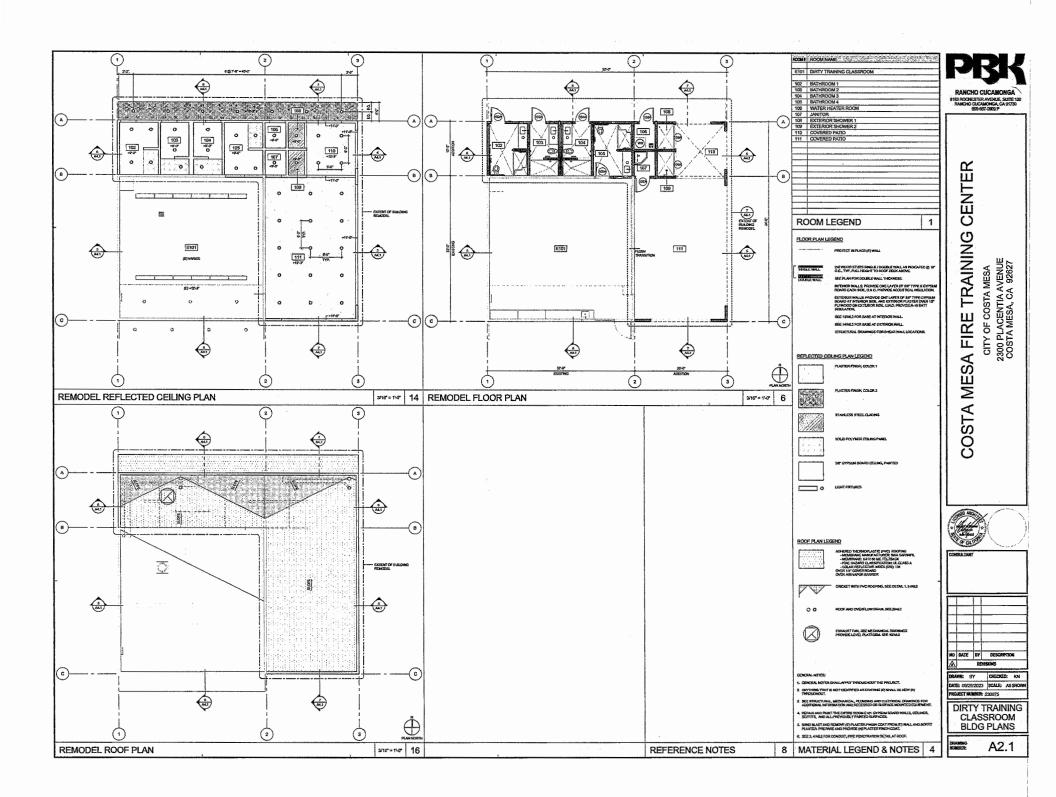


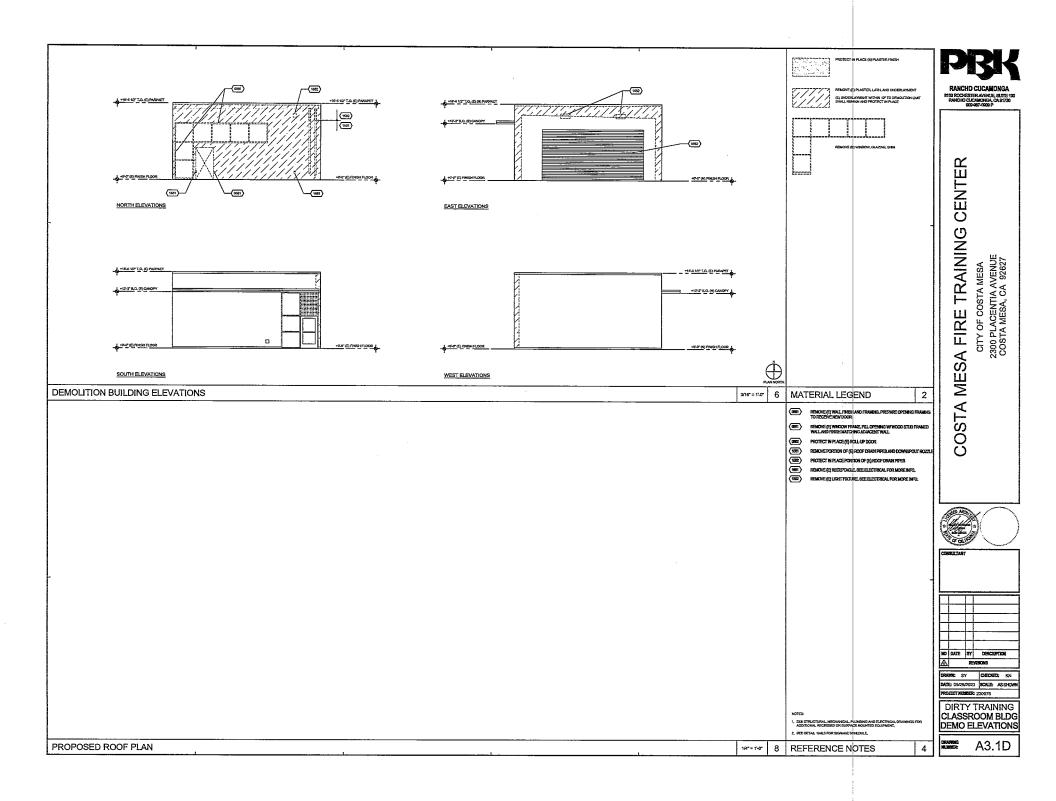


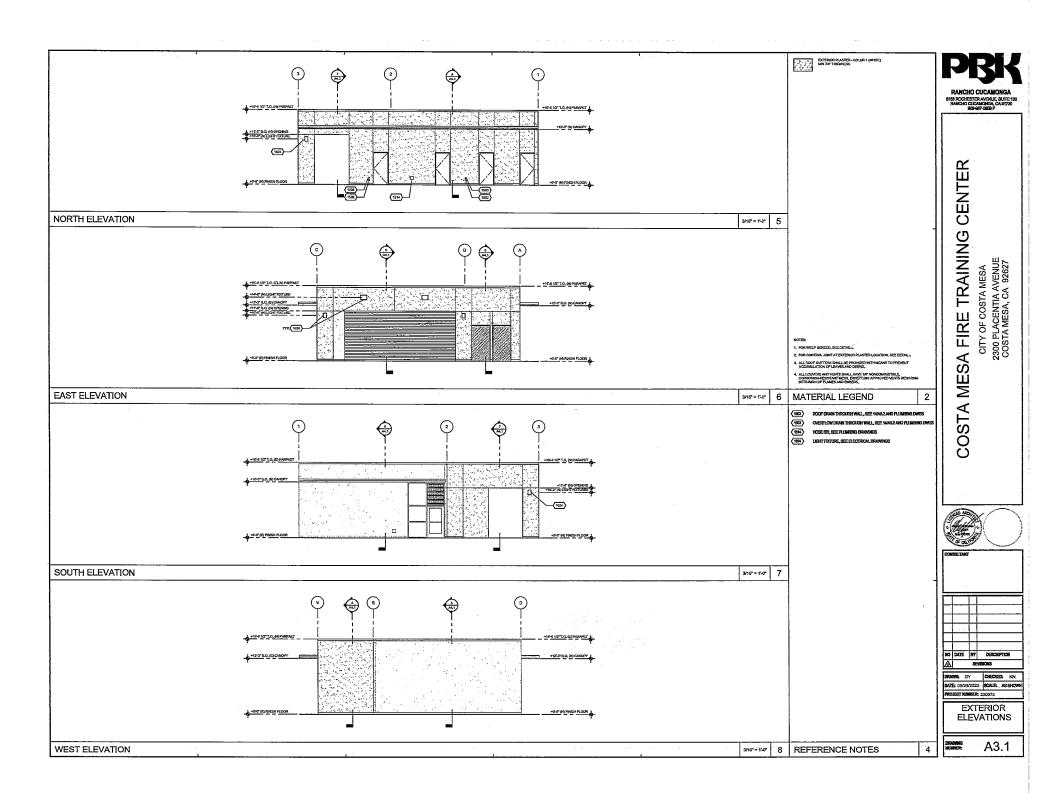


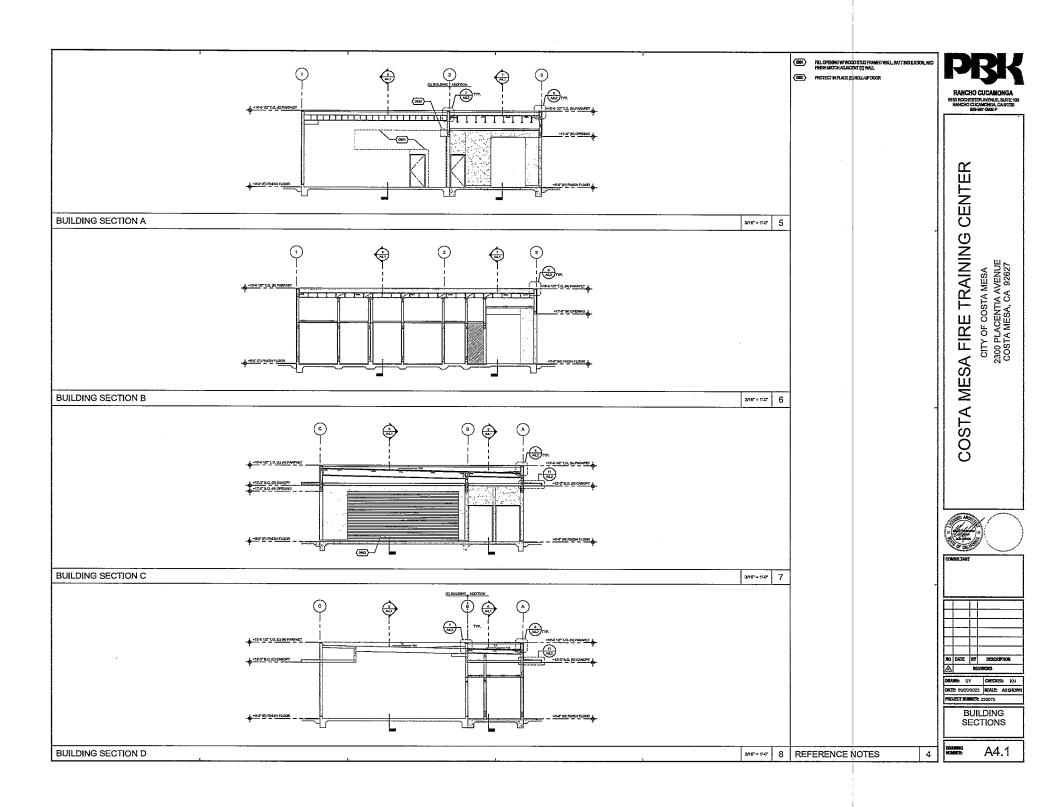


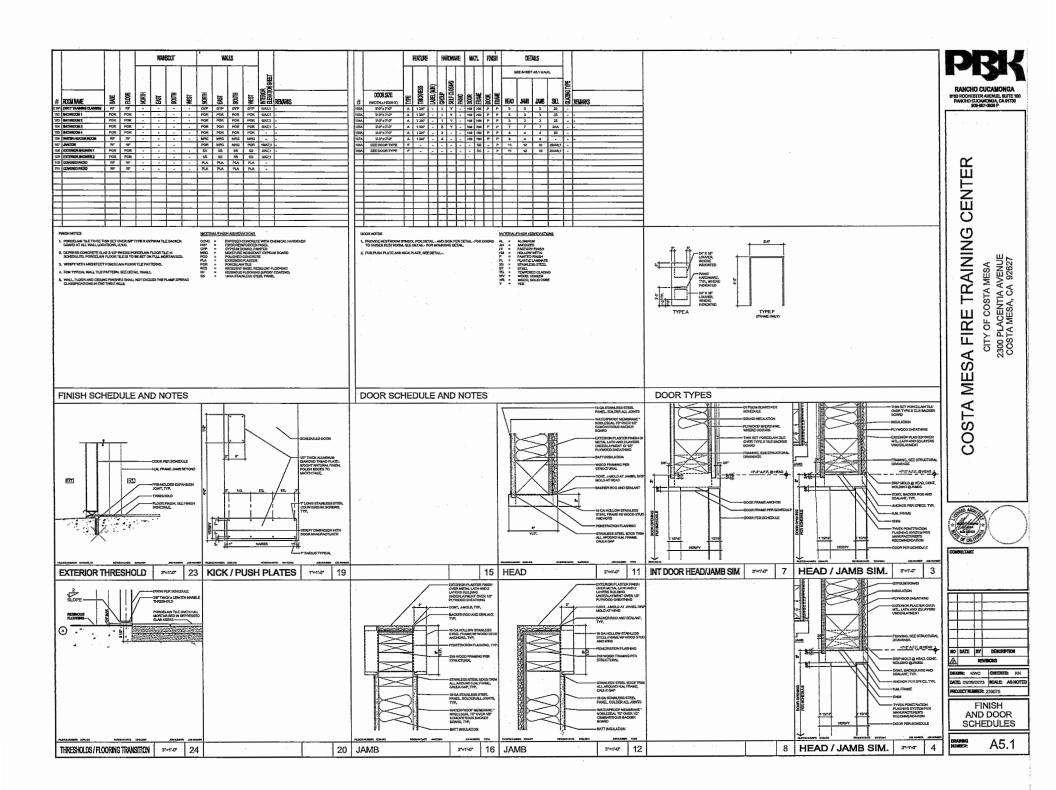


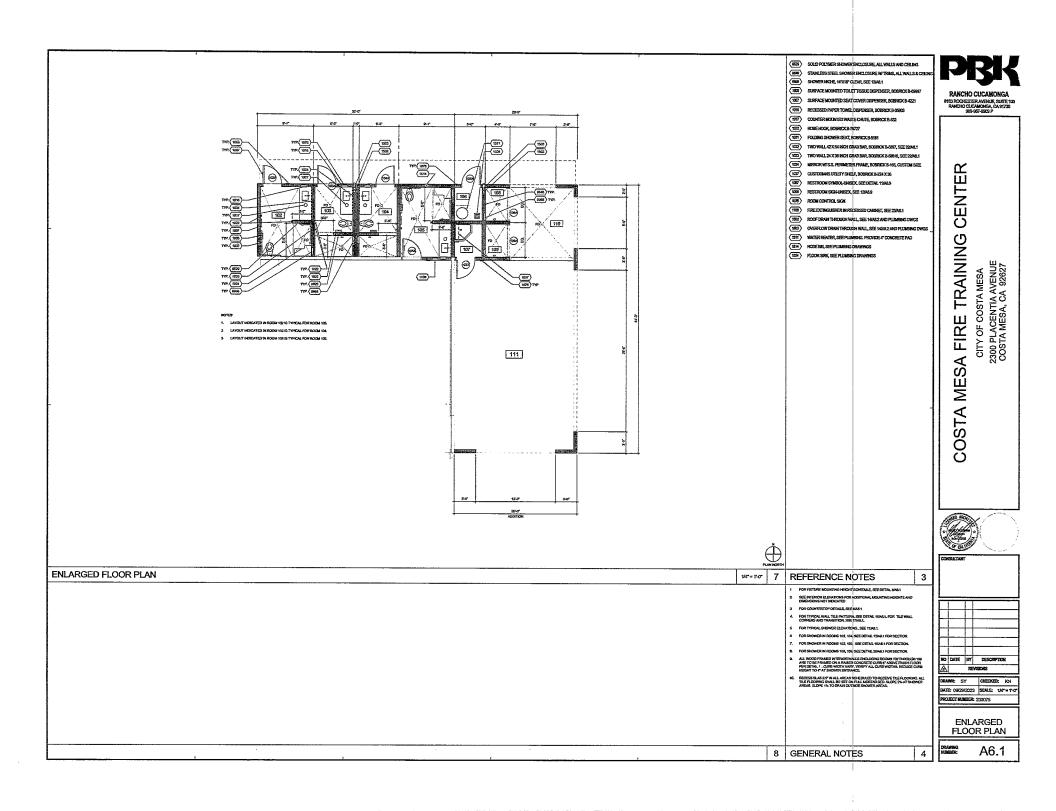


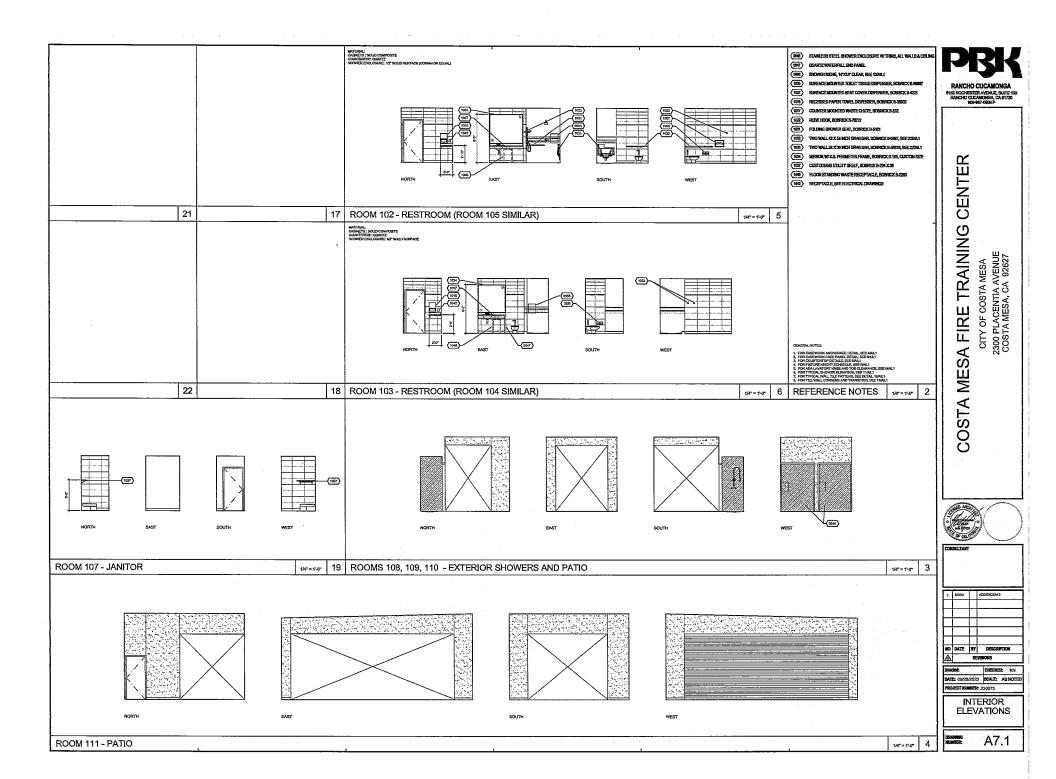


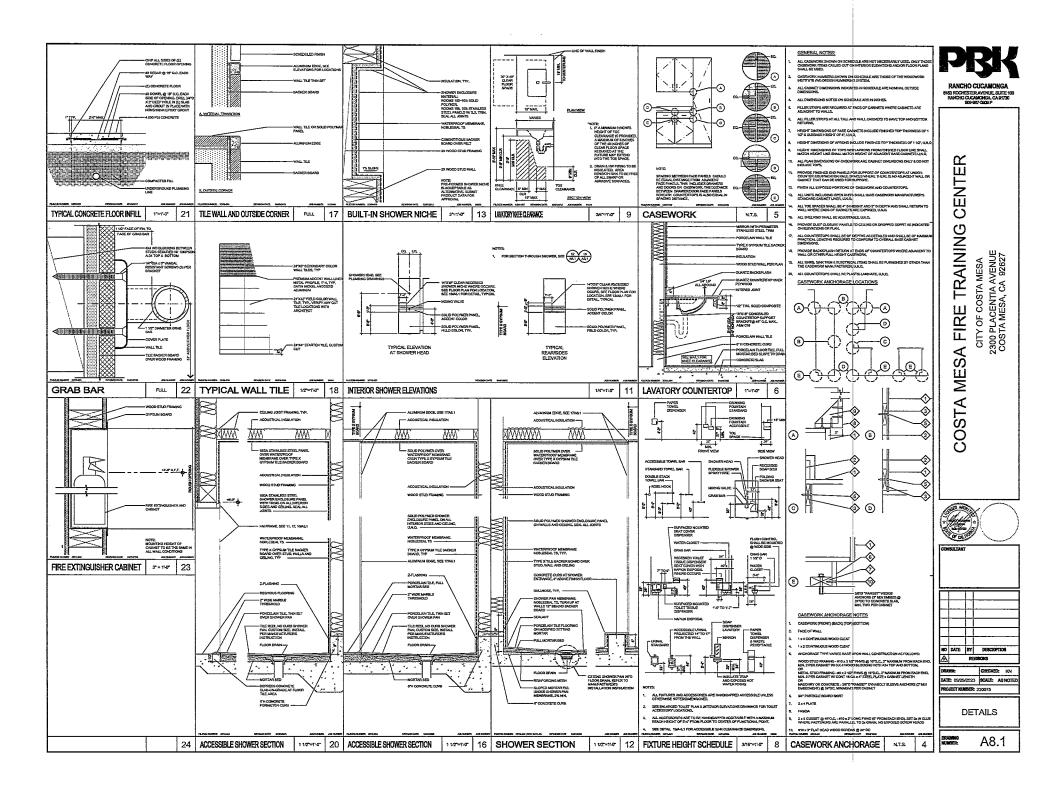


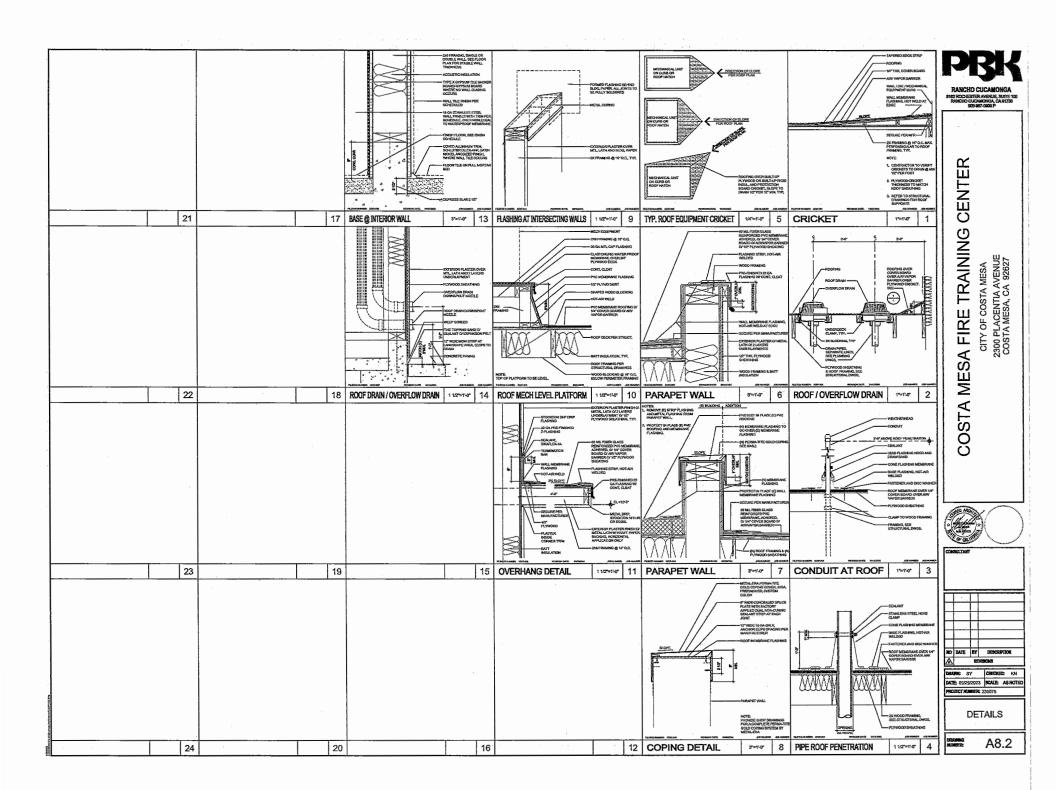


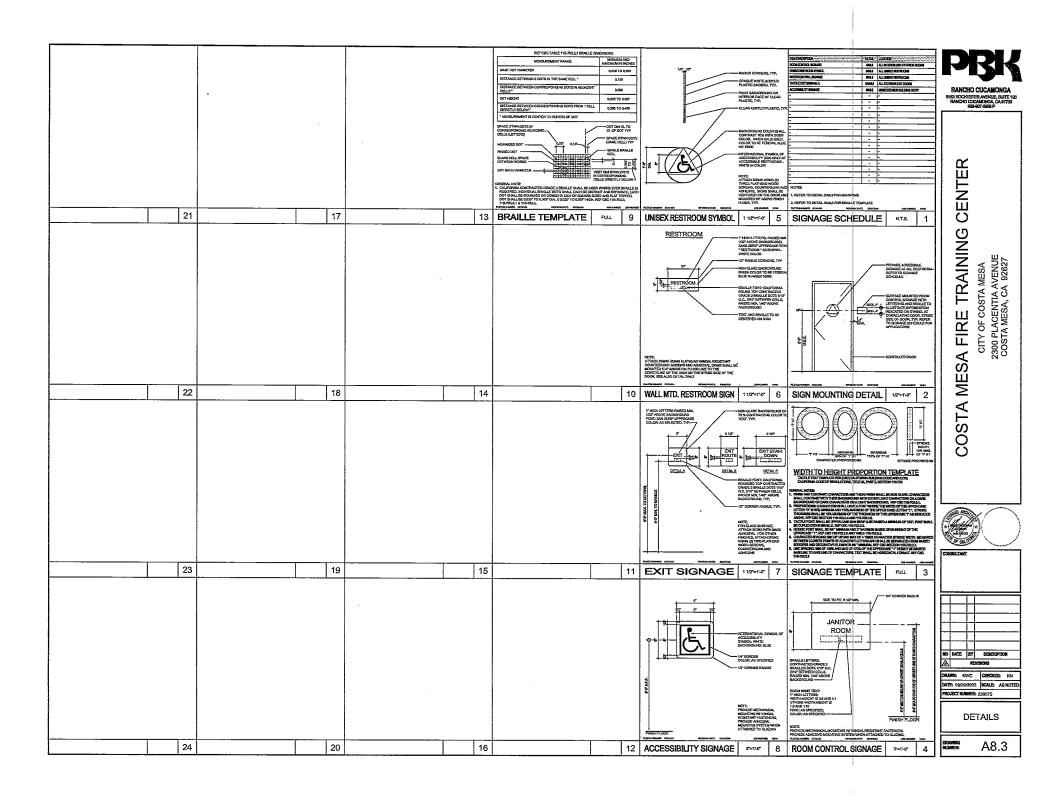


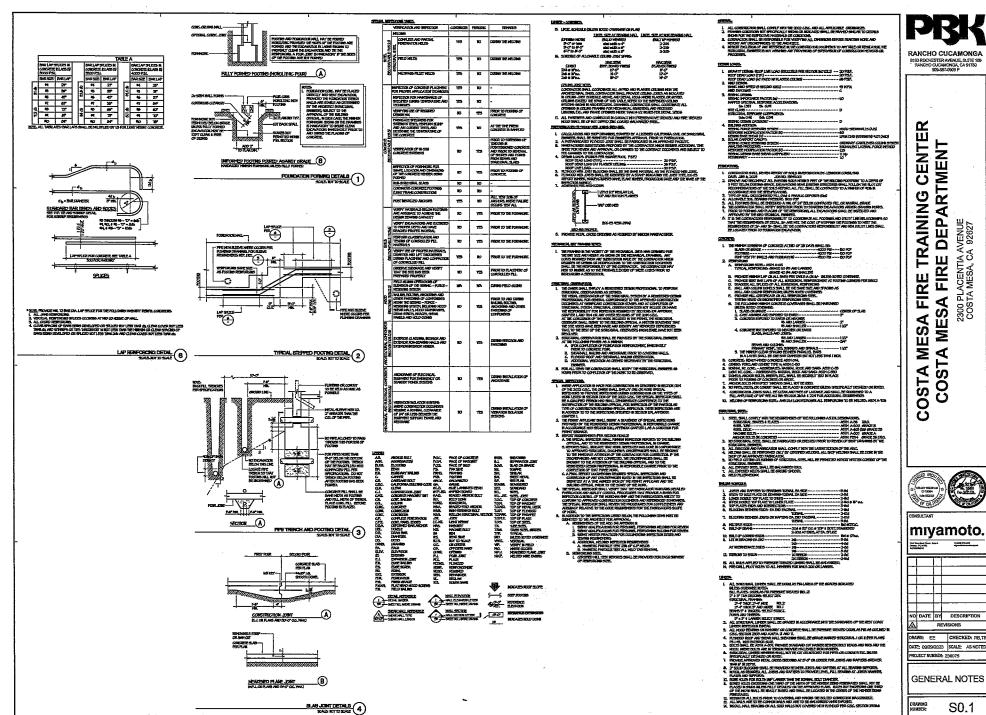




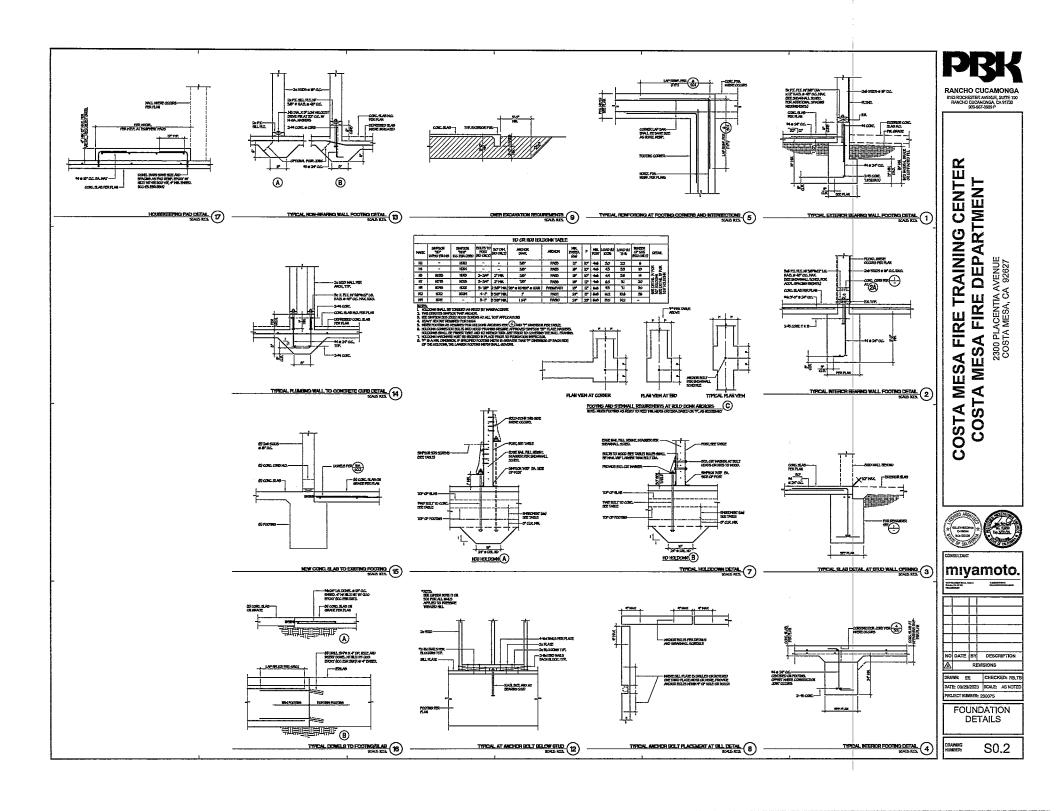


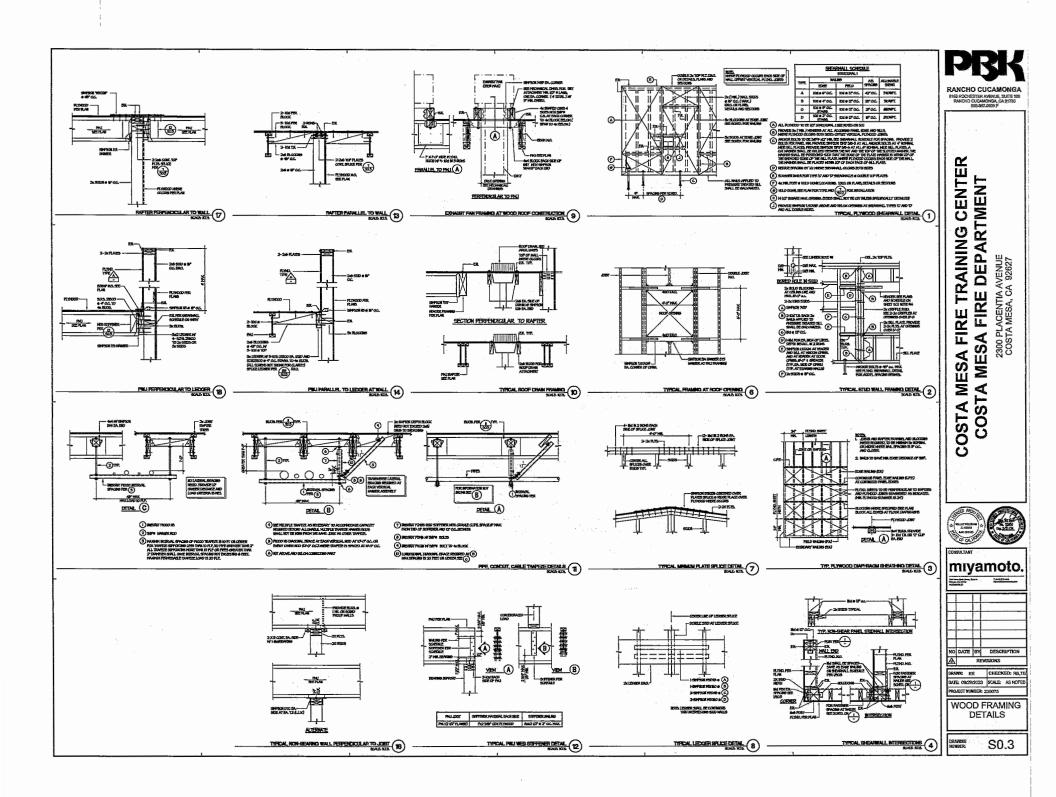


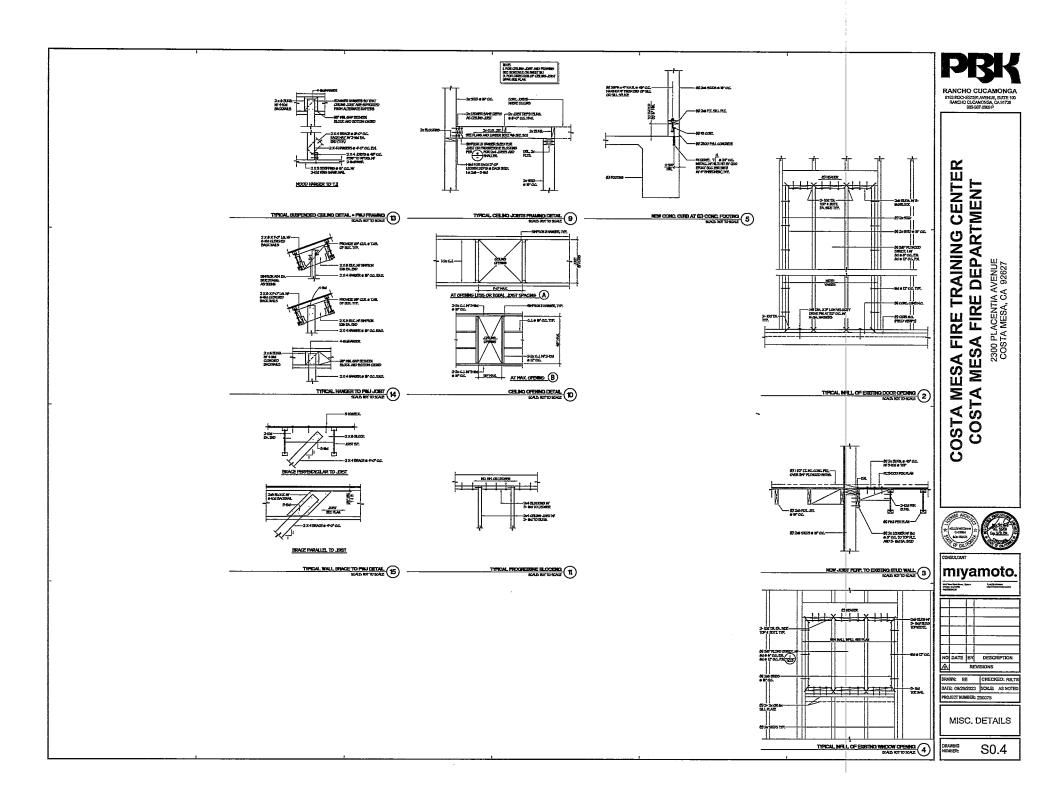


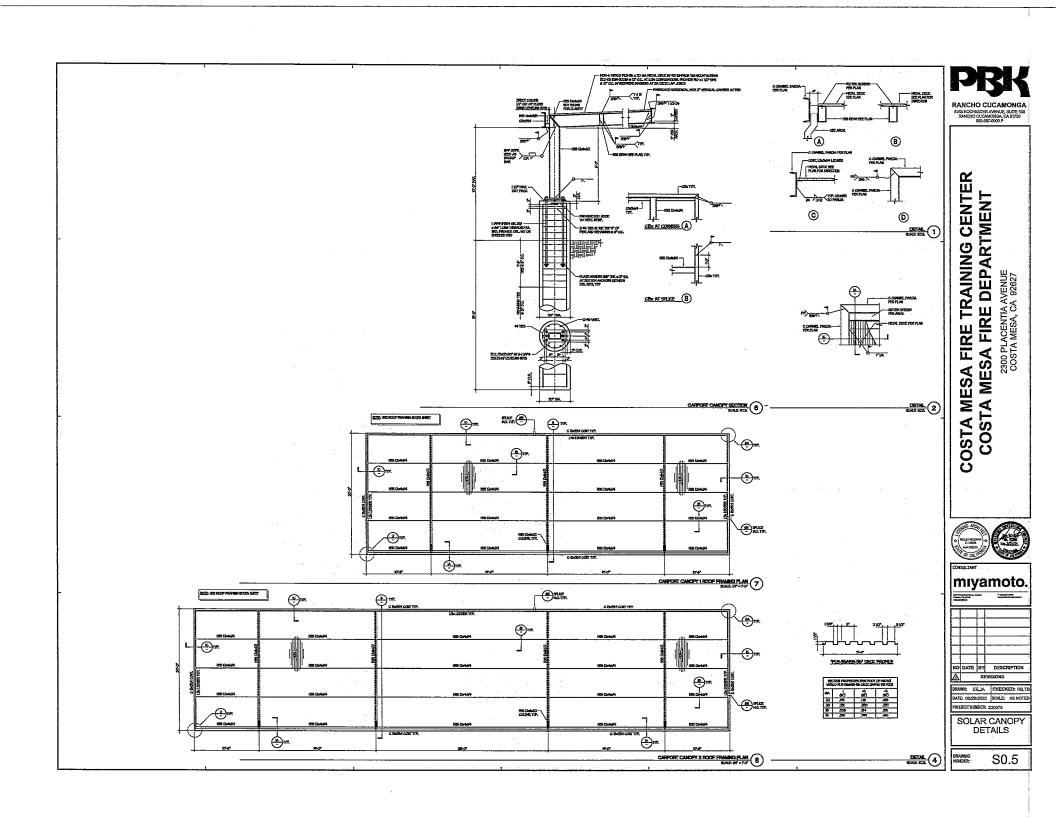


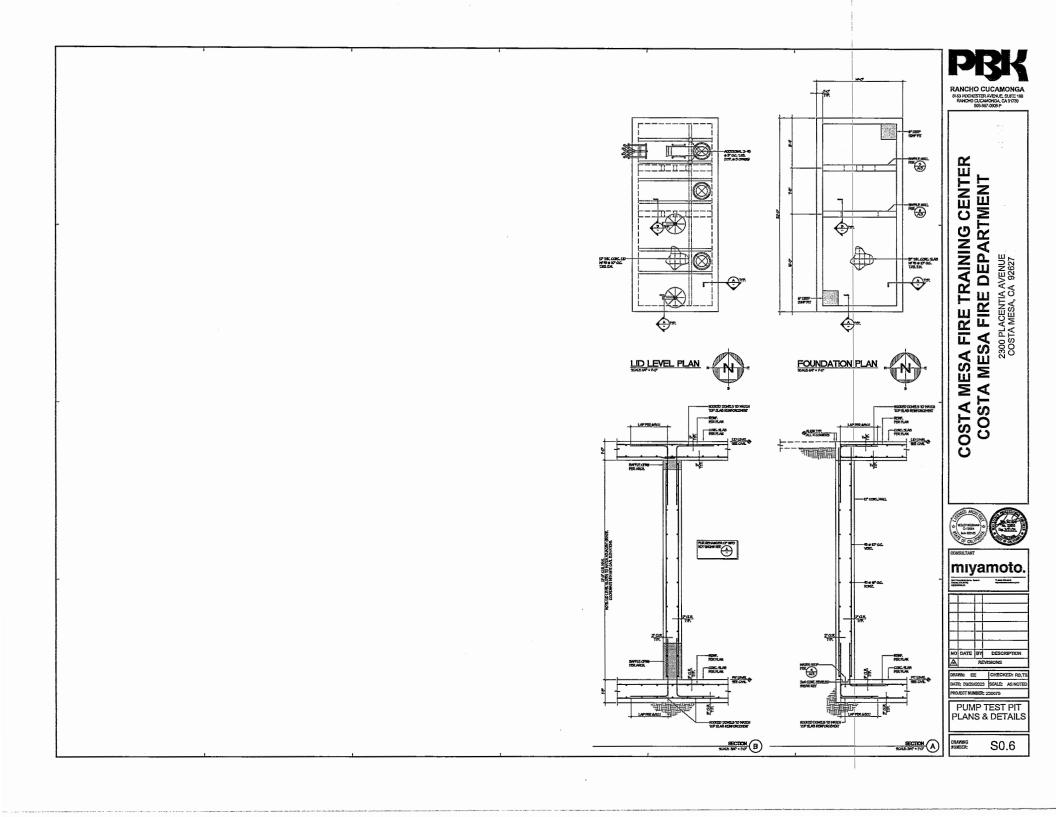
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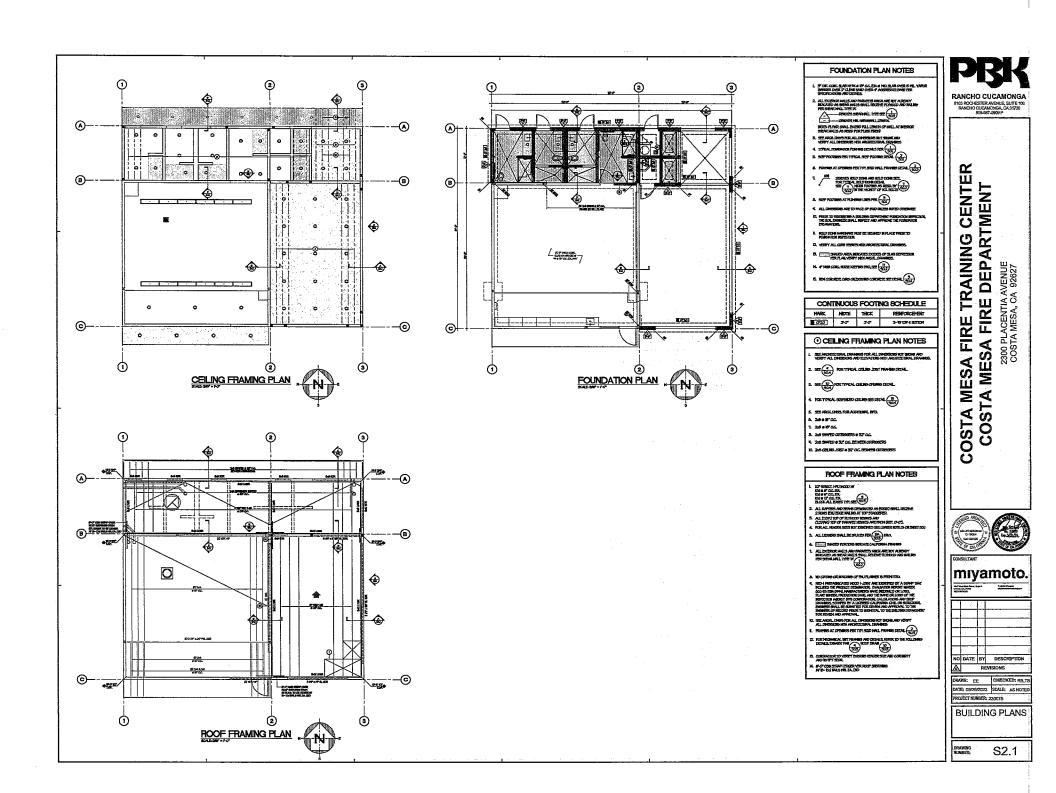


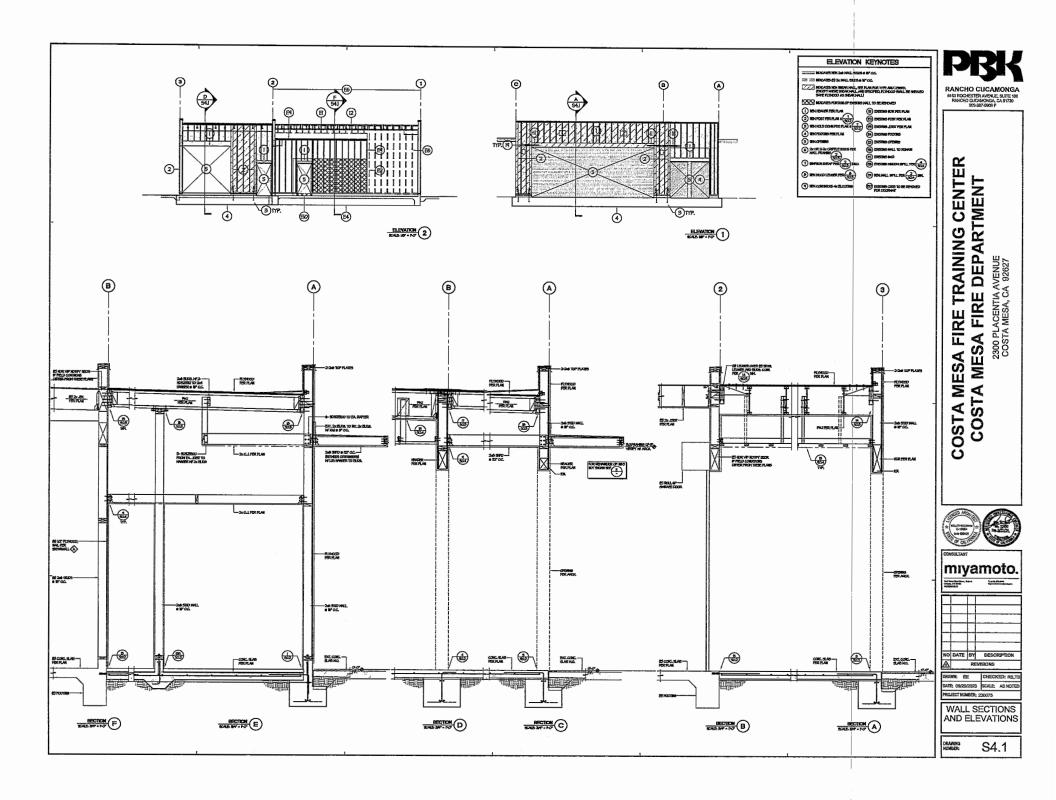












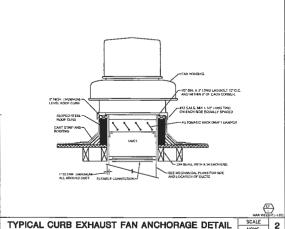
CA GREEN BUILDING STANDARDS NOTES

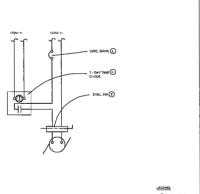
ONTIFE INSTALLATION SHALL COMPLY WITH THE ZOLZ CALIFORNIA CREEN BUILDING STANDARDS (CALEREEN) CODE INCLUDING THE FOLLOWING APPLICABLE MANDATORY METABLISHES.

- 3.50.1.3 PERMANENT HYAC SYSTEM SHALL ONLY BE USED DURING CONSTRUCTION INCESSARY TO CONDITION THE BULDING WINDOW THE REQUIRED TEMPORATHER RINGE TOM MATERIA, AND EDEPHONE INSTALLATION. IF THE HAVE SYSTEM IS USED QUIRO CONSTRUCTION, CONTRACTOR SHALL USE UIDTY 8 MINIMUM RETURN ARE FLIENS.
 REPLACE ALL PELTES IMBEDIETLY PRIOR TO GOCCUPANCY.
- SSGA.3 CONTRACTOR SHALL COMER ALL DUCT AND OTHER RELATED AIR DISTRIBUTIONS OF THE DISTRIBUTION OF THE DISTRIBUTION AND STORAGE AND CONSTRUCTION AND UNITE PRIAS STARTUP.
- S.SOA,B.S. NERY 15 FILTERS ARE REQUIRED FOR HYAC SYSTEMS SERVING REGULARLY OCCUPED AREAS AND AS INDICATED IN THESE PLANS.
- 3.304.7 OUTDOOR SHOKING AREAS SHALL BE MINDING 25"—0" FROM ALL BUILDING ENTRES, DUTDOOR AIR INTAKES, AND DPERABLE WINDOWS.
- 3-508.2 DEMAND CONTROL VONTRATION REQUIRED FOR ALL DENSELY DCCUPIED SPACES PER 2022 CAUFDRIAN DIGDREY CODE REQUIREMENTS.
- 5.508.1 HVAC, RETRIGERATION, AND FIRE SUPPRESSION EQUIPMENT SHALL NOT CONTAIN CFCS OR HALDINS.

	EXHAUST	FAN S	CHED	ULE									
SYM	MFR & MODEL #	SERVICE	CFM	983	нР	DHP	ELEC V	PH	FAN RPM	(LDA)	REMARKS	CONTROL DETAIL	ANCHORAGE DETAIL
(T)	GIBLENHEEK G-050-VG	RESTRIXONS	6400	u.7	14	0,16	115	1	1,046	45	1, 2, 3	a	a

- 2. PROVIDE WITH BOOK CUITA





TYPICAL EXHAUST FAN WIRING DIAGRAM DETAIL

SCALE

LEGEND SYMBOL ARRE DESCRIPTION SUPPLY AIR RESER RETURN AIR RISER DOHAUST AIR RISER 図 SAD SUPPLY AIR CRELE RAG RETURN AR GRILLE EAG EXHAUST AIR CRILLE SWR SIDEWALL RECESTER (L) LINED BUCTHORK FLAT DVAL DUCTHORK -011110-FLEXIBLE CONNECTION FLEXBLE CONNECTION

NEW DUCT (SZE PLAN) **└**---EXISTING DUCT (SEE PLAN) DEND DUCT (SEE PLAN) MANUAL YOUME DAMPER BACKDRAFT DAMPER 577)----SFD. SMOKE / FIRE DAMPER Ø---FD FIRE DAMPER DL DOOR LOUVER 0,0 UNDERCUT DOOR 3/4" -R5-RS REFRIGERANT SUCTION LINE -81-RL. REFRIGERANT LIQUID LINE -----CONDENSATE DRAIN • S.D. SMOKE DETECTOR 0 P.D.C. POINT OF CONNECTION Ø T-STAT Ø H HANDISTAT **(B)** 1% TEMPERATURE SENSOR 0 05 60 PO PRESSURE DIFFERENTIAL SMITCH ூ s SWITCH 0 COZ SENSOR HWR HOT-WATER RETURN HWS HOT-WATER SUPPLY INSIDE DIAMETER LD. 0.0. OUTSOF DIAMETER W/ 5/4 SHEET HETAL 5/\$ STAINLESS STEEL VTR VIONT THRU ROOF EMS ENERGY MANAGEMENT SYSTEM 080 OPPOSED BLADE DAMPER AFF ABOVE FINISHED FLOOR

1 DITTIE METALLATION GUILL CONSTRUIT DI THE METALLATION GUILL CONSTRUIT DI THE METALLATION GUILL CONSTRUIT DI THE METALLATION CONSTRUIT DI SANCIA DI SANCIA CONSTRUITI DI SANCIA DI SANCIA CONSTRUITI DI SANCIA CONSTRUITI DI SANCIA CONSTRUITI DI SANCIA CONSTRUITI

THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH AND BE CONSIDERED TO BE PART OF A SEPERATE AND COMPLETE MECHANICAL SPECIFICATION ALL EQUIPMENT, DUCTS, PEPING, AND OTHER DEVESTS
AND MATCHALL BUSINESS OF THE BUILDING
ON OTHERWISE SPOKED TO THE BUILDING
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GENERAL NOTES

ORIDING OF SUCH TIDES.

CONTRACTOR SHALL PROVIDE SHOP DRAWINGS INTING 39 DAYS OF ARMBO OF CONTRACT, IF SHOP DRAWINGS ARE OF PROVIDED OF THE ACCOUNT FOR MANINGS, ARE NOT PROVIDED OF THE ACCOUNT FOR THE ACCOU

---- CONTROLS -----

CONTROL SCHEMATICS ARE FOR SEQUENCE ONLY.
ROTER TO ELECTRICAL DRAWNESS AND SPECIFICATIONS
FOR ALL ELECTRICAL DEVICES REQUIRED.

CONTINUE ON THE ASSOCIATION.

ALL PLOCING DUCTHORIC SHALL NOT EXCEED SIVE
PEET IN LONGTH TO RESPECTIVE DEPUSERS. CRILLES
AND REDISTERS, OR OTHER AIR DEVICES AND NOT
REPLACE MORE THAN DOE CLIDOW, WHICH SHALL
OCCUR AT THE AIR DEVICE.

PROME STEME RETRIENTS TO ALL DUCTHERS.
PROME STEME RETRIENTS TO ALL DUCTHERS.
PPE, AND EMPHET SUPPORTS IN ACCORDANCE
WITH MR. LA DEST SAMENA CADOLINES FOR SECOND
EMPHEM SHANLES PROMODO WITH SECOND
ANCHERICA AND SEGATION SUPPORTS.
ALL DUCT STEME

ALL DUCT TURNS IN RECTANGULAR SUPPLY, RETURN AND EXHAUST DUCTS SHALL HAVE TURNING VANES UNLESS OTHERWISE NOTED.

UNLESS OTHERWISE NOTED.

DUITMORN HANDLING CONDITIONED AIR SAULE SE
INSULATED ON LINED AS MORCATED ON DRAMMORS.
SIMPLY, OUTSIDE AIR, MAY INCTURE DUT FOULERS
SHALL SE MIN, 1.5" THESE, 3/A LE/DUBG PT.
DOKSITY AND NAVE A MIN VALLE OR P. S MIGHE
LOCATED IN DIME ON MORE OF THE FOLLOWING
SPACES.

A) GUITTOGRES, OR

B) IN A SPACE BETWEEN THE ROOF AND AN INSULATED COLUNE, OR C) IN A SPACE DIRECTLY UNDER A ROOF WITH FIXED VENTS OR OPENINGS TO THE DUTSOK OR UNCONDITIONED SPACES, OR

D) IN AN UNCONDITIONED CRAWLSPACE: OR

E) IN DIHER UNCONDITIONED SPACES

PICE TOTAL CIT., DIRERWISE PROVIDE R-4.2 WHEN LICATED IN COMMITTION ATTO SPACES AGOVE THE LICATED IN COMMITTION ATTO SPACES AGOVE SHALL BE INTERNALLY UNION WITH 1.5 THE CASE OF SHALL BE INTERNALLY UNION WITH 1.5 THE CASE OF SHALL BE INCOMITTED AND LICATED AN

ALL INSULATION SHALL HAVE A FLAME SPREAD OF HOT HORE THAN 25 AND A SMOKE DENSITY NOT EXCEEDING 5Q.

NOT MORE THAN 25 AND A SIGNE DOCUSTY NOT
MORE THAN 25 AND A SIGNED DOCUSTY NOT
ALL DICT PRINCIPLES TO INFORMAL POTYMERS.
ROBLES, AND RECORDS, S. PHILL, A POTYMERS.
ROBLES, AND RECORDS, S. PHILL, A POEM AT THE
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BRANCH DOCT LOCATION. THE MEDIANCEAL
PRINCIPLE AND A POEM AND A POEM AND A POEM A
MACKESSER, CAME OPPHATED AND ADDITION.
CONTROL SHALL BY PORMED AND A DOCTOR.
PERMITTION LANGE OPPHATED AND A POINT REPERMITTION LANGE OPPHATED AND A POINT REPERMITTION LANGE OPPHATED AND A POINT REFERMINIST LANGE OPPHATED AND A POINT RETOLLORS.

4. MITMANT, PRED DAMPERS REDUREDATES ARE AS
POLICIOS.

A) PROVIDE AUTOMATIC FRE DAMPERS AT ALL
PRICTIALTIONS OF FIRE-AND CLEAKS AND MILLS
PRICTIALTIONS OF THE AND CLEAKS AND MILLS
PROVIDED AND THE AND CLEAKS AND MILLS
REGIONATED AND THE TRANSPORT TO MISTALL AND
DIAMENS AND OTHER TRANSP PROOF TO MISTALL AND
ANALL MOTH PRIDMENT PARTIES PROOF TO MISTALL AND
CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE
PROPER ACCESS OF OMAPHIES AND THE AND
COMPATE THE RATING SHALL BE COMPATIBLE WITH THE
CREAKS/MALL BASINGS SHALL BE COMPATIBLE WITH THE

B) LOCATION OF FIRE-RATED COLINGS AND MALLS ARE AS INDICATED ON THE ARCHITECTURAL ORANGES.

D) CONTRACTOR SHALL FURNISH FLUSH MOUNTED FRE AND/OR SMOKE DAMPONS, SO THAT DAMPON ON NOT EXTEND PLASS WALLS, FOR AREAS BETHOUT CELENCS FOR DULLITY WORKLOWSHIP.

COLUMNS FOR GUACHT RESISTANCE.

CONTRACTOR SHALL PERFORM MARTENANCE ON ALL

CHISTING THE AND SHAKE/FIRE DAMPERS POR
MARIFACTURIN'S PROVISIONS, ANY FALLISES OR
NON-POPULATION DAMPERS SHALL SE REPLACED AND
SHALL CONTRIN TO CURRENT COOR REGULATIONS.

32. ALL DUCTHORK PASSING THROUGH FIRE RATED CORRIDORS AND LOGGES SHALL BE MIRL 25 GACE SHEET METAL CONSTRUCTION. 11 ALL OUCTWORK, PPINE, CONDUIT, & ETC.
PENETRATING FRE RATED CONSTRUCTION SHALL HAVE
APPROVED FIRE STOPPING.

IND

MOTES:

(, NOT ALL DIFFUSER/GRILLE TYPES OR SIZES MAY DE LISED ON THIS PROJECT,

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COSTA MESA

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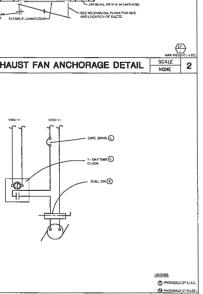
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PROJECT NUMBER: 230075 MECH LEGEND, SCHEDULE, & GENERAL NOTES

DRAWING MO.1

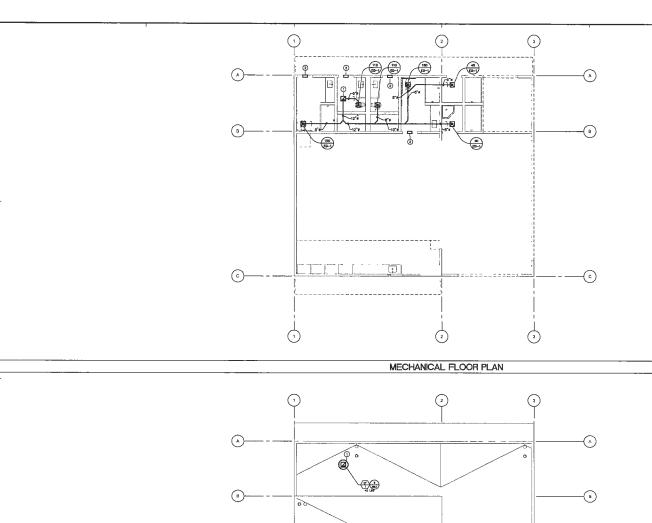




LEGEND

(2)

SUPPLY DIFFUSER SUPPLY REQISTER RETURN GRILLE EXHAUST GRILLE I RANGI LY GRILLE



CONSTRUCTION NOTES

- COORDINATE ENTRE INSTALLATION OF THE HAYA STSTEM WITH THE MORK OF ALL OTHER TRADES PRIOR TO ANT FABRICATION OF BISTALLATION. PROVIDE ALL ITTINES, DITSETS, AND TRANSITIONS AS REQUIRED TOR A COMPLETE WORKHARE INSTALLATION. THE LEGIALMICAL CONTRICATION SHALL BE RESPONSED TO COORDINATE TIMES TO BE PROVIDED BY OTHER TRADES MAKES WHEN IN THE CONTRICATION.
- COORDINATE THE LOCATIONS OF ALL COUNTY DEFUSERS, REGISTERS AND GRILLS WITH THE ARCHITECTURAL REPLIETING COLLING THAN ELECTRICAL UCHTING LATOUT AND ARCHITECTURAL ROOM CLEVATIONS, COORDINATE AND PAINT ALL DIFFUSERS PER ARCHITECTURAL REQUIREMENTS.
- 1. AT THE TIME OF ROUGH INSTALLATION, OR DURNIC STORAGE ON THE CONSTRUCTION SIZE AND UNITE, PIAMS, STRATE UP OF THE REATING, COOLING AND YEARTHATING COUPLINT, ALL DUCT AND DIFFER RELATED AIR DISTRIBUTION COMPOSENT OPENINGS SHALL BE CONVERTE WITH TAPE (MSATIC, SMET METAL, OR DIFFER ACCEPTABLE METHODS TO REDUCE, THE AMOUNT OF CACT, MATER, AND DEEDS WHICH MAY EXTER THE STSTAM.
- 4. PROVIDE ALL TRANSITIONS AS REQUIRED TO CONNECT DUCTIFORK TO EQUIPMENT

CONSTRUCTION KEYNOTES:

- 1) 12"+12" EXHAUST DUCT UP THRU ROOF, SEE 1/M2.1 FOR CONTINUATION.
- (2) EXTERIOR COOR LOUYER WITH MINIMUM 0.5 SQ FT OF FREE AREA.

COSTA MESA FIRE TRAINING CENTER

RANCHO CUCAMONGA 6163 ROCHESTER AVENUE, SUITE 100 RANCHO CUCAMONGA, CA 91730 909-887-9909 P

> CITY OF COSTA MESA 2300 PLACENTIA AVENUE COSTA MESA, CA 92627

CONSTRUCTION NOTES:

- COORDINATE ENTRE INSTALLATION OF THE HYAC SYSTEM WITH THE WORK OF ALL DITHER TRADES PRIOR TO JAY FARRICATION OF RESTALLATION, PROVIDE ALL DITHES, OFFSETS, AND TRADESHORS AS REQUIRED FOR A COMPLEX WORKARLE DISTALLATION, THE MECHANICAL CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE TIMES TO BE PROVIDED BY OTHER TRADES INVESTE MINIORED
- COORDINATE THE LOCATIONS OF ALL COUNC DEFUSERS, RECISTERS AND CRILLES WITH THE ARCHITECTURAL REPLECTIVE CELLING PLAN, ELECTRICAL LIGHTING LAYDUT AND ARCHITECTURAL ROOM LLEVATIONS. COORDINATE AND PAINT ALL DIFFUSIONS PER ARCHITECTURAL REQUIREMENTS.
- 2. AT THE THE OF ROUGH INSTALLATION, OR DURNES STOWARD ON THE CONSTRUCTION STEE AND UNITE, FRAME STATE OF THE HEATING, CODQUIC AND STRILLATION OF COMPURENT, ALL DUCT AND STRILL RELATED ARE STRIPLING. COMPURENT POPOLANCES SHALL BE CONVEYED WITH TAPE, PLASTIC, SHEET METALOR STRILL CACCOPTION STORY OF THE AMOUNT OF DUCT, WATER, AND DEEDS WHICH MAY LATER THE STRIPLING AND STRIPS WHICH MAY LATER THE STRIPLING AND S
- 4. PROVIDE ALL TRANSITIONS AS REQUIRED TO CONNECT DUCTWORK TO EQUIPMEN

CONSTRUCTION KEYNOTES:

(1) 12"±12" EXHAUST DUCT DOWN THIS ROOF, SEE 2/M2.1 FOR CONTINUATION.

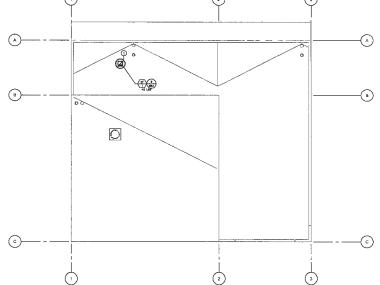


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PROJECT NUMBER: 230075

MECHANICAL FLOOR + ROOF PLAN

DRAWING M2.1



MECHANICAL ROOF PLAN

				_				FIXTURE S	CHE	DULE	_		_	_			1
_	1	. F	OUGH	-IN C	ONNE	CTION	5				8	ROUGH	I-IN C	ONNE	CTIONS	5	
ITEM	FIXTURE	TRAP	WASTE	VENT	WATER	COLD	GAS	DESCRIPTION	ITEM	FIXTURE	TRAP	WASTE	VENT	HOT WATER	COLD WATER	GAS	DESCRIPTION
(#C)	WATER CLOSET	INT	4"	2*	-	1*	-	AMERICAN STANDARD (A/S) NO. 3431.001 "MADERA FLORISE 15" HIGIST SLUKGATED FAUSH VALVE TOLLET, SPHON JET, ROOM HIGHEST SLUKGATED SOME, 15" HIGH. COMPLETE WITH SLOAM (EDS) NO. 8111-1.26 GFF BATTEST POWERED SENSON D'PERATED FLUSH VALVE, DUSONTE NO. 825SCT SSEAT AND A/S BULL TUPS.	(SH 1)	SHOWER			_	3/4*	3/4"		SYMMONS NO. 5401-1.3 "DEGAS SHOWER SYSTEM", COMPLETE WITH PRESSURE BALANCIA MINIC WALLE WITH LEVER HANDLE, INTEGRAL SCHWOLE STOPS, 1.3 GWA ADJUSTABLE SHOWEN HAND. SYMMONS NO. 5-3502-0YL-8-EX-A32SH-1.5 "EXPOSED SHOWER
(RC)	WATER CLOSET (ACCESSIBLE)	INT	4"	r	-	1-		HARRICAN STANDARD (A/S) NO. 3481.001 "MADERA FLOWSE 16-1/2" HEIGHT ELONGATED RUSHOMETEN TOILET, SPHON SET, FLOOR MOUNTED, ELONGATED BOWL, 16-1/2" HIGH. COMPLETE WITH SLOAM COS NO. 8111-1,26 CPF BATTERY POWERED SENSOR DEPRATED FLUSH	(SN) 2	SHOWER (ACCESSIBLE)				3/4*	3/4"		SYSTEM". COMPLETE WITH PRESSURE BALANCING MIXING VALVE WITH LEVEN HANDLE, INTEGRAL SERVICE STOPS, SEPARATE DIVERTOR VALVE 1.5 GPM HAND-HELD SHOWER, 80" HOSE, INLINE VACUAM BREAKER AND 30" SLIDE BAR.
	LAVATORY	_	_			┝	-	VALVE, DESCRIPTE NO. 935SCT SEAT AND A/S BOLT CAPS. AMERICAN STANDARD (A/S) NO. 0495.221 "OVALYN II UNDERCOUNTER LAVATORY", 20" X 17", UNDERCOUNTER MOUNTED, NTREDAIS DANA.	(RD	ROOF DRAIN		50	E PLAN	FOR 512	25		ZURN NO. ZCIDO-DP-B4, 15" CAST IRON BOOY, COMPLETE WITH ADJUSTABLE EXTENSION SLEEVE, FLASHING COLLAR, STAINLESS STEEL GRAYEL STOP, CAST IRON DOME STRAINER, SUMP RECEIVER, AND IMPORTAGECK CLAMP.
(\	(UNDER COUNTER, HW/CW)	1-1/4-	r	1-1/2-	1/2	1/2"		COMPETE WITH GRONE LINEAGE NO. 2057800A W/ LEVER NANDLES & POP UP DRAIN, MCDURE NO. 8089NC 1-1/2" LA. PATTERN P-TRAP, GALVANIZED NAPTE AND CHOROLAN PLATED BRASS CASING, AND CHICAGO NO. 1019-ASCP STOPS WITH WINCE HANDLE AND RIGHD SUPPLES MOUNT IN ACCEPTANCE OF THE NANDLE AND RIGHD SUPPLES MOUNT IN ACCEPTANCE OF THE NANDLE AND RIGHD SUPPLES MOUNT IN ACCEPTANCE OF THE NANDLE AND PRICED TO THE NAME OF T	(A)	OVERFLOW DRAIN	SEE PLAN FOR SIZES						ZURN NO. ZCIOO-DP-84-80, 15" CAST IRON BODY, COMPLETE WITH CAST IRON DOME STRAINER, UNDERDECK CLAMP, AND 2" HIGH WATEI DAM.
(SS)	SCRVICE	2-	3*	z*	3/4"	3/4"	Г	DECO NO. 871 "CORNER SERVICE SROY", EMANLED CAST IRON, CONNER FLOOR MOUNTED, COMPLETE WITH CHEAGO NO. 445-PVB-CP FAUCET, CEICO NO. 871-3" 3" DIAMETER DRAIN WITH FLAT CHROME STRAINER, GECO NO. 8-932 COATE WER RIM CLARD AND NOSE.	(IN)	DOWNSPOUT NOZZLE		SC	E PLAN	FOR SIZ	ets		ZURN NO, ZANG199-SS, MCXEL BRONZE BODY, STAINLESS STELL SCHEDI, THREADED MALET AND DECORATIVE FACE OF WALL, FLANCE AND DUTLET MOZZILE. CONNECT TO NO-HUS PIPMS WITH ZURN NO. Z-1042-NHIHM NO-HUS ELBOW ADAPTER.
(TP)	TRAP PRIMER (SINGLE DRAIN)			-		1/2	-	METAB NO. MR-SOO TRAP PRIMER VALVE, BRASS BOOY, AGAINTABLE, COMPLETE WITH 1/2" COPPER TYPE "L" PIPE TO RECEPTOR. WSTALL, PER MANUFACTURER'S RECOMMENDATIONS, COMPLETE BOAND ACCESS PANEL WITH SUIT-OFF VALVE.	(T)	EXPANSION TANK				-	-		MIKNS NO. WOTH-B. 2 CALLON, DIAPHRAGM TYPE, PRE-PRESSURZES WELDED EXTEROR, BUTYL DIAPHRAGM AND EPOXY COATED EXTEROR W/ MAPA MIC-8 EXPANSION TANK CAGE.
(P)	TRAP PRIMER ONULTIPLE			_	_	1/2"		MFAB NO. MR-500 TRAP PRIMER VALVE, BRASS BODY, AGAISTABLE, COMPLETE WITH MI-DU DISTREUTION UNIT, 1/2" COPPOR TYPE "L" PIPE TO EACH RECEPTOR, INSTALL PER MAINFACTURER'S.		PROPANE GAS PRESSURE REGULATOR			_	-			ACM, NO. 1988WA, 3/4" SIZE CONNECTION, 1/2" ORFICE, 20 PSI 8- 250 PSI INLET PRESSURE, FORCED ALIMINAM 800Y, DE CAST ALIMANAM BONNET, STEEL SPRING, RESULENT RUBBER VALVE SEAT DISCS, INTEGRATED FABRIC AND SYNTHETIC RUBBER DIAPHRAMS.
(RHB)	(ORAIN)	_	_			3/4"	-	RECOMMENDATIONS, COMPLETE BEHND ACCESS PAND, WITH SHUT-OFF VALVE. ACORN NO. BIOA, RECESSED WALL MOUNTED, STAINLESS STEEL BOX, WITH INTEGRAL VACUUM BREAKER AND LOCKING DOOR.	(2PR)	PROPANE GAS PRESSURE REGULATOR	-			-			ACME NO. 1586VN, 3/4" SIZE CONNECTION, 1/2" ORFICE, 5 PS IS 2 PS INLET PRESSURE FORCED ALUMANA BODY, DE CAST ALUMANA BONNET, SIZEL SPENG, RESILENT RUBBER VALVE STAT DOSCS, INTEGRATED FABRIC AND SYNTHETIC RUBBER DIAPHRAMS.
$\overline{\Box}$	HOSE BIBB					-//-											
(##JA)	WATER HAMMER ARRESTOR							ZURN NO. Z-1700 SERIES "SHOKTROL" WATER HAMMER ARRESTON COMPLETE BEHIND ACCESS PANEL. INSTAUL PER MANUFACTURER'S RECOMMENDATIONS.									
(P)	FLOOR DRAIN	r	r	1-1/2				ZURN NO. ZN-415-BZI-P. CAST RON BODY, COMPLETE WITH ROUND MIXEL-BRONZE TOP, CLAMPING COLLAR, 1/2° TRAP PRIMER CONNECTION AND P-TRAP.									
(PD) 2	FLOOR DRAIN (SHOWER)	r	5,	1-1/2				ZURN NO. ZN-415-BZ1-113. CAST IRON BODY, COMPLETE WITH ROUND NICKEL-BRONZE TUP, CLAMPING COLLAR, AND P-TRAP.									

	ELECTRIC WATER HEATER SCHEDULE													
ITEM	WANUFACTURER	M000. NO.	SERVICE	LOCATION	STORAGE					RECOVERY CAPACITY 0 60°F	RECOVERY INLET OUTLE CAPACITY TEMP TEMPE		OPER. WT. LBS.	REMARKS
(T)	ao swith	DEN-66	DOMESTIC HOT WATER	SEE PLANS	88 GALLONS	208	1	9.0	60	61 GPH	60	120	727 LBS.	MUST HAVE ASHRAE STICKER OR DITHERMISE COMPLY WITH TITLE 24 REQUIREMENT FOR SERVICE WATER HEATERS.

					FIRE W	ATE	R BO	DOST	ER I	PUMF	SCI	HEDI	JLE		
						CAP	ACITY			MOTOR			OPER.		
ITEM	MANUFACTURER	MODEL NO.	SERVICE	LOCATION	TYPE	GPM	HEAD	HORSE POWER	VOLT	PHASE	CYCLE	R.P.M.	WT. LBS.	REMARKS	
(F)	WEIL AQUATRONICS/SNCROFLD	FPPVF150 74-WA	FIRE HYDRANT SERVICE	CROUND LEVEL	VERTICAL TURBINE	256	171	25	208	3	60	3520	1838 UBS	FIRE PLANF CONTROLLER, JOSLYN CLARK MODEL C10880 MYE-DELTA CLOSED WITH TRANSFER SWIFTO 200 MOLT, 3 PHASE, 8D CYCLE, ENERX VALVE, GATE VALVE, BUTTERFLY VALVE, PRESSURE CAUGES, AUTOMATIC AIR RELEASE VALVE, AND CASHON RELEEF VALVE.	
(P)	WEIL AGUATRONICS/SNCROFLO	CR2-80U	FIRE HYDRANT SERVICE	GROUND LEVEL	VERTICAL TURBINE	25	40	5	208	3	80	3520	1838 UBS.		

	LE0	GEND
SYMBOL	ABBRÉVIATION	DESCRIPTION
	S CRI W	SOIL OR WASTE BELDW FLOOR OR CHADE
	500	STORM ORAN ABOVE FLOOR
	so	STORM DRAIN BELOW FLOOR OR GRADE
	DD DD	OVERFLOW DRAIN ABOVE FLOOR
	_ v	SANTARY VENT
	CW	COLD WATER
	HW	RETAIN TOH
		CONDENSATE DRAIN
q	TP	TRAP PRIMER
	CZD	EXISTING STORM DRAIN
——-£00———	600	CVERTLOW DRAIN
PG	PG	PROPANE GAS LINE
		DIRECTION OF FLOR
—————————————————————————————————————	SDY	SHIT-OFF VALVE
	50V/CC	SHUT-OFF VALVE OR CAS COOK IN YARD BOX
Ф	FCD	FLOOR CLEANOUT
		RISER UP
		RISER DOWN
	Ally	ABOVE
	AP .	ACCESS PANEL
	BEL	BETOM
	CLC	CULINE
	CONT	CONTINUATION
	σπο	CLEANOUT TO CRADE
	DN	DOWN
	FUI	FLOOR
	PLES	PLACES
	VIR	VENT THRU ROOF
	TO OY	YARD BOX

MATERIALS

- UNDERGROUND PROPANE PIPING SHALL BE SCHEDULE 40 BLACK STEEL PIPE CONFERNING TO ASTM ASS USING 150 POUND BANDED MALLEABLE ROW SCHEMED FITTINGS DAMAID MALLINEAL RUIS SOCIEDI TITTINGS.

 2. DIPROGRI PROGRAMA PRIMI DISTRO PI BINILINEA SIAALI, IN SOCIEDAL 40 DALVANZIDI STILI. PPE COLFORNING TO ASTM
 ASI DENG CALVANZIDI DISPIDANO DIONICIO CALVANZIDI MALLIAMAZ HON SORRIGO TITTINGS.

 3. VALVES. LEP RALL VALVES I 1/4" AND LANGER SHALL BE RISCO NO. T-500-70-U. OR APPROVIDI DIAVAL.

 4. CORRIGOSIO PROTECTION

- SEGGIA POTICTION

 A LL BLOW GRAND METALIC FITTING, VALVES, FLANCES, IGATE, SPAL, RE PROTECTED AGAINST
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CENTER COSTA MESA FIRE TRAINING CITY OF COSTA MESA 2300 PLACENTIA AVENUE COSTA MESA, CA 92627

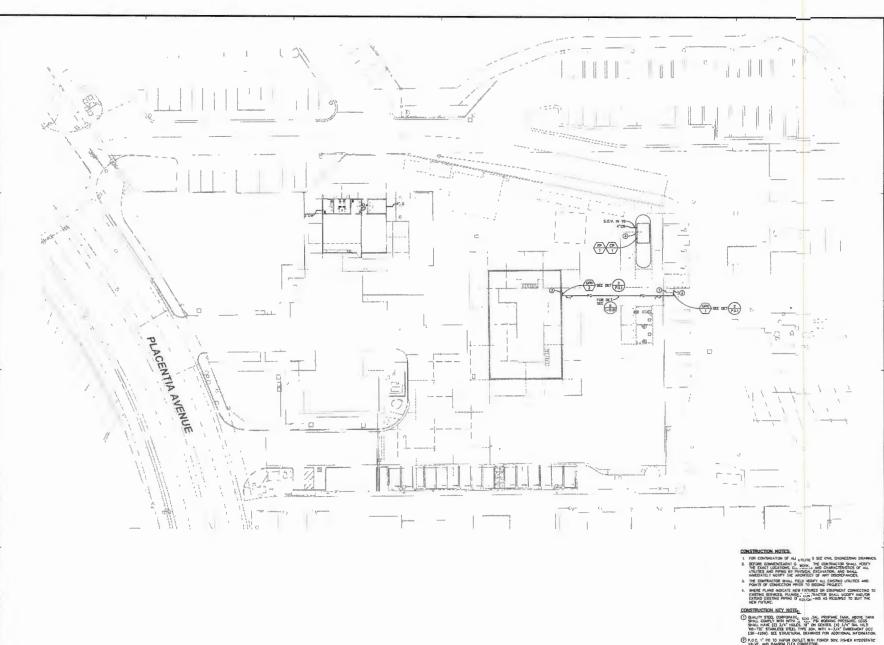




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PROJECT NUMBER: 2	30075

PLUMBING LGND, SCHEDULE, & GENERAL NOTES

DRAWING PO.1



COSTA MESA FIRE TRAINING CENTER

CITY OF COSTA MESA 2300 PLACENTIA AVENUE COSTA MESA, CA 92627



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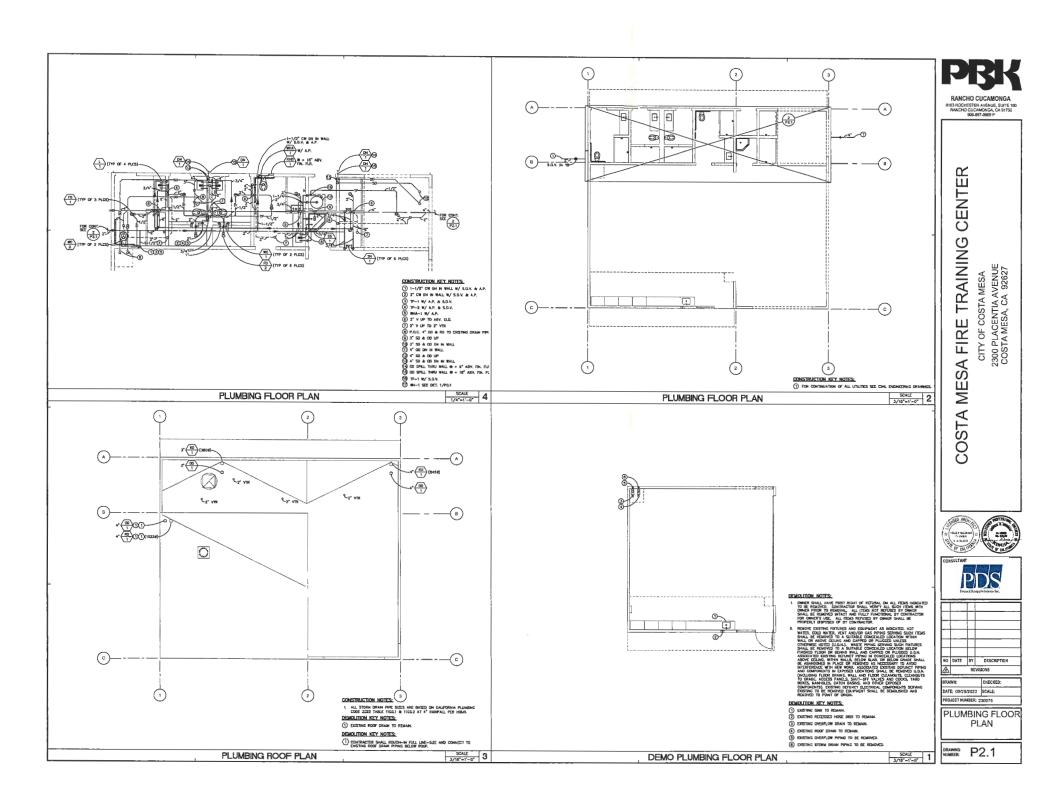
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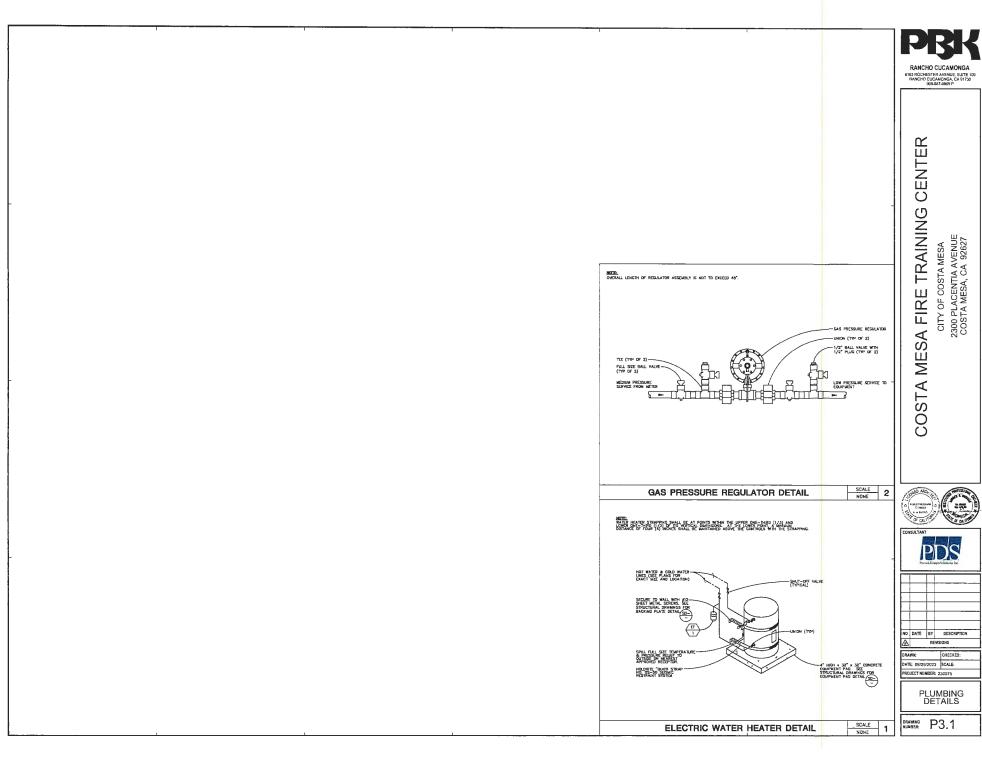
PLUMBING SITE PLAN

DRAWING P1.1

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PLUMBING SITE PLAN





GENERAL NOTES

- THE CONTINUEDER SHALL THACE, ALL LAR AND LOS VICILIARS CREATED REPORTS THE EXPERIMENTAL PROPERTY OF THE CONTINUE CONTINUE CONTINUE OF THE CONTINUE CONTINUE
- ALL CUILET LOCATIONS SHALL BE COORDINATED BITH ARCHITECTURAL ELEVATIONS PRIOR TO INSTALLATION.
- THE CONTRACTOR SHALL SUFFLY FORESTO AND MAKE CONSCINION TO ALL HOTORS AND EXAMPLEM RECURSOR ELECTRICAL CONSCITIONS AS SHOUN ON THE FLANS.
- EXACT LOCATION OF ALL COLING HONNIED DEVICES SHALL BE AS INDICATED ON THE ARCHITECTURAL REPLECTED COLING FLANS.
- INCENS OTHERSIDE NOTICE, ITCANTING HEIGHTS INDICATED ON ELECTRICAL COTLETS ARE INCOLORIBED RUCKETO CENTER OF CUITETIE.
- THE CONTRACTOR SHALL BE RESPONDED FOR GIT-OUTS IN TILE OR COUNTER SPLANES THERE RESPONDED COLOR
- ALL RECEIVED DEVICES, ETC., HOWIED IN PINE NATED CELLING SHALL, BE EXCLOSED WITH AN APPROVED EXCLOSURE CARRITING THE SAME FINE RATING AS THE CELLING.

- IL NO CONDUIT SHALL BE RIN RORIZONTALLY IN CONCRETE RIDOR BLADA.
- ALL RIVAL CONNECTIONS TO CONER-PLINNISHED EQUIPMENT SHALL, BE MADE BY THE CONTRACTIONS.
- - AL ELECTRICAL EXCIPTION SHALL BE ACCUPIED OF TRAVEID TO HELT THE HORIZONIAL AND VIRTICAL PRINCES PRESCRIPED IN THE 2007 CDC, SECTION WHALID AND ARCH THE SECTIONS OR, 3A, AND DAY.
 - THE ATTACHMENT OF THE ROLLOWNS TESTS SHALL BE DESIGNED TO RESIST THE PORCES FREDERICED ADDRESS SHALL BE DESIGNED ADDRESS THE PORCES
 - A EXEMPTENT MERCHANCILLESS THAN 400 POUNDS SUPPORTED DIRECTLY ON THE FLOOR
- ATTENTION IS CALLED TO THE NACT THAT THE COLLING STRITUTE FOR THE FLOST PART ARE CONSIDERED TO BE NACCESSELE THE CONTRACTOR SHALL STRATEGICALLY LOCATE BOYES. ETC., N. ALACCESSELE CELLAG SPACE.
- HAME EXPOSED CONCULT IN PERMITTED BY THE ARCHITECT, SUCH CONCULT SHALL BE PARTIED TO PARTIE FRUSH OF BURYACE TO INSCRIPT IS ATTACHED BY TORRIGHT TO

- D. FAC CONDUIT FOR INDERSECTIND RINE LINE 20 HL, FAC TAPED RIGID STEEL RISES ELECUS AND RESERVICE CONDUIT STUD-1976.
- E. USE COMPRESSION TYPE PITTINGS FOR ALL PETALLIC CONDUIT.

ALL WORK SHALL BE PERFORTED IN ACCORDANCE WITH ALL APPLICABLE LAKE AND RESIDENTIAS, AND THE RECURSTENS OF THE CALFORNIA CODE OF RECURSTENS (CGPC, TITLE 24, INCLUSIVE OF 2072 CALFORNIA ADMINISTRATIVE CODE (CAC), C.C.R. TITLE 24, PART I

HISE ALARM SYSTEM DEFENSED APPROVAL NOTE THE NIN ALARM SYSTEM DEFENSED APPROVAL NOTE THE NIN ALARM SYSTEM AS DEFENSED APPROVAL INC. HIS AND THE OCCUR PROPERTY OF THE CONTROL TO A SECTION OF THE ALARM SHOULD AND ALARM SHOW DEFENSED AND ALARM SHOWN DEFENSED AND APPROVAL OF THE CONTROL AND APPROVAL OF THE CONTRO

- CONCUT NOTING NOTCHED ON THEM PLAND IS DIAGRAFFATIC ACTUAL ROUTING OF CONCUTS ONLY DE CALL TO AND INTERPRETABLE AND THE FALL TO AND INTERPRETABLE AND THE STREET IN PILL CONTINUES AND ALL ALL CONTINUES AND ALL CONTINUES AND ALL CONTINUES AND ALL CONTINUES ON A CONTINUE STREET IN PILL CONTINUES ON A CONTINUES TO STREET STREET IN PILL CONTINUES ON A CONTINUES TO STREET STREET IN PILL CONTINUES ON A CONTINUE STREET STREET AND A CONTINUES ON A CONTINUE STREET STREET STREET AND A CONTINUES ON A CONTINUE STREET STREET STREET AND A CONTINUES ON A CONTINUE STREET STREE
- 28. ALL EXTEROR HOLNES EXIST ENT SHALL, DE MEATHER FROM DE PROMDED DI A MEANER FROM BALLOURE.
- ALL POWER AND LIGHTED SPRANCH CREATER SHALL BE INITIALLED BITH A 32 ORDER CREATED USE LLOW. THE COMPLETE ELECTRICAL SYSTEM SHALL BE GROUNDED IN ACCORDANCE WITH ARTICLAL SHOP OF THE CALL PROMES THE CREATE AND COMPLETE TO SHALL SHOP OF THE CALL PROMES THE CREATER AND COMPLETE TO SHALL SHAL
- DESCRIPTION NAME FLATES FOR BRANCH CIRCLET PARES SHALL HARDH THE NOTIFICAL ATTEMPTS OF THE COMMAND.
- INCIDO DECENCALLY BACKIN ON THESE PLANS NO STRUCTURAL PETERS SHALL BE CUT, DRILLED, NOR NOTCHED WITHOUT PROPE SPETTEN AUTHORICATION PROFIT THE STRUCTURAL

- - CONDUIT FUN UNDERGROUND.

- ELECTRICAL SYMBOL LIST - CONDUIT RIM CONCEALED IN CELLING, MALLS OR UNDER PLOOR 34" HIS

- B-13 1 CONDIT HOTE RIN TO PANELBOARD, LETTER AND INTERNALS INDICATES THE STATE AND CIRCUIT NATION.
- LIGHTHS FIXTURE DISTIFICATION SYMBOL. LETTER SOCIATED TYPE OF FORTURE AFFIRM AT TOW OF HEMISION INCLUDES MYBERS OF FORTURES REQUIRED, METERS AT BOTTOM OF RECOLUTED, METERS AT BOTTOM OF FORTURE. CHISOSON OF TOURISMS HEISELT PROVI PLOOR TO BOTTOM OF FORTURE. CHISOSON OF TOURISMS HEISELT DISCLATED CELLS FORTUNG.
- —∩ CROUT BREAKER MINER TO SHOLE LINE DIAGRAM.
- [2] (7) DIA LED LIGHT ROTHING, SHADING INDICATES FORWER TO BE PROVIDED WITH INTEGRAL NO WHATE D'ERRÉDICT D'ATTERY PACK.
- LED DOWN LIGHT POTURE, SHADING NOIGATES POTURE TO BE PROVIDED WITH INTEGRAL SO FINITE SPECIAL TO DATTERY PACK.
- OU NEW EXCHERNION.
- DIFFER RECEPTACE REDAY NEXT, GROUNDING TITES OF ATP, DOV.
- # DE -- 34°C. STH 20°F CLASS ? DATA BIRE FOR SUICH LES (DETRIS CONTROLIS)

 ANATOT OF OROSE TIONS REPRESENT CLASHITY OF SUICH LESS ETTER CONTROLIS.
- Q. CELING HOLHED JINCTION BOX.
- () ETEMBERCT EXIT NON.
- DE 1900 STORES BETTER NOCATED SELECT TO CONFECT TO BE OFFICE
- 53 SHOLE THE BATCH LETTER AT BOTTOT NOTCATES CATEGOT CONTROLLED.
 TOWNED AT 45 TO TOP OF THE BOX STANLESS STEEL BALL FLATE.

> - D-FGEE 134Y	K - KET OPERATED
4 - POLICE SIAY	T-TEFF

1172	MANUFACTURER CATALOG*	LAMP OTT. 4 TYPE	FOCUPE BATTAGE	YOLTS	REMARKS
ᢙ	CONTROL TRANSPORTER OF COMPANY OF	2,006-LIPES 2007-SI -000-SI	•	2	A* MORPO LED DOMESTANT PRICINGE PRICING MALL, DE PROVICED SEN- MEDICAL, DEL DE DEPOS DOMES, GAMES CON VEC CO. OT PETERSONAL AND ZERRE LETTE PRICINGE PRICINGE ALL MICHIGAN PROPERTY AND ZERRE LETTE LEMM PRICING & 10 DE ABLALLED K.
➂	GOTHAN (CHITTE) TO DESI SERVICE BOOM.	Date LIPING MATERIAL PROPERTY AND ADDRESS OF THE PROPERTY ADDRESS OF THE PROPERTY AND ADDRESS OF THE PROPERTY AND ADDRESS OF THE PROPERTY ADDRESS	•	200	A" LED BENEEN DOOM CONT PACIENT FACILIES BALL SE PROVIDED ATM HISTORIES ELECTRONIC DIVERS AND MINE MATERIALISE FOR STREET PROOF ATT. CASTORIE.
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Œ	CRAFFIC ED EUA.	SOLVE SOLVE	*	1940	BALL POWERS LED HALL PRICE LINE FOR DAY FOR SHALL TO PROVIDE SHALL TO PROVIDE SHALL TO PROVIDE SHALL THE PROVIDE SHALL THE PROVIDE SHALL THE PROVIDE SHALL AND INFORMACION OF SHALL AND INFORMACION
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	SIT	E LIGHTING	FIX	tur	SCHEDULE
TYPE	MANUFACTURER CATALOG	LAMP GIY. 4 TYPE	FIXTURE SATEAGE	VOLTS	REMARKS
€	CRAFFROND BOM.	2779 LEFEN LED MO LEVE 4000K	27	Dep	4-9 VARIAL TORRING STREET HOUSED LED LEST FOUND. FORTIE SALL IS PROVIDED STREET LETS OF ALL ESS SELVA COLOR STREET, RESIDENT PROTOCOLL, AND ACCOR. \$- PASS AS SELECTED ST ARCHITECT.



8163 ROCHESTER AVENUE, SUITE 103 RANCHO CUCAMONGA, CA 91730

COSTA MESA FIRE TRAINING CENTER COSTA MESA FIRE DEPARTMENT

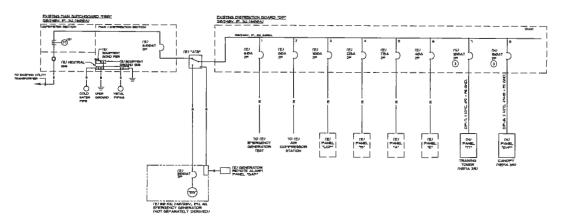
2300 PLACENTIA AVENUE COSTA MESA, CA 92627



CON	F ENG!		SEING GROUP, INC.
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SYMBOL LIST & LT. FIXT. SCHED.



SINGLE LINE DIAGRAM NOTES

- THERE TO GENERAL HOTES, DRAUGH EAL FOR ADDITIONAL REQUIREMENTS.
- RECLIFER SHITE

 1 CONTRACTOR TO PROVIDE UPDATED NAME PLATES TO DESTITY
 THE NEW CIRCUIT DREAMERS WITH THE FLAN SHITCH BOOMED
 IND'N COPPLISION OF HELD ASSIST

 1 MEX CIRCUIT DREAMER TO PLATES EXISTING. IN HAMPACTURE AND
 MONT CREAT DRIVE.

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RANCHO CUCAMONGA 6163 ROCHESTER AVENUE, SUITE 100 RANCHO CUCAMONGA, CA 91730 909-867-0909 P

COSTA MESA FIRE TRAINING CENTER COSTA MESA FIRE DEPARTMENT

2300 PLACENTIA AVENUE COSTA MESA, CA 92627



NO	DATE	81	DESCRIPT	IION
A		REV	ISIONS	
DRA	WN: C	BF.	CHECKED	RES
DAT	E: 09/29	V2023	SCALE: /	AS NOTED
PRO	JECT NU	MBER:	230075	

SINGLE LINE DIAGRAM AND LOAD SCHEDULES

March Marc	durate car Collections.			. TOPE OF CAUSOINA	
Comparison Com	Construction Community	. 110.1254_130.0, 130,1, 140.5 and 141 GHz for before 1986 limits with requirements in 180.5, 170.2164 and 180.2164 for	eercane!	Indoor Lighting Contracting to coverance Procediment Costs Man For Foreign Spring	HACGOTAL
Company Comp	Project Address: Code Mess Fee Learning Capture Project Address: 250	Pleport Page:	\$45\$3025	C.COMPLIANCE RESULTS	
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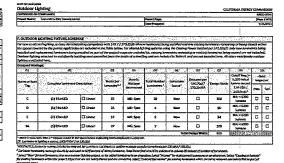




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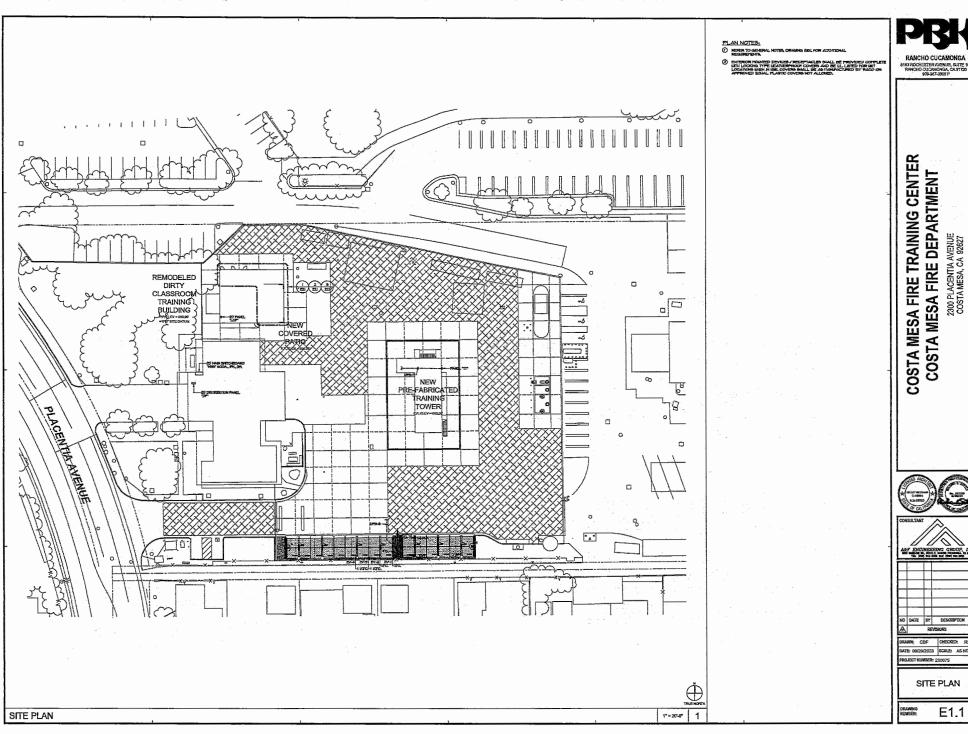
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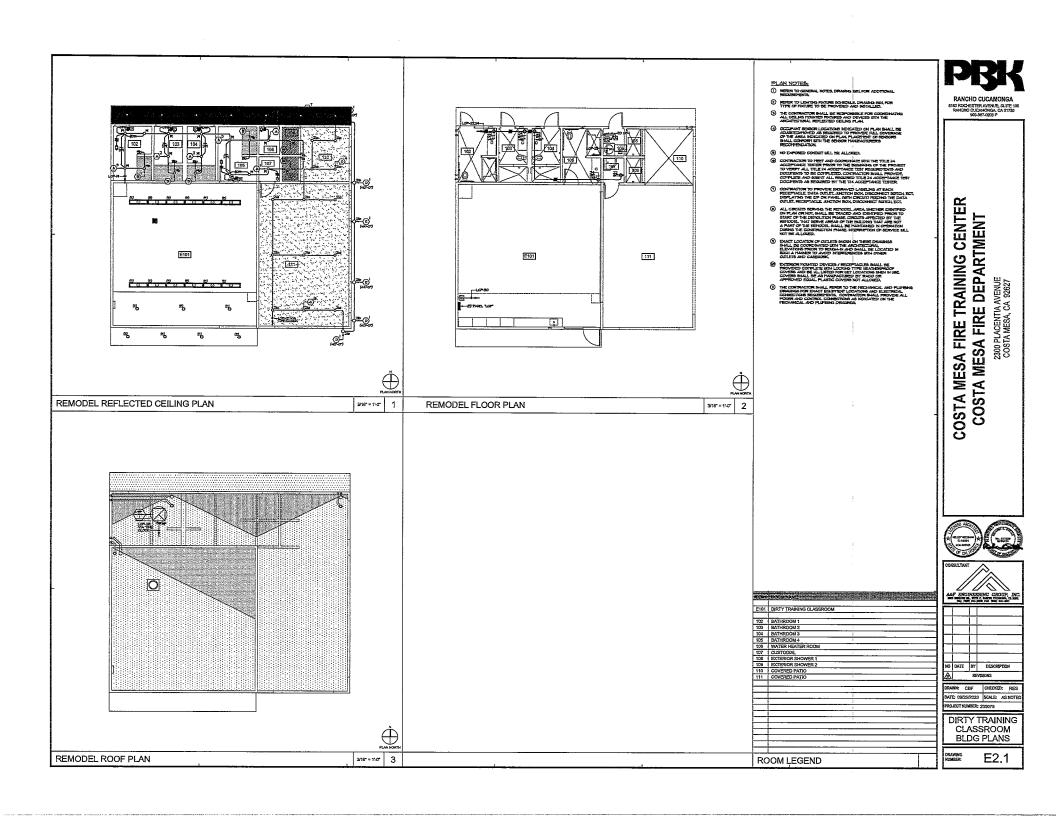


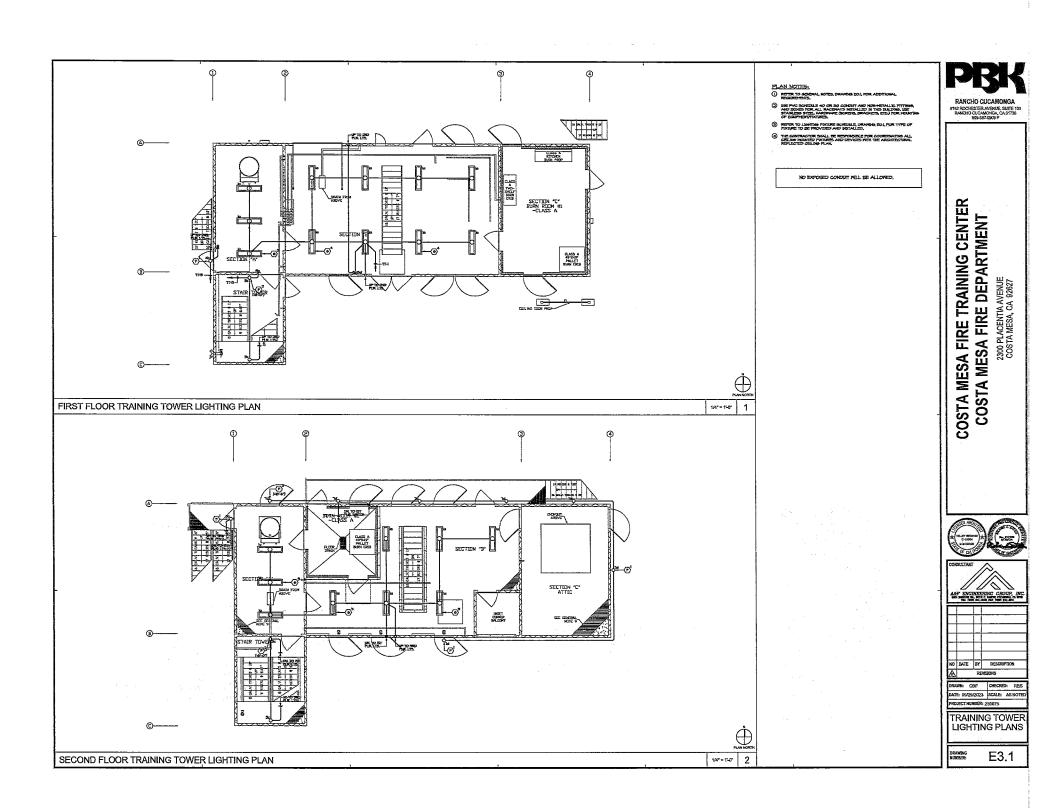


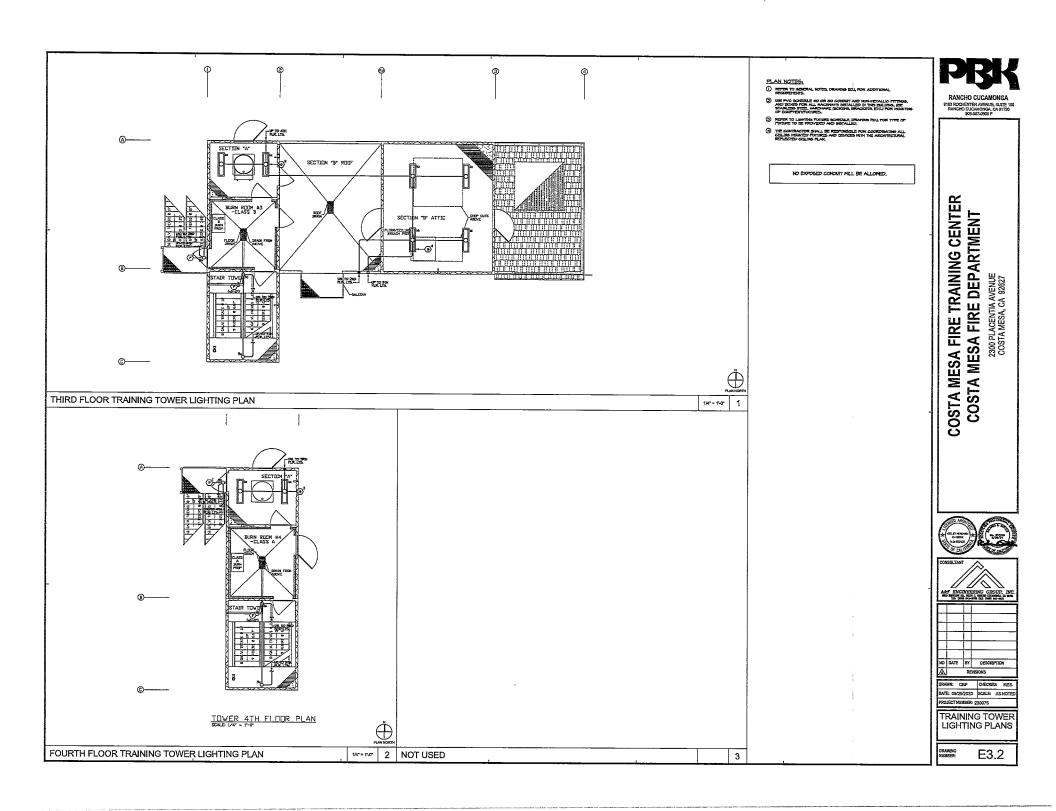
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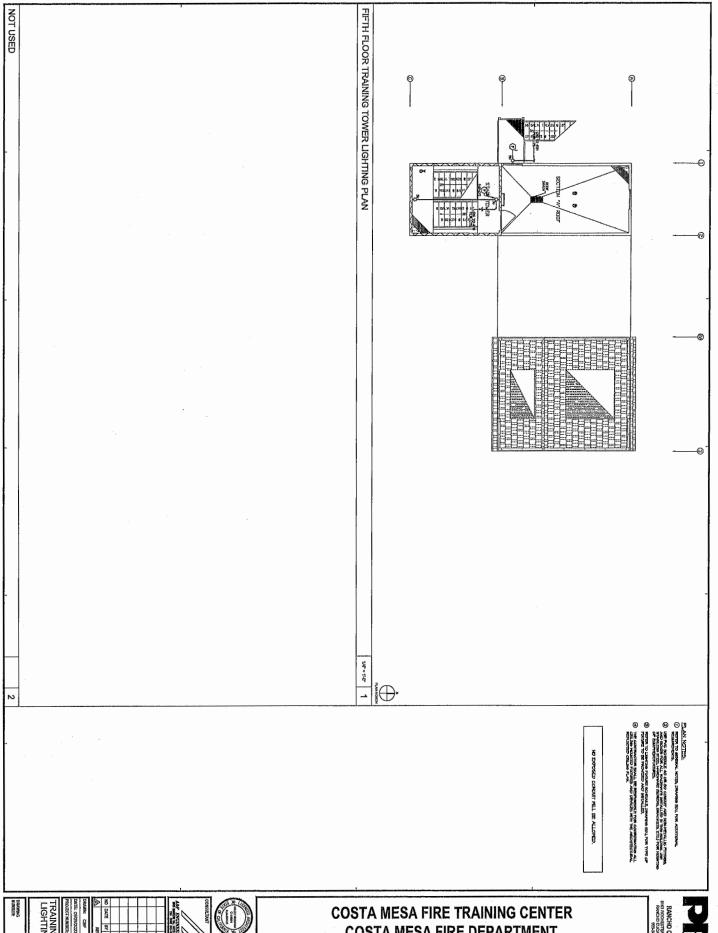
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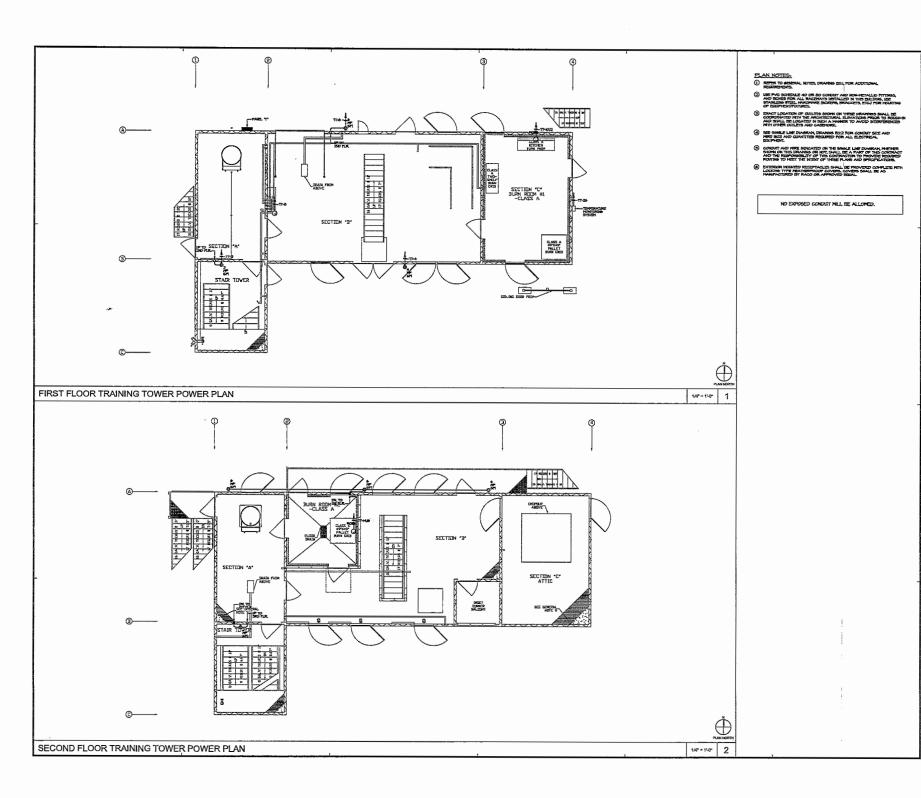




COSTA MESA FIRE DEPARTMENT

2300 PLACENTIA AVENUE COSTA MESA, CA 92627





COSTA MESA FIRE TRAINING CENTER COSTA MESA FIRE DEPARTMENT

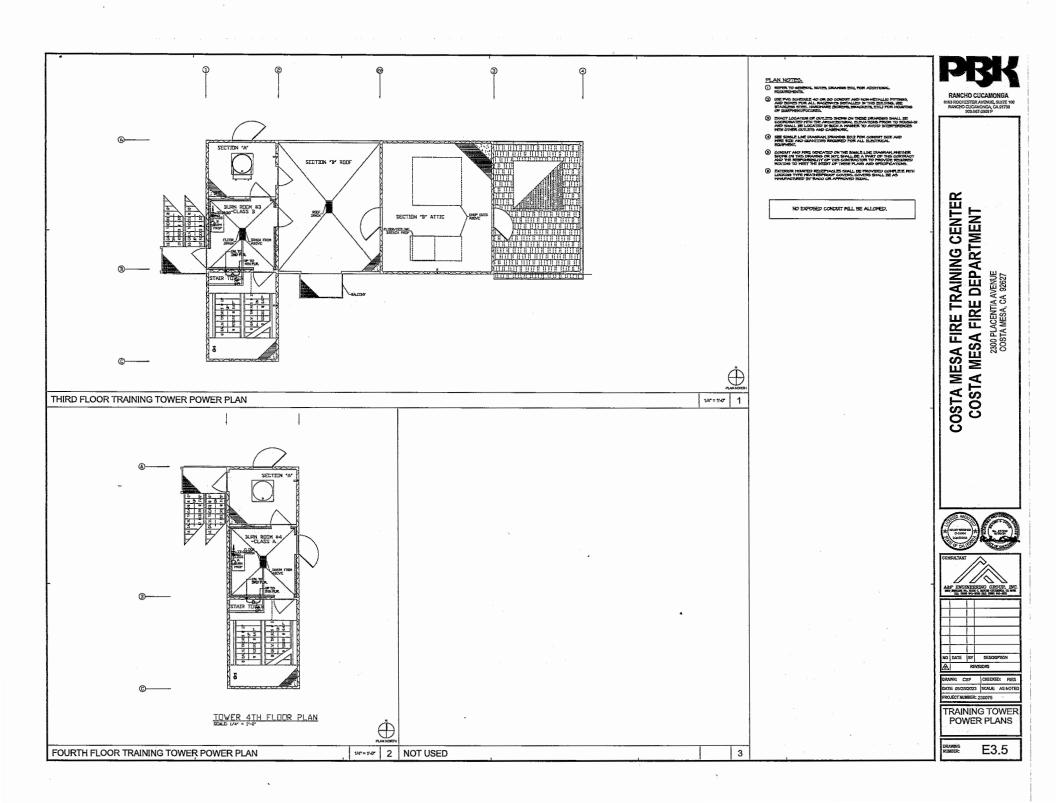
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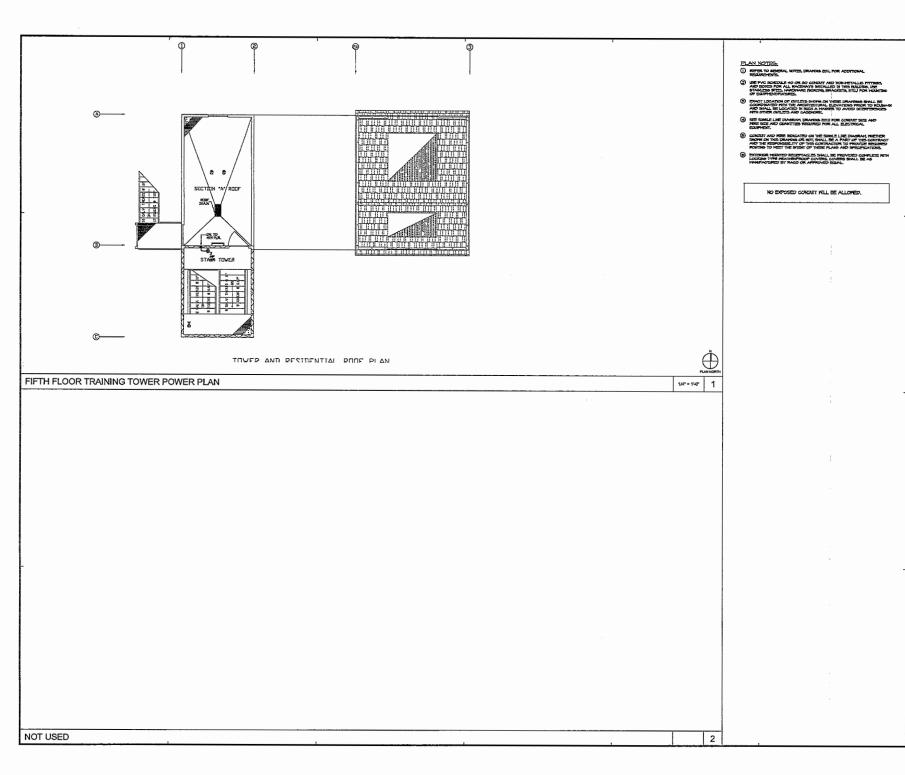


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TRAINING TOWER POWER PLANS

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RANCHO CUCAMONGA 8163 ROCHESTER AVENUE, SUITE 100 RANCHO CUCAMONGA, CA 91730

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COSTA MESA FIRE TRAINING CENTER COSTA MESA FIRE DEPARTMENT 2300 PLACENTA AVENUE COSTA MESA, CA 92627

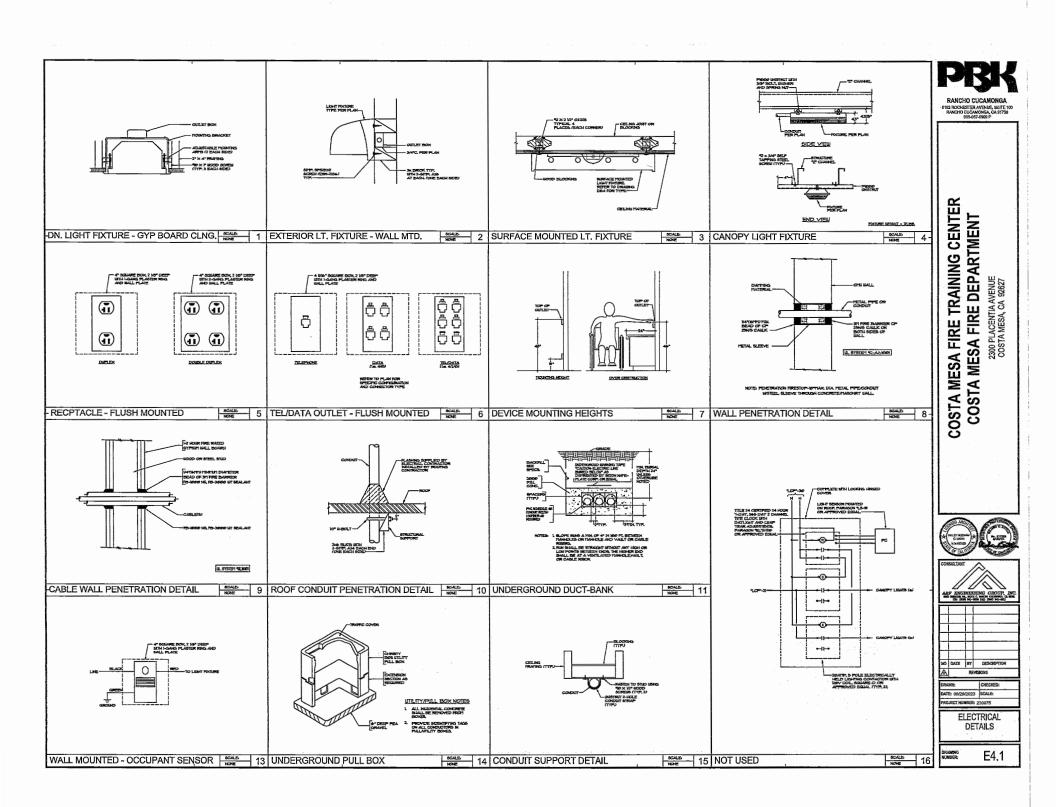


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TRAINING TOWER POWER PLANS

PRAWING E3.6



ATTACHMENT 3 (Prefabricated Tower Structure & Footing Plans)

CUSTOM HIGH RISE - FIVE STORY
CITY OF COSTA MESA FIRE DEPARTMENT

GENERAL NOTES

- D. THUS INFORMATION CONFURMS TO ALL APPLICABLE STANDARDS FOR FIRE TRAINING SIMULATURS AT THE TIME OF PREPARATION.
- 2) THE EXECTION CONTRACTOR ASSUMES RESPONSIBILITY FOR ALL MATCHAILS, AT THE TIME OF DELIVERY, THIS CONTRACTOR IS ALSO RESPONSIBLE TO ACCOUNT FOR ALL MATERIAL, AT TIME OF DELIVERY, IF THEME IS A DESCRIPANCY ON THE MATERIAL DELIVERY, CONTACT MAY TRANSMONTHER DELIVERATELY TO ROSE TO MAKE PROPER ARRANGEMENTS IN PROVIDE THE NECESSARY MATCHAIL.
- 30 THIS SET OF DRAWINGS IS INTENDED AS A CONCEPTUAL SET, PROVIDED FOR SECONDARY REFERENCE ONLY. REFER TO BEHLEN INDUSTRIES CONTROLLING MAKINGS AND THE MISCELLANDIAS METALS DRAWINGS AS PROMARY REFERENCE FOR EXACT MATERIAL DIMONSTRINS, ERECTION, AND PRODUCINES.
- 4) THESE BRAVINSS, SPECIFICATIONS, IDEAS, DESIGNS, AND ARRANGEMENTS ARE AND SHALL REMAIN THE PROPERTY OF MAP TRAININGTOVERS AND NO PART THERE OF SHALL BE COPIED, REPROJUCED, OR USED IN CONCETTION WITH ANY WISK OR PROJECT OTHER THAN THE SPECIAL PROJECT FOR VANIOUS THEY HAVE SEEN PERMANEN WITHOUT WINTHON CORNIN FROM MAP TRAININGTOWERS.
- 30 VRITTEN INFOSTING ON THESE BRAVINGS SHALL THAT PRECEDENCE OVER SCALE JIDENSTING, DISTALLING CINTRACTORS OR OWNERS SHALL VOCATY AND RE RESPONSIBLE FOR ALL IMPOSTING AND CINCITINGS ON THE LOS AND VAP TRANSMITTINGS SHALL BE NOTIFIED INFOSTINGS AND CONTITIONS OF THE SERVINGS, ANY FIELD CHANGES OR MIGRIFLATIONS TO SETHER THE STRUCTURE OR ADJUSTICE SHOULD AND APPROVED BY WAP TRANSMINITATIONS FORDER TO PERFORM THE STRUCTURE OR ADJUSTICE OF STRUCTURE OR ADJUSTICE SHOULD AND APPROVED BY WAP TRANSMINITATIONS FORDER TO PERFORM AND ADJUSTICE OF STRUCTURE OF STRUCTURE OR ADJUSTICE SHOULD AND APPROVED BY WAP
- (3) HISCOLAMERUS FIELD CUTTING AND FITTING OF BOTH STRUCTURAL AS VILL AS LIGHT GAUGE FRANCIS COMPONENTS VILL BE NEZESSARY TO BE ABLE TO PERFORM THE DISTRIBUTION PROCEDURES REQUIRED AND VILL BE CONSIDERED AS A STANDARD CONGITTIN AND REQUIREMENT FOR DIRECTION OF THIS LIVE FIRE TRADING STRUCTURE AND ITS COMPONENTS.
- TO VIDEO CLIBRES SHALL RE PAINTED IR OR HET-HEPPED GALVINIZED SINGE LEAVES VITH A 1' BEDP PAIN FRAME DESIGN FACH KIN-BERN FEDRO CLIBRING HOSSESSELE FROM THE GROUND SHALL BE PROVIDED VITH OF STANLESS STEEL CHATRAGES HORE. OF SLAM LATCH, OR KETED LEVER IN THE DETERMENT SIZE OF THE CLIBRING, AND ONLY OF THE CLIBRING SHAPE STANLESSELE THE CLIBRING, AND ONLY OF STANLESSELE STANLESSELE CHATRAGES STANLESSELE CHATRAGES STANLESSELE STANLESSELE
- 99 PLDOR BEDDS ASSIVE GRADE SHALL BE CONCRETE OVER GILVANIZED 157 °C" DEOX FASTENED DIRECTLY TO LEVEL PLDOR JUSTS FOR THE BRICLIA DIRECTRIES CONSTRUCTION DISAVINGS. ALL PLDOR BEDDS SHALL BE DEDUCE FIELD CUTTING AND FITTING AS GOODMED TO ACCOMPANIATE DE BRILLING CONFIGURATION. CONCRETE FLD SHALL BE PROVIDED OVER THE "TESTE WITH HANDRA 4" DIPPH AT THE EXTERDIR VALLS. CONCRETE SHALL BE A SHALL AGRICANTE CONCRETE VITH FIBER NEST REDIFFERING. CONCRETE SHALL BE PITCHED TO CYTICINE VALLS AMOURE DADIG. FINDEM SHALL BE A SLYPE RESIDENTATE FEDERS, CONCRETE FLL BY OTHERS.
- 20 ALL CIRREMATED VALL PANELS ARE TO BE PRETINSHED IN DR. D' 9 STHOURD CLIRES, COMPUND CERRISATIO VALL PANELS ARE 70 VIIIE AND 4M DEEP. COPPLAN CIRREMATE ROSP PANELS ARE TO BE GALVANDED 3-5-4 VIDE AND TO BEEP, ALL VALL AND ROSP PANELS ARE TO BE SELLED AT 6" OLD DICKOPANTS UTILIZENS 3/6" DIAMETER DICK, FASTINGS PROVINCE IN A CLILER TO HATCH THE VAN OP ROSP BASIN COLD.
- 1D ALL INTERIOR VALL PARTITIONS SHALL BE CONSTRUCTED OF 4" X 18 GA GALVANZED HETAL STUDS AT 24" D.C. AND 4-1/8" X 18 GA
 GALVANZED HETAL TROOK. STUDS AT 2000 AND HINGES SHALL 3E 4" X 12 GA. ALL SIDES OF INTERIOR PARTITIONS NOT RECEIVING BURN
 RIDH PARKELS SHALL RECEIVE 18 GA GALVANDEZD SHETING FATTHEON YITH 48 X 5-8" LUT, PROPILE TIX SERVENS AT 12" D.C.

DESIGN LOADS

RUDEF LUAD -- 100 PSF FLUDER LUAD -- 100 PSF ATTIC LUAD -- 100 PSF VIND LUAD -- KPH

			AUNDON 23	NATER HARDVARE PA			
HAZX	DESCRIPTION	DALXING	SHUTTER	LECKING HANDLE	NON-LOCKING HANDLE	HOLD OPEN	THERMAL LINING CHANNELS
W1	LOCKING VINCOV SHITTER	38">49"	1	1		1	
V2	LOCKING BURN ROOM SHUTTER	38"x49"	1	1		1 1	1
A3	LICKING ATTIC SHUTTER	38'x37"	1	1		1	
¥4	NON-LOCKING VINDOV SHUTTER	38"×49"	1		1	1	
V3	NON-LOCKING BURN ROOM SHUTTER	38 x 49	1		1	1	1
V6	MON-LOCKING ATTIC SHUTTER	38°×37°	1 1		1	1	

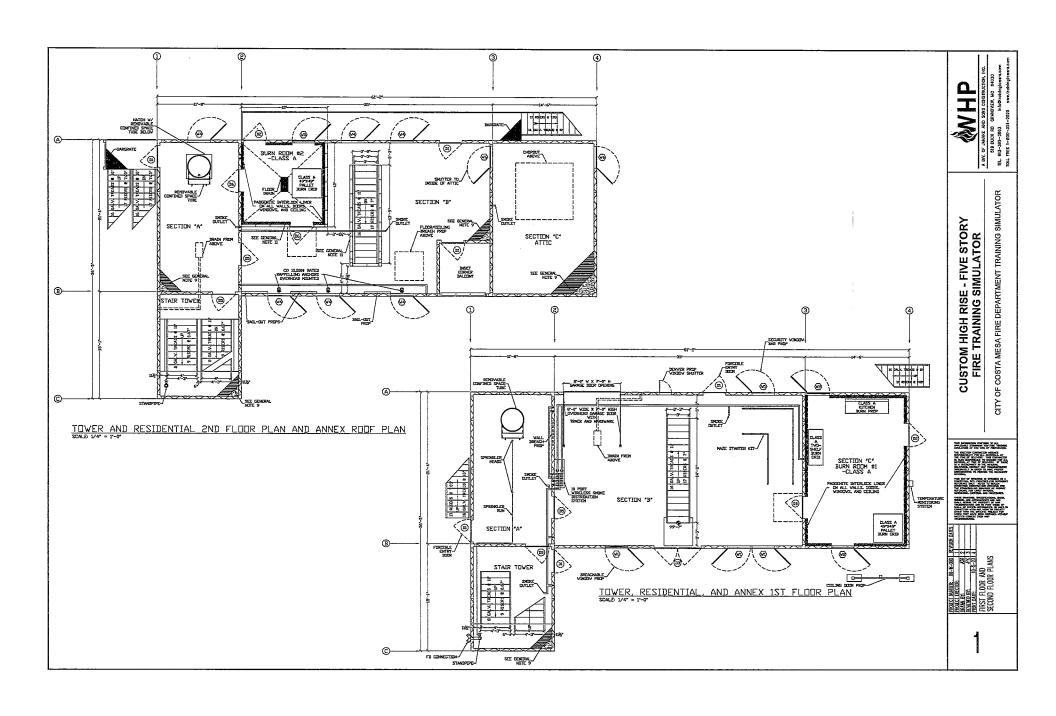
	DOOR HARDWARE PACKAGES											
MARK #	DESCRIPTION	ROUGH DPENDNG	DODR LEAF	DIACTIVE	SVEEP	DUTE KNOB PLATE	LDCXING KNOB SET	PASSING KNUB SET	BURN DOOR	SLIDE	BARREL	BOLT
221	EXTERIER SINGLE PLATE DOOR	39'x91"	1		1	1	1					
DS	EXTERIOR SINGLE BURN ROOM DOOR	38'x91'	1		1				1	1		
D3	EXTERIOR DOUBLE PLATE DOOR	79'x91"	1	1 1	S	3	1			2	1	1
D4	EXTERIOR DOUBLE BURN ROOM DOOR		1 1	1 1	2				1_1_		1	1
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DG	INTERIOR SINGLE BURN ROOM DOOR	38'×91"	1		1				1	1_1_		
27		79'x91"	1	1	S	1		1			1	
DB	INTERIOR DOUBLE BURN ROOM DOOR	79'x91'	1	1	5			-	1	1	1	

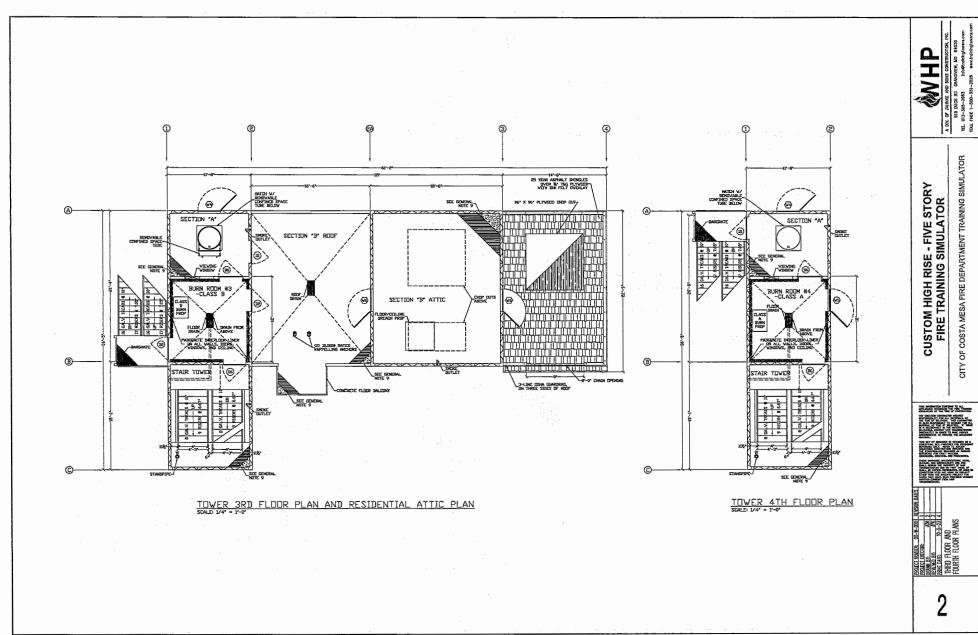
COSTA MESA FIRE

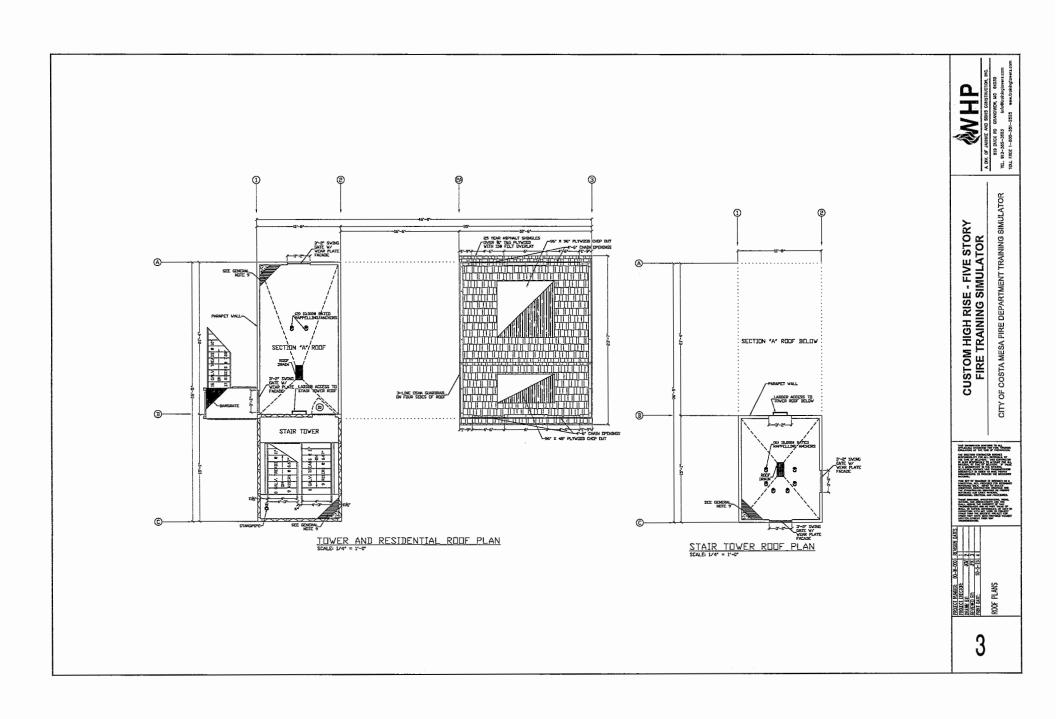
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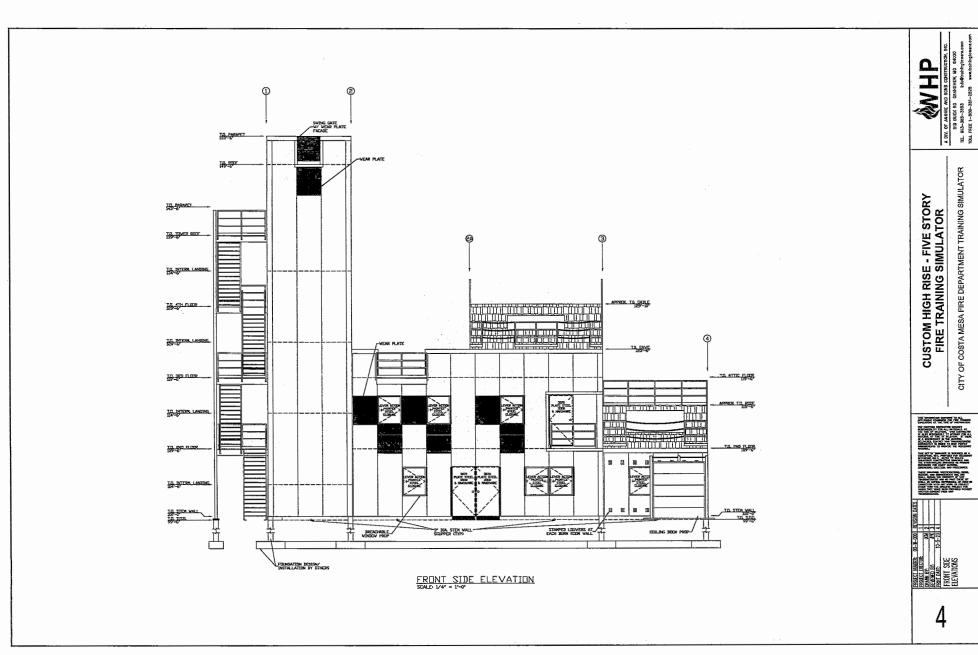
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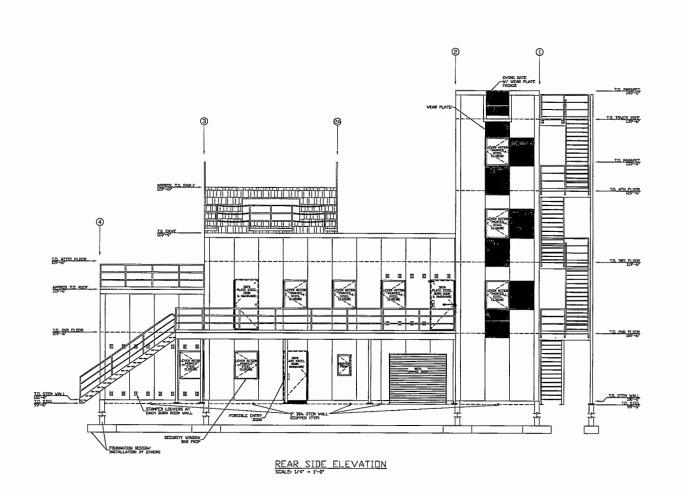








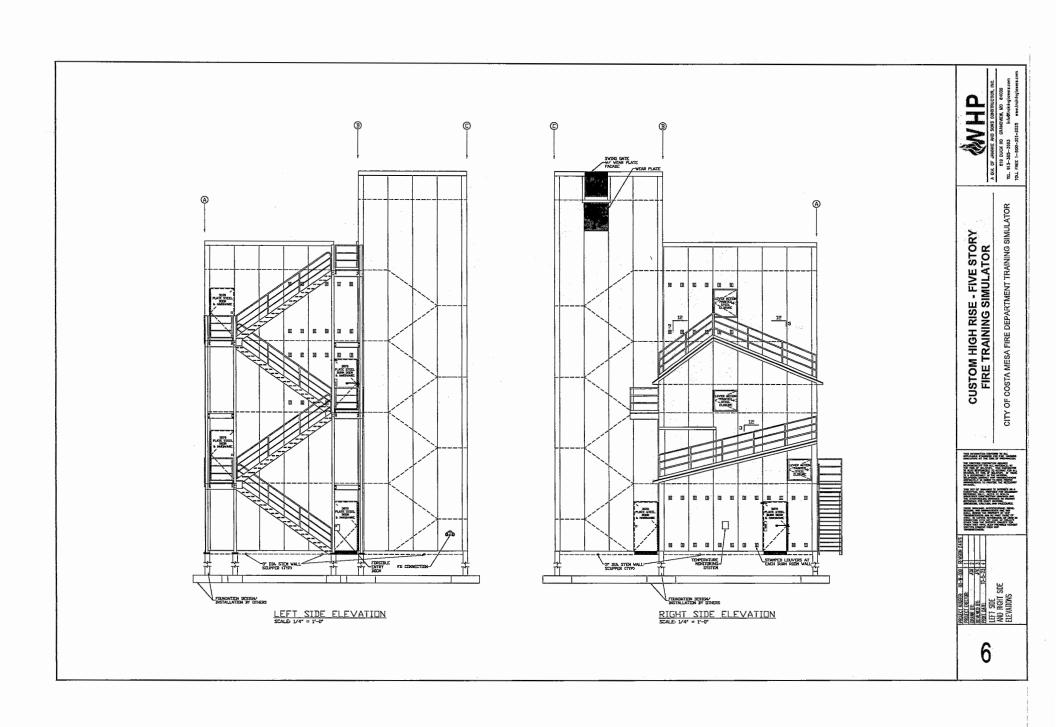


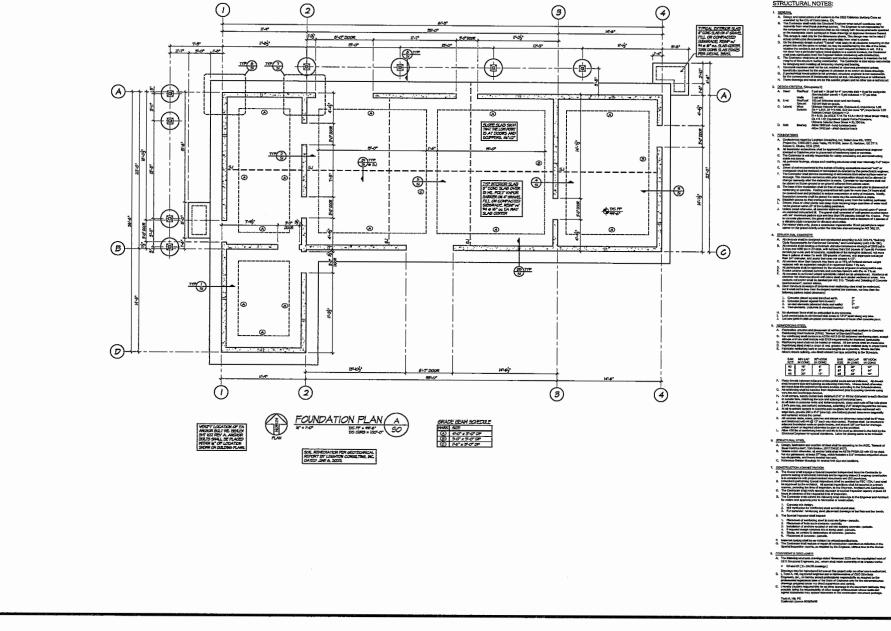




CITY OF COSTA MESA FIRE DEPARTMENT TRAINING SIMULATOR











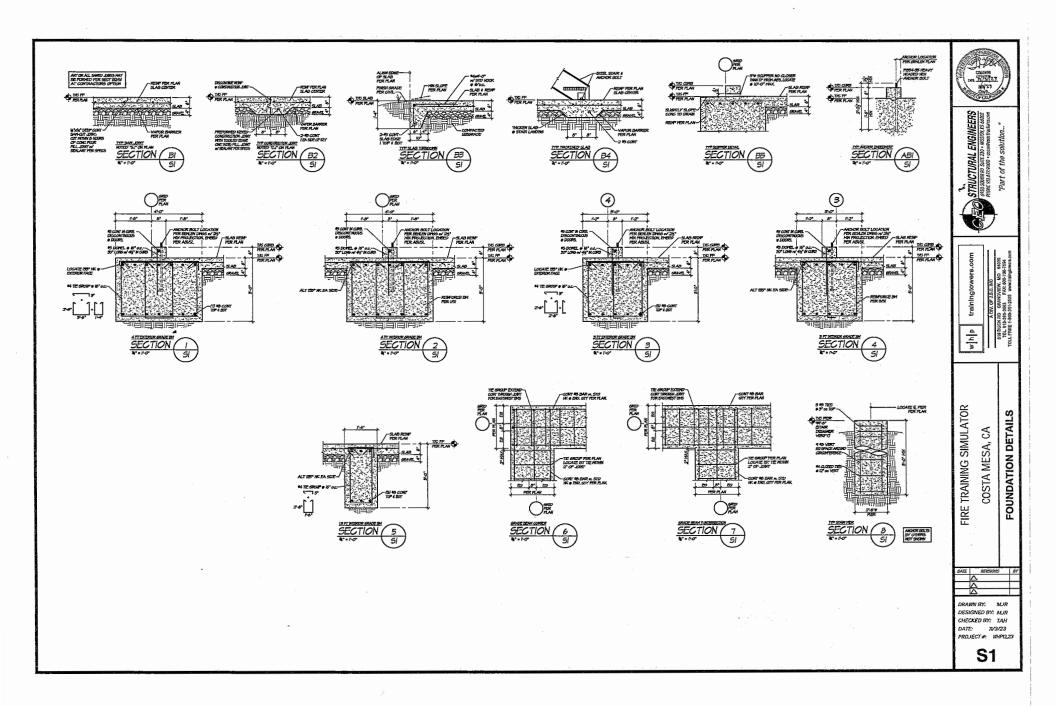
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COSTA MESA, CA

FOUNDATION PLAN & GENERAL NOTES FIRE TRAINING SIMULATOR

DRAWN BY: MJR DESIGNED BY: MJR
CHECKED BY: TAH
DATE: TV3/23
PROJECT #: WHPT2.23

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BEHLEN

Made Strong STANDARD DETAILS

The details within this booklet cover a wide range of buildings & circumstances. To determine which of these pertain to your situation in particular, make reference to the Building Construction Drawings furnished by Behlen Industries.



SO# 111508

Table Of Contents

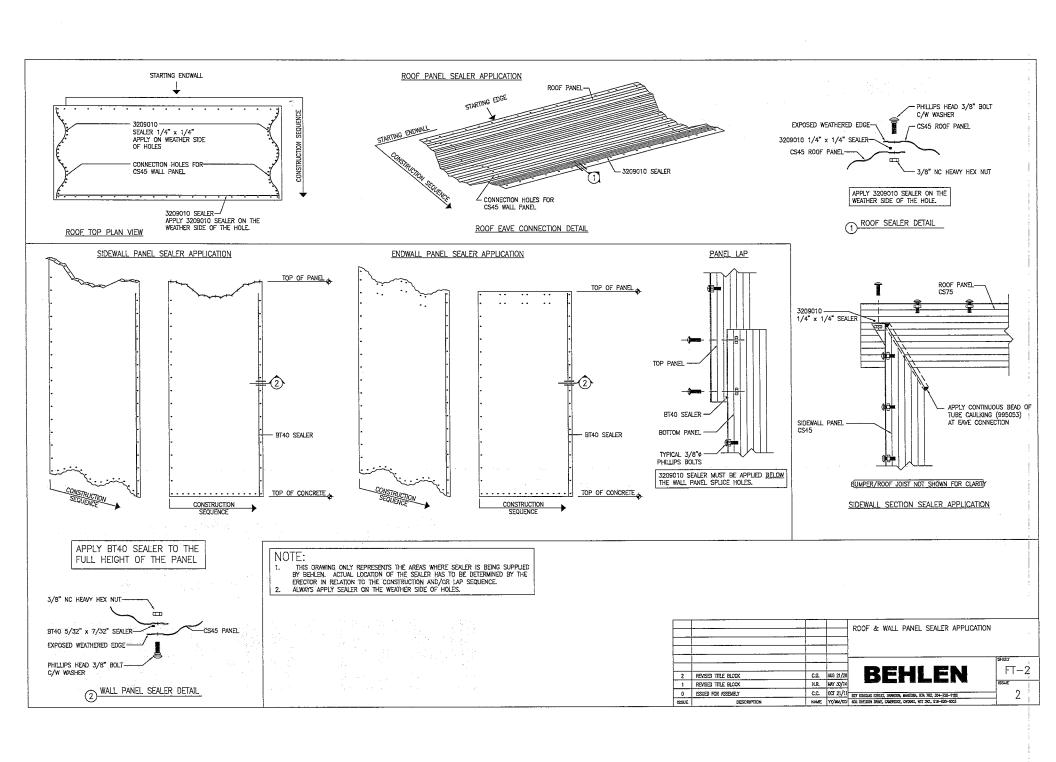
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	FT-1	FIRETOWER BUILDING STANDARD DETAILS COVER PAGE	9
V	FT-2	ROOF & WALL PANEL SEALER APPLICATION	2
V	FT-3	FOOTING CHANNEL DETAIL	3
V	FT~4	SEALER AND FASTENER DETAILS	2
V	FT-5	VERTICAL DETAILS	2
$\overline{\mathbf{V}}$	FT-6A	TRUSS DETAILS	2
$\overline{\mathbf{V}}$	FT-6B	ROOF DETAILS	3
~	FT-6C	PARTIAL ENDWALL DETAILS	1
V	FT-7A	FLOOR SECTIONS	3
V	FT-7B	FLOOR SECTIONS	3
V	FT-8	SHUTTER DETAILS	3
	FT-9A	CONFINED SPACE TUBE - 1 STOREY	2
	FT-9B	CONFINED SPACE TUBE - 2 STORIES	3
V	FT-1DA	RAPPELLING ANCHOR DETAILS	2
	FT-10B	RAPPELLING ANCHOR DETAILS	2
\checkmark	FT-10C	TS — WALL MOUNTED RAPPELLING ANCHOR DETAILS	2
	FT-10D	CEE - WALL MOUNTED RAPPELLING ANCHOR DETAILS	2
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V	FT-11A	EXTERIOR FRAMED OPENINGS	0
	FT-11B	INTERIOR FRAMED OPENINGS	0

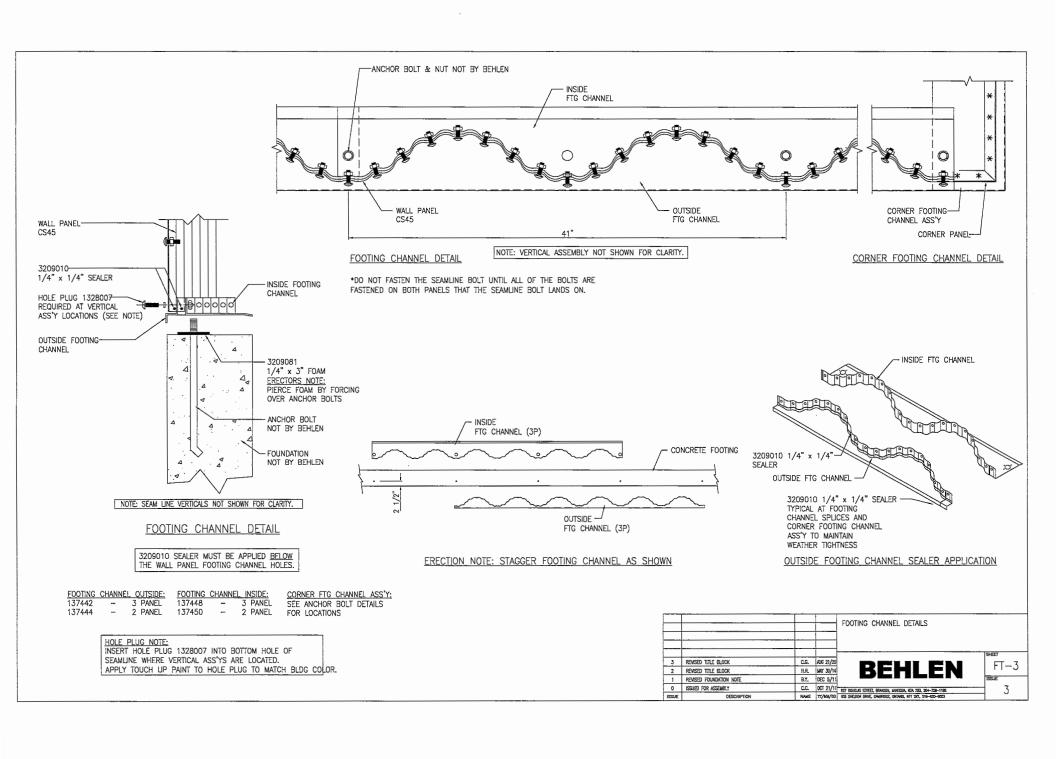
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2	REVISED TITLE BLOCK	H.R.	MAY 30/14
3_	UPDATED FT-78 REVISION	G.G.	SEPT 14/18
4	REVISED TITLE BLOCK	L.B.	APRIL 5/1
5	ADDED SHEET FT-6C	B.Y.	JAN 8/18
6	SHEET FT-7A DETAIL E REVISED TO DICLIDE 166820 SUPPORT CLP	LB.	WAR 7/18
7	UPDATED FT-8 REASON	B.Y.	DCT 16/19
8	ADDED SHEETS FT-10C, FT-10D & FT-10E	C.G.	JULY 21/2
9	REVISED TITLE BLOCK	C.G,	AUG 21/2
10	ADDED SHEETS FR-11A & FT-11B	8.Y.	NOV 18/2

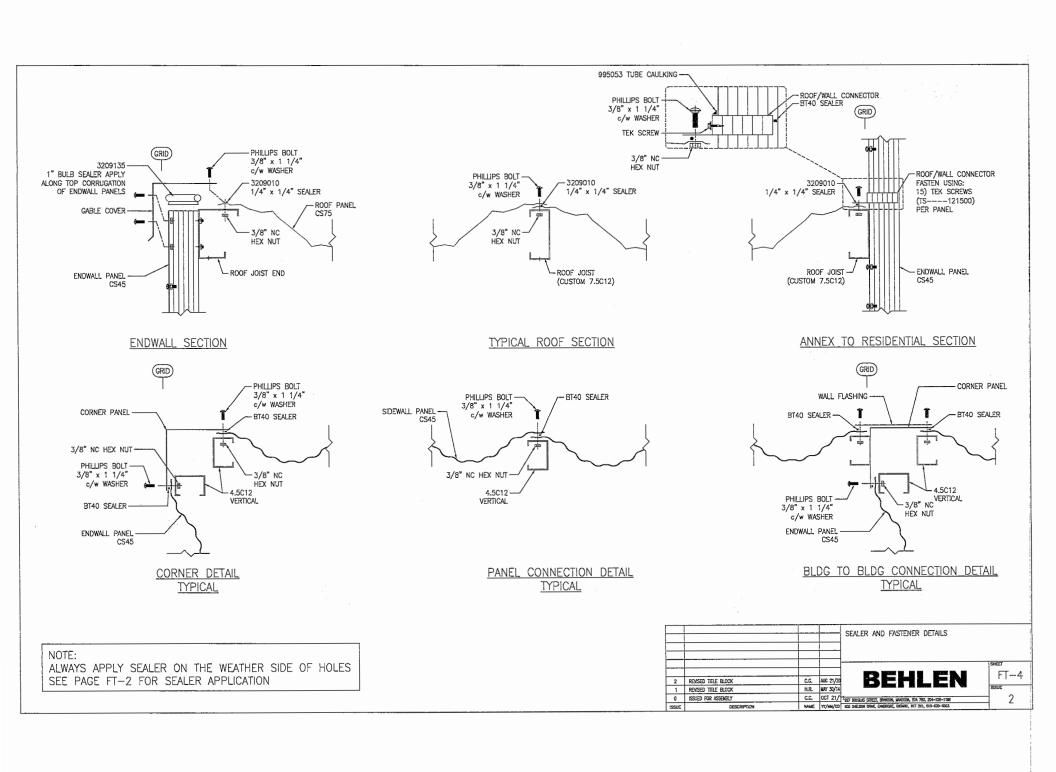
FIRETOWER STANDARD DETAILS COVER PAGE

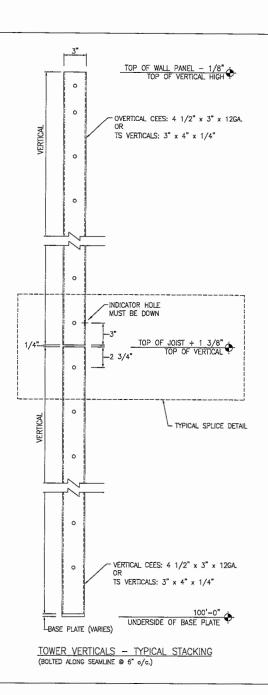
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| 14 | 927 DOUGLAS STREET, BRINDON, MANDON, MOX 753, 204-728-1198 | 700 | 605 SHEDON DRIVE, CAMPRODE, CHORNO, KIT 201, 519-620-6003 10

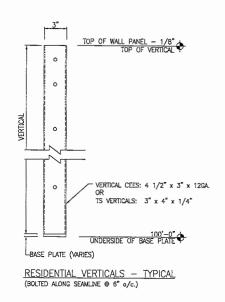


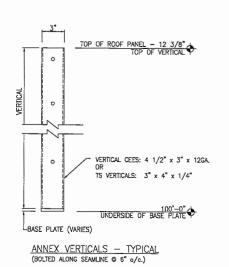




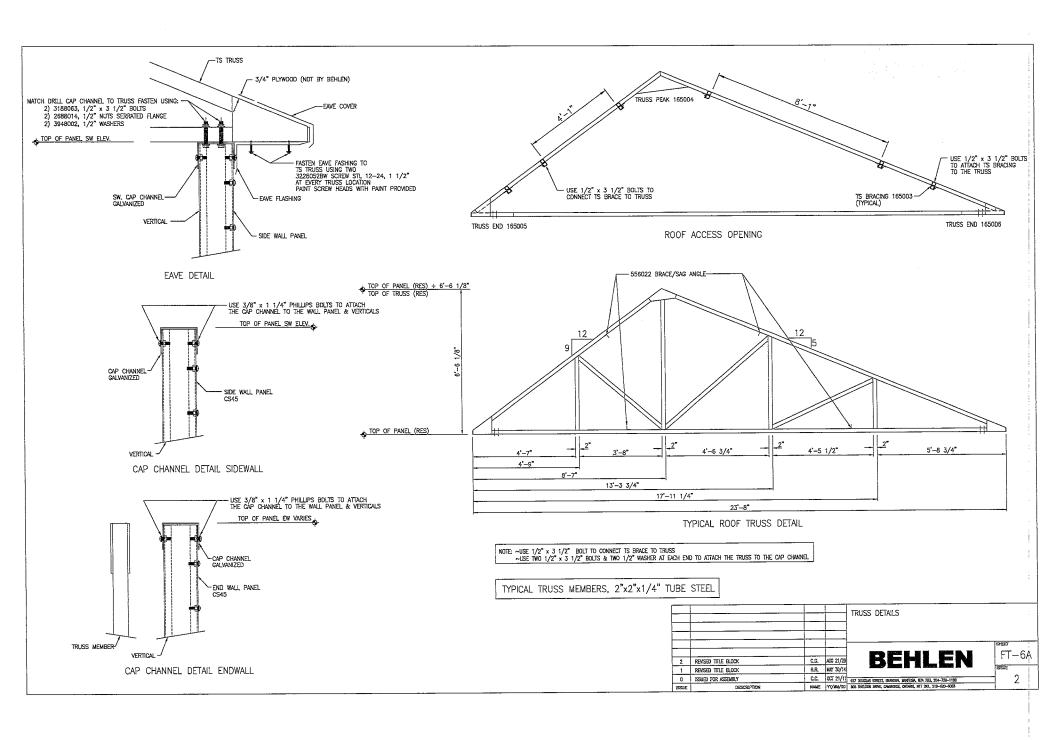


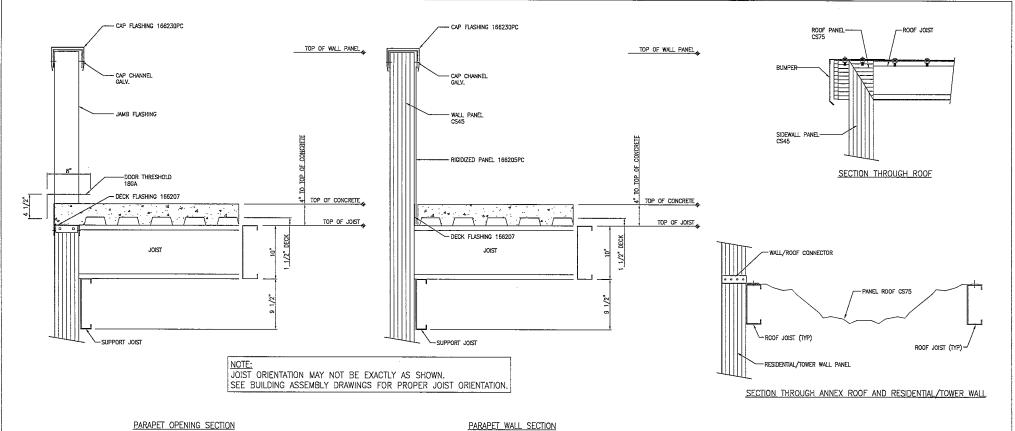
REFER TO ASSEMBLY DRAWINGS FOR VERTICAL LOCATIONS, PART NUMBERS AND SPLICE LOCATIONS.



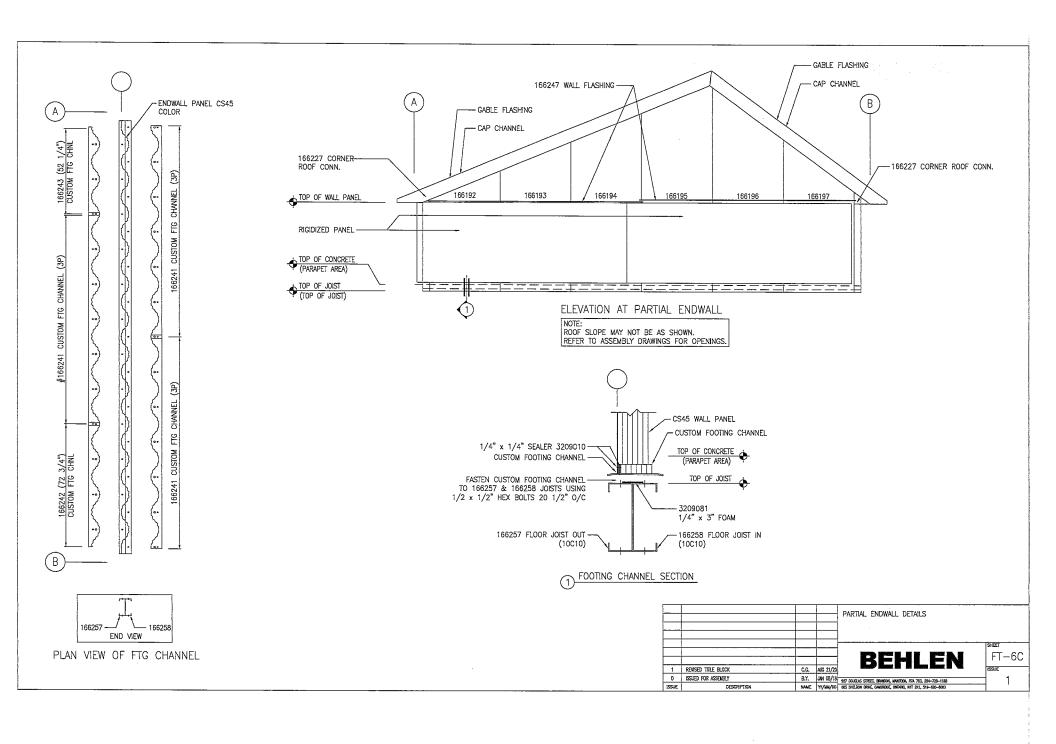


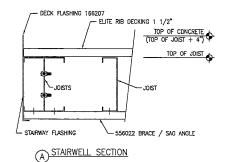
VERTICAL DETAILS

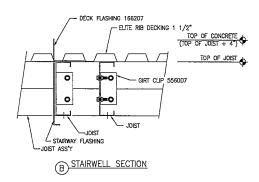


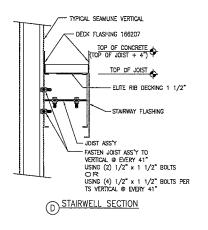


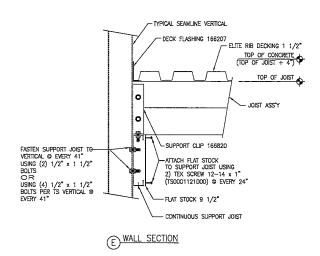
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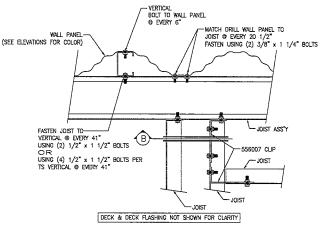




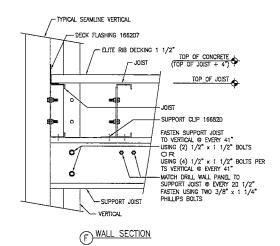








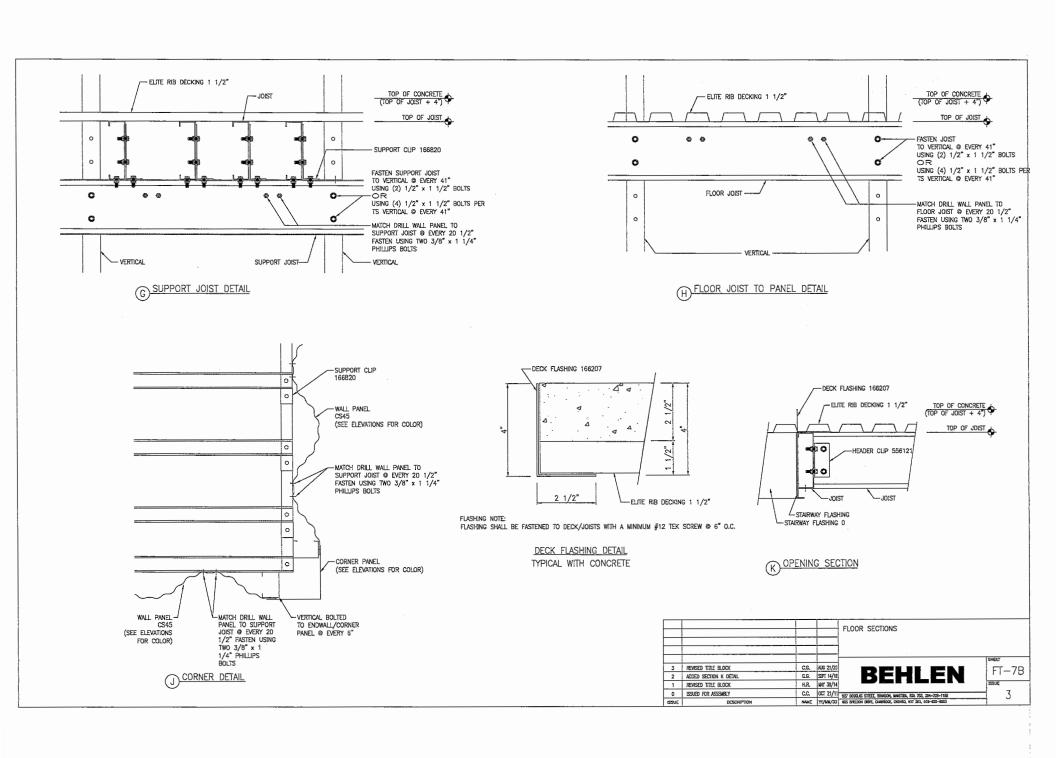
© PLAN VIEW OF JOIST CONNECTION

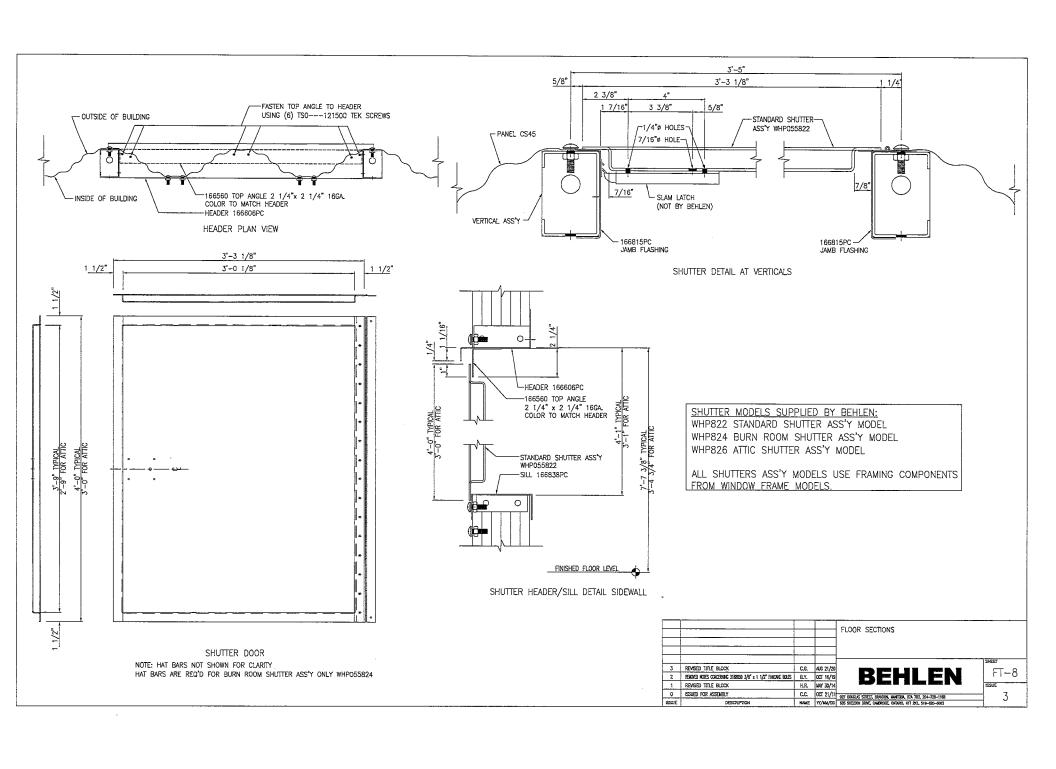


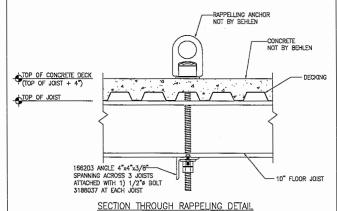
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FLOOR SECTIONS

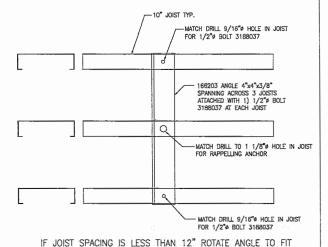
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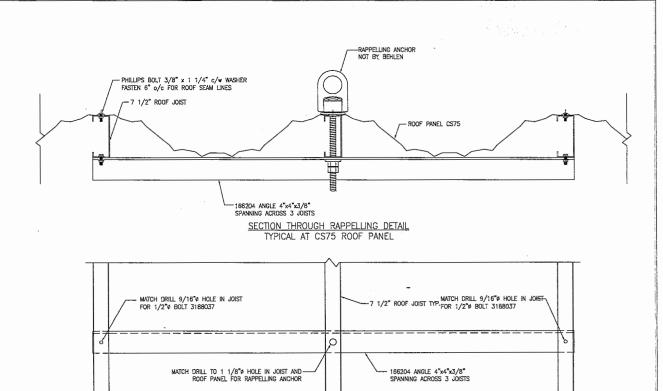








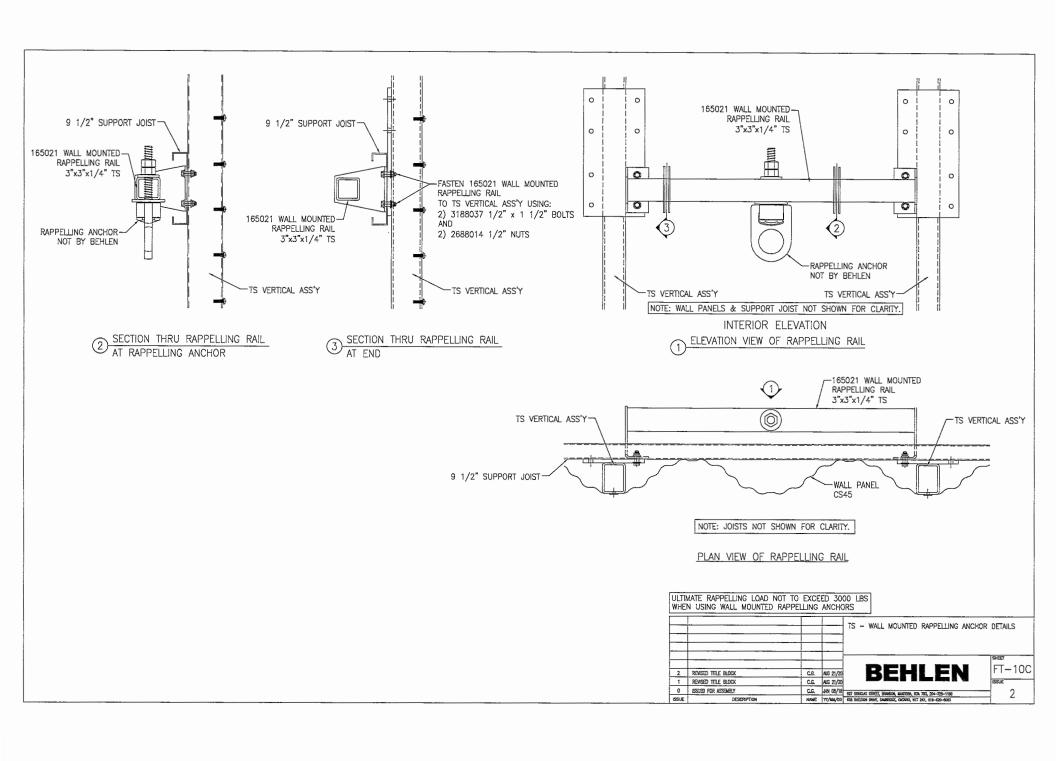
PLAN VIEW OF RAPPELLING DETAIL TYPICAL AT DECK & CONCRETE

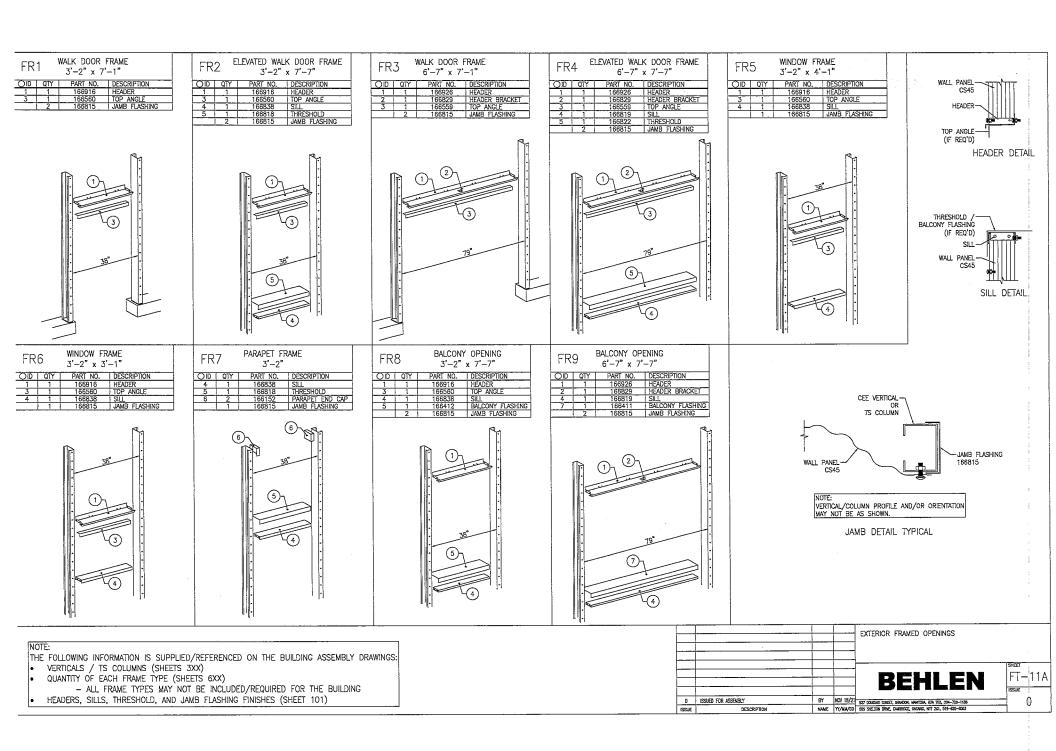


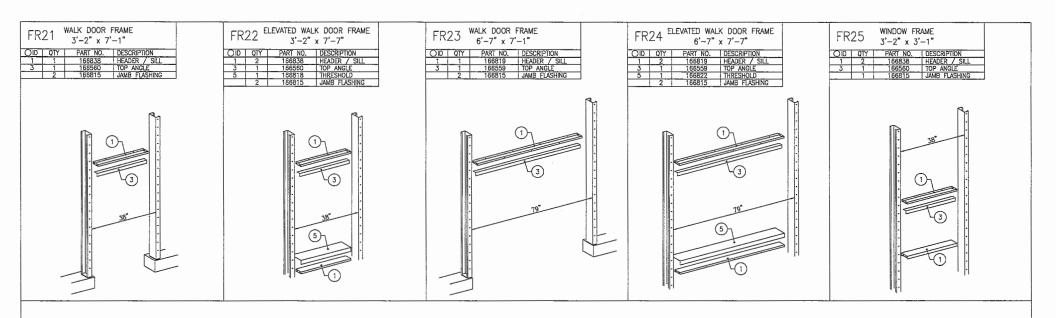
NOTE: ROOF PANEL NOT SHOWN FOR CLARITY

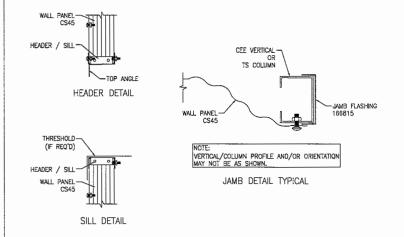
PLAN VIEW OF RAPPELLING DETAIL
TYPICAL AT CS75 ROOF PANEL

				RAPPELLING ANCHOR DETAILS	
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ISSUE	DESCRIPTION	NAME	YY/UN/00	665 SHELDON TRIVE, DIMERBOOK, ONDARD, NTT 24G, 519-520-6003	1 -









NOTE:

THE FOLLOWING INFORMATION IS SUPPLIED/REFERENCED ON THE BUILDING ASSEMBLY DRAWINGS:

VERTICALS / TS COLUMNS (SHEETS 3XX)

QUANTITY OF EACH FRAME TYPE (SHEETS 6XX)

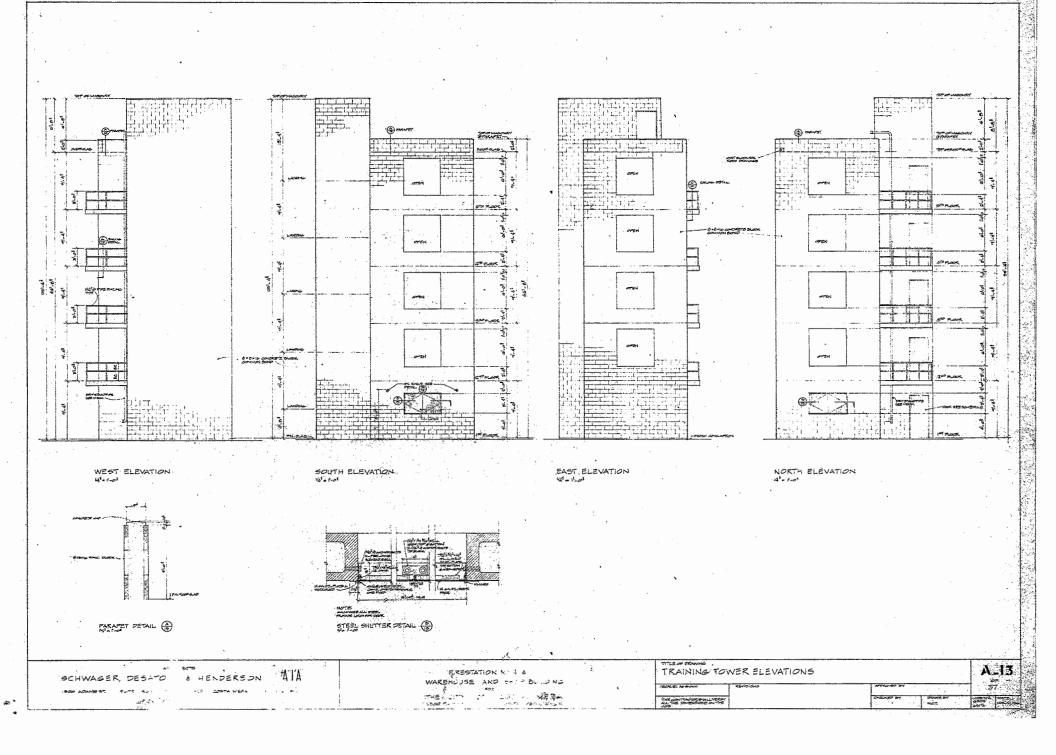
- ALL FRAME TYPES MAY NOT BE INCLUDED/REQUIRED FOR THE BUILDING

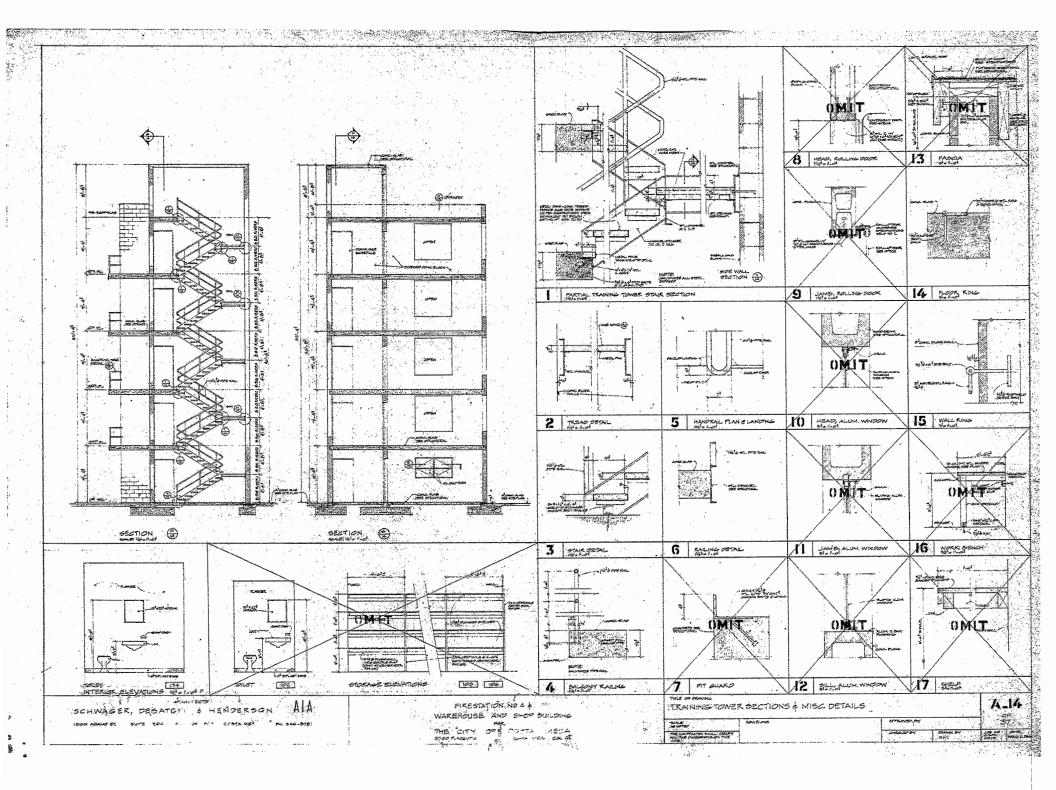
HEADERS, SILLS, THRESHOLD, AND JAMB FLASHING FINISHES (SHEET 101)

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ISSUE	DESCRIPTION	NAME	YY/MM/00	605 SHELDON DRIVE, CAMBROOK, ONTARD, MTT 2KG, 519-620-5003	"

ATTACHMENT 4

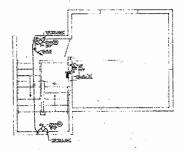
(Existing Facilities "As-Builts")



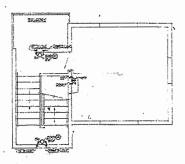


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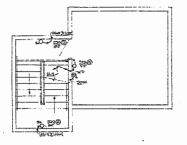
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ATTACHMENT 5

(City Standard Professional Services Agreement)

CITY OF COSTA MESA PROFESSIONAL SERVICES AGREEMENT WITH

THIS PROFESSIONAL SERVICES AGREEMENT ("Agreement") is made and entered into this ("Effective Date"), by and between the CITY OF COSTA MESA, a municipal corporation ("City"), , a California corporation ("Consultant").

WITNESSETH:

- A. WHEREAS, City proposes to utilize the services of Consultant as an independent contractor to provide services and staff support services for the Engineering Division, as more fully described herein; and
- B. WHEREAS, Consultant represents that it has that degree of specialized expertise contemplated within California Government Code section 37103, and holds all necessary licenses to practice and perform the services herein contemplated; and
- C. WHEREAS, City and Consultant desire to contract for the specific services described in Exhibit "A and desire to set forth their rights, duties and liabilities in connection with the services to be performed; and
- D. WHEREAS, no official or employee of City has a financial interest, within the provisions of sections 1090-1092 of the California Government Code, in the subject matter of this Agreement.

NOW, THEREFORE, for and in consideration of the mutual covenants and conditions contained herein, the parties hereby agree as follows:

1.0. SERVICES PROVIDED BY CONSULTANT

- 1.1. <u>Scope of Services</u>. Consultant shall provide the professional services described in Consultant's Proposal, attached hereto as Exhibit "A" and incorporated herein by this reference.
- 1.2. <u>Professional Practices</u>. All professional services to be provided by Consultant pursuant to this Agreement shall be provided by personnel experienced in their respective fields and in a manner consistent with the standards of care, diligence and skill ordinarily exercised by professional consultants in similar fields and circumstances in accordance with sound professional practices. Consultant also warrants that it is familiar with all laws that may affect its performance of this Agreement and shall advise City of any changes in any laws that may affect Consultant's performance of this Agreement.
- 1.3. <u>Performance to Satisfaction of City</u>. Consultant agrees to perform all the work to the complete satisfaction of the City and within the hereinafter specified. Evaluations of the work will be done by the City Manager or his or her designee. If the quality of work is not satisfactory, City in its discretion has the right to:
 - (a) Meet with Consultant to review the quality of the work and resolve the matters of concern;

- (b) Require Consultant to repeat the work at no additional fee until it is satisfactory; and/or
- (c) Terminate the Agreement as hereinafter set forth.
- 1.4. Warranty. Consultant warrants that it shall perform the services required by this Agreement in compliance with all applicable Federal and California employment laws, including, but not limited to, those laws related to minimum hours and wages; occupational health and safety; fair employment and employment practices; workers' compensation insurance and safety in employment; and all other Federal, State and local laws and ordinances applicable to the services required under this Agreement. Consultant shall indemnify and hold harmless City from and against all claims, demands, payments, suits, actions, proceedings, and judgments of every nature and description including attorneys' fees and costs, presented, brought, or recovered against City for, or on account of any liability under any of the above-mentioned laws, which may be incurred by reason of Consultant's performance under this Agreement.
- 1.5. <u>Non-Discrimination</u>. In performing this Agreement, Consultant shall not engage in, nor permit its agents to engage in, discrimination in employment of persons because of their race, religious creed, color, national origin, ancestry, physical disability, mental disability, medical condition, genetic information, marital status, sex, gender, gender identity, gender expression, age, sexual orientation, or military or veteran status, except as permitted pursuant to section 12940 of the Government Code.
- 1.6. <u>Non-Exclusive Agreement</u>. Consultant acknowledges that City may enter into agreements with other consultants for services similar to the services that are subject to this Agreement or may have its own employees perform services similar to those services contemplated by this Agreement.
- 1.7. <u>Delegation and Assignment</u>. This is a personal service contract, and the duties set forth herein shall not be delegated or assigned to any person or entity without the prior written consent of City. Consultant may engage a subcontractor(s) as permitted by law and may employ other personnel to perform services contemplated by this Agreement at Consultant's sole cost and expense.
- 1.8. <u>Confidentiality</u>. Employees of Consultant in the course of their duties may have access to financial, accounting, statistical, and personnel data of private individuals and employees of City. Consultant covenants that all data, documents, discussion, or other information developed or received by Consultant or provided for performance of this Agreement are deemed confidential and shall not be disclosed by Consultant without written authorization by City. City shall grant such authorization if disclosure is required by law. All City data shall be returned to City upon the termination of this Agreement. Consultant's covenant under this Section shall survive the termination of this Agreement.

2.0. COMPENSATION AND BILLING

- 2.1. <u>Compensation</u>. Consultant shall be paid in accordance with the fee schedule set forth in Exhibit A. Consultant's total compensation shall not exceed Dollars (\$.00).
- 2.2. <u>Additional Services</u>. Consultant shall not receive compensation for any services provided outside the scope of services specified in the Consultant's Proposal unless the City or the Project Manager for this Project, prior to Consultant performing the additional services, approves such additional services in writing. It is specifically understood that oral requests and/or

approvals of such additional services or additional compensation shall be barred and are unenforceable.

- 2.3. Method of Billing. Consultant may submit invoices to the City for approval on a progress basis, but no more often than two times a month. Said invoice shall be based on the total of all Consultant's services which have been completed to City's sole satisfaction. City shall pay Consultant's invoice within forty-five (45) days from the date City receives said invoice. Each invoice shall describe in detail, the services performed, the date of performance, and the associated time for completion. Any additional services approved and performed pursuant to this Agreement shall be designated as "Additional Services" and shall identify the number of the authorized change order, where applicable, on all invoices.
- 2.4. Records and Audits. Records of Consultant's services relating to this Agreement shall be maintained in accordance with generally recognized accounting principles and shall be made available to City or its Project Manager for inspection and/or audit at mutually convenient times from the Effective Date until three (3) years after termination of this Agreement.

3.0. TIME OF PERFORMANCE

- 3.1. <u>Commencement and Completion of Work</u>. Unless otherwise agreed to in writing by the parties, the professional services to be performed pursuant to this Agreement shall commence within five (5) days from the Effective Date of this Agreement. Failure to commence work in a timely manner and/or diligently pursue work to completion may be grounds for termination of this Agreement.
- 3.2. Excusable Delays. Neither party shall be responsible for delays or lack of performance resulting from acts beyond the reasonable control of the party or parties. Such acts shall include, but not be limited to, acts of God, fire, strikes, material shortages, compliance with laws or regulations, riots, acts of war, or any other conditions beyond the reasonable control of a party.

4.0. TERM AND TERMINATION

- 4.1. <u>Term.</u> This Agreement shall commence on the Effective Date and continue for a period of , unless previously terminated as provided herein or as otherwise agreed to in writing by the parties.
- 4.2. <u>Notice of Termination</u>. The City reserves and has the right and privilege of canceling, suspending or abandoning the execution of all or any part of the work contemplated by this Agreement, with or without cause, at any time, by providing written notice to Consultant. The termination of this Agreement shall be deemed effective upon receipt of the notice of termination. In the event of such termination, Consultant shall immediately stop rendering services under this Agreement unless directed otherwise by the City.
- 4.3. <u>Compensation</u>. In the event of termination, City shall pay Consultant for reasonable costs incurred and professional services satisfactorily performed up to and including the date of City's written notice of termination. Compensation for work in progress shall be prorated based on the percentage of work completed as of the effective date of termination in accordance with the fees set forth herein. In ascertaining the professional services actually rendered hereunder up to the effective date of termination of this Agreement, consideration shall be given to both completed work and work in progress, to complete and incomplete drawings, and to other documents pertaining to the services contemplated herein whether delivered to the

City or in the possession of the Consultant.

4.4. <u>Documents</u>. In the event of termination of this Agreement, all documents prepared by Consultant in its performance of this Agreement including, but not limited to, finished or unfinished design, development and construction documents, data studies, drawings, maps and reports, shall be delivered to the City within ten (10) days of delivery of termination notice to Consultant, at no cost to City. Any use of uncompleted documents without specific written authorization from Consultant shall be at City's sole risk and without liability or legal expense to Consultant.

5.0. INSURANCE

- 5.1. Minimum Scope and Limits of Insurance. Consultant shall obtain, maintain, and keep in full force and effect during the life of this Agreement all of the following minimum scope of insurance coverages with an insurance company admitted to do business in California, rated "A," Class X, or better in the most recent Best's Key Insurance Rating Guide, and approved by City:
 - (a) Commercial general liability, including premises-operations, products/completed operations, broad form property damage, blanket contractual liability, independent contractors, personal injury or bodily injury with a policy limit of not less than One Million Dollars (\$1,000,000.00), combined single limits, per occurrence. If such insurance contains a general aggregate limit, it shall apply separately to this Agreement or shall be twice the required occurrence limit.
 - (b) Business automobile liability for owned vehicles, hired, and non-owned vehicles, with a policy limit of not less than One Million Dollars (\$1,000,000.00), combined single limits, per occurrence for bodily injury and property damage.
 - (c) Workers' compensation insurance as required by the State of California. Consultant agrees to waive, and to obtain endorsements from its workers' compensation insurer waiving subrogation rights under its workers' compensation insurance policy against the City, its officers, agents, employees, and volunteers arising from work performed by Consultant for the City and to require each of its subcontractors, if any, to do likewise under their workers' compensation insurance policies.
 - (d) Professional errors and omissions ("E&O") liability insurance with policy limits of not less than One Million Dollars (\$1,000,000.00), combined single limits, per occurrence and aggregate. Architects' and engineers' coverage shall be endorsed to include contractual liability. If the policy is written as a "claims made" policy, the retro date shall be prior to the start of the contract work. Consultant shall obtain and maintain, said E&O liability insurance during the life of this Agreement and for three years after completion of the work hereunder.
- 5.2. <u>Endorsements</u>. The commercial general liability insurance policy and business automobile liability policy shall contain or be endorsed to contain the following provisions:
 - (a) Additional insureds: "The City of Costa Mesa and its elected and appointed

boards, officers, officials, agents, employees, and volunteers are additional insureds with respect to: liability arising out of activities performed by or on behalf of the Consultant pursuant to its contract with the City; products and completed operations of the Consultant; premises owned, occupied or used by the Consultant; automobiles owned, leased, hired, or borrowed by the Consultant."

- (b) Notice: "Said policy shall not terminate, be suspended, or voided, nor shall it be cancelled, nor the coverage or limits reduced, until thirty (30) days after written notice is given to City."
- (c) Other insurance: "The Consultant's insurance coverage shall be primary insurance as respects the City of Costa Mesa, its officers, officials, agents, employees, and volunteers. Any other insurance maintained by the City of Costa Mesa shall be excess and not contributing with the insurance provided by this policy."
- (d) Any failure to comply with the reporting provisions of the policies shall not affect coverage provided to the City of Costa Mesa, its officers, officials, agents, employees, and volunteers.
- (e) The Consultant's insurance shall apply separately to each insured against whom claim is made or suit is brought, except with respect to the limits of the insurer's liability.
- 5.3. <u>Deductible or Self Insured Retention</u>. If any of such policies provide for a deductible or self-insured retention to provide such coverage, the amount of such deductible or self-insured retention shall be approved in advance by City. No policy of insurance issued as to which the City is an additional insured shall contain a provision which requires that no insured except the named insured can satisfy any such deductible or self-insured retention.
- 5.4. <u>Certificates of Insurance</u>. Consultant shall provide to City certificates of insurance showing the insurance coverages and required endorsements described above, in a form and content approved by City, prior to performing any services under this Agreement. The certificates of insurance shall be attached hereto as Exhibit "B" and incorporated herein by this reference.
- 5.5. <u>Non-Limiting</u>. Nothing in this Section shall be construed as limiting in any way, the indemnification provision contained in this Agreement, or the extent to which Consultant may be held responsible for payments of damages to persons or property.

6.0. GENERAL PROVISIONS

- 6.1. Entire Agreement. This Agreement constitutes the entire agreement between the parties with respect to any matter referenced herein and supersedes any and all other prior writings and oral negotiations. This Agreement may be modified only in writing, and signed by the parties in interest at the time of such modification. The terms of this Agreement shall prevail over any inconsistent provision in any other contract document appurtenant hereto, including exhibits to this Agreement.
- 6.2. <u>Representatives</u>. The City Manager or his or her designee shall be the representative of City for purposes of this Agreement and may issue all consents, approvals, directives and agreements on behalf of the City, called for by this Agreement, except as otherwise

expressly provided in this Agreement.

Consultant shall designate a representative for purposes of this Agreement who shall be authorized to issue all consents, approvals, directives and agreements on behalf of Consultant called for by this Agreement, except as otherwise expressly provided in this Agreement.

6.3. <u>Project Managers</u>. City shall designate a Project Manager to work directly with Consultant in the performance of this Agreement.

Consultant shall designate a Project Manager who shall represent it and be its agent in all consultations with City during the term of this Agreement. Consultant or its Project Manager shall attend and assist in all coordination meetings called by City.

6.4. <u>Notices</u>. Any notices, documents, correspondence or other communications concerning this Agreement or the work hereunder may be provided by personal delivery or mail and shall be addressed as set forth below. Such communication shall be deemed served or delivered: (a) at the time of delivery if such communication is sent by personal delivery, and (b) 48 hours after deposit in the U.S. Mail as reflected by the official U.S. postmark if such communication is sent through regular United States mail.

IF TO CONSULTANT:

IF TO CITY:

City of Costa Mesa 77 Fair Drive Costa Mesa, CA 92626 Tel: (714) 754-5291 Attn:

Courtesy copy to:

City of Costa Mesa 77 Fair Drive Costa Mesa, CA 92626 Attn: Finance Dept. | Purchasing

- 6.5. <u>Drug-Free Workplace Policy</u>. Consultant shall provide a drug-free workplace by complying with all provisions set forth in City's Council Policy 100-5, attached hereto as Exhibit "C" and incorporated herein by reference. Consultant's failure to conform to the requirements set forth in Council Policy 100-5 shall constitute a material breach of this Agreement and shall be cause for immediate termination of this Agreement by City.
- 6.6. Attorneys' Fees. In the event that litigation is brought by any party in connection with this Agreement, the prevailing party shall be entitled to recover from the opposing party all costs and expenses, including reasonable attorneys' fees, incurred by the prevailing party in the exercise of any of its rights or remedies hereunder or the enforcement of any of the terms, conditions, or provisions hereof.
- 6.7. Governing Law. This Agreement shall be governed by and construed under the laws of the State of California without giving effect to that body of laws pertaining to conflict of laws. In the event of any legal action to enforce or interpret this Agreement, the parties hereto

agree that the sole and exclusive venue shall be a court of competent jurisdiction located in Orange County, California.

- 6.8. <u>Assignment</u>. Consultant shall not voluntarily or by operation of law assign, transfer, sublet or encumber all or any part of Consultant's interest in this Agreement without City's prior written consent. Any attempted assignment, transfer, subletting or encumbrance shall be void and shall constitute a breach of this Agreement and cause for termination of this Agreement. Regardless of City's consent, no subletting or assignment shall release Consultant of Consultant's obligation to perform all other obligations to be performed by Consultant hereunder for the term of this Agreement.
- 6.9. Indemnification and Hold Harmless. Consultant agrees to defend, indemnify, hold free and harmless the City, its elected officials, officers, agents and employees, at Consultant's sole expense, from and against any and all claims, actions, suits or other legal proceedings brought against the City, its elected officials, officers, agents and employees arising out of the performance of the Consultant, its employees, and/or authorized subcontractors, of the work undertaken pursuant to this Agreement. The defense obligation provided for hereunder shall apply without any advance showing of negligence or wrongdoing by the Consultant, its employees, and/or authorized subcontractors, but shall be required whenever any claim, action, complaint, or suit asserts as its basis the negligence, errors, omissions or misconduct of the Consultant, its employees, and/or authorized subcontractors, and/or whenever any claim, action, complaint or suit asserts liability against the City, its elected officials, officers, agents and employees based upon the work performed by the Consultant, its employees, and/or authorized subcontractors under this Agreement, whether or not the Consultant, its employees, and/or authorized subcontractors are specifically named or otherwise asserted to be liable. Notwithstanding the foregoing, the Consultant shall not be liable for the defense or indemnification of the City for claims, actions, complaints or suits arising out of the sole active negligence or willful misconduct of the City. This provision shall supersede and replace all other indemnity provisions contained either in the City's specifications or Consultant's Proposal, which shall be of no force and effect.
- 6.10. Independent Contractor. Consultant is and shall be acting at all times as an independent contractor and not as an employee of City. Consultant shall have no power to incur any debt, obligation, or liability on behalf of City or otherwise act on behalf of City as an agent. Neither City nor any of its agents shall have control over the conduct of Consultant or any of Consultant's employees, except as set forth in this Agreement. Consultant shall not, at any time, or in any manner, represent that it or any of its agents or employees are in any manner agents or employees of City. Consultant shall secure, at its sole expense, and be responsible for any and all payment of Income Tax, Social Security, State Disability Insurance Compensation, Unemployment Compensation, and other payroll deductions for Consultant and its officers, agents, and employees, and all business licenses, if any are required, in connection with the services to be performed hereunder. Consultant shall indemnify and hold City harmless from any and all taxes, assessments, penalties, and interest asserted against City by reason of the independent contractor relationship created by this Agreement. Consultant further agrees to indemnify and hold City harmless from any failure of Consultant to comply with the applicable worker's compensation laws. City shall have the right to offset against the amount of any fees due to Consultant under this Agreement any amount due to City from Consultant as a result of Consultant's failure to promptly pay to City any reimbursement or indemnification arising under this paragraph.
- 6.11. <u>PERS Eligibility Indemnification</u>. In the event that Consultant or any employee, agent, or subcontractor of Consultant providing services under this Agreement claims or is

determined by a court of competent jurisdiction or the California Public Employees Retirement System (PERS) to be eligible for enrollment in PERS as an employee of the City, Consultant shall indemnify, defend, and hold harmless City for the payment of any employee and/or employer contributions for PERS benefits on behalf of Consultant or its employees, agents, or subcontractors, as well as for the payment of any penalties and interest on such contributions, which would otherwise be the responsibility of City.

Notwithstanding any other agency, state or federal policy, rule, regulation, law or ordinance to the contrary, Consultant and any of its employees, agents, and subcontractors providing service under this Agreement shall not qualify for or become entitled to, and hereby agree to waive any claims to, any compensation, benefit, or any incident of employment by City, including but not limited to eligibility to enroll in PERS as an employee of City and entitlement to any contribution to be paid by City for employer contribution and/or employee contributions for PERS benefits.

- 6.12. <u>Cooperation</u>. In the event any claim or action is brought against City relating to Consultant's performance or services rendered under this Agreement, Consultant shall render any reasonable assistance and cooperation which City might require.
- 6.13. Ownership of Documents. All findings, reports, documents, information and data including, but not limited to, computer tapes or discs, files and tapes furnished or prepared by Consultant or any of its subcontractors in the course of performance of this Agreement, shall be and remain the sole property of City. Consultant agrees that any such documents or information shall not be made available to any individual or organization without the prior consent of City. Any use of such documents for other projects not contemplated by this Agreement, and any use of incomplete documents, shall be at the sole risk of City and without liability or legal exposure to Consultant. City shall indemnify and hold harmless Consultant from all claims, damages, losses, and expenses, including attorneys' fees, arising out of or resulting from City's use of such documents for other projects not contemplated by this Agreement or use of incomplete documents furnished by Consultant. Consultant shall deliver to City any findings, reports, documents, information, data, in any form, including but not limited to, computer tapes, discs, files audio tapes or any other Project related items as requested by City or its authorized representative, at no additional cost to the City.
- 6.14. Public Records Act Disclosure. Consultant has been advised and is aware that this Agreement and all reports, documents, information and data, including, but not limited to, computer tapes, discs or files furnished or prepared by Consultant, or any of its subcontractors, pursuant to this Agreement and provided to City may be subject to public disclosure as required by the California Public Records Act (California Government Code section 6250 et seq.). Exceptions to public disclosure may be those documents or information that qualify as trade secrets, as that term is defined in the California Government Code section 6254.7, and of which Consultant informs City of such trade secret. The City will endeavor to maintain as confidential all information obtained by it that is designated as a trade secret. The City shall not, in any way, be liable or responsible for the disclosure of any trade secret including, without limitation, those records so marked if disclosure is deemed to be required by law or by order of the Court.
- 6.15. <u>Conflict of Interest</u>. Consultant and its officers, employees, associates and subconsultants, if any, will comply with all conflict of interest statutes of the State of California applicable to Consultant's services under this agreement, including, but not limited to, the Political Reform Act (Government Code sections 81000, *et seq.*) and Government Code section 1090. During the term of this Agreement, Consultant and its officers, employees, associates and subconsultants shall not, without the prior written approval of the City Representative, perform

work for another person or entity for whom Consultant is not currently performing work that would require Consultant or one of its officers, employees, associates or subconsultants to abstain from a decision under this Agreement pursuant to a conflict of interest statute.

- 6.16. Responsibility for Errors. Consultant shall be responsible for its work and results under this Agreement. Consultant, when requested, shall furnish clarification and/or explanation as may be required by the City's representative, regarding any services rendered under this Agreement at no additional cost to City. In the event that an error or omission attributable to Consultant occurs, then Consultant shall, at no cost to City, provide all necessary design drawings, estimates and other Consultant professional services necessary to rectify and correct the matter to the sole satisfaction of City and to participate in any meeting required with regard to the correction.
- 6.17. <u>Prohibited Employment</u>. Consultant will not employ any regular employee of City while this Agreement is in effect.
- 6.18. Order of Precedence. In the event of an inconsistency in this Agreement and any of the attached Exhibits, the terms set forth in this Agreement shall prevail. If, and to the extent this Agreement incorporates by reference any provision of any document, such provision shall be deemed a part of this Agreement. Nevertheless, if there is any conflict among the terms and conditions of this Agreement and those of any such provision or provisions so incorporated by reference, this Agreement shall govern over the document referenced.
- 6.19. <u>Costs</u>. Each party shall bear its own costs and fees incurred in the preparation and negotiation of this Agreement and in the performance of its obligations hereunder except as expressly provided herein.
- 6.20. <u>No Third Party Beneficiary Rights</u>. This Agreement is entered into for the sole benefit of City and Consultant and no other parties are intended to be direct or incidental beneficiaries of this Agreement and no third party shall have any right in, under or to this Agreement.
- 6.21. <u>Headings</u>. Paragraphs and subparagraph headings contained in this Agreement are included solely for convenience and are not intended to modify, explain or to be a full or accurate description of the content thereof and shall not in any way affect the meaning or interpretation of this Agreement.
- 6.22. <u>Construction</u>. The parties have participated jointly in the negotiation and drafting of this Agreement. In the event an ambiguity or question of intent or interpretation arises with respect to this Agreement, this Agreement shall be construed as if drafted jointly by the parties and in accordance with its fair meaning. There shall be no presumption or burden of proof favoring or disfavoring any party by virtue of the authorship of any of the provisions of this Agreement.
- 6.23. <u>Amendments</u>. Only a writing executed by the parties hereto or their respective successors and assigns may amend this Agreement.
- 6.24. <u>Waiver</u>. The delay or failure of either party at any time to require performance or compliance by the other of any of its obligations or agreements shall in no way be deemed a waiver of those rights to require such performance or compliance. No waiver of any provision of this Agreement shall be effective unless in writing and signed by a duly authorized representative of the party against whom enforcement of a waiver is sought. The waiver of any right or remedy in respect to any occurrence or event shall not be deemed a waiver of any right or remedy in

respect to any other occurrence or event, nor shall any waiver constitute a continuing waiver.

- 6.25. <u>Severability</u>. If any provision of this Agreement is determined by a court of competent jurisdiction to be unenforceable in any circumstance, such determination shall not affect the validity or enforceability of the remaining terms and provisions hereof or of the offending provision in any other circumstance. Notwithstanding the foregoing, if the value of this Agreement, based upon the substantial benefit of the bargain for any party, is materially impaired, which determination made by the presiding court or arbitrator of competent jurisdiction shall be binding, then both parties agree to substitute such provision(s) through good faith negotiations.
- 6.26. <u>Counterparts</u>. This Agreement may be executed in one or more counterparts, each of which shall be deemed an original. All counterparts shall be construed together and shall constitute one agreement.
- 6.27. <u>Corporate Authority</u>. The persons executing this Agreement on behalf of the parties hereto warrant that they are duly authorized to execute this Agreement on behalf of said parties and that by doing so the parties hereto are formally bound to the provisions of this Agreement.

[Signatures appear on following page.]

IN WITNESS WHEREOF, the parties hereto have caused this Agreement to be executed by and through their respective authorized officers, as of the date first above written.

CONSULTANT

Signatura	Date:
Signature	
[Name and Title]	Social Security or Taxpayer ID Number
CITY OF COSTA MESA	
Thomas Hatch	Date:
City Manager	
ATTEST:	
Brenda Green City Clerk	-
APPROVED AS TO FORM:	
Thomas Duarte City Attorney	Date:
APPROVED AS TO INSURANCE:	
Ruth Wang	Date:
Risk Management	

APPROVED AS TO CONTENT:		
Project Manager	Date:	
DEPARTMENTAL APPROVAL:		
Raja Sethuraman Public Services Director	Date:	
APPROVED AS TO PURCHASING:		
Kelly A. Telford	Date:	

EXHIBIT A CONSULTANT'S PROPOSAL

EXHIBIT B CERTIFICATES OF INSURANCE

EXHIBIT C CITY COUNCIL POLICY 100-5

CITY OF COSTA MESA, CALIFORNIA

COUNCIL POLICY

SUBJECT	POLICY NUMBER	EFFECTIVE DATE	PAGE
DRUG-FREE WORKPLACE	100-5	8-8-89	1 of 3

BACKGROUND

Under the Federal Drug-Free Workplace Act of 1988, passed as part of omnibus drug legislation enacted November 18, 1988, contractors and grantees of Federal funds must certify that they will provide drug-free workplaces. At the present time, the City of Costa Mesa, as a sub-grantee of Federal funds under a variety of programs, is required to abide by this Act. The City Council has expressed its support of the national effort to eradicate drug abuse through the creation of a Substance Abuse Committee, institution of a City-wide D.A.R.E. program in all local schools and other activities in support of a drug-free community. This policy is intended to extend that effort to contractors and grantees of the City of Costa Mesa in the elimination of dangerous drugs in the workplace.

PURPOSE

It is the purpose of this Policy to:

- 1. Clearly state the City of Costa Mesa's commitment to a drug-free society.
- 2. Set forth guidelines to ensure that public, private, and nonprofit organizations receiving funds from the City of Costa Mesa share the commitment to a drug-free workplace.

POLICY

The City Manager, under direction by the City Council, shall take the necessary steps to see that the following provisions are included in all contracts and agreements entered into by the City of Costa Mesa involving the disbursement of funds.

- 1. Contractor or Sub-grantee hereby certifies that it will provide a drug-free workplace by:
 - A. Publishing a statement notifying employees that the unlawful manufacture, distribution, dispensing, possession, or use of a controlled substance is prohibited in Contractor's and/or sub-grantee's workplace, specifically the job site or location included in this contract, and specifying the actions that will be taken against the employees for violation of such prohibition;
 - B. Establishing a Drug-Free Awareness Program to inform employees about:

SUBJECT	POLICY NUMBER	EFFECTIVE DATE	PAGE
DRUG-FREE WORKPLACE	100-5	8-8-89	2 of 3

- 1. The dangers of drug abuse in the workplace;
- 2. Contractor's and/or sub-grantee's policy of maintaining a drug-free workplace;
- Any available drug counseling, rehabilitation and employee assistance programs; and
- 4. The penalties that may be imposed upon employees for drug abuse violations occurring in the workplace;
- C. Making it a requirement that each employee to be engaged in the performance of the contract be given a copy of the statement required by subparagraph A;
- D. Notifying the employee in the statement required by subparagraph 1 A that, as a condition of employment under the contract, the employee will:
 - 1. Abide by the terms of the statement; and
 - 2. Notify the employer of any criminal drug statute conviction for a violation occurring in the workplace no later than five (5) days after such conviction;
- E. Notifying the City of Costa Mesa within ten (10) days after receiving notice under subparagraph 1 D 2 from an employee or otherwise receiving the actual notice of such conviction;
- F. Taking one of the following actions within thirty (30) days of receiving notice under subparagraph 1 D 2 with respect to an employee who is so convicted:
 - 1. Taking appropriate personnel action against such an employee, up to and including termination; or
 - 2. Requiring such employee to participate satisfactorily in a drug abuse assistance or rehabilitation program approved for such purposes by a Federal, State, or local health agency, law enforcement, or other appropriate agency;

SUBJECT	POLICY	EFFECTIVE	PAGE
DRUG-FREE WORKPLACE	NUMBER 100-5	DATE 8-8-89	3 of 3

- G. Making a good faith effort to maintain a drug-free workplace through implementation of subparagraphs 1 A through 1 F, inclusive.
- 2. Contractor and/or sub-grantee shall be deemed to be in violation of this Policy if the City of Costa Mesa determines that:
 - a. Contractor and/or sub-grantee has made a false certification under paragraph 1 above;
 - b. Contractor and/or sub-grantee has violated the certification by failing to carry out the requirements of subparagraphs 1 A through 1 G above;
 - c. Such number of employees of Contractor and/or sub-grantee have been convicted of violations of criminal drug statutes for violations occurring in the workplace as to indicate that the contractor and/or sub-grantee has failed to make a good faith effort to provide a drug-free workplace.
- 3. Should any contractor and/or sub-grantee be deemed to be in violation of this Policy pursuant to the provisions of 2 A, B, and C, a suspension, termination or debarment proceeding subject to applicable Federal, State, and local laws shall be conducted. Upon issuance of any final decision under this section requiring debarment of a contractor and/or sub-grantee, the contractor and/or sub-grantee shall be ineligible for award of any contract, agreement or grant from the City of Costa Mesa for a period specified in the decision, not to exceed five (5) years. Upon issuance of any final decision recommending against debarment of the contractor and/or sub-grantee, the contractor and/or sub-grantee shall be eligible for compensation as provided by law.

ATTACHMENT 6

(Certificate of Insurance Forms)

City of Costa Mesa Insurance Requirements

If a vendor will be performing work on city premises, the vendor will need to furnish insurance certificates to the City prior to beginning work. The insurance that is required is the general liability with a separate endorsement page (detailed description below), automobile insurance and workers compensation.

A purchase order will not be issued until, insurance certificates are provided and the insurance is approved by Risk Management. It will be the responsibility of the department requesting the work to obtain the insurance certificates prior to submitting the purchase requisition to the Finance Department. Any questions about insurance dollar limits for select projects are to be directed to Risk Management prior to the bid process.

The following language is added to bids, price agreement/ contracts and purchase orders for technical and mechanical services:

Insurance

Contractor shall not commence work under this price agreement until he has obtained all insurance required under this section and the insurance has been approved by City as to form, amount, and carrier, nor shall contractor allow any subcontractor to commence any work until all required insurance has been similarly obtained by the subcontractor and approved by City.

Neither the failure of contractor to supply specified insurance policies and coverage, nor the failure of City to approve same shall alter or invalidate the provisions of this price agreement.

Contractor shall obtain and maintain during the life of this contract the following insurance coverage:

General Liability Insurance Coverage

Commercial General Liability, including coverage for premises-operations, products/completed operations hazard, blanket contractual, broad form property damage, independent contractors, and personal injury.

The above insurance coverage shall have limits of not less than one million dollars (\$1,000,000) combined single limit, per occurrence and aggregate.

Endorsement Page (* A separate endorsement page must be provided)

Endorsements to the policies providing the above insurance shall be obtained by contractor, adding the following three provisions:

a) Additional insureds:

"The City of Costa Mesa and its elected and appointed boards, officers, agents, and employees are additional insureds with respect to the subject project and agreement.

b) Notice:

"Said policy shall not terminate, nor shall it be canceled nor the coverage reduced, until thirty (30) days after written notice is given to City.

c) Other Insurance:

Any other insurance maintained by the City of Costa Mesa shall be excess and not contributing with the insurance provided by this policy."

All insurance carriers utilized by the contractor or any subcontractor under this agreement shall be approved by the California Department of Insurance to transact business in the State of California. The types of services provided under this agreement may further require contractor's insurance carrier(s) to be admitted insurers in the State of California.

Workers' Compensation Insurance

Contractor shall obtain and maintain during the life of this contract workers' compensation insurance in statutory amount and, if any work is sublet, contractor shall require all subcontractors to obtain workers' compensation insurance in statutory amount.

All workers' compensation insurance policies shall provide that the insurance may not be canceled without thirty (30) days advance written notice of such cancellation to City.

Contractor is aware of the provision of Section 3700 of the Labor Code which requires every employer to be insured against liability for Workers' Compensation or undertake self-insurance in accordance with the provisions of that Code, and will comply with such provisions before commencing the performance of the work of this contract.

Automobile Insurance

Automobile insurance including owned, hired, and non-owned vehicles.

The above insurance coverage shall have limits of not less than one million dollars (\$1,000,000) combined single limit, per occurrence and aggregate.

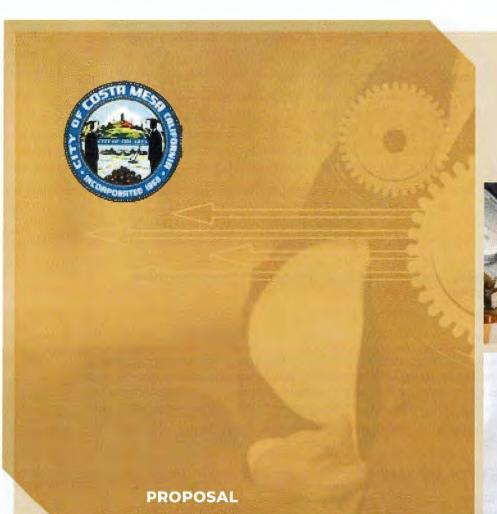
Proof of Insurance

Prior to award of the price agreement/contract, contractor shall furnish the department requesting the service proof of compliance with the above insurance requirements.

The insurance certificates must be approved by the Risk Management Division and a copy needs to be sent to the Finance Department with the purchase requisition. It is ultimately the responsibility of the department requesting the service, to obtain the required insurance.

If purchase requisition is received without appropriate insurance certificates, Purchasing may return the requisition to the department or contact the contractor and request the appropriate insurance certificates.

EXHIBIT B CONSULTANT'S PROPOSAL











PROFESSIONAL CONSTRUCTION MANAGEMENT AND SPECIAL INSPECTION SUPPORT SERVICES FOR

FIRE STATION NO. 4
TRAINING TOWER FACILITY







January 12, 2024

Mr. Hector Soriano, Associate Engineer City of Costa Mesa Via Planet Bids

Reference: Construction Management and Special Inspection Support Services for Fire Station No. 4 - Training Tower Facility (City Project No. 23-04)

Dear Mr. Soriano:

The City of Costa Mesa (City) is seeking a consultant to provide construction management and inspection services to replace the existing fire tower. STV Construction Inc. (STV) is the right team to provide the technical expertise, innovation, and collaboration to place your objectives for this project at the heart of every decision made. Our vision for delivering this project will be to work with the City, the site and prefabrication contractors, the community, and additional project stakeholders as *One Team.* We will mobilize quickly upon award to facilitate coordination, synergy, and teamwork for efficient project delivery.

VALUE OFFERED TO THE CITY BY THE STV TEAM

A Proven Team. STV's team of highly skilled construction management professionals can draw upon the multidisciplinary resources of the STV organization, including construction, engineering, and architectural specialists, which will prove invaluable throughout the project delivery process as we address your complex challenges. James (Jim) Adams, AIA, CCM, will lead our integrated team. With more than 25 years of experience, Jim previously led the City's multifaceted Donald Dungan Library and Costa Mesa Neighborhood Community Center Reconstruction project to a successful outcome. Our teaming partner, Delta Group, provided all inspection services for the City's library project, and they will serve in the same capacity for this project. As project manager, Jim will lead the entire design and construction team and be a reliable partner for City staff.

A Relevant Portfolio. Having shaped some of Southern California's most exciting projects for more than 30 years, STV is committed to creating exceptional value for our clients. We offer a portfolio of municipal buildings and facilities and high-profile projects.

Commitment to the City. As principal-in-charge for this project, I assure you that our local team fully understands its impact and importance. To deliver a solid management approach to provide comprehensive construction management services, you have STV's and my commitment to bringing top industry staff to assist the City. We commit that every person designated as key to the project will not be removed or replaced without your written concurrence. All key staff members identified on our organization chart are available for this assignment and will be committed for the project's duration when needed for successful completion.

Should you require any further information, please get in touch with me at (530) 802-6911 or david.watson@stvinc.com.

We acknowledge receipt of Addendum 1 and 2, issued 12/11 and 12/28.

Sincerely,

STV Construction, Inc.

David Watson, CCM, MBA

Vice President, Principal-in-Charge

TABLE OF CONTENTS

Project Understanding	3
Project Team Organization	
Similar Projects	15
Schedule	19
Appendix/Key Staff Resumes	20
Fee Proposal (submitted separately)	





PROJECT UNDERSTANDING



PROJECT UNDERSTANDING

QUALIFICATIONS AND EXPERIENCE

Providing a Core Team with the Right Experience

We have developed a staffing/organizational approach for the City that draws upon the experience of a core team to provide continuity of construction expertise as the project transitions from pre-construction activities through project closeout and certification. Our staff will be supported throughout the project delivery process by project controls, project management, field management, and technical services professionals. Our team's proposed schedule is directly linked to the staffing resources we have proposed. The resumes of our team members also highlight the relevance of their backgrounds to meet the City's programmatic and project needs successfully.

We Recognize Your Challenges

This project presents challenging logistical interfaces. Communication and transparent information will be critical, and the STV team will work closely to recommend and support the City of Costa Mesa with the professional resources necessary to enhance the construction of the center FS No. 4 TT Facility.

The STV team recognizes that project success takes work and effort: it results from hard work, focus, diligence, and communication among all project stakeholders. Our approach is founded on proper planning, partnering, communication, and collaboration.

Our Commitment to the City

The recipe for success weighs heavily on our unyielding commitment to support our core team throughout the life of the Fire Station No. 4 Training Tower (FS No. 4 TT) project. In doing so, we establish not only continuity but also optimize our ability to complete each of the identified milestones within the City's preliminary schedule, which includes pre-construction review activities from March 2024 through the construction of the new FS No. 4 TT, classroom addition, and related utilities within the 180 allocated work days to make sure the project remains eligible to receive all anticipated outside funds.

Comprehensive Project and **Construction Management Services**

- Focused on SAFETY FIRST!!!
- · Program/project management
- · Design management
- · Construction management
- · Asset management
- · Project controls eBuilder, Sharepoint
- Sustainability Leader in Energy and Environmental Design (LEED)
- · Risk management, modeling
- Value engineering/cost management
- · Earned value management
- · Constructability/ bidability reviews
- · Estimating (Southern California Database)
- Timberline estimating quantity extraction
- Scheduling (Primavera P6) cost/time management
- · Financial reporting (budget vs. actuals, forecast cost)
- Community outreach/public relations
- Owner representative services



STANDARD SERVICES, TECHNICAL APPROACH. AND WORK PLAN

FS No. 4 TT Overview

STV has offices across the United States, including Southern California offices in downtown Los Angeles, Irvine, and Rancho Cucamonga. STV will mobilize qualified resources and deploy strategies that have repeatedly proven effective in managing projects similar in size and complexity.

Approach to Project Delivery Planning and Execution

FS No. 4 TT - Project Phase

Our proposed team will provide the appropriate level of service to manage this project through successful completion and will rely on sound planning, communication, and an effective management approach outlined as follows:

- Establish our team as a trusted partner to help the City make informed decisions, as we have done on previous Costa Mesa projects
- Provide leadership and proactive communication at all levels
- Enable on-time completion of all deliverables
- Challenge the technical merits of proposed solutions, while also examining cost and schedule ramifications both short- and long-term
- · Maintain a safe and non-disruptive construction site
- · Examine short- and long-term operational life cycle costs
- · Minimize unnecessary changes during design and construction
- Comply with the quality standards expected by the City
- Validate architectural/infrastructure requirements. site logistics, and any potential impacts to the FS No. 4 TT project
- · Validate the schedule of both the tower fabricator and the general contractor for compliance with the contract requirements and coordination.

Project Approach

We have structured our delivery approach using the scope of consultant services, RFP Section 9.0, to showcase our project delivery in more detail. We have indicated next to each approach section what RFP sections they relate to for easy reference and understanding of our approach to deliver our services.

An Established Team

Executive oversight of the FS No. 4 TT project will be led by STV's Construction Management Vice President, David Watson. We will reunite our construction management team from the Lions Park Donald Dungan Library, with Jim Adams as our lead construction manager, Group Delta's Jessie Iniquez as lead site special inspector, along with the entire Group Delta Anaheim Lab, and STV's Bob Quickel as scheduling engineer. All of our proposed team members have established a solid and trusted relationship with the City through our previously delivered Multi-Award Winning Lion Park project. Additionally, our proposed project engineer, Gabe McCreary, will be new to Costa Mesa but has worked successfully with Jim Adams on other projects, which will complete the overall synergy this project requires.

Construction Management Administration, Quality Assurance, and Special Staffing RFP SOW 9.2, 9.8

Our team will function as the City's "eyes" in the field and coordinate and facilitate construction-required services with our designated project inspector, STV maintains a company-wide Quality Management System (QMS) conforming to ISO 9001:2015 Quality System Standards. Central to our QMS are independent audits and a corporate quality manual, which defines our quality policy and how we manage, control, document, and improve our quality processes through the project life cycle.

A significant element of our quality manual is a series of standard procedures that guide project execution from start to finish. These procedures are stored on our company intranet and available to all employees.

In addition, a project-specific quality plan (PQP) is prepared for each project, which establishes and describes the interactions between the quality system processes and identifies the personnel responsible. The PQP describes the quality methods related to, at a minimum, the following:



A Committed Team

We are committed to providing excellent, integrated services as a capable, effective, and local partner. The STV team will provide continuity of key personnel (subject to reasonable control) assigned to this project engagement through the completion of the work.

- Document control as it applies to all quality-related documentation of a magnitude that control of such documents is necessary for compliance with contractual requirements
- Process control, the planning and development of which considers quality objectives and requirements; the need to establish processes; required verification, monitoring, inspection, testing, and acceptance criteria; records needed to provide evidence of conformity to requirements; and client communication
- Inspection and testing to describe the procedures for planning, implementing, and controlling inspections and test activities necessary to verify field conformance to design/construction and installation criteria required per approved contract documents
- Non-conformance, preventive action, and corrective action to describe the processes used to identify, analyze, and control non-conformance, as well as to implement corrective actions designed to prevent the recurrence of such non-conformance

Quality is dependent upon a clear understanding and examination of project requirements, Subsequently, a project manual is prepared for each project that addresses how the higher-tiered directives of the PQP will be implemented in the field. The project manual includes:

- Pre-construction elements include project contacts, scope of services, contract summary form, permitting and codes, etc.
- QA/QC elements include a project organization chart, management decision/review flow chart, document control and distribution, retention of project records, etc.
- · Construction elements include roles and responsibilities, daily/weekly/monthly reporting, safety/ emergency/ facility communications, schedule, budget, change order control, noncompliant work, etc.

 Project closeout as established within the contract documents for substantial/final completion, punch list management, as-builts, O&M Manuals, warranties, etc.

Pre-construction phase services RFP SOW 9.2:

- Schedule: Carefully review the project sequence regarding the established end date and interim milestones and obtain approval from the City. Conduct project schedule workshop for the contractor's development of the project's baseline schedule. Our team will make sure that the individual components within the overall master schedule verifies that any alternative phasing as proposed by the project team and/or the general contractor complies with the established parameters as outlined in the contract.
- Establish the Inspector's Monitoring of the Special Inspection and Materials Testing Program in accordance with Group Delta's Anaheim Testing Lab procedures
- · Perform a thorough review of the construction documents and conduct a constructability analysis
- Conduct construction document reviews for economy and efficiency of design and construction operations
- · Evaluate and minimize construction impact on operations and minimization
- Review site logistics
- Provide final construction document review so that requirements are clearly defined and add/deduct alternates are delineated accurately for the City's review and approval
- Schedule and conduct an initial pre-construction meeting with the contractor, utilities, other City divisions and departments, and potentially adjacent community and neighbors
- Prepare and distribute pre-construction minutes to attendees and other parties. The pre-construction meeting will cover, as a minimum, the overall project objectives, responsibilities of key personnel and agencies, schedules, schedule of values (bid breakdown), procedures for handling submittals, correspondence, utility relocations, local agency permit requirements, requests for clarification, progress payments, change orders, safety issues, emergency response requirements, and other pertinent topics
- Allow opportunities to have the contractor's questions answered
- Collect from the contractor the submittal items required to be submitted at the pre-construction meeting
- · Review project schedule and analyze progress and progress analytics (earned vs. actual duration)



- · Evaluate long-lead item procurement
- · Capture meeting attendance with the City and all regulatory state agencies to make sure approvals are obtained efficiently
- Maintain correspondence and any other communication files as required to advance the project
- Conduct reviews that address coordination, cost impact on agency operations, time of performance, compliance with the required scope of services, and compliance with the City's comments
- Review and assist the general contractor and the pre-fab manufacturer/installer in aligning the critical scheduling activities to verify schedule alignment and reduce potential project delivery risks

Construction phase services RFP SOW 9.0:

- Assist in obtaining all necessary permits, certificates, licenses, and approvals, and advise the City that work does not proceed without these documents
- · Review preliminary construction schedules with the selected contractor, develop start-up construction schedules, and verify compliance with progress scheduling requirements
- Provide technical supervision and coordination of the work until final completion and acceptance by the City, verifying that the materials furnished and work performed are in accordance with the plans, drawings, specifications, and approved contractor submittals
- Prevent work installation or furnishing of materials or equipment that has not been adequately approved or otherwise fails to conform to the plans, drawings, specifications, and construction documents
- Along with our Group Delta Inspection team, verify that all inspection, quality control tests, or any other tests required by law, rule, or regulation, or by the construction documents, are performed satisfactorily and on time, including off-site inspections and controlled on-site inspections, by our Inspector's Monitoring of Special Inspection and Materials Testing Program. Make sure that soils compaction testing, welding, concrete testing, and masonry, structural, or reinforcing steel inspections are procured as specified and scheduled, and that final reports are obtained and this information is conveyed back to the contractor
- Conduct job meetings with contractors, consultants, and stakeholders to discuss procedures, performance, progress, problems, and scheduling; minutes of such meetings will be distributed to all attendees in a format authorized by the City

- Prepare RFPs and cost estimates, negotiate proposals and CORs for work to be performed on a change order basis, and recommend approval to the City's project management staff
- Maintain accurate, orderly, and detailed files, as well as written records and documents concerning the project during all stages of construction, including project correspondence, meeting minutes of job conferences, progress reports, shop drawings, and other submissions, contract documents, Architect's Bulletins, as-built record drawings, and all other project-related documents. Provide all records, documents, and information regarding the project upon completion of the work
- Review the contractor's daily production report describing all of the activities that occurred on the site, including the number of workers identified by trade, contractors employed at the site by each contractor, the number of hours worked, material deliveries, labor difficulties, weather conditions, visits by officials, testing that has occurred, decisions reached, action items to be resolved, and any other observations pertinent to the work, (If we are not on-site full-time, one of the options in question/response addendum we could offer to monitor the contractor's daily field reports.)
- · Maintain accurate, orderly, and detailed cost accounting records concerning all work performed, including RFPs/ CORs, scope of work development, cost control spreadsheet, and change order summary log
- Coordinate with the City to verify that all temporary facilities and utilities are provided as necessary for the performance of the work
- Review and address, as appropriate, RFIs, requests for extensions of time, change order requests, and disputes from the contractor
- Implement a Quality Management and Inspection Program that will make sure that construction activities are performed in accordance with approved drawings, specifications, applicable codes and standards, and contractual requirements. Responsibilities and authority for the administration of the program and completion of work and the standards of quality to be applied will be clearly defined
- · As needed, prepare daily inspection reports that will be filed within one day following the inspection of any work performed. In addition, our team will prepare regular weekly and monthly reports to describe the progress and conditions of the project
- · Observe the construction activities and monitor the



schedule to identify any interface issues between the general contractor and the pre-fabrication contractor/ installer. Focused scheduling using Fragnet Net scenarios may be developed as necessary to verify the proper sequencing of fabrication, delivery, storage, installations, utility connections, and on-site construction activities are successfully implemented. Our STV scheduling team has many years of participating in and developing these types of schedule oversite activities to help verify the project's timely completion

- · Resolve constructability problems, day-to-day construction issues, and investigate claims
- Provide monthly progress reports, including project progress photos, and prepare weekly and monthly reports to describe the progress and conditions of the project
- Maintain a daily field report describing all of the activities that were observed on the site, including monitoring the contractor's superintendent's daily report for the number of workers identified by trade, contractors employed at the site by each contractor, the number of observed hours worked, material deliveries, labor difficulties, weather conditions, visits by officials, testing that has occurred, decisions reached, action items to be resolved, and any other observations pertinent to the work
- Review the safety program developed by the general contractor and coordinate safety programs for the project. Contractor deviance from the safety programs will be pointed out to the general contractor's superintendent for immediate resolution of the safety issue. and precautions will be taken to minimize the risk of injury to persons and damage to property from the work. The weekly progress meetings will also discuss any observed safety issues or concerns

Correspondence, Reports, and Other Forms of Communication RFP SOW 9.3 and 9.4

Our team will establish recommended protocols for creating and issuing daily, weekly, and monthly reports to the City and the general contractor. Maintaining effective communication will be essential to the FS No. 4 TT success, and the following tools and methodology will be implemented consistently.

- Daily Reports: Field management staff will generate daily reports with a minimum of the information below identified:
 - -Description of observed work performed and major

- quantities installed
- -Key project developments or milestones completed
- -Photo documentation of progress and work-in-place construction
- -Equipment at the site, material deliveries or shortages, and workforce
- -Issue resolution
- -Safety issues
- Monthly Executive Progress Reports: This report is typically circulated to a broad audience, many of whom do not have day-to-day contact with the program, It is also intended to summarize progress and trends so that even day-to-day management can step back regularly and assess where the program is going from a more global perspective. Monthly reports typically include:
 - -Executive summary including construction milestones, look-ahead schedule, and photos of progress made during the month
 - -Detailed schedule analysis
 - -Detailed budget and expenditures report
 - -Project open issues and resolution status
 - -Environmental mitigation measures report
 - -Project design information
 - -Project control documents summary

Reports are available both in hard copy and electronically on the program website. In addition, an online project management system (e-Builder) will be implemented (pending approval by the City) to provide real-time status.

Site Conditions and Progress Documentation RFP SOW 9.4

Field Engineering Investigations, Assessments, and Reports RFP SOW 9.4

- · Coordinate and review the contractor's video and photos of pre-construction site conditions and utilities before beginning any construction operation
- Confirm existing conditions within the limits of the work in adjacent areas and along access and haul roads. The contractor's documentation will depict the pre-existing conditions of public and private improvements, including, but not limited to, street, drainage, utilities, landscaping, and irrigation improvements
- Compare the contractor's pre-construction site surveys



- to the site surveys performed under this scope of work. Note any discrepancies and resolve issues
- Describe in a memorandum, submitted before any construction operation, pre-existing damage identified within the limits of work and along access and haul roads
- Meet with owners of pre-existing damage to document and confirm existing conditions. Document any damage to public and private improvements incurred during construction operations and meet with owners immediately after the damage discovery to resolve repair requirements and responsibilities. As part of this task, it is required to document all the existing utilities for any needed utility adjustment/relocation coordination and planning

Meetings RFP SOW 9.5

Our team will organize and lead project kick-off meetings to establish proper project expectations and to create working relationships with the architect, engineers, contractors, major vendors/subcontractors (TT pre-fab manufacturer and installer), the City, stakeholders, and agency staff. These meetings will also catalyze the creation and review of design and construction work plans, safety expectations, traffic management plans, stormwater pollution prevention plans (SWPPP), and various procedures, including hauling the demolished existing training tower for offsite disposal. We will prepare an agenda listing the most important items during a particular phase, such as regulatory agency, peer review/design, bid strategy, award, construction, and post-construction.

Project Meetings:

- Weekly Project Team Meetings: Our team will convene and chair weekly design and construction meetings, including representatives of the City, contractor, design team, and any other stakeholders required to participate. These meetings will be action-oriented and cover general status, cost and schedule status, design and construction issues, open issues from the issue/action log, pending changes, and any other critical issues.
- Phase-Specific Meetings: We will plan and convene other regular meetings that will occur during specific phases of the project when a particular subject requires either more attention or a different group of attendees (e.g., pre-demolition of an existing training tower, hauling off debris, pre-construction storage and installation of a new pre-fabricated training tower, commissioning or move-in). If necessary and requested, we can bring in specialists to provide specific expertise for these types of meetings.

 Special and Workshop Meetings: Occasionally, special meetings may be required for issues that impact operational changes or major problems, such as responding to mid-project regulatory changes, delivery issues of pre-fabricated towers, or force-majeure events. The meetings may be one-time events or go on for a period of time. We will convene and chair these meetings, track issue resolution, and issue meeting minutes similarly to other meetings.

Meeting Agendas

STV will prepare a written agenda for all meetings. The agenda will be issued to meeting participants in advance, allowing all attendees to prepare appropriately for the meeting and request modifications if required.

Meeting Minutes RFP SOW 9.5

All meetings are documented via meeting minutes. Issuing meeting minutes is the responsibility of the STV team initiator. Such minutes are essential to open communication between all parties that systematically record, identify, and define project goals and responsibilities. Proper meeting minutes will record the meeting number, date of the meeting, participants, distribution list, all documents that are exchanged in the meeting, specific weekly discussed items (i.e., three-week look-ahead-schedule, RFIs, change orders, etc.), informational items discussed during the meeting, past action items, past resolved items, and new action items. Meeting minutes will record all activities throughout the project. They will live as an organic document that will clarify the project's goals to keep the project progressing as required. Though the RFP states the meeting minutes are to be distributed to the attendees within five calendar days of the meeting, it is our practice to distribute the meeting minutes by the next day, as we previously did on the Donald Dungan Library (DDL) and Neighborhood Community Center (NCC) projects. All parties will have a chance to review such meeting minutes and make revisions as needed in the time allotted for changes. Once meeting minutes have been finalized and posted, they will become a legal document that can be referenced by all team members.

STV uses e-Builder as its preferred Project Management Information System (PMIS), and our proposed team has additional expertise in other comparable systems if the City should currently work within an established system or reserve a preferred platform.



Shop Drawing and Submittal Review RFP SOW 9.6A, 9.6B

Project Shop Drawings

We will use the management information system e-Builder, which our construction management teams have successfully used on many projects, including the City's DD/NNC projects. We also used the contractor's Pro-Core informational software to monitor daily contractor issues such as RFIs, submittal, manpower reports, potential claims, pay applications and scheduling status. Alternatively, we can use another type of Construction Management Information software system that the City would prefer. We will create a submittal log/register for the FS No. 4 TT project before the start of construction. Our staff will receive and review all shop drawings, product data, samples, and other submittals from the contractor and will coordinate them with information contained in related documents.

In collaboration with the City, we will establish and implement procedures for expediting the processing and approval of shop drawings, product data, samples, and other submittals. We will work with the contractor to develop the submittal schedule (as required by the contract documents) and invite the architect and associated team to review submittal dates for proper review time and to avoid revisions and re-submittals. By tracking submittals, our team can expedite turnaround time and determine if a project shows early signs of schedule slips.

Project Submittals RFP SOW 9.6

Our team will maintain a submittal log to record and track all submittals. In conjunction with the City's contractor, we will develop an initial list of required submittals and establish the submittal format and number of copies necessary for each submittal item based on the contract documents. Our team will define the procedures and coordinate the processing, reviewing, and returning all submittals to the contractor. We will monitor the date that submittals are made against the contractor's performance in reviewing and returning documents that include but are not limited to, shop drawings, working drawings, material samples, and equipment catalog cuts.

Our team will expedite the flow of drawings and materials through the approval process. We will maintain a current set of approved submittals at the job site. The submittal status will be a regular agenda item at the weekly construction progress meetings. Submittal delay will be identified as a potential risk, and the contractor will be alerted to its potential impact on the project. We will also recommend ways to resolve any delays or mitigate their effects.

Plan and Specification Interpretation and Control RFP SOW 7.1

RFIs RFP SOW 9.7A

We will consult with the architect/designer if the contractor asks for interpretations of the meaning and intent of drawings and specifications, and we will help resolve questions. Our team will maintain an RFI (also known as Request for Clarification) tracking system that analyzes the cost and schedule implications for the RFIs and coordinates all requests for survey information. Our close communication with the City will help avoid potential delays. This information will be tracked in e-Builder to provide complete transparency in a collaborative, web-based environment.

Change Control RFP SOW 9.7B, 9.7C, and 9.7D

Our team recognizes the importance of an effective, systematic process for managing change throughout the project's life cycle. Once a project baseline WBS, scope, cost, and schedule have been established, the most important project management task will be managing change.

If the City permits, our team will use e-Builder as our integrated project management platform to manage the change control process. The e-Builder provides a complete change management workflow processing center that captures and tracks each change, from the initial change request phase to final approval. It facilitates an effective process to track and route supporting documentation using standard "ball-in-court" and datedriven approvals and custom workflow in which parties are required to review and approve/disapprove before implementation. The program effectively enables analysis of financial and schedule impacts a change may have at any stage in the negotiation process.

Project Schedule Updates and Progress Payment Applications RFP SOW 9.9

Project Schedule Updates

As noted in the RFP and during the pre-bid job site walk, the City indicated the schedule is critical in securing and receiving funds for this specific project. The construction manager must take the lead in managing this project's successful overall time frame. To that end, STV uses various scheduling tools (Primavera P6, Sure Trak, and Microsoft Project) to document critical elements of the project. Our in-house STV professional project scheduler will support our on-site project management team on an as-needed basis, at least during the monthly pay application review. Our scheduler's review comments will be included in our monthly reports. Our project scheduler,



Bob Quickel, also performed the schedule reviews for the DDL project. The master project schedule includes permitting, contractor procurement of prefabricated materials, including the TT, and other activities.

Progress Payment Applications

Our team will also confirm and validate monthly construction progress and work with our assigned project inspector to determine the percentage of work completed each month. This will allow our team to review the contractor's monthly progress invoices and determine whether the submitted percentages align with the work progress completed for that particular month's invoice or if revisions will be required. Our team will recommend our concurrence of the progress shown in the monthly invoice to the City and process the invoice for approval signature(s).

Earned Value Management

Earned Value Analysis (EVA) is an industry-standard method of measuring a project's progress at any given time, forecasting its completion date and final cost, and analyzing variances in the schedule and budget as the project proceeds. It compares the planned amount of work with what has been completed to determine if the cost, schedule, and work accomplished are progressing according to the plan. As work is completed, it is considered "earned." Three measurements are used in the EVA:

- The actual cost of work performed
- The budget cost of work performed
- · The budget cost of work scheduled

STV has the proven cost engineering expertise and the necessary EVM software programs — such as Microsoft.

STV will use MS Project, Timberline, and e-Builder along with Primavera P6 Project Planning to manage client contractors and consultants effectively.

Change Control Management RFP SOW 9.10 Change Management RFP SOW 9,10

Our team will identify and track changes, evaluate contractors' requests for extra work, evaluate and prepare written recommendations for the justification for additional work or changes, and prepare change orders.

Our team will review and be thoroughly familiar with the contract requirements and scope of work to manage what is entitled and what is not. We will always refer to the contract to mitigate potential claims arising from requested changes. Scope, schedule, and budget always go hand-in-hand, and the ability to control scope and changes will be a critical factor in completing the project on time and within budget, A well-implemented change control process considers the impact on cost and schedule for each change in scope.

The STV team will apply proven "change order management techniques" to minimize costs and schedule impacts associated with changes in scope. All changes in scope will be thoroughly investigated and substantiated before being recommended for acceptance and implementation.

Our team will also make sure that all changes in scope are thoroughly investigated and substantiated before recommending for acceptance and implementation. Key stages within this process include:

- Finding of Fact (FOF): The FOF provides information on the basis, analysis, and reasoning of a change order. Our team will evaluate the reasons for the change in scope and whether a change order is justified
- Discretionary or Non-Discretionary Determination: The critical distinction between a discretionary and non-discretionary change in scope is vital to determining whether or not the change is implemented. A discretionary change is one in which the project can do without and still meet design criteria and other requirements. A non-discretionary change must be performed to meet project objectives
- Development of Alternatives: Our team will evaluate cost- and time-saving alternatives to the changed work scope. These alternatives will be developed and presented to the City's project manager for review and approval
- Potential Change Order: A potential change order that includes the new additive and/or deductive scope will be prepared
- · Cost Estimates and Schedule Analysis: An independent cost estimate and schedule analysis will be performed on the changed work scope and the alternatives to be considered
- Request for Quote: In parallel with our team's evaluation, a quote request will be issued for the item of work to be performed. All estimates obtained from the contractor will require full details of supporting costs and a report of any schedule impacts
- Pre-negotiation Position: By comparing the contractor's cost and time estimates to those prepared by our team, a pre-negotiation position will be developed, and



Past Cost Savings Success

Our STV team successfully negotiated tens of thousands of dollars in savings for the City from the contractor/sub-contractor claims for additional scope of work on our DD/NCC project, which helped keep the project within its original budget.

maximum cost/schedule negotiation amounts will be obtained through discussion with the City

- Negotiation of Change Order: A formal negotiation process will be instituted to scrutinize and agree on change order costs with the contractor
- Approval of Change Order: A change order will be issued once the changed work is identified and justified. Plans and specifications for the revised work will be included in the change order document
- Monitor Change Order: Change order work, especially time and materials-based, will be monitored closely in the field, with complete and accurate documentation of labor, equipment, and materials. This is critical if any disputes arise

Claims Management RFP SOW 9.11

STV will strive to reduce or avoid claims by gaining the commitment of all parties involved to collaborate closely and communicate regularly throughout the project by resolving day-to-day issues as they arise. Our team will identify and track claims, provide a written explanation of each claim, find facts about the issues, propose resolution alternatives, and recommend resolution actions. Our field team is highly conversant in resolving potential claims. Our typical approach to claims resolution relies on our field staff, who have access to our multidisciplinary staff of engineers, architects, estimators, and scheduling specialists if needed. Such a range of expertise is essential to analyzing a claim's often complex liability, causation, and damage components.

Our team's claims expertise includes preparing cost estimates in sufficient detail to allow reasonable negotiations with the contractor for added scope beyond what was indicated in the base contract documents, with impact (delay) costs separately identified where necessary. Through review and analysis of supporting financial documentation, our team will ascertain whether the dollar amounts claimed are reasonable in nature and quantity, properly allocable, and by sound and generally accepted

cost accounting principles and practices. Our team will draw upon our collective knowledge and experience to verify that we minimize any chance of duplication in our review and that the costs presented by the contractor are in line with our team's independent and unbiased estimates.

Specialized Inspection Services RFP SOW 9.1

Our team will prepare the Project's Inspector's Monitoring of the Special Inspection and Materials Testing Program. It will verify that approved contract documents, including plans, specs, procedures, applicable codes, standards, and the testing and inspection sheet/list perform testing and inspections. We will monitor the contractor's Construction Quality Control (CQC) plans and coordinate/facilitate inspection of all general contractor subcontractors' work for compliance with the Quality Management Program.

Our team will be the primary liaison with the contractor's team for identifying corrective actions and administering open items resolution. Our designated project inspector, Jesse Iniguez, will conduct inspections, perform and witness tests, and monitor subcontractors' activities related to quality in all areas, including, but not necessarily limited to, civil, structural, architectural, mechanical, plumbing, fire protection, and electrical. Inspections will be performed under the approved, current plans, drawings, specifications, and referenced codes and standards.

During construction, when on-site, and when inspections are performed, Jesse's observation will be followed by a same-day summary field report outlining observations relative to the progress and quality of the work. The field report will be forwarded to the contractor's quality manager, with copies to our team on-site. It is the responsibility of the contractor's quality manager and our staff to make sure that all deficiencies and defects are corrected. The site observation personnel will verify that deficiencies noted in the previous field reports have been updated. The weekly quality management will discuss any outstanding issues to identify inspection requests further, coordinate with the contractor team's superintendents for inspections, and correct defective work. Our team and the inspector will immediately inform the contractor's quality control manager of any defects and deficiencies in the work.

Off-Site Source Inspections: During the FS No. 4 TT project, certain items may require source inspections, such as concrete plant and off-site raw materials inspections. Our team will review the specifications and determine the scope and extent of those items requiring source inspections. Source inspections required by code, such as for shop structural steel fabrication and welding,



will be performed by the designated independent testing laboratory and associated personnel. The contractor's quality manager and superintendents will coordinate with the appropriate suppliers and subcontractors to determine a schedule for timely source inspections.

Requirements: During any construction operation or required source inspection, and in addition to performing inspections and tests as outlined by the appropriate inspection plan, the contractor's field staff will verify the following requirements are met before submitting an inspection request:

- The latest approved construction document drawings, submittals, and reviewed shops are being used for the construction, fabrication, or installation of the item being inspected and tested
- The equipment and materials are available for testing and inspection, are in good condition, and the equipment calibration is current
- Personnel performing special inspections are qualified and certified to perform the specific assignment where such qualification or certification is required per the approved contract documents

Field Sign-off Inspection: To maintain quality assurance throughout the project, certain portions of the work will require completion inspection sign-off before final acceptance. The contractor's quality manager will identify these portions before completion, which will be mutually agreed upon with our on-site staff and signed off on by our project inspector. This procedure is necessary for operations when the progress of the work will result in concealed conditions. An example of this is the pouring of concrete footings and slabs. Concrete slabs may contain embeds for various electrical conduits, duct openings, pipe sleeves, etc. This type of work requires inspection and sign-off before enclosing the work.

Startup, Closeout, and Acceptance Services RFP SOW 9.12

Success on any project depends on the completeness of the entire system and all stakeholders' acceptance. This means that we all work together towards a common goal. The final project inspection is the last opportunity to address deficiencies and discrepancies and adjust and incorporate ideas generated during construction. Once contract work is completed, our team will coordinate and schedule final inspections for every aspect of the project. The final inspections will include members of the

City, project-related personnel, including our architects and engineers, and our inspection team. Our team will compile a comprehensive punch list with comments from all parties involved throughout the final inspection and the following days. Our team will notify the City in writing upon completing the original master punch list. It will update as specific items are completed and signed off for final acceptance.

Our inspection team will be able to monitor the correction of punch list items until work is completed by the contract documents and to the satisfaction of the City. Maintaining an updated punch list will inform all parties of outstanding and completed work. Final punch list reports will be generated, and copies will be distributed to all project team members for accurate record documentation, making sure all deficiencies were identified, the work was completed, and our project manager and project inspector signed off on final corrections.

Post Construction RFP SOW 9.13

Our team will prepare a detailed plan and schedule for the substantial and final completion, acceptance, and closeout of the construction contract, which will contain the following:

- Assist with the implementation of the commissioning program
- Review operations and maintenance manuals with manual and spare parts (attic stock) delivery to the City
- Review warranties and guarantees
- Provide contractor's red-line drawings to the City for 'as-built' drawings. Review and certify that the record drawings are complete and provide drawings to the architect
- Conduct punch list management
- Manage final inspection
- Prepare the closing out of the contract and a letter of acceptance in association the City's Inspection Department
- Turn over final project records and documents to the City upon completion
- Final progress payment report and retention release
- · Final payment checklist
- · Release and waiver of lien

Our team will prepare a final payment checklist that will be completed before preparing the final progress and payment report. A release and waiver of lien will then be



required before payment of the contract retention. This will document that no outstanding liens, claims, or stop notices are filed against the City.

Following our team's notification to the City of the contractor's final completion, there will be a final inspection. We will transmit the required guarantee affidavits, releases, bonds, waivers, keys, manuals, record drawings, and stock maintenance to the City. Our team will certify that all work was performed and completed by the plans and specifications and that the final payment estimates to the contractors are correct. We will also initiate a final progress payment report and retention release form. When completed, these will be sent to the City, thereby requesting issuance of the final progress payment or retention release. Finally, all project records and documents will be inventoried and turned over to the City in archive condition. A detailed index of these records will be prepared and submitted as well.

Project Record Drawings RFP SOW 9.13B and 9.9B

During the project, our team will work with the contractor team to maintain accurate sets of as-built drawings and specifications. Our team will recommend a monthly

workshop with the entire contractor team to review the status of their ongoing as-builts so that the team maintains both accurate and timely record drawings. The status of this requirement will be part of the weekly team meetings so the contractor understands the importance of this task and the strict adherence to this requirement.

The recorded drawings will be returned to the City after the FS No. 4 TT project. The contractor team will certify the drawings as "as-built," and the STV team will accept them as "as-built" by reviewing them for accuracy and completeness before submission to the City. Our team will consistently update and keep a marked-up set of field drawings on file during construction. This record will be used to check the required compliance of the contractor's as-built drawings. Our team's "field set" drawings will be turned over to the City at the project's closeout.





Costa Mesa's Donald Dugan Library





PROJECT TEAM ORGANIZATION



PROJECT TEAM ORGANIZATION

WHY THIS TEAM

The team assembled for this project is our "A" team, and we expect these seasoned members will provide comprehensive construction management services focused on the needs of the community and the City of Costa Mesa, Our team members have the direct relevant expertise, capacity, and lessons learned to offer the City of Costa Mesa practical solutions for successful project completion.

Professional resumes of our key staff can be found in the appendix.

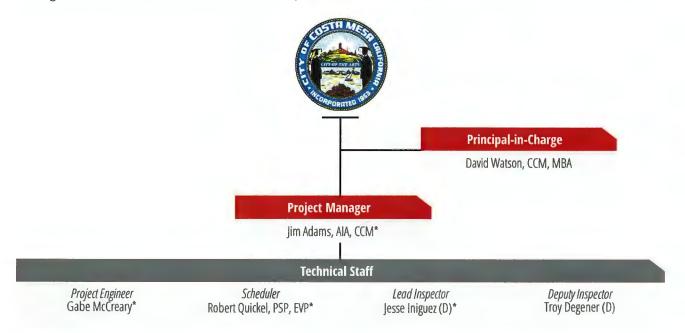
EXPERIENCED TEAM TO DELIVER THIS PROJECT

James Adams, AIA, CCM - Project Manager

Jim offers more than 25 years of experience leading projects where he applies sound leadership qualities with specific expertise in program management, master planning, design management, and on-site construction management services. A results-oriented individual, Jim Jim Adams, our project manager, led the STV/Group Delta team that successfully completed the City's **Donald Dungan Library and Costa** Mesa Neighborhood Community Center Reconstruction project.

works with staff at all organizational levels, from consulting architects and engineers to government agencies and owners, to effectively manage complex and challenging projects.

Group Delta Consultants, Inc. is a full-service engineering and materials testing firm providing materials testing and inspection services for this project. With approximately 110 employees, the firm has been providing services to cities, agencies, and public firms throughout Southern California for 30 years, Group Delta currently has seven offices and two certified laboratories in California.



(D) Group Delta indicates resume included





SIMILAR PROJECTS



SIMILAR PROJECTS

STV and Group Delta have provided construction, project, and program management services for many notable projects relevant to the City. The highlights of our relevant projects include participation by our proposed key personnel and team members, These demonstrate our team's competence in providing the services required to complete this project successfully. Please also refer to the photo gallery in our appendix, which includes STV's additional relevant experience as a full-service engineering, architectural, planning, environmental, and construction management services firm.



LA ISD Construction Project Management and Support Services Los Angeles County, CA

Client: County of Los Angeles

Internal Services

Department

Reference: Tom DeSantis Telephone: (323) 267-3467

Year Complete: 2023

STV Fee: \$10.5 million Construction Cost: \$750 million

The County of Los Angeles Internal Services Department (ISD) is committed to confirming staff and the public's safety, comfort, and productivity using county buildings. To assist LA ISD in making sure the quality of its more than 200 facilities is upheld while continuing to meet the evolving needs of staff and local residents, LA ISD contracted STV, in joint venture, to provide construction project management and support services to its Facilities Operations Service, Program and Project Management Division. This comprehensive initiative included estimating, scheduling support, cost control, bid and procurement,

program and project controls, and document control for systems replacement, repair, and refurbishment of county-owned and leased facilities.

STV oversaw a team of 13 professionals, including project managers, construction managers, design managers, schedulers, estimators, project control experts, and administration personnel. Their collective role was to augment ISD staff in executing projects for the FRP and Client Funded Projects, with diligent management of key performance indicators for budget, schedule, quality, and safety.

Types of maintenance, refurbishment, and repair projects STV was responsible for managing included ADA, hazardous material remediation, HVAC, tenant improvement and office renovations, and telecommunication projects.

STV's additional responsibilities included e-Builder system administration, the configuration of business processes, and the automation of processes previously tracked on paper. The implementation of a web-based Project Management Information System enhanced document processing and retrieval, reduced errors, and enabled precise forecasting, providing comprehensive tracking of program financials.







Donald Dungan Library & Costa Mesa Neighborhood Community Center Reconstruction

Costa Mesa, CA

Client: City of Costa Mesa Reference: Arash Rahimian Telephone: (714) 754-5096

Year Complete: 2020 STV Fee: \$3,044,056 Construction Cost: \$36.5 million

The size and amenities of the Donald Dungan Library (DDL) were limiting the types of programs that the city was able to make available to the public. STV provided CM services for a \$36.5 million project to build a new library, convert the old one into a new Neighborhood Community Center (NCC), and make significant site improvements to the adjacent the 10-acre Lions Park property.

Phase 1 included CM oversight for the demolition of the existing 20,000-sf NCC and construction of the new two-story, 23,355-sf DDL. Work also involved redevelopment of Lions Park. Additional improvements involved approximately 2.45 acres of site improvements, including new landscaping, hardscaping, and irrigation systems that increased the usable park open space by approximately 1-acre, as well as site utility work, including installing underground utility connections and preparing points of connection to facilitate future construction work. The firm also oversaw streetfront improvements, including construction of new sidewalk, entrance driveway, curb, and gutter; parkway landscaping; street tree planting and street furniture; and 27 new parking spaces.

Phase 2 included renovation of the 8,700-sf DDL for reuse as the new NCC, STV's team managed the renovations. which involved floor area modifications to accommodate

a catering kitchen. The work also entailed the installation of new exterior glazing and entrance doors, mechanical equipment, electrical panels, lighting, audiovisual equipment, and infrastructure. Also included in this phase was a new loading/delivery area to serve the facility, and site landscaping surrounding the building.

During both phases, STV managed the day-to-day construction activities, working closely with city project staff, the architect, and the general contractor to oversee the budget, schedule, quality, and overall safety of the project site. The firm was responsible for constructability, bidability, and peer reviews; value engineering; construction cost estimating; project scheduling; long-lead item procurement evaluation; bid support, including extensive contractor prequalification; permitting; and technical supervision and coordination of construction through closeout.

The detailed constructability review provided by STV during the 90% design was appreciated by the city and facilitated the process of obtaining permit approvals. The trust and relationships built during this process will also help future proposed street improvement projects for the city to progress smoothly.

The team used Procore project management software to track the CM process and Primavera P6 for scheduling. Final documentation was provided to the city through the e-Builder document management platform. Implementation of the e-Builder project management information system enabled the city to store and manage access to more than 12,000 project documents, including the schedule, RFIs, submittals, shop drawings, photographs, and reports.

Group Delta supported the STV team by providing on-call special inspection and materials testing services for this project.





Renovations Bond Program CM Freemont, CA

Client: Fremont Unified School

District

Reference: Kevin Arthur Telephone: (510) 657-076 Year Complete: varies by project (2015 - 2025)

STV Fee: \$2,445,47

Construction Cost: \$650 million - \$1.6 billion

The Fremont Unified School District (FUSD) in California's San Francisco Bay area serves nearly 35,000 students in grades K-12, and also includes an adult school. The district's mission is to provide equitable opportunities to educate, challenge, and inspire students of all ages, talents, and ability levels while striving to prepare each with the skills required to adapt and succeed.

STV, in joint venture, is providing CM services for additions and renovations to multiple FUSD schools. Projects to date include six new buildings, support facilities, hardscape, track and field facilities, and site utilities at Horner Middle School, valued at \$78.9 million; modernization of 10 existing classroom buildings and construction of three new buildings housing 22 classrooms at Walters Junior High School, valued at \$27.2 million; a \$9.4 million, 2-story, 12-classroom building addition at Irvington High School; and a \$6.7 million, 2-story, 8-classroom building addition at Patterson Elementary School.

Additional efforts include renovations and IT infrastructure upgrades at Walters Junior High School, Fred E. Weibel Elementary School, Millard Elementary School, Hirsch Elementary School, Robertson Vista High School, Green Elementary School, and E.M. Grimmer Elementary School, along with IT upgrades at 10 other schools.

The firm's services include all aspects of construction management, such as procurement and bid services; recommendations for awards of contracts; coordinating vendors and AE teams; meeting and communicating with project stakeholders and community leaders; coordinating project requirements, schedules, submittals, and purchase orders; providing QC reviews; processing change order requests and payment applications; supporting the client with the completion of closeout requirements; and managing moving services.

HORNER JUNIOR HIGH SCHOOL CAMPUS CONVERSION

The JV is provided CM services for the construction of a new middle school campus on existing school property. The construction of six new structures, underground utilities, playfields, outdoor spaces, and a new parking lot houses an estimated student population of 1,900 students.

WALTERS JUNIOR HIGH SCHOOL MODERNIZATION

The JV is providing CM services for the modernization of 10 existing classroom buildings at Walters Junior High School as well as for the construction of 3 new classroom buildings in preparation for campus conversion into a middle school and the addition of a 6th grade student population.

DISTRICTWIDE IT UPGRADES

The JV is managing several IT upgrade projects involving 17 schools simultaneously. The scope includes site work; installation of new conduits, wire-mold, and other pathways; installation, termination, and testing of new Cat 6 and Cat 6A conductors; installation, termination, and testing of new fiber-optic cabling and copper backbone; installation of new equipment racks for MDFs and IDFs; and general electrical and mechanical as required.



GROUP DELTA PROJECT EXPERIENCE



CITY OF ANAHEIM, FIRE STATION NO. 12 - GEOTECHNICAL INVESTIGATION

Anaheim, CA

Client: City of Anaheim

Tim Cho Reference:

Telephone: (714) 765-4937

Year Complete: 2021 Group Delta Fee: \$10,000 Construction Cost: N/A

Group Delta provided the geotechnical investigation for Fire Station No. 12 for the City of Anaheim.





Anaheim FS No. 5

FIRE DEPARTMENT TRAINING **FACILITY** Ontario, CA

Client: City of Ontario Reference: Charity Hernandez Telephone: (909) 395-2000

Year Complete: 2020 Group Delta Fee: \$262,500 Construction Cost: N/A



Ontario Training Facility

The work performed under this contract by Group Delta consists of constructing several multi-story CMU-block buildings, which will comprise the Ontario Fire Department - Training Facility and Tower in Ontario, CA. The improvements included site work, remodeling of existing facilities, and new construction. Site work included demolition, grading, stormwater runoff improvements, utility extensions, repaving, and landscaping. Remodel work included the renovation of an existing classroom building. Renovations included demolishing interior areas, new walls and ceilings, new HVAC equipment, and electrical upgrades. New construction included several multi-story masonry buildings with concrete floors, steel pan stairs, and burn areas.

EL CAJON FIRE STATION, BRADLEY AVENUE El Cajon, CA

Client: San Miguel Fire Protection District

Reference: George Tockstein Telephone: (619) 972-2765

Year Complete: 2018 \$780 Group Delta Fee: Construction Cost: N/A

Group Delta provided special inspection services for the proposed temporary fire station in El Cajon, CA. The temporary site improvements will be constructed interim until a new fire station can be designed and built later. A new concrete slab on grade has been constructed to support a steel-framed sprung structure for equipment storage. The County of San Diego requires special inspection of the soil ground anchors that support the structure.

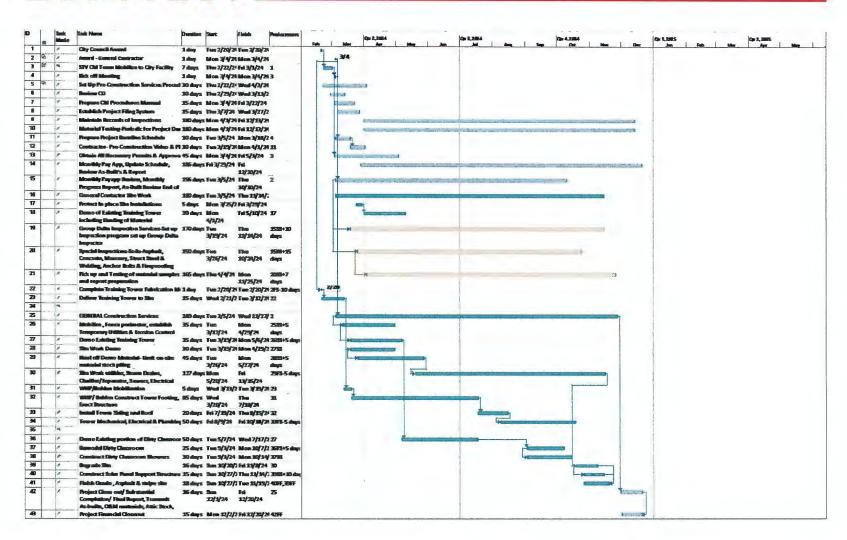




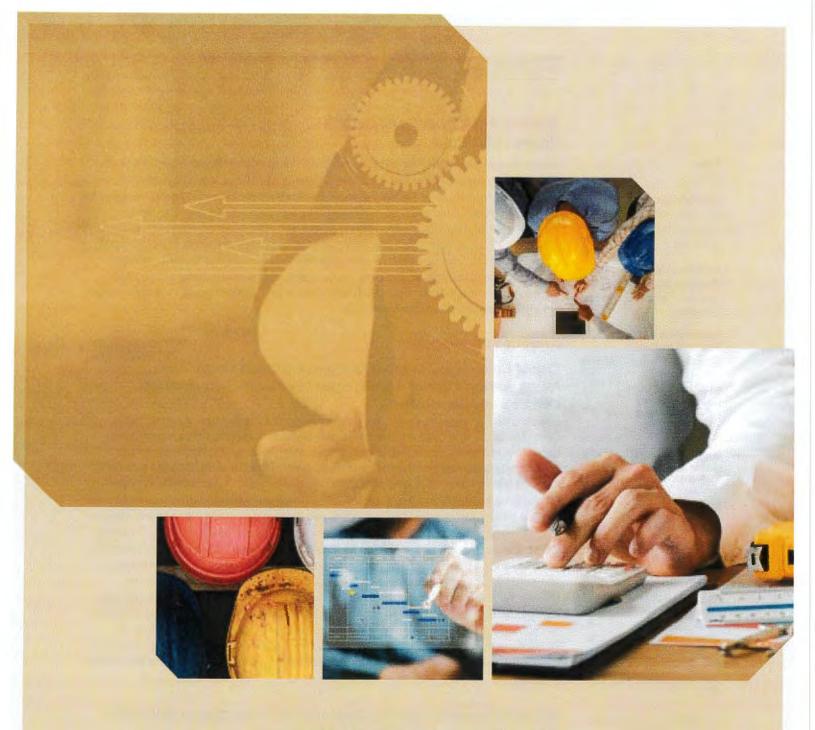
SCHEDULE



SCHEDULE







APPENDIX/KEY STAFF RESUMES

JAMES H. ADAMS, AIA, CCM

Project Manager

Jim is a licensed California architect and Certified Construction Manager with more than 25 years of experience who has led projects for public buildings, airports, public schools, universities, libraries, and commercial and industrial facilities. He applies sound leadership qualities with specific experience in program management, master planning, design management, and on-site construction management (CM) services. A results-oriented individual, Jim is capable of working with staff at all organizational levels, from consulting architects and engineers to government agencies and owners, to effectively manage complex and challenging projects. His accumulated experience includes successfully completing a wide and varied range of construction and contract types, including designbid-build and guaranteed maximum price.

FIRM

STV

EDUCATION

Bachelor of Architecture; California Polytechnic State University

Bachelor of Science, Construction Engineering; California Polytechnic State University

PROFESSIONAL REGISTRATIONS

Licensed Architect: California

Licensed Contractor: California, General Engineering - A; General Building - B

Registered Architect: Nevada

TRAINING

OSHA 30-hour Construction Health and Safety

MEMBERSHIPS

American institute of Architects (AIA)

Construction Management Association of America (CMAA)

Construction Specifications Institute (CSI)

International Code Council (ICC)

SCARAB National Honorary Architectural Fraternity

Project Experience

City of Costa Mesa Donald Dungan Library & Costa Mesa Neighborhood Community Center | Senior Project Manager/ Owner's Representative

Coordinated CM services for a \$36.5 million design-bid-build project at Lions Park in Costa Mesa, CA. The project involved five sub-projects completed in two successive construction phases. Jim oversaw each phase, which involved the demolition of the existing 20,000-sf Neighborhood Community Center (NCC); construction of a new twostory, 23,355-sf library, including site utilities; redevelopment of the Lions Park property, including new landscaping, irrigation, streetfront improvements, and construction of a new surface parking lot; construction of a snack and beverage service kiosk; and renovations to the existing 9,300-sf Donald Dungan Library facility for use as the new NCC, including landscape and parking lot improvements. Along with managing day-to-day construction activities and overseeing the budget, schedule, quality, and overall safety of the project site, services Jim was responsible for included constructability, bidability, and peer reviews; value engineering; construction cost estimating; project scheduling; long-lead item procurement evaluation; bid support, including extensive contractor prequalification; permitting; and technical supervision and coordination of construction, testing and inspections through closeout. He also oversaw the LEED® certification and commissioning processes for the library and NCC. Under Jim's management of site safety and safety orientations.

Metro Emergency Security Operations Center Design-Build | LA County Metro Licensed Resident Engineer

Supporting CM services for a new Los Angeles Metropolitan Transportation Authority (Metro) facility in the City of Los Angeles Arts District that will serve as a central location for security operations, dispatch, and emergency coordination. The building will incorporate sustainable design features to minimize non-renewable energy consumption, reduce waste, and conserve water.

City of Anaheim Convention Center Expansion | Senior Project Manaaer

Oversaw owner's representation, project management, and construction management services to the City of Anaheim, CA, for the \$190 million design-build expansion of the Anaheim Convention Center. The expansion encompasses 400,000 sf of space for exhibit halls; ballrooms; flexible meeting space; office and meeting rooms; and an interior bridge/skyway, of which approximately 200,000 sf will be devoted to leasable, eliminate



controlled, flexible multipurpose space. The scope of work included all necessary frontof-house, back-of-house, and circulation; outdoor areas to maximize special event activity and existing views; replacement of the existing parking inventory on the project site with 1,400 spaces; loading docks to accommodate needs of the new space; climate controlled connection to existing space; finish quality equal to or above that of most recently constructed existing space at the center; and sustainable building features intended to earn LEED® Silver certification. Working closely with the city, Jim was responsible for managing all aspects of the project, including preconstruction, project controls, community outreach planning, construction phasing planning, inspections, and QA/QC. He also provided claims mitigation measures representing the city's interest.

City of Anaheim DPW Anaheim Regional Transportation Intermodal Center (ARTIC) | Deputy Program Manager

Responsible for oversight of the development of the Program Management Plan and Program Procedures Manual in accordance with FTA guidelines for the Anaheim Regional Transportation Intermodal Center (ARTIC) project in Anaheim, CA. The 68,000-sf center functions as a regional intermodal gateway and mixed-use destination, offering convenient travel via train, car, intercity bus, taxi, and local transit to facilitate transportation throughout Orange County and the Southern California region. It also provides easy connections to the nearby Angel Stadium, Honda Center, and Disneyland, and space is reserved to accommodate the state's future high-speed rail service. Jim worked as an extension of staff to the program director during the program launch phase. He also oversaw the development of a unique procurement strategy for the early fabrication and erection of the facility's state-of-the-art structural arched frame and ethylene-tetrafluoroethylene (ETFE) pneumatic membrane building envelope system. The Anaheim Department of Public Works (DPW) project earned LEED® Platinum certification.

BGPAA Bob Hope Airport RITC PM/CM | Senior Project Manager/ Design-Build Coordinator

Oversaw design of the \$87.5 million Consolidated Rental Car (ConRAC) Facility and the Regional Intermodal Transportation Center (RITC) in Burbank, CA, on behalf of the Burbank-Glendale-Pasadena Airport Authority (BGPAA). The design provides a state-ofthe-art, three-level, 505,000-sf transit hub with a ConRAC; a bus transit area; a 1,100-footlong elevated pedestrian walkway connecting the ConRAC to the airport's main terminal; a compressed natural gas station; and a five-level, 1,043-space valet parking structure. The project is intended to achieve LEED® Silver certification. The scope of work included providing program management (PM) and CM services, for which Jim directed all technical reviews of the drawings and specifications, and managed coordination of all owner and technical reviewer comments with the Architect of Record and design-builder. He also led constructibility/bidability review efforts on behalf of the BGPAA.



FIRM

STV

EDUCATION

Bachelor of Science, Construction Science; Texas A&M University

PROFESSIONAL TRAINING

OSHA 30-hour Construction Safety and Health

GABE MCCREARY

Project Engineer

Gabe is a construction management (CM) professional with experience providing office engineering services on projects in the Los Angeles and Dallas metropolitan areas, including airport, educational, and commercial facilities. His site supervision and project management skill sets include managing the submittal, RFI, and materials delivery processes; site logistics planning; and performing quality inspections to confirm that contractors meet design and schedule obligations. A skilled communicator, Gabe excels in coordinating across teams, managing subcontractors, and training junior staff in project controls procedures.

Project Experience

Metro Emergency Security Operations Center Design-Build PM/CM | Assistant Project Manager

Supporting the team providing program management and construction management (PM/ CM) services for a new Los Angeles County Metropolitan Transportation Authority (Metro) security facility in the City of Los Angeles Arts District. The single-story, 26,000-sf facility will house Metro's Emergency Security Operations Center (ESOC) and serve as a central location to support daily security operations and as an emergency coordination facility to mitigate and prevent disruptions to Metro services. Gabe is responsible for managing submittals and RFIs requiring review by the ownership team. In addition, Gabe supports the project team by tracking and reviewing change orders, performing document control, and managing the closeout process.

Delta Airlines Sky Way at LAX Terminals 2 & 3 Reconstruction | Office Engineer

Provided project management support as part of the CM team for the \$2.3 billion renovation of Terminals 2 and 3 at Los Angeles International Airport (LAX) as part of the carrier's move from Terminals 5 and 6. The Delta Sky Way project upgraded and connected Terminals 2 and 3 while also providing a direct, secure connection to the Tom Bradley International Terminal. The new headhouse facility includes a centralized check-in lobby with 32 self-serve kiosks and 46 check-in positions, as well as expanded security checkpoint and baggage claim areas. The effort was designed to earn LEED® Silver certification. Gabe furnished contract administration for construction subcontracts valued at up to \$60 million; coordinated with project stakeholders to resolve issues; facilitated field operations by maintaining a material delivery schedule and performing QC inspections; and trained junior office engineers.

Texas A&M Dentistry Clinical Education Facility CM | Assistant Superintendent

Assisted the lead superintendent during construction of the Texas A&M University Dentistry Clinical Education Facility on the school's Dallas campus. The 9-level building provides 292,000 sf of clinics with facilities that range from general practice to prosthodontics and implant surgery. The building, attached to a new three-story, 250-space parking garage, contains laboratories, classrooms, student spaces, offices, and a rooftop central utility plant. Gabe coordinated the activities of multiple trades to facilitate construction consistent with scheduling, QA, safety, and other project goals; assisted in the development and execution of the site logistics plan; supervised field operations; and performed QC inspections to verify that contractors fulfilled obligations.



Dallas Cowboys World Headquarters P3 CM | Project Engineer Intern

Supported CM activities for the construction of the new \$1.5 billion Dallas Cowboys World Headquarters in Frisco, TX — an 8-story, 396,000-sf Class-A commercial office building with a 600,000-sf below-grade parking garage. Constructed as a public-private partnership (P3) involving the Dallas Cowboys, the City of Frisco, and Frisco Independent School District, the facility includes 105,000 sf of retail and conference center space on its first three levels and employed 22,000 cy of cast-in-place concrete, 4 million pounds of reinforcing steel, and 142,000 sf of exterior curtain wall glass. Gabe reviewed subcontractor submittals and shop drawings for adherence to plans and specification; managed document controls, including updating and distributing new contract documents; crafted RFIs to resolve discrepancies in the plans and recommend solutions; and assisted the MEP project engineer in plumbing and mechanical coordination.

FISD Frisco Independent School District Multi-Use Special Events Center P3 CM | Project Engineer Intern

Provided CM support for the construction of the new Multi-Use Events Center (MUEC) in Frisco, TX. Constructed as a public-private partnership (P3) involving the Frisco Independent School District (FISD), the Dallas Cowboys, and the City of Frisco, the facility is now known as The Ford Center at the Star. Serving as the Dallas Cowboys' world headquarters, the facility is a 12,000-seat indoor events center, as well as a sports training facility currently being used by both the Cowboys and FISD students. Gabe reviewed subcontractor submittals and shop drawings for adherence to plans and specification; managed document controls, including updating and distributing new contract documents; crafted RFIs to resolve discrepancies in the plans and recommend solutions; and assisted the MEP project engineer in plumbing and mechanical coordination.



FIRM

Group Delta

EDUCATION

Bachelor of Science, Business Administration; California State University

CERTIFICATIONS

ICC California Commercial Building Special Inspector

ICC Reinforced Concrete Special Inspector

ACI Field Technician Grade 1

JESSE INIGUEZ

Lead Inspector

Jesse is experienced in performing inspections on steel reinforcement and concrete quality control, epoxy embedments in slabs, wall footings, pool, and shear wall wood framing to approved plans and code with commercial, residential, and public works projects. He routinely works with inspectors, superintendents, engineers, and trade foremen to resolve issues. His communication efforts includes daily official written reports, meetings, emails, text communication, telephone communication, and on-site verbal corrective directions to verify proper construction practices. Jesse demonstrates expert knowledge in applying approved plan details, code interpretation, and testing. He has the proven ability to work independently, effectively communicate, and maintain a high level of inspection proficiency.

Project Experience

City of Costa Mesa Donald Dungan Library & Costa Mesa Neighborhood Community Center | Field Inspector

Provided special inspection services for the proposed two-story library, renovation, and conversion of the existing Donald Dungan Library building to include a new neighborhood community meeting center, park expansion, and new parking lots.

Metro Emergency Security Operations Center Design-Build PM/CM | Field Inspector

Provided special inspection services for the construction of this new \$83.6-million facility in Los Angeles's Arts District that will serve as a central location for Metro's emergency preparedness and security operations.

Metro 20 Portal Widening Field Inspector

Provided special inspection services for the proposed division 20 portal widening improvement project, which aims to accommodate increased service levels on the Metro Red and Purple lines.

Symphony Halcyon House Building A and B | Field Inspector

Provided material testing and special inspection services during the construction of this mixed-use apartment/retail community in Costa Mesa, CA. The project includes one level of subterranean parking, a large on-grade public courtyard between the buildings, a pedestrian bridge connecting the two buildings at the podium level, and retail at the ground level.



ROBERT QUICKEL, PSP, EVP Scheduler

Robert has 25 years of experience developing, implementing, and maintaining complex schedules and project controls for significant transportation, facility, and infrastructure projects. He is adept at creating and maintaining cost- and resource-loaded design and construction schedules, reviewing contractors' baseline schedules and schedule updates, and coordinating closely with design and construction management (CM) groups to create and maintain schedule analysis reports. Robert has updated schedules based on firsthand knowledge of the construction progress gained from on-site visits. He has experience controlling project costs through earned value management and is proficient in the use of Primavera and Microsoft Project software to develop and maintain schedules.

EDUCATION

FIRM

STV

Bachelor of Arts, Psychology; University of California, San Diego

CERTIFICATIONS

Earned Value Professional (EVP); Association for the Advancement of Cost Engineering (AACE) International

Planning and Scheduling Professional (PSP); AACE International

TRAINING

Primavera for Engineering and Construction (P3 e/c) Training Program; ETrac Solutions

Project Experience

City of Costa Mesa Donald Dungan Library & Costa Mesa Neighborhood Community Center Reconstruction | Scheduler Reviewed contractor's monthly schedule updates in support of CM services for a new twostory, 23,355-sf library and renovation of the existing 8,700-sf Donald Dungan Library facility for use as a Neighborhood Community Center at the Lions Park property in Costa Mesa, CA. Robert also performed delay analyses for the multi-phased \$27.5 million project.

City of Anaheim Convention Center Expansion | Scheduler

Reviewed the contractor's construction schedule for the \$190 million design-build expansion of the Anaheim Convention Center for the City of Anaheim, CA. The project included approximately 400,000 sf of space to be used for exhibit halls; ballrooms; flexible meeting space; office and meeting rooms; and an interior bridge/skyway, of which approximately 200,000 sf will be devoted to leasable flexible multipurpose space. Robert closely reviewed and tracked the contractor's progress; participated in bi-weekly progress meetings to review detailed schedules and track key interim milestones so that the firm could closely monitor how much work the contractor was accomplishing; and suggested strategies for making up lost time. This intense schedule review and tracking over the final several months of the project helped the contractor to ultimately complete the expansion in time for the client to use the space for previously scheduled large events.

Anaheim Regional Transportation Intermodal Center (ARTIC) | Scheduler

Created and maintained updates to the baseline master project schedule for the 68,000-sf Anaheim Regional Transportation Intermodal Center (ARTIC) in Anaheim, CA. The \$185 million facility offers convenient access to various travel options, including train, intercity bus, automobile, and taxi, and will accommodate planned high-speed train service.

NYCDDC Firehouse Engine Co. 258/Ladder Co. 115 Renovation | Scheduler

Created and maintained construction schedules for the \$4 million renovation of the historic four-story Firehouse Engine Co. 258/Ladder Co. 115 building in Long Island City, which encompassed the renovation of an apparatus floor, dormitories, a kitchen, lounges, and weight rooms. This was part of a CM/build requirements task order contract with the New York City Department of Design and Construction.



NYCDDC Engine Co. 73/Ladder Co. 42 Renovation | Scheduler

Created and updated schedules for the \$4 million renovation of this Bronx firehouse as part of a CM/build requirements task order contract with the New York City Department of Design and Construction (NYCDDC). The project included complete construction services including holding four Wicks Law subcontracts. The scope of work consisted of the renovation of an apparatus floor, dormitories, a kitchen, lounges, and weight rooms. The project also included new roof and windows, masonry restoration, apparatus floor replacement, and rehabilitation of all interior spaces, as well as new heating and central air conditioning systems, a wet pipe sprinkler system throughout the building, electrical power/lighting systems, and a communication system.

NYCDDC New York City Police Training Academy CM | Scheduler Created a baseline construction schedule for a \$760 million police academy in Queens, NY, for the New York City Department of Design and Construction (NYCDDC). The 720,000-sf Phase I facility comprises a new academic building, a physical training facility, and a central utility plant. The project earned LEED Gold certification, Robert performed his work as part of the firm's comprehensive CM services.

Metro Active Transportation Rail to River Corridor | Scheduler

Developed the design schedule for the preliminary design phase of Los Angeles County Metropolitan Transportation Authority (Metro)'s two-phase plan to convert approximately 10 miles of railroad ROW between Inglewood, CA, and the Los Angeles River into a multiuse bicycle and pedestrian corridor. Robert also provided schedule updates in support of the preparation of design alternatives.

Metro Airport Metro Connector AA/Draft EIR/EA | Scheduler

Developed and maintained the design schedule for planning, environmental services, and conceptual design to prepare an AA/Draft EIR/environmental assessment (EA) for the Los Angeles County Metropolitan Transportation Authority (Metro) Airport Metro Connector project. The project will link a planned Metro station at Century Boulevard and Aviation Boulevard, about 1.5 miles from Los Angeles International Airport (LAX), with the Central Terminal Area of LAX by an extension of the Green Line light rail transit line, a bus rapid transit connection, an automated people mover, or a transportation systems management alternative.

BGPAA Bob Hope Airport RITC PM/CM I Scheduler

Prepared the master schedule and provided schedule updates for the program management (PM) and CM of the \$87.5 million Regional Intermodal Transportation Center (RITC) in Burbank, CA, on behalf of the Burbank-Glendale-Pasadena Airport Authority (BGPAA). The project included a three-level, 505,000-sf consolidated rental car facility and five-level, 1,043-space valet parking structure.



EXHIBIT C FEE SCHEDULE



April 19, 2024

Mr. Hector Soriano, Associate Engineer City of Costa Mesa Via E-mail

Reference: Costa Mesa Fire Station #4 Training Tower (City Project No.23-04)
Proposed Construction Management Scope Reduction

Dear Mr. Soriano,

STV has evaluated the City's request of a reduction to STV's Construction Management services for the Fire Station #4 Training Tower without reducing the Deputy Inspection and testing services. Utilizing STV's Gnatt Chart Schedule that was submitted with our original proposal we prepared a new schedule deleting the removed scope of work items from the Schedule's Work Breakdown Structure (WBS) as follows:

Remove Task 36 - Demo Existing Portion of Dirty Classroom - 50 days.

Remove Task 37 - Remodel Dirty Classroom - 30 days.

Remove Task 38 – Construct Dirty Classroom Showers – 30 days.

Remove Task 39 - Regard Site - 16 days.

Remove Task 40 – Construct Solar Panel Support Structure – 15 days.

The proposed scope reduction items did not reduce the overall schedule duration because all the deleted items are concurrent with the Critical Path construction activities of the new Metal Training Tower and its associated mechanical, electrical and plumbing installations. The building addition and restroom remodel scope reductions, however, will reduce contractor's and architect's CA efforts but not the overall project duration.

All of the site preparation and utility construction activities remain the same for STV's oversite efforts along with Group Delta's testing and inspections. STV provides independent onsite observation, documentation and inspections of the daily construction activities. Any reduction in STV's onsite presence will leave the project exposed to daily unobserved and undocumented contractor activities. Our goal is to make the Fire Station #4 Training Tower a successful project, to ensure the City receives the anticipated Grant Funds within this years' time frame and is constructed per the plans and specifications that the City has paid for.

As good faith partners, we are willing to offer a reduction of \$14,178 or 4.4% of the core project team's contract monthly values for a total of \$308,063.00, as we have removed Dave Watson's time and reallocated some additional hours from Jim Adams to Gabe McCreary to help with your endeavor without harming the outcome of the project.



We are available at any time and at your convenience to discuss these proposed scope reductions to aid the City in finalizing the Contracts. We look forward to serving you on this assignment.

Sincerely,

STV Construction, Inc.

James H. Adams, AIA/CCM

James HA dams

Sr. Project Manager

EXHIBIT D CITY COUNCIL POLICY 100-5

CITY OF COSTA MESA, CALIFORNIA

COUNCIL POLICY

SUBJECT	POLICY NUMBER	EFFECTIVE DATE	PAGE
DRUG-FREE WORKPLACE	100-5	8-8-89	1 of 3

BACKGROUND

Under the Federal Drug-Free Workplace Act of 1988, passed as part of omnibus drug legislation enacted November 18, 1988, contractors and grantees of Federal funds must certify that they will provide drug-free workplaces. At the present time, the City of Costa Mesa, as a sub-grantee of Federal funds under a variety of programs, is required to abide by this Act. The City Council has expressed its support of the national effort to eradicate drug abuse through the creation of a Substance Abuse Committee, institution of a City-wide D.A.R.E. program in all local schools and other activities in support of a drug-free community. This policy is intended to extend that effort to contractors and grantees of the City of Costa Mesa in the elimination of dangerous drugs in the workplace.

PURPOSE

It is the purpose of this Policy to:

- 1. Clearly state the City of Costa Mesa's commitment to a drug-free society.
- 2. Set forth guidelines to ensure that public, private, and nonprofit organizations receiving funds from the City of Costa Mesa share the commitment to a drug-free workplace.

POLICY

The City Manager, under direction by the City Council, shall take the necessary steps to see that the following provisions are included in all contracts and agreements entered into by the City of Costa Mesa involving the disbursement of funds.

- 1. Contractor or Sub-grantee hereby certifies that it will provide a drug-free workplace by:
 - A. Publishing a statement notifying employees that the unlawful manufacture, distribution, dispensing, possession, or use of a controlled substance is prohibited in Contractor's and/or sub-grantee's workplace, specifically the job site or location included in this contract, and specifying the actions that will be taken against the employees for violation of such prohibition;
 - B. Establishing a Drug-Free Awareness Program to inform employees about:

SUBJECT	POLICY NUMBER	EFFECTIVE DATE	PAGE
DRUG-FREE WORKPLACE	100-5	8-8-89	2 of 3

- 1. The dangers of drug abuse in the workplace;
- 2. Contractor's and/or sub-grantee's policy of maintaining a drug-free workplace;
- 3. Any available drug counseling, rehabilitation and employee assistance programs; and
- 4. The penalties that may be imposed upon employees for drug abuse violations occurring in the workplace;
- C. Making it a requirement that each employee to be engaged in the performance of the contract be given a copy of the statement required by subparagraph A;
- D. Notifying the employee in the statement required by subparagraph 1 A that, as a condition of employment under the contract, the employee will:
 - 1. Abide by the terms of the statement; and
 - 2. Notify the employer of any criminal drug statute conviction for a violation occurring in the workplace no later than five (5) days after such conviction;
- E. Notifying the City of Costa Mesa within ten (10) days after receiving notice under subparagraph 1 D 2 from an employee or otherwise receiving the actual notice of such conviction;
- F. Taking one of the following actions within thirty (30) days of receiving notice under subparagraph 1 D 2 with respect to an employee who is so convicted:
 - 1. Taking appropriate personnel action against such an employee, up to and including termination; or
 - 2. Requiring such employee to participate satisfactorily in a drug abuse assistance or rehabilitation program approved for such purposes by a Federal, State, or local health agency, law enforcement, or other appropriate agency;

SUBJECT	POLICY NUMBER	EFFECTIVE DATE	PAGE
DRUG-FREE WORKPLACE	100-5	8-8-89	3 of 3

- G. Making a good faith effort to maintain a drug-free workplace through implementation of subparagraphs 1 A through 1 F, inclusive.
- 2. Contractor and/or sub-grantee shall be deemed to be in violation of this Policy if the City of Costa Mesa determines that:
 - a. Contractor and/or sub-grantee has made a false certification under paragraph 1 above;
 - b. Contractor and/or sub-grantee has violated the certification by failing to carry out the requirements of subparagraphs 1 A through 1 G above;
 - c. Such number of employees of Contractor and/or sub-grantee have been convicted of violations of criminal drug statutes for violations occurring in the workplace as to indicate that the contractor and/or sub-grantee has failed to make a good faith effort to provide a drug-free workplace.
- 3. Should any contractor and/or sub-grantee be deemed to be in violation of this Policy pursuant to the provisions of 2 A, B, and C, a suspension, termination or debarment proceeding subject to applicable Federal, State, and local laws shall be conducted. Upon issuance of any final decision under this section requiring debarment of a contractor and/or sub-grantee, the contractor and/or sub-grantee shall be ineligible for award of any contract, agreement or grant from the City of Costa Mesa for a period specified in the decision, not to exceed five (5) years. Upon issuance of any final decision recommending against debarment of the contractor and/or sub-grantee, the contractor and/or sub-grantee shall be eligible for compensation as provided by law.