

**CITY OF COSTA MESA
PROFESSIONAL SERVICES AGREEMENT
WITH STV CONSTRUCTION, INC.**

THIS PROFESSIONAL SERVICES AGREEMENT ("Agreement") is made and entered into this 23rd day of May, 2024 ("Effective Date"), by and between the CITY OF COSTA MESA, a municipal corporation ("City"), and STV CONSTRUCTION, INC., a Pennsylvania corporation ("Consultant").

RECITALS

A. City proposes to utilize the services of Consultant as an independent contractor to provide construction management and special inspection support services for the training facility reconstruction of the Fire Station No. 4 Training Tower; and

B. Consultant represents that it has that degree of specialized expertise contemplated within California Government Code section 37103, and holds all necessary licenses to practice and perform the services herein contemplated; and

C. City and Consultant desire to contract for the specific services described in Exhibit "A" and desire to set forth their rights, duties and liabilities in connection with the services to be performed; and

D. No official or employee of City has a financial interest, within the provisions of sections 1090-1092 of the California Government Code, in the subject matter of this Agreement.

NOW, THEREFORE, for and in consideration of the mutual covenants and conditions contained herein, the parties hereby agree as follows:

1.0. SERVICES PROVIDED BY CONSULTANT

1.1. Scope of Services. Consultant shall provide the professional services described in City's Request for Proposals, attached hereto as Exhibit "A," and Consultant's Proposal, attached hereto as Exhibit "B," both incorporated herein.

1.2. Professional Practices. All professional services to be provided by Consultant pursuant to this Agreement shall be provided by personnel experienced in their respective fields and in a manner consistent with the standards of care, diligence and skill ordinarily exercised by professional consultants in similar fields and circumstances in accordance with sound professional practices. Consultant also warrants that it is familiar with all laws that may affect its performance of this Agreement and shall advise City of any changes in any laws that may affect Consultant's performance of this Agreement.

1.3. Reserved.

1.4. Warranty. Consultant warrants that it shall perform the services required by this Agreement in compliance with all applicable Federal and California employment laws, including, but not limited to, those laws related to minimum hours and wages; occupational health and safety; fair employment and employment practices; workers' compensation insurance and safety in employment; and all other Federal, State and local laws and ordinances applicable to the services required under this Agreement. Consultant shall indemnify and hold harmless City from

and against all claims, demands, payments, suits, actions, proceedings, and judgments of every nature and description including attorneys' fees and costs, presented, brought, or recovered against City for, or on account of any liability under any of the above-mentioned laws, which may be incurred by reason of Consultant's performance under this Agreement.

1.5. Non-Discrimination. In performing this Agreement, Consultant shall not engage in, nor permit its agents to engage in, discrimination in employment of persons because of their race, religious creed, color, national origin, ancestry, physical disability, mental disability, medical condition, genetic information, marital status, sex, gender, gender identity, gender expression, age, sexual orientation, or military or veteran status, except as permitted pursuant to section 12940 of the Government Code.

1.6. Non-Exclusive Agreement. Consultant acknowledges that City may enter into agreements with other consultants for services similar to the services that are subject to this Agreement or may have its own employees perform services similar to those services contemplated by this Agreement.

1.7. Delegation and Assignment. This is a personal service contract, and the duties set forth herein shall not be delegated or assigned to any person or entity without the prior written consent of City. Consultant may engage a subcontractor(s) as permitted by law and may employ other personnel to perform services contemplated by this Agreement at Consultant's sole cost and expense.

1.8. Confidentiality. Employees of Consultant in the course of their duties may have access to financial, accounting, statistical, and personnel data of private individuals and employees of City. Consultant covenants that all data, documents, discussion, or other information developed or received by Consultant or provided for performance of this Agreement are deemed confidential and shall not be disclosed by Consultant without written authorization by City. City shall grant such authorization if disclosure is required by law. All City data shall be returned to City upon the termination of this Agreement. Consultant's covenant under this Section shall survive the termination of this Agreement.

2.0. COMPENSATION AND BILLING

2.1. Compensation. Consultant shall be paid in accordance with the fee schedule set forth in Exhibit "C," attached hereto and made a part of this Agreement. Consultant's total compensation shall not exceed Three Hundred Eight Thousand Sixty-Eight Dollars (\$ 308,063.00).

2.2. Additional Services. Consultant shall not receive compensation for any services provided outside the scope of services specified in the Consultant's Proposal unless the City Manager or designee, prior to Consultant performing the additional services, approves such additional services in writing. It is specifically understood that oral requests and/or approvals of such additional services or additional compensation shall be barred and are unenforceable.

2.3. Method of Billing. Consultant may submit invoices to the City for approval on a progress basis, but no more often than two times a month. Said invoice shall be based on the total of all Consultant's services which have been completed to City's sole satisfaction. City shall pay Consultant's invoice within forty-five (45) days from the date City receives said invoice. Each invoice shall describe in detail, the services performed, the date of performance, and the associated time for completion. Any additional services approved and performed pursuant to this Agreement shall be designated as "Additional Services" and shall identify the number of the

authorized change order, where applicable, on all invoices.

2.4. Records and Audits. Records of Consultant's services relating to this Agreement shall be maintained in accordance with generally recognized accounting principles and shall be made available to City or its Project Manager for inspection and/or audit at mutually convenient times from the Effective Date until three (3) years after termination of this Agreement.

3.0. TIME OF PERFORMANCE

3.1. Commencement and Completion of Work. Unless otherwise agreed to in writing by the parties, the professional services to be performed pursuant to this Agreement shall commence within five (5) days from the Effective Date of this Agreement. Said services shall be performed in strict compliance with the Project Schedule approved by City as set forth in Consultant's Proposal (Exhibit "B"). The Project Schedule may be amended by mutual agreement of the parties. Failure to commence work in a timely manner and/or diligently pursue work to completion may be grounds for termination of this Agreement.

3.2. Excusable Delays. Neither party shall be responsible for delays or lack of performance resulting from acts beyond the reasonable control of the party or parties. Such acts shall include, but not be limited to, acts of God, fire, strikes, pandemics (excluding COVID-19), material shortages, compliance with laws or regulations, riots, acts of war, or any other conditions beyond the reasonable control of a party (each, a "Force Majeure Event"). If a party experiences a Force Majeure Event, the party shall, within five (5) days of the occurrence of the Force Majeure Event, give written notice to the other party stating the nature of the Force Majeure Event, its anticipated duration and any action being taken to avoid or minimize its effect. Any suspension of performance shall be of no greater scope and of no longer duration than is reasonably required and the party experiencing the Force Majeure Event shall use best efforts without being obligated to incur any material expenditure to remedy its inability to perform; provided, however, if the suspension of performance continues for sixty (60) days after the date of the occurrence and such failure to perform would constitute a material breach of this Agreement in the absence of such Force Majeure Event, the parties shall meet and discuss in good faith any amendments to this Agreement to permit the other party to exercise its rights under this Agreement. If the parties are not able to agree on such amendments within thirty (30) days and if suspension of performance continues, such other party may terminate this Agreement immediately by written notice to the party experiencing the Force Majeure Event, in which case neither party shall have any liability to the other except for those rights and liabilities that accrued prior to the date of termination.

4.0. TERM AND TERMINATION

4.1. Term. This Agreement shall commence on the Effective Date and continue for a period of three years, ending on March 18, 2027, unless previously terminated as provided herein or as otherwise agreed to in writing by the parties. This Agreement may be extended by two [2] additional one [1] year periods upon mutual written agreement of both parties.

4.2. Notice of Termination. The City reserves and has the right and privilege of canceling, suspending or abandoning the execution of all or any part of the work contemplated by this Agreement, with or without cause, at any time, by providing written notice to Consultant. The termination of this Agreement shall be deemed effective upon receipt of the notice of termination. In the event of such termination, Consultant shall immediately stop rendering services under this Agreement unless directed otherwise by the City.

4.3. Compensation. In the event of termination, City shall pay Consultant for

reasonable costs incurred and professional services satisfactorily performed up to and including the date of City's written notice of termination. Compensation for work in progress shall be prorated based on the percentage of work completed as of the effective date of termination in accordance with the fees set forth herein. In ascertaining the professional services actually rendered hereunder up to the effective date of termination of this Agreement, consideration shall be given to both completed work and work in progress, to complete and incomplete drawings, and to other documents pertaining to the services contemplated herein whether delivered to the City or in the possession of the Consultant.

4.4. Documents. In the event of termination of this Agreement, all documents prepared by Consultant in its performance of this Agreement including, but not limited to, finished or unfinished design, development and construction documents, data studies, drawings, maps and reports, shall be delivered to the City within ten (10) days of delivery of termination notice to Consultant, at no cost to City. Any use of uncompleted documents without specific written authorization from Consultant shall be at City's sole risk and without liability or legal expense to Consultant.

5.0. INSURANCE

5.1. Minimum Scope and Limits of Insurance. Consultant shall obtain, maintain, and keep in full force and effect during the life of this Agreement all of the following minimum scope of insurance coverages with an insurance company approved to do business in California, rated "A," Class X, or better in the most recent A.M. Best's Rating Guide, and approved by City:

- (a) Commercial general liability, including premises-operations, products/completed operations, broad form property damage, blanket contractual liability, independent contractors, personal injury or bodily injury with a policy limit of not less than One Million Dollars (\$1,000,000.00) per occurrence, Two Million Dollars (\$2,000,000.00) general aggregate.
- (b) Business automobile liability for owned vehicles, hired, and non-owned vehicles, with a policy limit of not less than One Million Dollars (\$1,000,000.00) combined single limit per accident for bodily injury and property damage.
- (c) Workers' compensation insurance as required by the State of California. Consultant agrees to waive, and to obtain endorsements from its workers' compensation insurer waiving subrogation rights under its workers' compensation insurance policy against the City, its officers, agents, employees, and volunteers arising from work performed by Consultant for the City and to require each of its subcontractors, if any, to do likewise under their workers' compensation insurance policies.
- (d) Professional errors and omissions ("E&O") liability insurance with policy limits of not less than One Million Dollars (\$1,000,000.00), combined single limits, per occurrence and aggregate. Architects' and engineers' coverage shall be endorsed to include contractual liability. If the policy is written as a "claims made" policy, the retro date shall be prior to the start of the contract work. Consultant shall obtain and maintain, said E&O liability insurance during the life of this Agreement and for three years after completion of the work hereunder.

5.2. Endorsements. The commercial general liability insurance policy and business automobile liability policy shall contain or be endorsed to contain the following provisions:

- (a) Additional insureds: "The City of Costa Mesa and its elected and appointed boards, officers, officials, agents, employees, and volunteers are additional insureds with respect to: liability arising out of activities performed by or on behalf of the Consultant pursuant to its contract with the City; products and completed operations of the Consultant; premises owned, occupied or used by the Consultant; automobiles owned, leased, hired, or borrowed by the Consultant."
- (b) Notice: "Said policy shall not terminate, be suspended, or voided, nor shall it be cancelled, nor the coverage or limits reduced, until thirty (30) days after written notice is given to City."
- (c) Other insurance: "The Consultant's insurance coverage shall be primary insurance as respects the City of Costa Mesa, its officers, officials, agents, employees, and volunteers. Any other insurance maintained by the City of Costa Mesa shall be excess and not contributing with the insurance provided by this policy."
- (d) Any failure to comply with the reporting provisions of the policies shall not affect coverage provided to the City of Costa Mesa, its officers, officials, agents, employees, and volunteers.
- (e) The Consultant's insurance shall apply separately to each insured against whom claim is made or suit is brought, except with respect to the limits of the insurer's liability.

5.3. Deductible or Self Insured Retention. If any of such policies provide for a deductible or self-insured retention to provide such coverage, the amount of such deductible or self-insured retention shall be approved in advance by City. No policy of insurance issued as to which the City is an additional insured shall contain a provision which requires that no insured except the named insured can satisfy any such deductible or self-insured retention.

5.4. Certificates of Insurance. Consultant shall provide to City certificates of insurance showing the insurance coverages and required endorsements described above, in a form and content approved by City, prior to performing any services under this Agreement.

5.5. Non-Limiting. Nothing in this Section shall be construed as limiting in any way, the indemnification provision contained in this Agreement, or the extent to which Consultant may be held responsible for payments of damages to persons or property.

6.0. GENERAL PROVISIONS

6.1. Entire Agreement. This Agreement constitutes the entire agreement between the parties with respect to any matter referenced herein and supersedes any and all other prior writings and oral negotiations. This Agreement may be modified only in writing, and signed by the parties in interest at the time of such modification. The terms of this Agreement shall prevail over any inconsistent provision in any other contract document appurtenant hereto, including exhibits to this Agreement.

6.2. Representatives. The City Manager or his or her designee shall be the representative of City for purposes of this Agreement and may issue all consents, approvals, directives and agreements on behalf of the City, called for by this Agreement, except as otherwise expressly provided in this Agreement.

Consultant shall designate a representative for purposes of this Agreement who shall be authorized to issue all consents, approvals, directives and agreements on behalf of Consultant called for by this Agreement, except as otherwise expressly provided in this Agreement.

6.3. Project Managers. City shall designate a Project Manager to work directly with Consultant in the performance of this Agreement.

Consultant shall designate a Project Manager who shall represent it and be its agent in all consultations with City during the term of this Agreement. Consultant or its Project Manager shall attend and assist in all coordination meetings called by City.

6.4. Notices. Any notices, documents, correspondence or other communications concerning this Agreement or the work hereunder may be provided by personal delivery or mail and shall be addressed as set forth below. Such communication shall be deemed served or delivered: (a) at the time of delivery if such communication is sent by personal delivery, and (b) 48 hours after deposit in the U.S. Mail as reflected by the official U.S. postmark if such communication is sent through regular United States mail.

IF TO CONSULTANT:

STV Construction, Inc.
1055 West Seventh Street, Suite
2900
Los Angeles, CA 90017
Tel: (530) 802-6911
Attn: David Watson

IF TO CITY:

City of Costa Mesa
77 Fair Drive
Costa Mesa, CA 92626
Tel: (714) 754-5045
Attn: Hector Soriano

Courtesy copy to:

City of Costa Mesa
77 Fair Drive
Costa Mesa, CA 92626
Attn: Finance Dept. | Purchasing

6.5. Drug-Free Workplace Policy. Consultant shall provide a drug-free workplace by complying with all provisions set forth in City's Council Policy 100-5, attached hereto as Exhibit "D" and incorporated herein. Consultant's failure to conform to the requirements set forth in Council Policy 100-5 shall constitute a material breach of this Agreement and shall be cause for immediate termination of this Agreement by City.

6.6. Attorneys' Fees. In the event that litigation is brought by any party in connection with this Agreement, the prevailing party shall be entitled to recover from the opposing party all costs and expenses, including reasonable attorneys' fees, incurred by the prevailing party in the exercise of any of its rights or remedies hereunder or the enforcement of any of the terms, conditions, or provisions hereof.

6.7. Governing Law. This Agreement shall be governed by and construed under the laws of the State of California without giving effect to that body of laws pertaining to conflict of laws. In the event of any legal action to enforce or interpret this Agreement, the parties hereto agree that the sole and exclusive venue shall be a court of competent jurisdiction located in Orange County, California.

6.8. Assignment. Consultant shall not voluntarily or by operation of law assign, transfer, sublet or encumber all or any part of Consultant's interest in this Agreement without City's prior written consent. Any attempted assignment, transfer, subletting or encumbrance shall be void and shall constitute a breach of this Agreement and cause for termination of this Agreement. Regardless of City's consent, no subletting or assignment shall release Consultant of Consultant's obligation to perform all other obligations to be performed by Consultant hereunder for the term of this Agreement.

6.9. Indemnification and Hold Harmless. Consultant agrees to defend, indemnify, hold free and harmless the City, its elected officials, officers, agents and employees, at Consultant's sole expense, from and against any and all claims, actions, suits or other legal proceedings brought against the City, its elected officials, officers, agents and employees to the extent arising out of the negligent performance of the Consultant, its employees, and/or authorized subcontractors, of the work undertaken pursuant to this Agreement. The defense obligation provided for hereunder shall apply without any advance showing of negligence or wrongdoing by the Consultant, its employees, and/or authorized subcontractors, but shall be required whenever any claim, action, complaint, or suit asserts as its basis the negligence, errors, omissions or misconduct of the Consultant, its employees, and/or authorized subcontractors, and/or whenever any claim, action, complaint or suit asserts liability against the City, its elected officials, officers, agents and employees based upon the work performed by the Consultant, its employees, and/or authorized subcontractors under this Agreement, whether or not the Consultant, its employees, and/or authorized subcontractors are specifically named or otherwise asserted to be liable. To the extent ultimately determined by a court of competent jurisdiction that Consultant is only partially liable, City shall reimburse the allocated adjudicated defense costs on a comparative fault basis. Notwithstanding the foregoing, the Consultant shall not be liable for the defense or indemnification of the City for claims, actions, complaints or suits arising out of the sole active negligence or willful misconduct of the City. This provision shall supersede and replace all other indemnity provisions contained either in the City's specifications or Consultant's Proposal, which shall be of no force and effect.

6.10. Independent Contractor. Consultant is and shall be acting at all times as an independent contractor and not as an employee of City. Consultant shall have no power to incur any debt, obligation, or liability on behalf of City or otherwise act on behalf of City as an agent. Neither City nor any of its agents shall have control over the conduct of Consultant or any of Consultant's employees, except as set forth in this Agreement. Consultant shall not, at any time, or in any manner, represent that it or any of its agents or employees are in any manner agents or employees of City. Consultant shall secure, at its sole expense, and be responsible for any and all payment of Income Tax, Social Security, State Disability Insurance Compensation, Unemployment Compensation, and other payroll deductions for Consultant and its officers, agents, and employees, and all business licenses, if any are required, in connection with the services to be performed hereunder. Consultant shall indemnify and hold City harmless from any and all taxes, assessments, penalties, and interest asserted against City by reason of the independent contractor relationship created by this Agreement. Consultant further agrees to indemnify and hold City harmless from any failure of Consultant to comply with the applicable worker's compensation laws. City shall have the right to offset against the amount of any fees due

to Consultant under this Agreement any amount due to City from Consultant as a result of Consultant's failure to promptly pay to City any reimbursement or indemnification arising under this paragraph.

6.11 Conflicts with Independent Contractor. Contractor/consultant's duties and services under this Agreement shall not include preparing or assisting the public entity with any portion of the public entity's preparation of a request for proposals, request for qualifications, or any other solicitation regarding a subsequent or additional contract with the public entity. The public entity entering into this Agreement shall at all times retain responsibility for public contracting, including with respect to any subsequent phase of this project. Contractor/consultant's participation in the planning, discussions, or drawing of project plans or specifications shall be limited to conceptual, preliminary, or initial plans or specifications. Contractor/consultant shall cooperate with the public entity to ensure that all bidders for a subsequent contract on any subsequent phase of this project have access to the same information, including all conceptual, preliminary, or initial plans or specifications prepared by contractor pursuant to this Agreement.

6.12. PERS Eligibility Indemnification. In the event that Consultant or any employee, agent, or subcontractor of Consultant providing services under this Agreement claims or is determined by a court of competent jurisdiction or the California Public Employees Retirement System (PERS) to be eligible for enrollment in PERS as an employee of the City, Consultant shall indemnify, defend, and hold harmless City for the payment of any employee and/or employer contributions for PERS benefits on behalf of Consultant or its employees, agents, or subcontractors, as well as for the payment of any penalties and interest on such contributions, which would otherwise be the responsibility of City.

Notwithstanding any other agency, state or federal policy, rule, regulation, law or ordinance to the contrary, Consultant and any of its employees, agents, and subcontractors providing service under this Agreement shall not qualify for or become entitled to, and hereby agree to waive any claims to, any compensation, benefit, or any incident of employment by City, including but not limited to eligibility to enroll in PERS as an employee of City and entitlement to any contribution to be paid by City for employer contribution and/or employee contributions for PERS benefits.

6.13. Cooperation. In the event any claim or action is brought against City relating to Consultant's performance or services rendered under this Agreement, Consultant shall render any reasonable assistance and cooperation which City might require.

6.14. Ownership of Documents. All findings, reports, documents, information and data including, but not limited to, computer tapes or discs, files and tapes furnished or prepared by Consultant or any of its subcontractors in the course of performance of this Agreement, shall be and remain the sole property of City. Consultant agrees that any such documents or information shall not be made available to any individual or organization without the prior consent of City. Any use of such documents for other projects not contemplated by this Agreement, and any use of incomplete documents, shall be at the sole risk of City and without liability or legal exposure to Consultant. City shall indemnify and hold harmless Consultant from all claims, damages, losses, and expenses, including attorneys' fees, arising out of or resulting from City's use of such documents for other projects not contemplated by this Agreement or use of incomplete documents furnished by Consultant. Consultant shall deliver to City any findings, reports, documents, information, data, in any form, including but not limited to, computer tapes, discs, files audio tapes or any other Project related items as requested by City or its authorized representative, at no additional cost to the City.

6.15. Public Records Act Disclosure. Consultant has been advised and is aware that this Agreement and all reports, documents, information and data, including, but not limited to, computer tapes, discs or files furnished or prepared by Consultant, or any of its subcontractors, pursuant to this Agreement and provided to City may be subject to public disclosure as required by the California Public Records Act (California Government Code section 6250 *et seq.*). Exceptions to public disclosure may be those documents or information that qualify as trade secrets, as that term is defined in the California Government Code section 6254.7, and of which Consultant informs City of such trade secret. The City will endeavor to maintain as confidential all information obtained by it that is designated as a trade secret. The City shall not, in any way, be liable or responsible for the disclosure of any trade secret including, without limitation, those records so marked if disclosure is deemed to be required by law or by order of the Court.

6.16. Conflict of Interest. Consultant and its officers, employees, associates and subconsultants, if any, will comply with all conflict of interest statutes of the State of California applicable to Consultant's services under this agreement, including, but not limited to, the Political Reform Act (Government Code sections 81000, *et seq.*) and Government Code section 1090. During the term of this Agreement, Consultant and its officers, employees, associates and subconsultants shall not, without the prior written approval of the City Representative, perform work for another person or entity for whom Consultant is not currently performing work that would require Consultant or one of its officers, employees, associates or subconsultants to abstain from a decision under this Agreement pursuant to a conflict of interest statute.

6.17. Responsibility for Errors. Consultant shall be responsible for its work and results under this Agreement. Consultant, when requested, shall furnish clarification and/or explanation as may be required by the City's representative, regarding any services rendered under this Agreement at no additional cost to City. In the event that an error or omission attributable to Consultant occurs, then Consultant shall, at no cost to City, provide all necessary design drawings, estimates and other Consultant professional services necessary to rectify and correct the matter to the sole satisfaction of City and to participate in any meeting required with regard to the correction.

6.18. Prohibited Employment. Consultant will not employ any regular employee of City while this Agreement is in effect.

6.19. Order of Precedence. In the event of an inconsistency in this Agreement and any of the attached Exhibits, the terms set forth in this Agreement shall prevail. If, and to the extent this Agreement incorporates by reference any provision of any document, such provision shall be deemed a part of this Agreement. Nevertheless, if there is any conflict among the terms and conditions of this Agreement and those of any such provision or provisions so incorporated by reference, this Agreement shall govern over the document referenced.

6.20. Costs. Each party shall bear its own costs and fees incurred in the preparation and negotiation of this Agreement and in the performance of its obligations hereunder except as expressly provided herein.

6.21. Binding Effect. This Agreement binds and benefits the parties and their respective permitted successors and assigns.

6.22. No Third Party Beneficiary Rights. This Agreement is entered into for the sole benefit of City and Consultant and no other parties are intended to be direct or incidental beneficiaries of this Agreement and no third party shall have any right in, under or to this Agreement.

6.23. Headings. Paragraphs and subparagraph headings contained in this Agreement are included solely for convenience and are not intended to modify, explain or to be a full or accurate description of the content thereof and shall not in any way affect the meaning or interpretation of this Agreement.

6.24. Construction. The parties have participated jointly in the negotiation and drafting of this Agreement and have had an adequate opportunity to review each and every provision of the Agreement and submit the same to counsel or other consultants for review and comment. In the event an ambiguity or question of intent or interpretation arises with respect to this Agreement, this Agreement shall be construed as if drafted jointly by the parties and in accordance with its fair meaning. There shall be no presumption or burden of proof favoring or disfavoring any party by virtue of the authorship of any of the provisions of this Agreement.

6.25. Amendments. Only a writing executed by the parties hereto or their respective successors and assigns may amend this Agreement.

6.26. Waiver. The delay or failure of either party at any time to require performance or compliance by the other of any of its obligations or agreements shall in no way be deemed a waiver of those rights to require such performance or compliance. No waiver of any provision of this Agreement shall be effective unless in writing and signed by a duly authorized representative of the party against whom enforcement of a waiver is sought. The waiver of any right or remedy in respect to any occurrence or event shall not be deemed a waiver of any right or remedy in respect to any other occurrence or event, nor shall any waiver constitute a continuing waiver.

6.27. Severability. If any provision of this Agreement is determined by a court of competent jurisdiction to be unenforceable in any circumstance, such determination shall not affect the validity or enforceability of the remaining terms and provisions hereof or of the offending provision in any other circumstance. Notwithstanding the foregoing, if the value of this Agreement, based upon the substantial benefit of the bargain for any party, is materially impaired, which determination made by the presiding court or arbitrator of competent jurisdiction shall be binding, then both parties agree to substitute such provision(s) through good faith negotiations.

6.28. Counterparts. This Agreement may be executed in one or more counterparts, each of which shall be deemed an original. All counterparts shall be construed together and shall constitute one agreement.

6.29. Corporate Authority. The persons executing this Agreement on behalf of the parties hereto warrant that they are duly authorized to execute this Agreement on behalf of said parties and that by doing so the parties hereto are formally bound to the provisions of this Agreement.

[Signatures appear on following page.]

IN WITNESS WHEREOF, the parties hereto have caused this Agreement to be executed by and through their respective authorized officers, as of the date first above written.

CONSULTANT

David Watson

David Watson
Vice President, West Region Manager

Date: 5/23/2024

CITY OF COSTA MESA

Lori Ann Farrell Harrison

Lori Ann Farrell Harrison
City Manager

Date: 6/12/2024

ATTEST:

Brenda Green 6/12/2024
Brenda Green
City Clerk



APPROVED AS TO FORM:

Kimberly Hall Barlow

Kimberly Hall Barlow
City Attorney

Date: 6/5/24

APPROVED AS TO INSURANCE:

Ruth Wang

Ruth Wang
Risk Management

Date: 5/31/24

APPROVED AS TO CONTENT:

for S. Yang
Hector Soriano
Project Manager

Date: 6/3/2024

DEPARTMENTAL APPROVAL:

Raja Sethuraman
Raja Sethuraman
Public Works Director

Date: 6/3/24

APPROVED AS TO PURCHASING:

M. Molina
Carol Molina
Finance Director

Date: 5/29/2024

EXHIBIT A
REQUEST FOR PROPOSALS



REQUEST FOR PROPOSAL
FOR
CONSTRUCTION MANAGEMENT AND SPECIAL INSPECTION SUPPORT SERVICES FOR
FIRE STATION NO. 4 – TRAINING TOWER FACILITY (CITY PROJECT NO. 23-04)



PUBLIC WORKS DEPARTMENT
CITY OF COSTA MESA

Released on December 6, 2023



CITY OF COSTA MESA

P.O. BOX 1200 • 77 FAIR DRIVE • CALIFORNIA 92628-1200

FROM THE DEPARTMENT OF PUBLIC WORKS ENGINEERING DIVISION

December 6, 2023

SUBJECT: REQUEST FOR PROPOSALS (RFP) TO PROVIDE PROFESSIONAL CONSTRUCTION MANAGEMENT AND SPECIAL INSPECTION SUPPORT SERVICES FOR FIRE STATION NO. 4 – TRAINING TOWER FACILITY (CITY PROJECT NO. 23-04)

Dear Consultant:

The City of Costa Mesa (City) is requesting a proposal from your firm to provide professional construction management and special inspection support services for Fire Station No. 4 – training tower facility (City Project No. 23-04). The schedule is as follows:

SCHEDULE	TIME	DATE
1. Mandatory Job Walk*	9:00 a.m.	12/15/23
2. Inquiries Deadline	5:00 p.m.	12/22/23
3. Proposal Due Date	5:00 p.m.	01/12/24
4. Evaluation and Selection Period		01/15/24 - 01/22/24
5. City Council Award (Professional Services Agreement)		02/20/24
6. Kick off meeting	T.B.D.	03/04/24

Enclosed is a Request for Proposal (RFP) to provide the City professional services for the subject project. The proposal requirements and the necessary professional services required by the City are stated within the RFP. The consultant shall provide all services as requested in the RFP and stated in the submitted proposal.

*A mandatory job walk is scheduled for Friday, December 15, 2023, at 9:00 a.m. at Fire Station No. 4 existing training tower located at 2300 Placentia Ave, Costa Mesa, CA 92627. Access will be granted through the front entrance off of Placentia Avenue.

CITY OF COSTA MESA CONTACT PERSON

The City of Costa Mesa contact person for this project is Hector Soriano, at (714) 754-5045. **All inquiries shall be submitted in writing and via Planet Bids by 5:00 p.m., on December 22, 2023.** Inquiries submitted other than via Planet Bids will not receive a response.

PROPOSAL SUBMITTAL REQUIREMENTS

Proposals shall be submitted electronically via Planet Bids:

<https://www.planetbids.com/portal/portal.cfm?CompanyID=45476>

No other form of submittal shall be accepted by the City.

FEE PROPOSAL

Fee Proposals shall be submitted in a separate file electronically via Planet Bids:

<https://www.planetbids.com/portal/portal.cfm?CompanyID=45476>

Your participation is greatly appreciated by the City. It is the intent of this RFP to establish the minimum consultant services required by the City. To assist in your preparation, this RFP was categorized into sections stating the specific requirements of the City. All insurance documents must be submitted and approved prior to the award of contract.

Sincerely,

Hector Soriano
Associate Engineer

1. INTRODUCTION

The City of Costa Mesa (City) is soliciting proposals for selection of a consultant firm for work related to construction management and special inspection support services for Fire Station No. 4 – training tower facility project.

The project will replace the existing training tower facility built in 1966 with a new tower structure and slab on grade pavement located on the site owned by the City at 2300 Placentia Ave, on approximately 1.4-acres of land.

The general scope of work includes site and ground improvements in addition to the installation of a prefabricated tower, a water recirculation system, solar panel mounted on carports among other miscellaneous improvements to the training area. The structure is designed and constructed in accordance with the Orange County Fire Authority (OCFA) and Fire Station Development Standards. All plans are provided in Appendix B.

Additionally, the scope of work will also include professional construction management services; working closely with City project staff; review of the construction documents and constructability analysis; review, coordination and analysis of general contractor and WHP training towers project schedules; construction oversight and coordination; project close-out; special inspections and testing critical to the structural integrity of the project, and post job walks for the project and related site improvements.

The objective of this RFP is for the City to identify and select a consultant firm (with a proven track record by both the firm and the individuals to be assigned to the project) to provide comprehensive construction management and project oversight services. The selected firm and identified staff shall demonstrate strong construction knowledge and background in construction of municipal public works projects; capable of providing leadership to the entire design and construction team and be able to work in close partnership with City staff; and able to oversee/manage/control schedules and costs during all phases of the project construction. Strong organization, documentation and communication skills are also required to be considered for selection.

The City's goal is to have a proposal for the professional services needed to complete this project. If you believe that any items should be added to the scope of work to accomplish this goal, please include a separate description and cost item in your proposal.

2. PROJECT DESCRIPTION

This project includes coordination among two (2) separate contractors: a General Contractor performing the site and grading improvements and WHP Training Towers who is currently prefabricating the tower structure; the Costa Mesa Fire & Rescue staff; Costa Mesa Building Department Inspectors; and various utility companies and nearby residents. The project components are shown in the project plans inside Attachments 1, 2, 3 & 4, including the following general categories:

- 2.1. Existing Tower Demolition: The General Contractor will demolish and dispose of the existing 5-story tower, and will relocate or dispose of the training structures located at the Fire Station No. 4 Training Facility.
- 2.2. Grading Improvements: Consisting of a combination of asphalt seal coat to the existing surface, demolition of the existing asphalt pavement and replacement with a reinforced concrete slab on grade, and miscellaneous pavement improvements.
- 2.3. Site improvements: Includes the addition of an attached structure to the existing classroom space, the new structure includes decontamination showers and restrooms for training use (not for public use), with an estimated area of 1,280 SF; a water reclamation system with underground storage and electric pumps, adjusting or relocating all necessary utilities, signage and monuments, and solar panels mounted on carports.
- 2.4. Prefabricated Five-Story Tower Structure: Consists of a fully equipped and operational turn-key prefabricated permanent structure built on a structural concrete reinforced footing and slab on grade.

This improvement will require coordination with the City of Costa Mesa Building Division through the establishment of a specialized inspection schedule and deputy inspections to different components that include but are not limited to: **Concrete slab reinforced steel, footing reinforced steel, stem wall steel and anchor bolt locations, installation of anchors epoxied in concrete, verification of concrete mix design, slump, air content & concrete temperature, concrete placement, bottling inspections.**

The construction cost estimate for this project is approximately \$3,000,000 and construction duration is estimated in 180 working days. The construction is anticipated to start in the second trimester of 2024. The project should be completed before the end of 2024.

3. CONTENT OF PROPOSAL

To maintain uniformity, your proposal must be limited to **a maximum of twenty (20) pages** (excluding front and back covers, section dividers, resumes, and photographs) and must include the following:

- 3.1. A statement of project understanding containing any suggestions for successful completion of the project or additional concerns that the City should be made aware of, and a project approach containing any scope of work tasks you feel are necessary for the successful completion of the project.
- 3.2. A project team organization chart identifying those who will perform work, identifying the Deputy Inspectors and accredited personnel that will perform any specialized inspection, and a brief resume of each team member, qualifications, and state accreditations, including similar type projects in which they have been directly involved. Identify the Project Manager and the Project Engineer proposed for this project. The Project Manager will be the primary contact person to represent your firm and to conduct the presentation, if invited for an interview. Sub-consultants, if any, shall be identified in the proposal with the same requirements as for the main consultant.
- 3.3. A list of similar projects that your firm has completed within the last five years. Information of the completed projects should include project name and description, agency or client name along with the person to contact and telephone number, year completed, engineering fee, and project construction cost.
- 3.4. A proposed schedule indicating stages of work, time frames, and ability to perform the required services in a timely manner taking into consideration the required meetings noted below and any shipping and prefabrication lead times for the construction of the project.
- 3.5. A fee proposal provided in a separate electronic file.

4. CONSULTANT SELECTION COMMITTEE

The Public Works Department has established a Consultant Selection Committee consisting of members from this department who have acted in the capacity of a Project Manager or Project Engineer for the City on previous similar projects. The evaluation of each proposal will be based on the technical information and qualifications presented in the proposal, reference checks, and other information, which will be gathered independently.

5. FEE PROPOSAL

- 5.1. A separate electronic file containing the fee schedule for the project shall be submitted labeled "Fee Proposal" with your company's name and the project title.
- 5.2. A cover letter stating the not-to-exceed total fee.
- 5.3. The fee schedule shall depict individual project tasks, work hours, and basic hourly rates for specific personnel to be used. Personnel hourly rates will reflect all costs for office overhead, including direct and indirect costs. The fee proposal shall reflect all anticipated fee increases during the contract duration. Travel time and mileage will not be allowed. A pre-award audit may be required to confirm and establish a final fee schedule.
- 5.4. The consultant's cost proposal for the prime and subcontractors / subconsultants should contain a breakdown of all cost components including labor base rate, other direct costs, overhead, and fees. It is requested that the fee includes all meetings, reproduction, materials, mailings, and associated project expenses.
- 5.5. Include a \$25,000 allowance for additional tasks requested by the City.

6. ESTABLISHMENT OF FEES

The fee proposal will not be opened until the Consultant Selection Committee has evaluated the consultants' submitted proposals. In conformance with the Mini-Brooks Act, the City will select the Consultant based on qualifications, and then negotiate a contract price based on available funding and a further breakdown of the "not-to-exceed" fee submitted in the fee proposal.

7. PROFESSIONAL SERVICES AGREEMENT

The RFPs and the consultant's proposal will be attached to and become part of the executed professional services agreement as exhibits. A sample of the Professional Services Agreement (PSA), is provided in Attachment 5.

The City will not permit reduction in the City's "Scope of Consultant Services" without written approval.

8. INSURANCE REQUIREMENTS

General Liability:	\$1,000,000
Automobile Liability:	\$1,000,000
Workers Compensation and Employers' Liability:	\$1,000,000
Professional Liability:	\$1,000,000

Additional and primary Insurance endorsements shall include the City of Costa Mesa.

9. SCOPE OF CONSULTANT SERVICES

Project Description: This scope of services is to provide the construction management, special inspection and testing services, for the Fire Station No. 4 – Training Tower Facility Project within construction phase per the project plans in Attachments 2 and 3.

The following are the typical services and deliverables anticipated for this project.

9.1. SPECIALIZED INSPECTION SERVICES

- A. **Inspector's Monitoring of the Special Inspection and Materials Testing Program:** The Construction Management Services are responsible for monitoring the work of any Special Inspectors and materials testing laboratories to ensure that all inspections and testing required for the project, are satisfactorily completed in accordance with the approved plans and project specifications as well as the Costa Mesa Building Division requirements and applicable codes. The Construction Manager must coordinate all required tests with the laboratory or testing services and the construction contractors and make the necessary arrangements for the materials testing lab and Special Inspectors to perform the required material sampling or special inspections. The Construction Management staff is also responsible to observe any Special Inspector's on-site presence, performance of duties, and the Special Inspector's documentation of complying and non-complying work, and keep the City's Project Manager updated with the most current status of the project.
- B. **Records of Inspections:** The Project Inspector must maintain detailed records of all inspection requests and communications. The inspector's records must provide a comprehensive and timely documentation of the inspected work, promptly identifying all compliant and non-compliant construction. These records must be readily accessible and maintained in an organized manner and must be available to City staff upon request.
- C. **Material Testing:** Tests of materials are required as set forth in the applicable regulations, plans and specifications of this project, the Construction Management shall coordinate the schedule between the Construction Contractor, the Special Inspector and the Testing Laboratory in order to meet and expedite the project schedule. Laboratory tests will be required to different components of the project when applicable by the codes, regulations, plans and specifications of this project as described in number 3, scope of this project and Attachment 2 and 3.

- D. Deputy Inspector: A designated project Special Inspector responsible for ensuring that all code-prescribed inspections and requirements defined in a scope of work specified by the Architect, Manufacturer and/or required by applicable code. The Project Inspector(s) will comply with the qualification and performance requirements outlined in California Building Code (CBC); and all inspections must be completed in timely manner in a continuous and/or periodic basis and in consultation with the Architect, the Project manager, and the Construction Manager charged with the administration of the construction of the project. Prompt notification shall be made to the Construction Manager of the project for any deviation of the requirements, so that the deviation can be immediately addressed or corrected. If the deviation is not immediately corrected, the City requires the Project Inspector notify the Project Manager.

9.2. PRE-CONSTRUCTION SERVICES

- A. Review: Perform a thorough review of the construction documents and conduct a thorough constructability analysis.
- B. Procedure: Prepare the Construction Management Procedures Manual and provide an overview presentation to the project team for final review/acceptance.
- C. Records: Establish project filing and other record keeping systems.
- D. Pre-Construction Meeting:
- Schedule, notify appropriate parties, and conduct an initial pre-construction meeting with the Contractor, utilities, other City's divisions and departments and potentially adjacent community and neighbors.
 - Prepare and distribute pre-construction minutes to attendees and other parties. The pre-construction meeting shall cover, as a minimum, the overall project objectives, responsibilities of key personnel and agencies, schedules, schedule of values (bid breakdown), procedures for handling submittals, correspondence, utility relocations, local agency permit requirements, requests for clarification, progress payments, change orders, safety issues, emergency response requirements, and other pertinent topics.
 - Allow opportunities to have the Contractor's questions answered and will collect from the Contractor the submittal items required to be submitted at the pre-construction meeting.
- E. Project Baseline Schedule: Conduct project schedule workshop for the Contractor's development of the baseline schedule adhering to the contract schedule specifications. Ensure the timely preparation, analysis and review with the City for acceptance prior to the first payment.

9.3. CORRESPONDENCE, REPORTS, AND OTHER FORMS OF COMMUNICATION

- A. Document Standards: Prepare project correspondence and other forms of communication in accordance with industry standard document control and management procedures.
- B. Document/Tracking Control: Manage the receipt, logging, control, tracking, and timely processing of project documents, including correspondence and other forms of communication, technical documents, shop drawings, calculations, data, submittals, manuals, and samples received as part of the construction process, non-compliance, work to be completed, and other tracking logs as requested.
- C. Records: Maintain records of inspections, reports, and test results received from the Contractor, Design Engineer, manufacturers, and others.

9.4. SITE CONDITIONS AND PROGRESS VISUAL DOCUMENTATION

- A. Pre-Construction Video and Photos:

- Coordinate and review the Contractor's video and photos of pre-construction site conditions and utilities prior to beginning any construction operation.
- Confirm existing conditions within the limits of the work in adjacent areas and along access and haul roads. The Contractor's documentation shall clearly depict the pre-existing conditions of public and private improvements, including, but not limited to, street, drainage, utilities, landscaping, and irrigation improvements.
- Compare Contractor's pre-construction site surveys to the site surveys performed under this scope of work. Note any discrepancies and resolve issues.
- Describe in memorandum, submitted prior to the beginning of any construction operation, pre-existing damage identified within the limits of work and along access and haul roads.
- Meet with owners of pre-existing damage to document and confirm existing conditions. Document any damage to public and private improvements incurred during construction operations and meet with owners immediately following discovery of damage to resolve repair requirements and responsibilities. As part of this task, it is required to document all the existing utilities for any needed utility adjustment/relocation coordination and planning.

B. Progress and Other Photos:

- Maintain a digital photographic library of significant critical construction scheduled activities.
- Include grading, relocated/ladded utilities, foundations and building structures.
- Take additional photographs to document differing site conditions, change orders and claim items, and any special or unique conditions as they arise.
- Incorporate photographs taken by others into the overall photo documentation record of the project.

9.5. MEETINGS

A. Weekly and Monthly Construction Meetings:

- Schedule and conduct construction project meetings with the Contractor and the City.
- Provide meeting agendas and discuss the schedule, near-term activities, clarifications and problems which need resolution, coordination with other Contractors, status of change orders, submittals and RFIs, safety issues, OSHA visits and citations, and other topics.
- Identify action items and assign responsibility for the action and date action is to be completed.
- Prepare minutes of the meetings and include identified action items.
- Review the meeting minutes with the Contractor and obtain the Contractor's concurrence with the content.
- Distribute the minutes to the attendees within five (5) calendar days of the meeting.

B. Other Meetings: Attend other construction-related meetings as requested by the City.

9.6. SHOP DRAWING AND SUBMITTAL REVIEWS

A. Submittal Reviews:

- Review each submittal received from the Contractor for conformance with the requirements of the drawings and specifications.

Check each submittal against the Contractor's schedule for potential resubmittals that may

cause schedule impacts.

- Coordinate required reviews of submittals with the Design Engineer and the City. Submittals of a general nature are to be reviewed and processed by the selected CM consultant.
- Distribute submittals to appropriate reviewers with dated transmittal letters.

B. Submittal Log and Status of Submittals:

- Log, track, and monitor shop drawings, calculations, data samples, submittals, and manuals from the Contractor.
- Update the submittal log as items are received and responses given.
- Prepare weekly exception reports identifying outstanding submittals and reviews.
- Review with the Contractor the status of submittals at the weekly construction meeting using the submittal log and the master submittal list.

9.7. PLAN AND SPECIFICATION INTERPRETATION AND CONTROL

A. Requests for Information (RFI):

- Coordinate the RFI log.
- Review and respond to Contractor RFI and make every effort to review and provide appropriate response to RFI prior to involving the Design Engineer.
- Distribute RFI to appropriate staff and coordinate timely response.
- Review answers and prepare formal response to Contractor within five (5) calendar days of receipt of response, or as needed to meet schedule requirements.
- Respond in writing to Contractor questions from a reasonable review of the drawings and specifications for clarification items.
- Record changes in the record specifications and plans.

B. Requests for Changes in Design:

- Review and respond to requests for design revisions by the Contractor.
- Responses to requests for design revisions require prior written approval from the City and/or Design Engineer.
- Revisions in design may take the form of value engineering (VE) and shall require extensive research, evaluation, and recommendation from the Design Engineer.
- Provide written recommendations, as required.

C. Field Orders:

- Initiate and review field orders and schedule requirements when a change in the work is needed to maintain the design intent.
- Issue the field order to the Contractor and monitor the work for compliance.
- Track the issued field orders in a log.
- Record the changes in the record specifications and plans. If required, follow-up with a change order within fourteen (14) calendar days of mutual agreement with Contractor on pricing and conditions.

D. Substitution Requests:

- Coordinate evaluation of "or-equal" or product substitution requests with the Design Engineer, the City, vendors, manufacturers, and others.

- Prepare evaluations and recommendations for "approved equal" or product substitution requests.

E. Record Drawings and Specifications:

- Update continually the plans and specifications as the work progresses, including utilities record drawings.
- Incorporate modifications and changes from all sources, such as submittals, RFI, VE, field orders, extra work, and change orders.
- Compare the record drawings and specifications with the Contractor record drawings and specifications monthly.

9.8. CONSTRUCTION MANAGEMENT ADMINISTRATION AND SPECIAL STAFFING

A. Management:

- Oversee, perform, and coordinate construction management services including a process for on-going risk analysis as required to verify and assure the timely completion of the work.
- Prepare reports, letters, and memoranda.
- Conduct meetings; monitor and track the expiration of insurance requirements and obtain updated certificates from the Contractor (City to process through its Risk Management).
- Coordinate with field users, school district and utility agencies.
- Coordinate subconsultants, testing, and specialty services.
- Review daily inspection notes and identify and resolve nonconforming items.
- Notify the City of significant problems and discrepancies.
- Interpret drawings, specifications, and reference standards.
- Monitor construction activities and schedules.
- Resolve constructability problems.
- Coordinate connections and operations.
- Prepare change orders.
- Review and notify the Contractor of test results.
- Investigate claims.
- Perform inspections.
- Review the Contractor's project record drawings periodically and concurrently with Contractor progress payments.
- Prepare project punch lists; and all other duties related to construction management as requested by the City.

B. Resolution of Day-to-Day Construction Issues:

- Lead resolution of day-to-day construction issues raised.
- Coordinate with the City, Design Engineer, and Contractor on technical issues and concerns, as well as interpretation of the design documents.
- Interface with the Design Engineer for resolution of technical issues, processing of change order requests or design changes to suit actual conditions encountered in the field.

9.9. PROJECT SCHEDULE UPDATES AND PROGRESS PAYMENT APPLICATIONS

- A. Project Schedule: The schedule is a critical factor on this specific project; therefore, the Construction Manager must take the lead in managing the overall timeframe of the project, prioritizing milestones and tracking the project activities to make sure that the project is on schedule. If a change of scope emerges during the project activities, the construction manager must propose changes in the activities' timeline of the original project schedule and propose agreements with the parties involved in order to meet the project original schedule.
- B. Monthly Review:
- Conduct monthly schedule and progress payment meetings with the Contractor and coordinate and update the record drawings at this meeting. The construction progress meetings and payments shall be based on an agreement between the Construction Manager and the Contractor of the physically installed bid item quantities. The result of these meetings shall be the update of the construction schedule and the progress payment estimate.
 - Coordinate the review of the Contractor's monthly progress payment request with City staff and prepare a recommendation stating the proper amount of payment, and use the Schedule of Values and actual quantities installed as a basis for the recommendation.
- C. Progress Reports. Prepare detailed monthly progress reports to the satisfaction of the City.

9.10. CHANGE CONTROL MANAGEMENT

- A. Identify and Track Changes: Identify and track potential changes to the work and schedule. Prepare, log, and monitor Contractor or City initiated changes to the work, extra work, and change orders.
- B. Request for Quote (RFQ): Request cost proposals from the Contractor for extra work and negotiate final cost.
- C. Justification of Extra Work or Change: Prepare written justification and cost estimates for each extra work or change item. Justification shall include a statement of the extra work or change, background leading to issue, and resolution alternatives/recommendations for action by the City.
- D. Prepare Change Orders: Prepare and submit change orders in the City's format to the City for written approval within seven (7) calendar days of the finalization of negotiations.

9.11. CLAIMS MANAGEMENT

- A. Identify and Track Claims:
- Identify, prepare, log, and monitor Contractor potential claims.
 - Report verbal and written claims immediately to the City.
 - Coordinate claims among the City's Project Manager and Risk Manager.
- B. Resolution Alternative: Prepare written explanation of each claim with full background of issues, proposed resolution alternatives, and resolution recommendation for action.
- C. Negotiate and Resolve Claims: Assist and support the City in resolving claims minimizing the impacts and disputes, including written responses to the Contractor and private parties; giving depositions; assisting with dispute resolution, arbitration and litigation; serving as an expert witness; investigating claims for damages by private sources, design services for replacement of damaged work, and services made necessary by Contractor default; and negotiate claims to an agreed conclusion.
- D. Private Party Claims: Investigate claims for damages by private parties and respond in writing

within two (2) calendar days of receipt of the claim, and coordinate the written response with the City's Project Manager and Risk Manager.

9.12. STARTUP, CLOSEOUT, AND ACCEPTANCE SERVICES

A. Punch List:

- Prepare detailed project punch lists at substantial completion of the project.
- Upon correction of deficiencies, schedule, coordinate, and conduct a final walk-through prior to the acceptance of work with the City and other parties.
- Provide certification of Contractor's compliance on work items specifically requested by the City.
- Verify that work, testing, cleanup, and Contractor demobilization are complete.

B. Final Walk-Through: Schedule, coordinate, and conduct a final walk-through and project review prior to the acceptance of work with the City.

C. Recommend Acceptance: Recommend acceptance of the work in writing in preparation for issuance of the Certificate of Substantial Completion and/or Notice of Completion.

9.13. POST CONSTRUCTION

A. Operations and Maintenance Materials: Deliver the Operations and Maintenance Manuals and any spare parts and equipment upon project acceptance by the City.

B. Record Drawings Certification: Review and certify that the Contractor's project record drawings are complete and accurate and provide the drawings to the Design Engineer.

C. Final Payment:

- Recommend final payment in the form of release of retention to the Contractor in accordance with contract requirements.
- Verify that the Contractor has made all payments to the subcontractors and vendors and that any stop notices or liens have been released.
- Obtain a Conditional Waiver of Lien from the Contractor prior to recommending final payment.

D. As-builts: Provide Contractor's red-lines to the City for "as-built" drawings.

E. Closing Out Contract: Take the lead in negotiating and closing out the construction contract. Prepare the memorandum to the City recommending acceptance of the project and the Notice of Completion.

F. Final Project Records and Documents: These records must be turned over to the City upon completion of the project.

9.14. EXTENDED SERVICES (BY SEPARATE FEE REQUEST)

A. Other Services: If there are other services that are directly related to project management administrative support services that are not specifically listed above, please indicate these services in your proposal.

10. EXAMINATION OF SITE PRIOR TO SUBMITTING PROPOSAL

Each consultant must fully know all project conditions and the effort required to successfully complete the project. Failure to do so will not relieve the selected consultant of the obligations to carry out the contract and complete the project.

11. RIGHT TO REJECT ALL PROPOSALS

- A. The City of Costa Mesa reserves the right to reject any or all proposals submitted, and no representation is made hereby that any contract will be awarded pursuant to this RFP or otherwise.
- B. The City also reserves the right to award a portion of work or combination, thereof.
- C. All costs incurred in the preparation of the proposal, the submission of additional information and/or any aspect of a proposal prior to award of a written contract will be borne by the consultant. The City will provide only the staff assistance and documentation specifically referred to herein and will not be responsible for any other cost or obligation of any kind that may be incurred by the consultant. All proposals submitted to the City of Costa Mesa become the property of the City.

12. SUMMARY

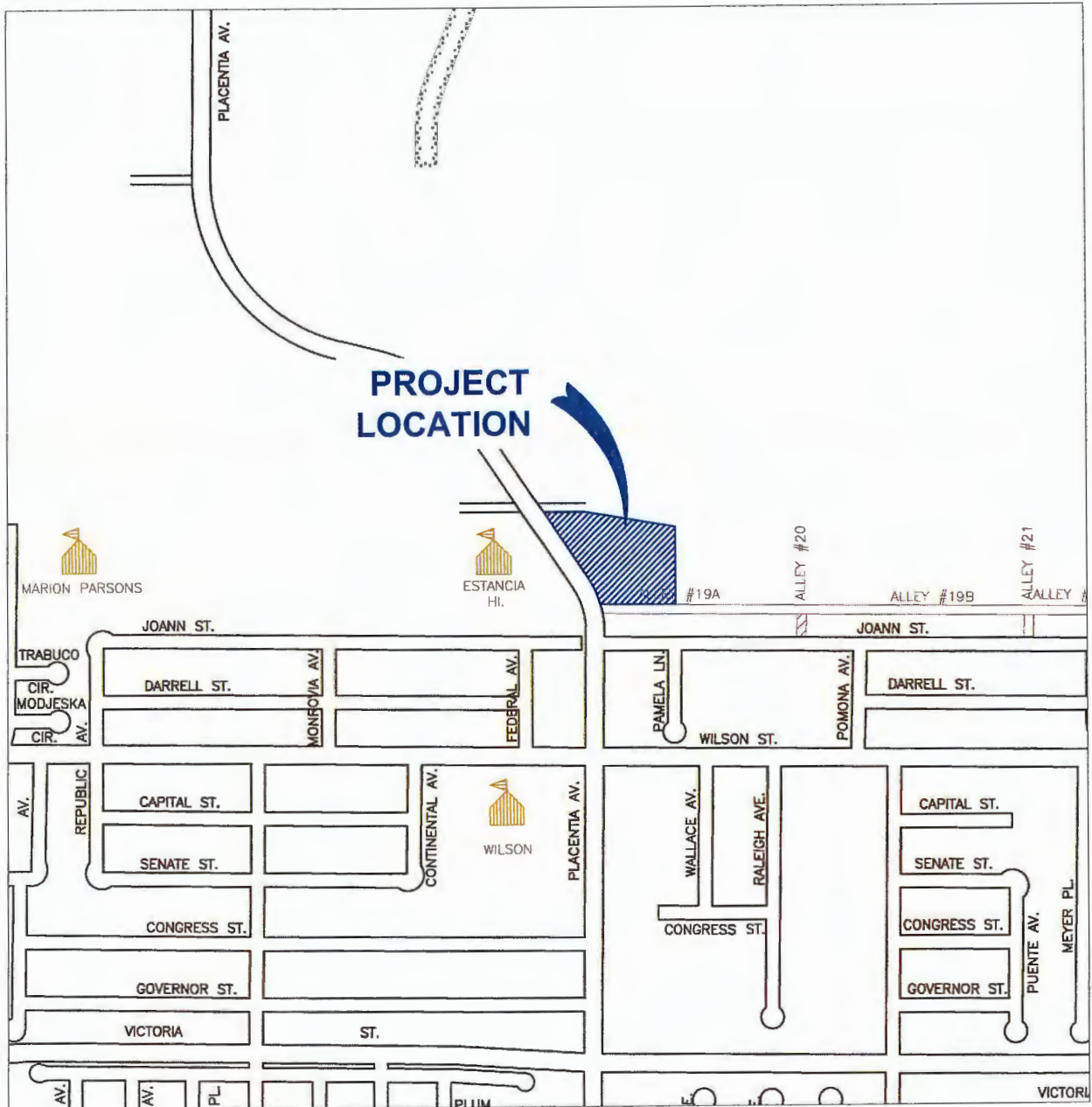
The City appreciates your firm's participation, and the intent of this RFP is to establish the minimum consultant services required. If you feel that any items should be added to the scope of work, please include a separate description and cost item in your proposal. Prior to awarding a contract, all insurance documents must be submitted and approved.

- Attachments:
- 1. Project Location Map
 - 2. Site Development Plans
 - 3. Prefabricated Tower Structure & Footing Plans
 - 4. Existing Facilities "As-Builts"
 - 5. City Standard Professional Services Agreement
 - 6. Certificate of Insurance Forms

ATTACHMENT 1
(Project Location Map)



CITY OF COSTA MESA Public Works/Engineering



PROJECT LOCATION MAP

**FIRE STATION NO. 4 - TRAINING TOWER FACILITY
CITY PROJECT NO. 23-04**

 **PROPOSED IMPROVEMENTS**

ATTACHMENT 2
(Site Development Plans)

Costa Mesa Fire Training Center

2300 Placentia Avenue
City of Costa Mesa, California



RANCHO CUCAMONGA
8165 ROCHESTER AVENUE, SUITE 100
RANCHO CUCAMONGA, CA 91730
909-987-0000 P

COSTA MESA FIRE TRAINING CENTER
CITY OF COSTA MESA
2300 PLACENTIA AVENUE
COSTA MESA, CA 92627



CONSULTANT

NO	DATE	BY	DESCRIPTION

DATE	BY	CHECKED	BY

TITLE SHEET

DRAWING NUMBER: **T1**

		<p>PROJECT SITE</p>		<p>1</p>	
<p>VICINITY MAP</p>		<p>18</p>		<p>PROJECT SCOPE</p>	
<p>2022 CALIFORNIA BUILDING STANDARDS ADMINISTRATIVE CODE CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 1</p> <p>2022 CALIFORNIA BUILDING CODE (CBC) CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 2</p> <p>2022 CALIFORNIA ELECTRICAL CODE (CEC) CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 3</p> <p>2022 CALIFORNIA MECHANICAL CODE CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 4</p> <p>2022 CALIFORNIA PLUMBING CODE CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 5</p> <p>2022 CALIFORNIA ENERGY CODE CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 6</p> <p>2022 CALIFORNIA FIRE CODE (CFC) CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 7</p> <p>2022 CALIFORNIA EDITION BUILDING STANDARD CODE (CBCS) CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 11</p> <p>2022 CALIFORNIA REFERENCED STANDARDS CODE CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, PART 12</p> <p>AMERICANS WITH DISABILITIES ACT (ADA) TITLE II ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES (ADAG)</p> <p>CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, CALIFORNIA STATE ACCESSIBILITY STANDARDS</p> <p>1990 STATE FIRE MARSHAL REGULATIONS (S.F.M.R.) CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 19</p> <p>INTERNATIONAL FIRE CODE (IFC) IFC CALIFORNIA AMENDMENTS</p> <p>INTERNATIONAL BUILDING CODE (IBC) IBC CALIFORNIA AMENDMENTS</p> <p>INTERNATIONAL MECHANICAL CODE (IMC) IMC CALIFORNIA AMENDMENTS</p> <p>INTERNATIONAL PLUMBING CODE (IPC) IPC CALIFORNIA AMENDMENTS</p> <p>INTERNATIONAL FIRE CODE (IFC) IFC CALIFORNIA AMENDMENTS</p> <p>INTERNATIONAL MECHANICAL CODE (IMC) IMC CALIFORNIA AMENDMENTS</p> <p>INTERNATIONAL PLUMBING CODE (IPC) IPC CALIFORNIA AMENDMENTS</p> <p>INTERNATIONAL FIRE CODE (IFC) IFC CALIFORNIA AMENDMENTS</p>		<p>T1 TITLE SHEET</p> <p>T2 CODE ANALYSIS SHEET</p> <p>T3 2022 CAL-GREEN NONRESIDENTIAL MANDATORY REG.</p> <p>T4 2022 CAL-GREEN NONRESIDENTIAL MANDATORY REG.</p> <p>T5 2022 CAL-GREEN NONRESIDENTIAL MANDATORY REG.</p> <p>C-0.01 TITLE SHEET</p> <p>C-0.02 DETAIL SHEET</p> <p>C-0.03 DETAIL SHEET</p> <p>C-0.04 DETAIL SHEET</p> <p>D-1.01 DEMOLITION PLAN</p> <p>G-1.01 PRECISE GRADING PLAN</p> <p>C-2.01 WATER / SEWER PLAN</p> <p>C-3.01 EROSION CONTROL PLAN</p> <p>C-4.01 HORIZONTAL CONTROL PLAN</p> <p>A1.10 DEMOLITION SITE PLAN</p> <p>A1.1 SITE PLAN</p> <p>A1.2 ENLARGED SITE PLAN</p> <p>A1.3 SITE DETAILS</p> <p>A1.4 SITE DETAILS</p> <p>A2.10 DIRTY TRAINING CLASSROOM BUILDING DEMO PLANS</p> <p>A2.1 DIRTY TRAINING CLASSROOM BUILDING PLANS</p> <p>A3.10 DEMO EXTERIOR ELEVATIONS</p> <p>A3.1 EXTERIOR ELEVATIONS</p> <p>A4.1 BUILDING SECTIONS</p> <p>A5.1 FINISH AND DOOR SCHEDULES</p> <p>A6.1 ENLARGED FLOOR PLAN</p> <p>A7.1 INTERIOR ELEVATIONS</p> <p>AB.1 DETAILS</p> <p>AB.2 DETAILS</p> <p>AB.3 DETAILS</p> <p>S0.1 GENERAL NOTES</p> <p>S0.2 FOUNDATION DETAILS</p> <p>S0.3 WOOD FRAMING DETAILS</p> <p>S0.4 MISC. DETAILS</p> <p>S0.5 SOLAR CANOPY DETAILS</p> <p>S0.6 PUMP TEST PIT PLANS AND DETAILS</p> <p>S2.1 BUILDING PLANS</p> <p>S2.1 WALL SECTIONS AND ELEVATIONS</p> <p>M2.1 MECH LEGEND, SCHEDULE, & GENERAL NOTES</p> <p>M2.1 MECHANICAL FLOOR + ROOF PLANS</p> <p>P0.1 PLUMBING LEGEND, SCHEDULE, & GENERAL NOTES</p> <p>P1.1 PLUMBING SITE PLAN</p> <p>P2.1 PLUMBING FLOOR PLAN</p> <p>P3.1 PLUMBING DETAILS</p> <p>ED.1 GENERAL NOTES, SYMBOL LIST & LT. FIXT. SCHEDULE</p> <p>ED.2 SINGLE LINE DIAGRAM AND LOAD SCHEDULES</p> <p>ED.3 TITLE 24 COMPLIANCE FORMS</p> <p>E1.1 TITLE SHEET</p> <p>E2.1 DIRTY TRAINING CLASSROOM BLDG PLANS</p> <p>E3.1 TRAINING TOWER LIGHTING PLANS</p> <p>E3.2 TRAINING TOWER LIGHTING PLANS</p> <p>E3.3 TRAINING TOWER LIGHTING PLANS</p> <p>E3.4 TRAINING TOWER POWER PLANS</p> <p>E3.5 TRAINING TOWER POWER PLANS</p> <p>E3.6 TRAINING TOWER POWER PLANS</p> <p>E4.1 ELECTRICAL DETAILS</p>		<p>PROJECT SCOPE</p> <ol style="list-style-type: none"> NEW PREPARED FOUR-STORY FIRE TRAINING TOWER (OWNER PROVIDED OWNER DETAILS) NEW UNDERGROUND WATER RECOVERY SYSTEM, NEW GROUND PARKING AREA WITH CANTOP, AND SITE IMPROVEMENT. REMODEL DIRTY TRAINING CLASSROOM BUILDING WITH 1,264 S.F. ADDITION. <p>OWNER</p> <p>CITY OF COSTA MESA 17700 OAK COSTA MESA, CA 92626 (714) 754-0000</p> <p>PROJECT ADDRESS</p> <p>2300 PLACENTIA AVENUE COSTA MESA, CA 92627</p> <p>PROJECT INFORMATION</p> <p>ASSESSOR'S PARCEL NUMBER: 154-009-11</p> <p>OWNER / FIRE DEPARTMENT</p> <p>3</p> <p>ARCHITECT</p> <p>WLC ARCHITECTS, INC. 1463 ROCHESTER AVENUE, SUITE 100 RANCHO CUCAMONGA, CA 91730 (909) 987-0000 FAX: (909) 987-0000</p> <p>CIVIL ENGINEER</p> <p>CVTEC 899 CORPORATE DRIVE, SUITE 100 LIVERMORE, CA 94550 (925) 452-8022</p> <p>STRUCTURAL ENGINEER</p> <p>R.L. BYRD & ASSOCIATES 1401 W. 50TH STREET, SUITE A ONTARIO, CA 91764-1050 (909) 983-2258 FAX: (909) 983-4456</p> <p>MECHANICAL / PLUMBING ENGINEER</p> <p>PODDON DESIGN SOLUTIONS 16431 CHAMBERS ROAD, SUITE 210 TUSTIN, CA 92680 (949) 414-3903 FAX: (949) 414-1203</p> <p>ELECTRICAL ENGINEER</p> <p>A. P. ENGINEERING GROUP, INC. 9200 BANCROFT ROAD, SUITE C RANCHO CUCAMONGA, CA 91731 (909) 987-0000 FAX: (909) 987-0000</p>	
<p>CODE COMPLIANCE NOTES</p>		<p>24</p>		<p>GOVERNING CODES</p>	
<p>20</p>		<p>DRAWING INDEX</p>		<p>8</p>	
<p>PROJECT TEAM</p>		<p>4</p>		<p>PROJECT SCOPE</p>	



RANCHO CUCAMONGA
8161 ROCHESTER AVENUE, SUITE 100
RANCHO CUCAMONGA, CA 91709
951-877-0087

COSTA MESA FIRE TRAINING CENTER
CITY OF COSTA MESA
2300 PLACENTIA AVENUE
COSTA MESA, CA 92627

1. THESE DRAWINGS DO NOT CONTAIN THE NECESSARY COMPONENTS FOR CONSTRUCTION PERMIT.

2. LOCATIONS OF ALL UTILITIES SHOWN ARE APPROXIMATIONS AND CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN EXCAVATING AND TRENCHING ON THIS SITE TO AVOID UTILITIES. THE EXISTING UTILITIES AND THEIR DEPTHS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHETHER SHOWN HEREON OR NOT AND TO PROTECT THEM FROM DAMAGE.

3. THE ARCHITECT IS NOT RESPONSIBLE FOR THE LOCATION OF UNDERGROUND UTILITIES OR STRUCTURES (WHETHER SHOWN OR LOCATED AND NOT SHOWN) AND IS NOT RESPONSIBLE FOR THE LOCATION OF UNDERGROUND UTILITIES OR STRUCTURES (WHETHER SHOWN OR LOCATED AND NOT SHOWN) AND IS NOT RESPONSIBLE FOR THE LOCATION OF UNDERGROUND UTILITIES OR STRUCTURES (WHETHER SHOWN OR LOCATED AND NOT SHOWN) AND IS NOT RESPONSIBLE FOR THE LOCATION OF UNDERGROUND UTILITIES OR STRUCTURES (WHETHER SHOWN OR LOCATED AND NOT SHOWN).

4. THE WORK SHOWN ON THESE DRAWINGS AS EXISTING CONDITIONS WAS OBTAINED FROM INFORMATION FURNISHED BY THE OWNER. WHILE THE INFORMATION IS BELIEVED TO BE RELIABLE, M&C ARCHITECTS, INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF THE LOCATION OF ANY UTILITIES OR STRUCTURES WHICH MAY HAVE BEEN INCORPORATED INTO THESE DRAWINGS AS A RESULT.

5. ALL UTILITIES TO BE UNOCCUPIED DURING ALL PHASES OF CONSTRUCTION.

6. PENETRATIONS TO PRE-CAST MATERIALS OR ASSEMBLIES SHALL BE RESTORED TO ORIGINAL FINISH. FIRE STOP SYSTEMS INSTALLED BY UNLICENSED LABORERS SHALL BE INSTALLED PER FIRE RESISTANCE RATED PRODUCT SPECIFICATIONS. FIRE STOP SYSTEMS SHALL BE AS SPECIFIED.

7. NONRESIDENTIAL ENERGY STANDARDS COMPLIANCE STATEMENTS (TITLE 24, PART 8)

8. THE DESIGN INDICATED HEREON COMPLIES WITH THE REQUIREMENTS OF THE ENERGY CONSERVATION STANDARDS OF TITLE 24, PART 8, CALIFORNIA CODE OF REGULATIONS. THE PROPOSED BUILDINGS WILL BE LIMITED TO LESS THAN 100 FLOORS. HOWEVER, GREATER LOADINGS ARE PERMITTED FOR SPECIAL CASES WHEN APPROVED BY THE CHIEFING SUPERVISOR ON FIELD ENGINEER.

9. TESTING: THE OPERATOR, TOOL, AND FASTENER SHALL BE PREQUALIFIED BY THE PROJECT INSPECTOR. HE SHALL OBSERVE THE TESTING OF THE FASTENER INSTALLATIONS. A TEST FAILURE LOAD OF NOT LESS THAN TWICE THE DESIGN LOAD OR 200 POUNDS, WHICHEVER IS GREATER, SHALL BE APPLIED TO THE IN PLACE ASSEMBLY NOT TO EXCEED THE SPALLING TENACITY OF THE CONCRETE SURROUNDING THE PIPER. TESTERS: EXAMINER TESTS UNDER THE PROJECT INSPECTOR'S SUPERVISION SHALL BE MADE AT APPROXIMATELY 1 IN 40 PIPER OCCUPY THAT WHICH THE DESIGN LOAD EXCEEDS 100 POUNDS ONE-WAY. THE PIPE SHALL BE TESTED. SHOULD FAILURE OCCUR ON ANY PIPE TESTED, ALL INSTALLATIONS MUST BE TESTED AND REPAIRS PROVIDED.

10. ALL POWDER DRIVEN CONCRETE FASTENERS SHALL BE ONE OF THE FOLLOWING:

- (1) H&C INC. - K&M PRO - WOOD PLATE - ICODS NO. 298
- (2) H&C INC. - K&M PRO - STEEL TRUCK - ICODS NO. 299
- (3) H&C INC. - K&M PRO - WOOD PLATE - ICODS NO. 1947
- (4) H&C INC. - K&M PRO - STEEL TRUCK - ICODS NO. 1948

11. GRADING PERMIT AND ROLLING GRADING APPROVALS ACQUIRED PRIOR TO COMMENCEMENT OF A BUILDING PERMIT.

12. SEISMIC PERMIT IS REQUIRED FOR EACH BUILDING STRUCTURE, SUCH AS PIERCE WALLS AND RETAINING WALLS, HEIGHT FIVE FEET.

13. THE OWNER SHALL EMPLOY THE ENGINEER OR ARCHITECT RESPONSIBLE FOR THE STRUCTURAL DESIGN OF THE BUILDING. THE STRUCTURAL DESIGN OF THE BUILDING SHALL BE THE RESPONSIBILITY OF THE STRUCTURAL DESIGNER. CONTRACTORS SHALL VERIFY THE COMPLIANCE OF THE STRUCTURAL SYSTEM. OBSERVED DEFICIENCIES WILL BE REPORTED TO OWNER, CONTRACTOR, SPECIAL INSPECTOR AND BUILDING OFFICIAL IN WRITING. REF SHEET 303 FOR MORE INFORMATION.

14. PROVIDE SEISMIC CERTIFICATION FOR DESIGNATED SEISMIC COMPONENTS:

- ELECTRICAL PANEL BOARD
- ELECTRICAL SWITCHBOARD
- ELECTRICAL TRANSFORMER
- EMERGENCY GENERATOR

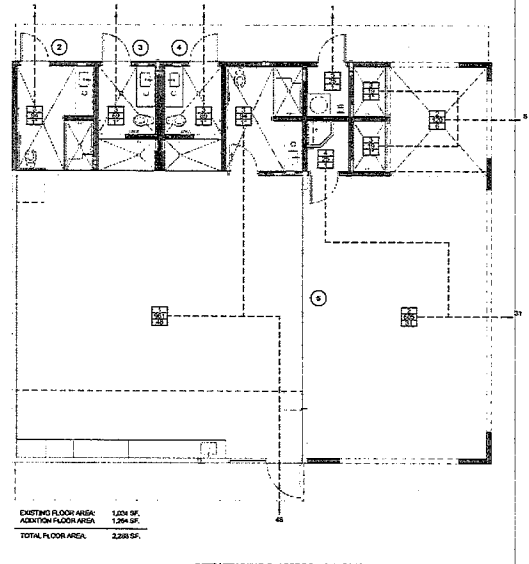
1. H&C INC. - K&M BOLT T22
STAINLESS STEEL WEDGE ANCHOR - ICODS ESR-481

2. S&B CONSTRUCTION INC. - STAINLESS STEEL WEDGE ANCHOR - ICODS ESR-202

DIA (IN)	TORQUE (FT-LBS)	EMBEDMENT (IN)	
1/4"	6	1 1/2"	
3/8"	30	1 1/2" - 2 1/2"	
BOLT 1/2"	40	1 1/2" - 2 1/2" - 3 1/4"	
ESR-4561	58"	35	2 3/4" - 4"
	3/4"	50	3 1/4" - 4 3/4"
	1/4"	4	1 3/4"
STRONG BOLT 1/2"	38"	30	2 5/8"
ESR-2037	2"	35	4 3/8"
	5/8"	55	4 3/8"
	3/4"	100	5 1/4"

1. H&C INC. - K&M PRO - WOOD PLATE - ICODS NO. 298
2. H&C INC. - K&M PRO - STEEL TRUCK - ICODS NO. 299
3. H&C INC. - K&M PRO - WOOD PLATE - ICODS NO. 1947
4. H&C INC. - K&M PRO - STEEL TRUCK - ICODS NO. 1948

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
1-01	Revised Section	1-02	Room Number
1-03	Detail Number	1-04	Section Number
1-05	Door Identification	1-06	Window Identification
1-07	Window Identification	1-08	Reference Note
1-09	Woodwork Institute Referral Number	1-10	Elevation Symbols
1-11	Room Name	1-12	Grid Identification
1-13	Grid Identification	1-14	Grid Identification
1-15	Grid Identification	1-16	Grid Identification
1-17	Grid Identification	1-18	Grid Identification
1-19	Grid Identification	1-20	Grid Identification
1-21	Grid Identification	1-22	Grid Identification
1-23	Grid Identification	1-24	Grid Identification
1-25	Grid Identification	1-26	Grid Identification
1-27	Grid Identification	1-28	Grid Identification
1-29	Grid Identification	1-30	Grid Identification
1-31	Grid Identification	1-32	Grid Identification
1-33	Grid Identification	1-34	Grid Identification
1-35	Grid Identification	1-36	Grid Identification
1-37	Grid Identification	1-38	Grid Identification
1-39	Grid Identification	1-40	Grid Identification
1-41	Grid Identification	1-42	Grid Identification
1-43	Grid Identification	1-44	Grid Identification
1-45	Grid Identification	1-46	Grid Identification
1-47	Grid Identification	1-48	Grid Identification
1-49	Grid Identification	1-50	Grid Identification
1-51	Grid Identification	1-52	Grid Identification
1-53	Grid Identification	1-54	Grid Identification
1-55	Grid Identification	1-56	Grid Identification
1-57	Grid Identification	1-58	Grid Identification
1-59	Grid Identification	1-60	Grid Identification
1-61	Grid Identification	1-62	Grid Identification
1-63	Grid Identification	1-64	Grid Identification
1-65	Grid Identification	1-66	Grid Identification
1-67	Grid Identification	1-68	Grid Identification
1-69	Grid Identification	1-70	Grid Identification
1-71	Grid Identification	1-72	Grid Identification
1-73	Grid Identification	1-74	Grid Identification
1-75	Grid Identification	1-76	Grid Identification
1-77	Grid Identification	1-78	Grid Identification
1-79	Grid Identification	1-80	Grid Identification
1-81	Grid Identification	1-82	Grid Identification
1-83	Grid Identification	1-84	Grid Identification
1-85	Grid Identification	1-86	Grid Identification
1-87	Grid Identification	1-88	Grid Identification
1-89	Grid Identification	1-90	Grid Identification
1-91	Grid Identification	1-92	Grid Identification
1-93	Grid Identification	1-94	Grid Identification
1-95	Grid Identification	1-96	Grid Identification
1-97	Grid Identification	1-98	Grid Identification
1-99	Grid Identification	1-100	Grid Identification



ABBREVIATIONS

15 FLOOR PLAN ANALYSIS

SPACE USE AND OCCUPANT LOAD SCHEDULE, TABLE No. 10-A
(BASED ON 2008 IBC TABLE 1004.3)

- TRAINING ROOM 20 SF OCC.
- PATROL ROOM TRAINING ROOM 20 SF OCC.
- SHOWERS, MEN, WOMEN, 100 SF OCC.
- STORAGE, 200 SF OCC.
- MEDIA ROOM 300 SF OCC.

AREA IDENTITY - CODE ANALYSIS

SPACE USE - REFER TO SCHEDULE
FLOOR AREA - SQUARE FEET
OCCUPANT LOAD

NOTE:
* (ASTERISK) INDICATES DUPLICATED OCCUPANCY

--- 3 PATH OF EGRESS (NUMBER INDICATES OCCUPANT LOAD)

3/16" = 1'-0"	3		
NO DATE	BY DESCRIPTION		
DATE: 03/29/2023	SCALE: AS NOTED		
PROJECT NUMBER: 230075			
REVISIONS			
NO	DATE	BY	DESCRIPTION
NOTE:			
1. THERE WILL BE NO HAZARDOUS MATERIALS STORED OR USED WITHIN BUILDINGS THAT EXCEED CBC 2022 TABLE 307.1(1) AND 307.1(2)			
2. INTERIOR FINISH SHALL COMPLY WITH CBC 2022, SECTION 901.1 (PLANE SPREAD FINISHING)			
CODE ANALYSIS		T2	

GENERAL NOTES 20 GRAPHIC SYMBOLS 16 SPACE USE 12 SPACE USE 8 SPACE USE 3/16" = 1'-0" 4



CONSULTANT

NO DATE BY DESCRIPTION

REVISIONS

DATE: 03/29/2023 SCALE: AS NOTED

PROJECT NUMBER: 230075

NOTE:
1. THERE WILL BE NO HAZARDOUS MATERIALS STORED OR USED WITHIN BUILDINGS THAT EXCEED CBC 2022 TABLE 307.1(1) AND 307.1(2)
2. INTERIOR FINISH SHALL COMPLY WITH CBC 2022, SECTION 901.1 (PLANE SPREAD FINISHING)

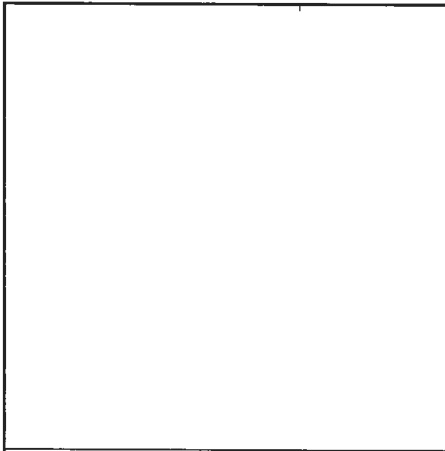
CODE ANALYSIS

DRAWING NUMBER **T2**

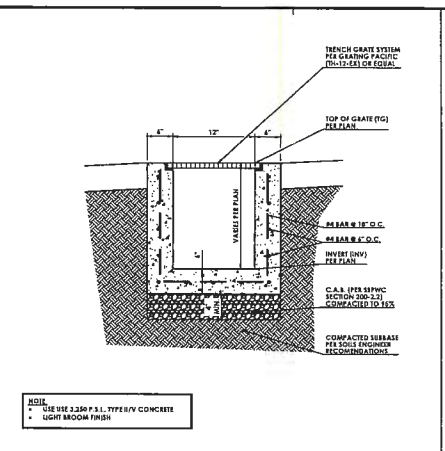
COSTA MESA FIRE TRAINING CENTER
 CITY OF COSTA MESA
 2300 PLACENTIA AVENUE
 COSTA MESA, CA 92627



9/25/23
 CONSULTANT
CMTEC CIVIL ENGINEERING & ARCHITECTURE
 1111 COMBINATION DR., SUITE 100
 LAGUNA HILLS, CA 92653
 P: 949-442-2600
 F: 949-442-2600
 E: info@cmtec.com
 NO. DATE BY DESCRIPTION
 REVISIONS
 DRAWN: J14/F CHECKED: TFC
 DATE: 9/27/2023 SCALE: PER PLAN
 PROJECT NUMBER: 1723.14
 DRAWING NUMBER: **C-0.02**
 FOOTNOTES: 10/9/2018 REV. 0023



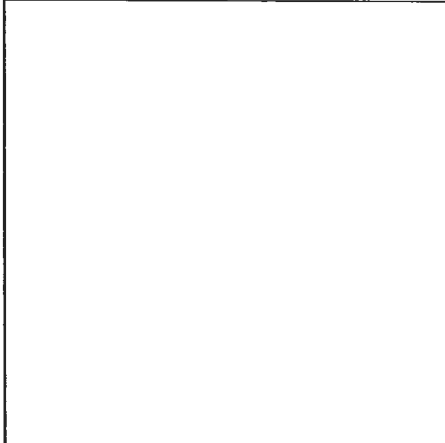
NOTE:
 • USE 4,000 P.S.I. TYPE IV CONCRETE IN TRAFFIC AREAS
 • USE 2,500 P.S.I. TYPE IV CONCRETE IN LANDSCAPE AREAS
 • BACKFILL WITH SAME MATERIAL AS PIPE BACKFILL
 • CLEANOUT PIPE TO BE SAME SIZE AND MATERIAL AS MAIN



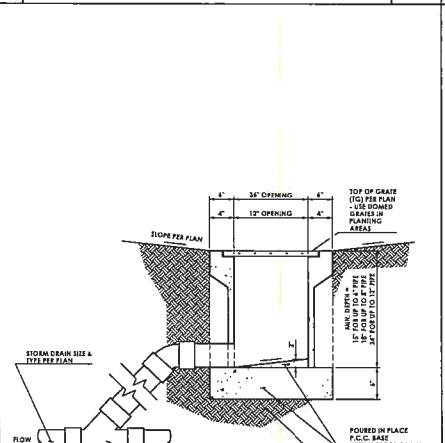
NOTE:
 • USE 2,500 P.S.I. TYPE IV CONCRETE
 • LIGHT BROOM FINISH

7 SEWER CLEANOUT SCALE: N.T.S.

4 CONCRETE TRENCH DRAIN SCALE: N.T.S.

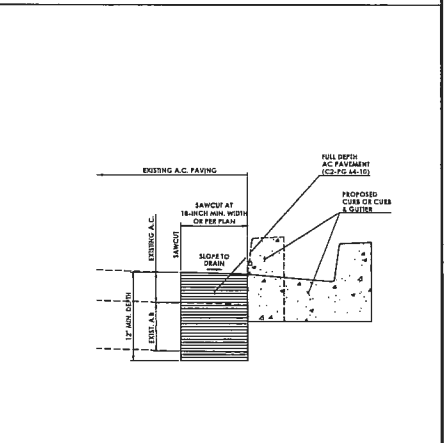


NOTE:
 • USE 4,000 P.S.I. TYPE IV CONCRETE IN TRAFFIC AREAS
 • USE 2,500 P.S.I. TYPE IV CONCRETE IN LANDSCAPE AREAS
 • BACKFILL TO TOP OF 45° BEND WITH SAME MATERIAL AS PIPE BACKFILL

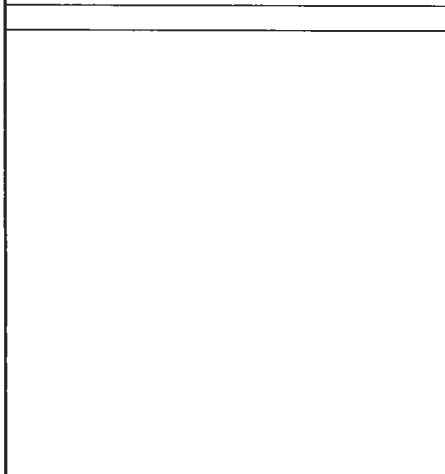


6 STORM DRAIN CLEANOUT SCALE: N.T.S.

3 CATCH BASIN & GRATE SCALE: N.T.S.



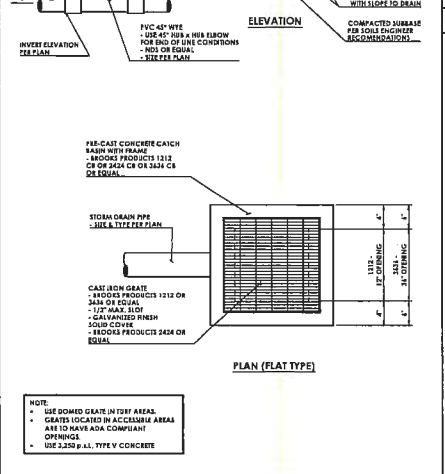
2 FULL-DEPTH DEEP LIFT A.C. PAVING SCALE: N.T.S.



NOTE:
 • SEWER AND WATER MAIN HORIZONTAL SEPARATION IS 18 FEET
 • WATER MINIMUM COVER DEPTH = 3'-0"
 • SEWER MINIMUM COVER DEPTH = 3'-0"
 • SEE PLAN
 • PLACE MARKING TAPE ON ALL BORED PIPING OUTSIDE BUILDING FOOTPRINT

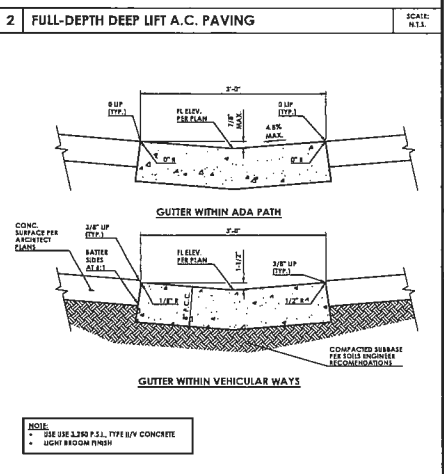
NOTE:
 • TRENCHES ADJACENT AND PARALLEL TO BUILDING FOUNDATIONS SHALL NOT BE BELOW A 1:1 PLANE PROJECTED DOWNWARD FROM THE BOTTOM EDGE OF THE ADJACENT FOOTING AND 10' CLOSER THAN 15' FROM THE FACE OF FOOTING, IF THIS CONDITION OCCURS THE ADJACENT FOOTING SHOULD BE DEEPENED OR THE BUILT CONSTRUCTION AND THE TRENCH BACKFILLED AND COMPACTED PER RECOMMENDATIONS IN THE SOILS REPORT PRIOR TO FOOTING CONSTRUCTION.

5 UTILITY BEDDING SCALE: N.T.S.



NOTE:
 • USE BOMED GRATE IN TRAFFIC AREAS
 • GRATE LOCATED IN ACCESSIBLE AREAS ARE TO HAVE ADA COMPLIANT OPENINGS
 • USE 2,500 P.S.I. TYPE IV CONCRETE

3 CATCH BASIN & GRATE SCALE: N.T.S.



NOTE:
 • USE 2,500 P.S.I. TYPE IV CONCRETE
 • LIGHT BROOM FINISH

1 3' V-GUTTER SCALE: N.T.S.

DETAIL SHEET
 DRAWING NUMBER: **C-0.02**



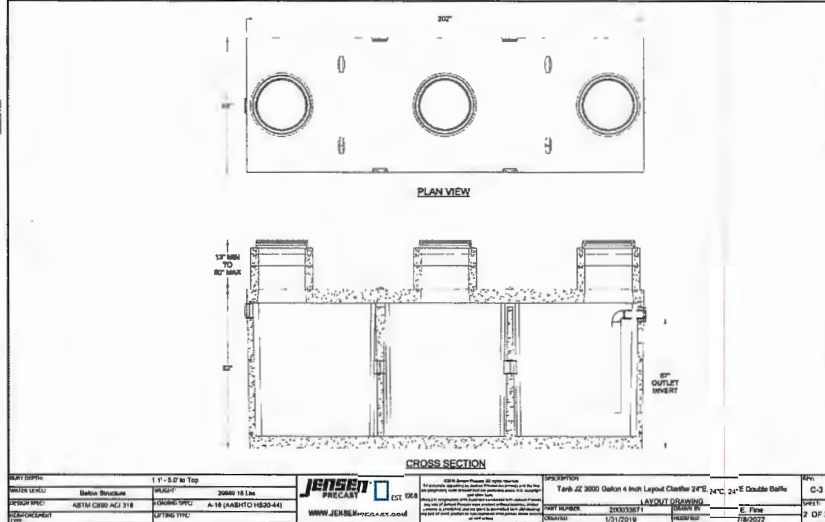
9/25/23

CONSULTANT	
CIVIL ENGINEERING 1111 CONCHATA DR., SUITE 100 COSTA MESA, CA 92626 P: 949-463-8877 E: INFO@CIVTEC.COM	
NO.	DATE
REVISIONS	
DRAWN:	STAFF
CHECKED:	PRC
DATE:	9/25/23
SCALE:	PER PLAN
PROJECT NUMBER:	176-14

DETAIL SHEET

DRAWING NUMBER: **C-0.03**

PLOT DATE: September 27, 2023



DATE: 09/25/23	SCALE: N.E.L.	DESIGNER: JENSEN PRECAST	PROJECT: COSTA MESA FIRE TRAINING CENTER
DATE: 09/25/23	SCALE: N.E.L.	DESIGNER: JENSEN PRECAST	PROJECT: COSTA MESA FIRE TRAINING CENTER

NOTES

#1 IN COMPLIANCE WITH UNIFORM PLUMBING CODE (UPC), INTERNATIONAL PLUMBING CODE (IPC), AND STRUCTURAL LOADING REQUIREMENTS OF ASCE INTERNATIONAL

#2 MINIMUM ONE (1) LAYER OF CONCRETE REQUIRED FOR ALL STRUCTURES

#3 MUST BE INSTALLED PER JENSEN PRECAST UNDERGROUND WATERPROOFING PRECAST CONCRETE TANK INSTALLATION PROCEDURES WHICH CAN BE FOUND AT: www.jensenprecast.com

#4 PER JENSEN PRECAST TANK INSTALLATION PROCEDURES WHICH CAN BE FOUND AT: www.jensenprecast.com

#5 ACCESSIBLE REQUIREMENTS: ENLIGHTENMENT, SITE PREPARATION, INSTALLATION, VENTILATION, AND WATERPROOFING TESTING

ITEM	QTY	PART NUMBER	DESCRIPTION	WEIGHT (LBS)
1	1	1000018V	Tank #2 3000 Gallon 4 Inch Layout CDS Unit	2600
2	1	100018P3	20'-0" Dia. 4 Inch Clarifier 24" C, 34" E Double Dalls	2
3	1	1000018P3	20'-0" Dia. 4 Inch Clarifier 24" C, 34" E Double Dalls	2
4	1	100018P3	20'-0" Dia. 4 Inch Clarifier 24" C, 34" E Double Dalls	2
5	1	100018P3	20'-0" Dia. 4 Inch Clarifier 24" C, 34" E Double Dalls	2
6	1	100018P3	20'-0" Dia. 4 Inch Clarifier 24" C, 34" E Double Dalls	2
7	1	100018P3	20'-0" Dia. 4 Inch Clarifier 24" C, 34" E Double Dalls	2

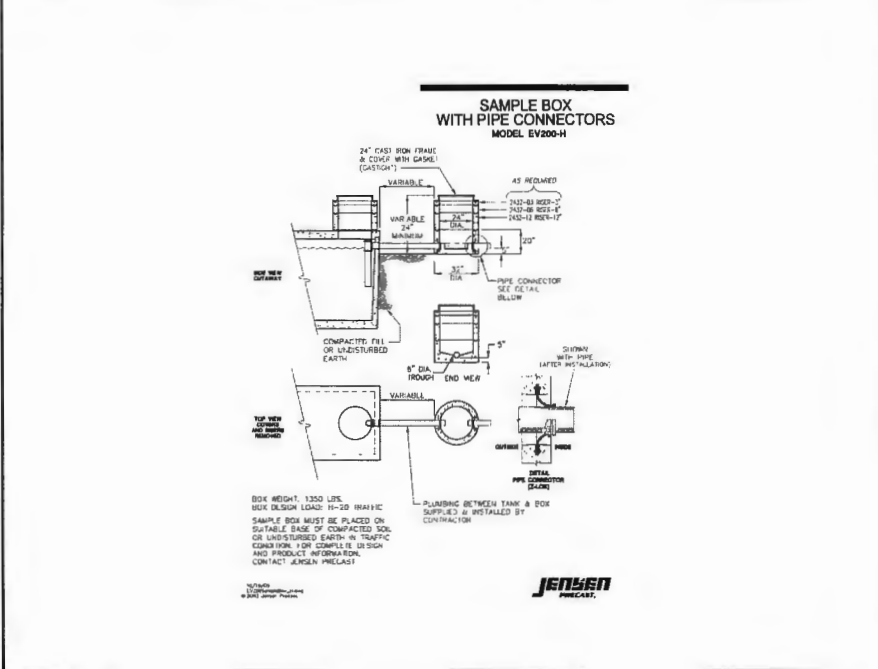
ISO LAYOUT

SECTION

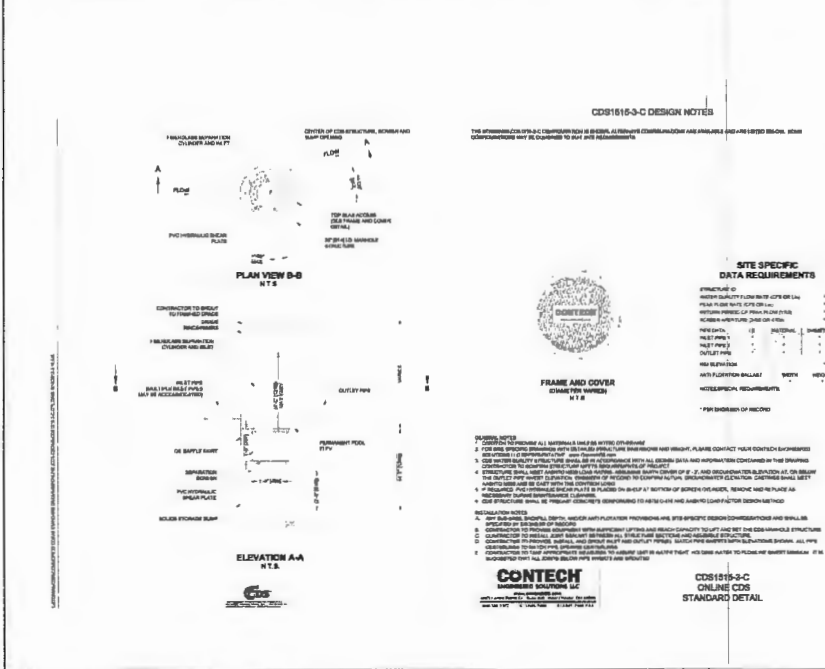
REV	DESCRIPTION	DATE	BY
A	ISSUED FOR CONSTRUCTION	09/25/23	JENSEN
B	TOP SURFACE FINISH UPDATED	09/25/23	JENSEN
C	ACCESSIBLES UPDATED	09/25/23	JENSEN

SPECIFY HEAVY-DUTY TRAFFIC-RATED COVERS

3 3,000 GALLON CLARIFIER



2 SAMPLE BOX



1 HYDRODYNAMIC SEPARATOR (CDS UNIT)

SCALE: N.E.L.

SCALE: N.E.L.



RANCHO CUCAMONGA
8163 RICHMOND AVENUE, SUITE 100
RANCHO CUCAMONGA, CA 91730
909-97-0087 P.

COSTA MESA FIRE TRAINING CENTER
CITY OF COSTA MESA
2300 PLACENTIA AVENUE
COSTA MESA, CA 92627

PROJECT SUMMARY

- DESIGNATION**
1. NAME - REDUNDANT
2. NUMBER - 000000
3. APPROVAL - 000000
- STORAGE SUMMARY**
1. TOTAL STORAGE REQUIRED - 1.00 CF
2. FUEL STORAGE (KEROSENE) - 1.00 CF
3. DIESEL STORAGE (KEROSENE) - 1.00 CF
4. TOTAL STORAGE PROVIDED - 1.00 CF
- PIPE DETAILS**
1. DIAMETER - 12"
2. THICKNESS - .125"
3. SCHEDULE - 40
4. WALL TYPE - PERFORATED
5. MATERIAL - A36
- MANHOLE DETAILS**
1. WIDTH AT TOP - 12"
2. WIDTH AT BOTTOM - 12"
3. HEIGHT - 12"

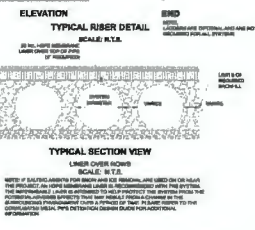
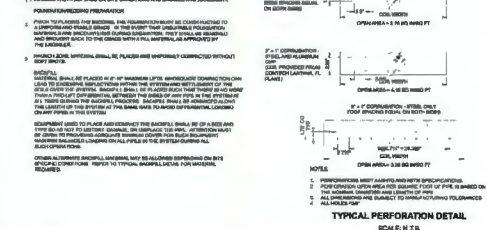
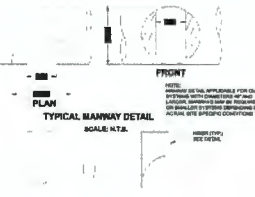
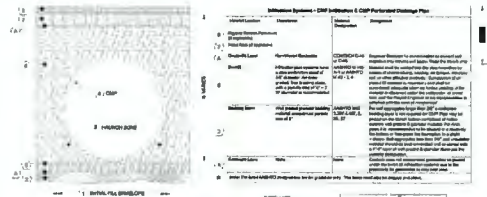
NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND SHALL MAINTAIN THE SAME AT ALL TIMES.
2. ALL MATERIALS SHALL BE STORED AT THE PROJECT SITE AND SHALL BE PROTECTED FROM THE ELEMENTS.
3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL UTILITIES AT ALL TIMES.
4. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL UTILITIES AT ALL TIMES.

CONTECH
CONSTRUCTION TECHNOLOGIES LLC
CONTECH
CAP DETENTION SYSTEMS

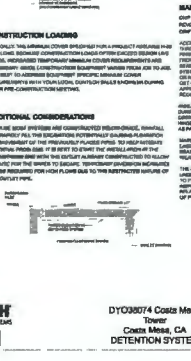
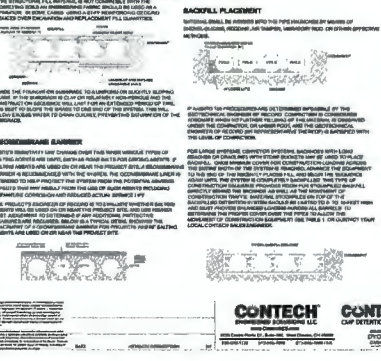
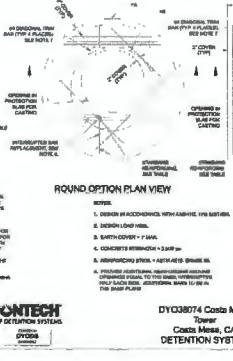
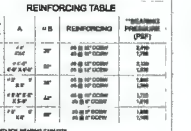
CONTECH
CONSTRUCTION TECHNOLOGIES LLC
CONTECH
CAP DETENTION SYSTEMS

ASSEMBLY
SCALE: 1" = 12'
DYO38074 Costa Mesa
Tower
Costa Mesa, CA
DETENTION SYSTEM



CONTECH
CONSTRUCTION TECHNOLOGIES LLC
CONTECH
CAP DETENTION SYSTEMS

DYO38074 Costa Mesa
Tower
Costa Mesa, CA
DETENTION SYSTEM



CONTECH
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DYO38074 Costa Mesa
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COSTA MESA FIRE TRAINING CENTER
CITY OF COSTA MESA
2300 PLACENTIA AVENUE
COSTA MESA, CA 92627



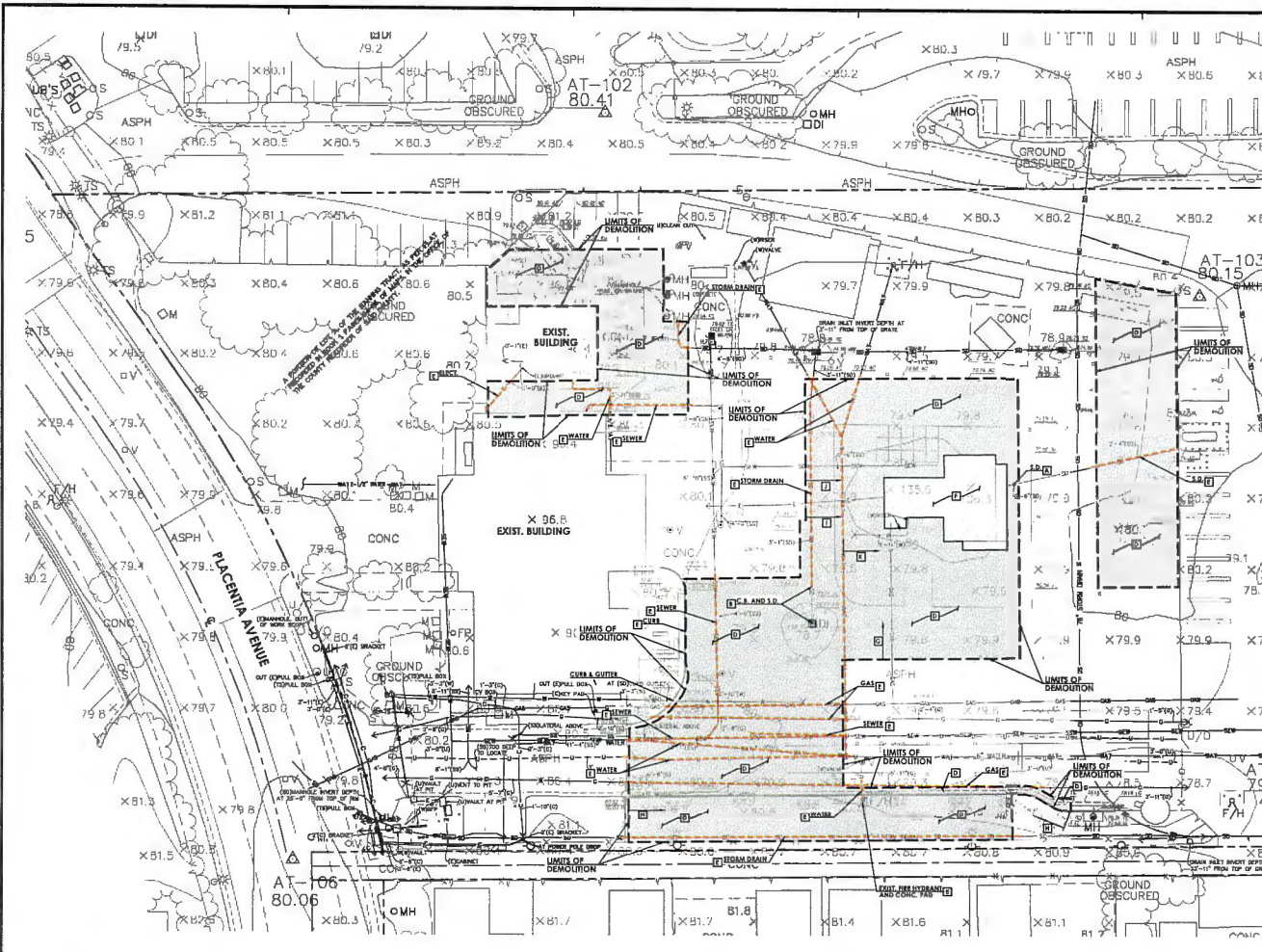
1/25/23

CONSULTANT
CIVITEC
CIVIL ENGINEERING
CONTRACTORS
1111 CORPORATE BLVD SUITE 100
LA BREA, CA 90039
P: 310-443-2922
F: 310-443-0441

NO.	DATE	BY	DESCRIPTION

DRAWN: STAFF CHECKED: INC
DATE: 9/25/2023 SCALE: 1/8"=1'-0"
PROJECT NUMBER: PRJ-14
DEMOLITION PLAN
DRAWING NUMBER: **D-1.01**

PL02DATE: September 27, 2023



DEMOLITION GENERAL NOTES

- CONTRACTOR SHALL CONDUCT A SURVEY OF EXISTING CONDITIONS AND CORRELATE WITH REQUIREMENTS INDICATED TO DETERMINE AND VERIFY THE EXTENT OF DEMOLITION REQUIRED.
- CONTRACTOR SHALL RECORD EXISTING CONDITIONS BY USE OF PRE-CONSTRUCTION PHOTOGRAPHS AND PRE-CONSTRUCTION VIDEOGRAPHS, AS APPROPRIATE.
- A SURVEY SHALL BE PERFORMED AS WORK PROGRESSES TO DETECT HAZARDS RESULTING FROM DEMOLITION ACTIVITIES.
- CONTRACTOR SHALL KEEP INVENTORY AND RECORD THE CONDITION OF ITEMS TO BE REMOVED.
- LOCATE ALL EXISTING UTILITIES WHETHER SHOWN HEREON OR NOT AS THE FIRST ITEM OF WORK AND PROTECT FROM DAMAGE. NOTIFY OWNER IMMEDIATELY IF DAMAGE OCCURS AND ASSUME FULL RESPONSIBILITY FOR REPAIR OF SPAN OR REPLACEMENT. NOTIFY OWNER REPRESENTATIVE IMMEDIATELY SHOULD REPAIR CONDITIONS VARY FROM INFORMATION PROVIDED. RECORD AND REPORT DAMAGE TO THE CITY.
- WITH UNMAPPED ELECTRICAL, STRUCTURAL, OR OTHER ELEMENTS INCLUDING STORM DRAIN, WATER AND SEWER LINES THAT CONTACT WITH INTERFERING DEMOLITION OPERATIONS, CONTRACTOR SHALL INVESTIGATE AND ADJUST THE NATURE AND EXTENT OF CONTACT AND CONTRACTOR SHALL PROMPTLY SUBMIT A WRITTEN REPORT TO THE CITY.
- CONTRACTOR SHALL LOCATE, IDENTIFY, DISCONNECT, AND SEAL OR CAP OFF INDICATED UTILITY SERVICES AND MECHANICAL/ELECTRICAL SYSTEMS AREAS TO BE SELECTIVELY DEMOLISHED AND:
 - SHALL ARRANGE TO SHUT OFF INDICATED UTILITIES WITH UTILITY COMPANIES.
 - IF SERVICES UTILITIES ARE REQUIRED TO BE DISCONNECTED, BEFORE PROCEEDING WITH DEMOLITION CONTRACTOR SHALL PROVIDE TEMPORARY SERVICES/UTILITIES THAT BYPASS AREA OF DEMOLITION AND THAT MAINTAIN CONTINUITY OF SERVICES/UTILITIES TO OTHER PARTS OF BUILDING AND SITE.
 - SEAL OFF PIPS OR CONDUIT IN WALLS TO BE REMOVED. CAP, WATTS, OR PIPES AND SEAL REMAINING PORTION OF PIPES OR CONDUIT AFTER BRASSING. WHERE ENTIRE WALL IS TO BE REMOVED, EXISTING SERVICES/UTILITIES SHALL BE REMOVED WITH REMOVAL OF THE WALL. CONTRACTOR SHALL CUT OFF PIPE OR CONDUIT SO IT WILL NOT BE VISIBLE IN FINISHED CONSTRUCTION.
- CONTRACTOR SHALL PROTECT EXISTING SERVICES/UTILITIES THROUGHOUT DEMOLITION OPERATIONS.
- CONTRACTOR SHALL PROTECT EXISTING UTILITIES SHALL BE DISCONNECTED, REMOVED, AND PLUGGED OR CAPPED SUBJECT TO THE LOCAL GOVERNING AGENCIES.
- ACTIVE UTILITIES SHALL BE PROTECTED TO AND AT THE EXPENSE OF THE CONTRACTOR. KEEP ALL REQUIRED UTILITIES IN OPERATING CONDITION DURING THE ENTIRE PERIOD OF WORK, INCLUDING EXISTING IRRIGATION SYSTEMS FOR LANDSCAPE MAINTENANCE.
- DO NOT WILLFULLY FORCE WORK WITH CONTRACTOR WHEN IT IS OBVIOUS THAT KNOWN OBSTRUCTIONS EXIST THAT MAY NOT HAVE BEEN SHOWN DURING DESIGN. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE. ASSUME RESPONSIBILITY FOR ALL NECESSARY REVISIONS TO PREVENT TO SUCH WORK NOTIFICATION.
- CONTRACTOR SHALL CONDUCT DEMOLITION AND DEMOLITION OPERATIONS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALLS, WATERWAYS, AND OTHER ADJACENT OCCUPIED AND USED FACILITIES.
- CONTRACTOR SHALL PROVIDE TEMPORARY BARBERIES AND OTHER PROTECTION REQUIRED TO PREVENT INJURY TO PEOPLE AND DAMAGE TO ADJACENT BUILDINGS AND FACILITIES TO REMAIN AND:
 - SHALL PROVIDE TEMPORARY WEATHER PROTECTION, DURING THE INTERVAL BETWEEN DEMOLITION OF EXISTING CONSTRUCTION ON EXTERIOR SURFACES AND NEW CONSTRUCTION TO PREVENT WATER DAMAGE AND DAMAGE TO STRUCTURE AND INTERIOR AREAS.
 - SHALL PROTECT WORK THAT IS TO REMAIN OR IS BE EXPOSED DURING DEMOLITION OPERATIONS.
 - SHALL COVER AND PROTECT EQUIPMENT THAT HAS NOT BEEN REMOVED.
- CONTRACTOR SHALL PROVIDE AND MAINTAIN SHORING, BRACING, AND STRUCTURAL SUPPORTS AS REQUIRED TO PRESERVE STABILITY AND PREVENT MOVEMENT, INTERFERENCE, OR COLLAPSE OF CONSTRUCTION AND FINISHES THAT REMAIN, AND TO PREVENT UNEXPECTED OR UNCONTROLLED MOVEMENT OR COLLAPSE OF CONSTRUCTION BEING DEMOLISHED. CONTRACTOR SHALL STRENGTHEN OR ADD NEW SUPPORTS WHEN REQUIRED DURING PROGRESS OF DEMOLITION.
- DEMOLITION AND REMOVAL WORK SHALL BE CAREFULLY PERFORMED TO AVOID DAMAGE TO EXISTING TREES. NOTIFY OWNER ON PLAN TO BRANCH.
- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE LATEST ADOPTED EDITIONS OF THE UNIFORM BUILDING CODE, THE AMERICAN WOOD PRESERVATION ACT, AND ALL OTHER APPLICABLE LOCAL AND STATE CODES, ORDINANCES AND REGULATIONS.
- CONTRACTOR SHALL USE METHODS AND PROCEDURES TO COMPLETE THE WORK WITHIN THE LIMITATIONS OF GOVERNING REGULATIONS AND AS FOLLOWS:
 - SHALL MAINTAIN CUT OPENINGS THROUGHOUT TO COMPLETE THE WORK WITHIN THE DIMENSIONS SPECIFIED. USING CUTTING METHODS LEAST LIKELY TO DAMAGE CONSTRUCTION TO REMAIN OR ADJOINING CONSTRUCTION. USE HAND TOOLS OR SMALL POWER TOOLS DESIGNED FOR SHARPING OR GRINDING. NOT HAMMERS AND CHIPPING, TO AVOID DISTURBANCE OF ADJACENT SURFACES.
 - SHALL CUT OR DRILL FROM THE EXPOSED OR FINISHED SIDE INTO CONCEALED SURFACES TO AVOID MARKING EXISTING FINISHES SURFACE.
 - SHALL NOT USE CUTTING TORCHES UNTIL WORK AREA IS CLEARED OF FLAMMABLE MATERIALS AT CONCEALED SPACES, SUCH AS DUCT AND PIPE INTERIORS. VERIFY CONDITION AND CONTENTS OF NEARBY SPACES BEFORE STARTING FLAME-CUTTING OPERATIONS. MAINTAIN FIRE WATCH AND PORTABLE FIRE SUPPRESSION DEVICES DURING FLAME-CUTTING OPERATIONS.
 - SHALL MAINTAIN ADEQUATE VENTILATION WHILE USING CUTTING TORCHES.
 - SHALL REMOVE EXCAVATED, TRENCH-WALLED, VENTILATED, OR OTHERWISE DANGEROUS OF UNDESIRABLE MATERIALS AND PROMPTLY DISPOSAL OF SITE.
 - SHALL LOCAL DEMOLITION EQUIPMENT AND REMOVE DEBRIS AND MATERIALS SO AS NOT TO IMPOSE EXCESSIVE LOADS ON STRUCTURES TO REMAIN.
- CLEAR THE SITE OF DEBRIS, WELD GROUND, RUBBER, DEBRIS, PAVEMENT, CONCRETE, INACTIVE (OR ABANDONED) FACILITIES (EXCEPT BY THE AGENCY), THAT ARE TO BE REMOVED FOR CONSTRUCTION OF THE SITE IMPROVEMENTS TO THE LIMITS AND DEPTH SHOWN ON PLAN.
- ABANDONED UNDERGROUND FACILITIES (EXCEPT BY THE AGENCY) DEPTH THREE FEET IN DIAMETER AND LARGER, AND HOLES AND BORES WACANT LARGER THAN 4 INCHES IN ANY DIMENSION SHALL BE REMOVED TO A MINIMUM DEPTH OF 12" BELOW FINISH GRADE.
- ALL OBSTRUCTIVE MATERIALS WITHIN THE LIMITS OF THE WORK SHALL BE DEPOSED OF OFF-SITE BY THE CONTRACTOR, WHO SHALL MAKE ALL NECESSARY ARRANGEMENTS AND PAY ALL RELATED COSTS.
- CONTRACTOR SHALL REMOVE DEMOLISHED MATERIALS FROM PROJECT SITE AND LEGALLY DEPOSIT OF THEM AT CONTRACTOR'S EXPENSE IN AN EPA-APPROVED LANDFILL AND:
 - SHALL NOT ALLOW DEMOLISHED MATERIALS TO ACCUMULATE ON-SITE.
 - SHALL REMOVE AND TRANSPORT DEBRIS IN A MANNER THAT WILL PREVENT SPILLAGE ON ADJACENT SURFACES AND AREAS.
- CONTRACTOR SHALL NOT BURN DEMOLISHED MATERIALS.
- CONTRACTOR SHALL CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF DIRT, DUST, AND DEBRIS CAUSED BY DEMOLITION OPERATIONS AND RETURN ADJACENT AREAS TO CONDITION EXISTING BEFORE DEMOLITION OPERATIONS BEGIN.

NOTE TO CONTRACTOR:
CONTRACTOR TO SCHEDULE A SITE WALK WITH THE CITY AND/OR THE CITY ENGINEER TO START OF DEMOLITION TO VERIFY ALL ITEMS TO BE DEMOLISHED.

NOTE TO CONTRACTOR:
ALL UTILITIES SHOULD BE SHUT OFF AND CAPPED PER UTILITY COMPANY REQUIREMENTS.
CONTRACTOR SHALL COORDINATE WITH APPROPRIATE UTILITY COMPANY PRIOR TO COMMENCEMENT OF WORK.

NOTE TO CONTRACTOR:
INSTALL A FOOT CHAIN LINK FENCE WITH WARNING SIGNS AND GATES, WHERE NECESSARY, ALONG THE PERIMETER OF THE SITE AS REQUIRED. CONTRACTOR SHALL PROTECT FENCE AND KEEP IT FULLY SECURE THROUGH DEMOLITION. PROJECT FENCE, GATE, PRIVATE SIGN, FENCE AND CHAIN LINK FENCE SHALL BECOME THE PROPERTY OF THE CITY AND SHALL REMAIN IN PLACE AT THE COMPLETION OF DEMOLITION.

NOTE TO CONTRACTOR:
LOCATION OF EXISTING FACILITIES SHOWN HEREON ARE BASED ON THE EXISTING TOPOGRAPIHIC SURVEY PERFORMED BY CIVITEC, INC. DATED APRIL 2023. FIELD OBSERVATION AND A SEARCH OF AVAILABLE RECORDS AND MAPS NOT EXPRESSING ACTUAL CONDITIONS.
CONTRACTOR MUST FIELD LOCATE ALL UTILITIES (LOCATION AND DEPTH) WITHIN WORK AREA AS A FIRST STEP OF WORK AND VERIFY PROPOSED DESIGN IS VALID.
CONTRACTOR SHALL PROTECT IN PLACE THE UTILITY LINES SHOWN AND ANY OTHER LINES NOT SHOWN OR NOT KNOWN ON THESE PLANS. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE EXISTING UTILITY LINES.
CONTRACTOR TO VERIFY AND PROVIDE THE CITY OF ANY FACILITIES DISCOVERED IN THE FIELD WHICH IS NOT SHOWN ON THIS PLAN, OR DISCOVER IN LOCATION OR BE PLACED TO REMOVAL.

NOTE TO CONTRACTOR:
EXACT LOCATION OF EXISTING UNDERGROUND UTILITY LINES ON-SITE ARE DETERMINED. CONTRACTOR SHALL:
- VERIFY LOCATION, SIZE, DEPTHS AND CONTENTS OF EXISTING UTILITIES AND VERIFY DESIGN AS A FIRST STEP OF WORK. NOTIFY ENGINEER IMMEDIATELY OF ANY CHANGES TO DESIGN.
- CAP EXISTING UTILITIES AT DEMOLITION LIMITS - NOTIFY CITY OF ALL LOCATIONS, SIZES AND INVERT ELEVATIONS AT COMPLETION OF DEMOLITION.
- IF HOLE PITS ARE FOUND WHILE CONSTRUCTION OF EXISTING CABETS THAT ARE REMOVED DURING THE CONSTRUCTION OF THIS PROJECT (OR PIPES ARE DAMAGED OR REMOVED DURING CONSTRUCTION) THAT ARE OUTSIDE OF DEMOLITION LIMITS, NOTIFY ENGINEER IMMEDIATELY OF THE LOCATION AND DEPTHS TO INSURE CONTINUITY OF DRAINAGE UPSTREAM.

DEMOLITION NOTES

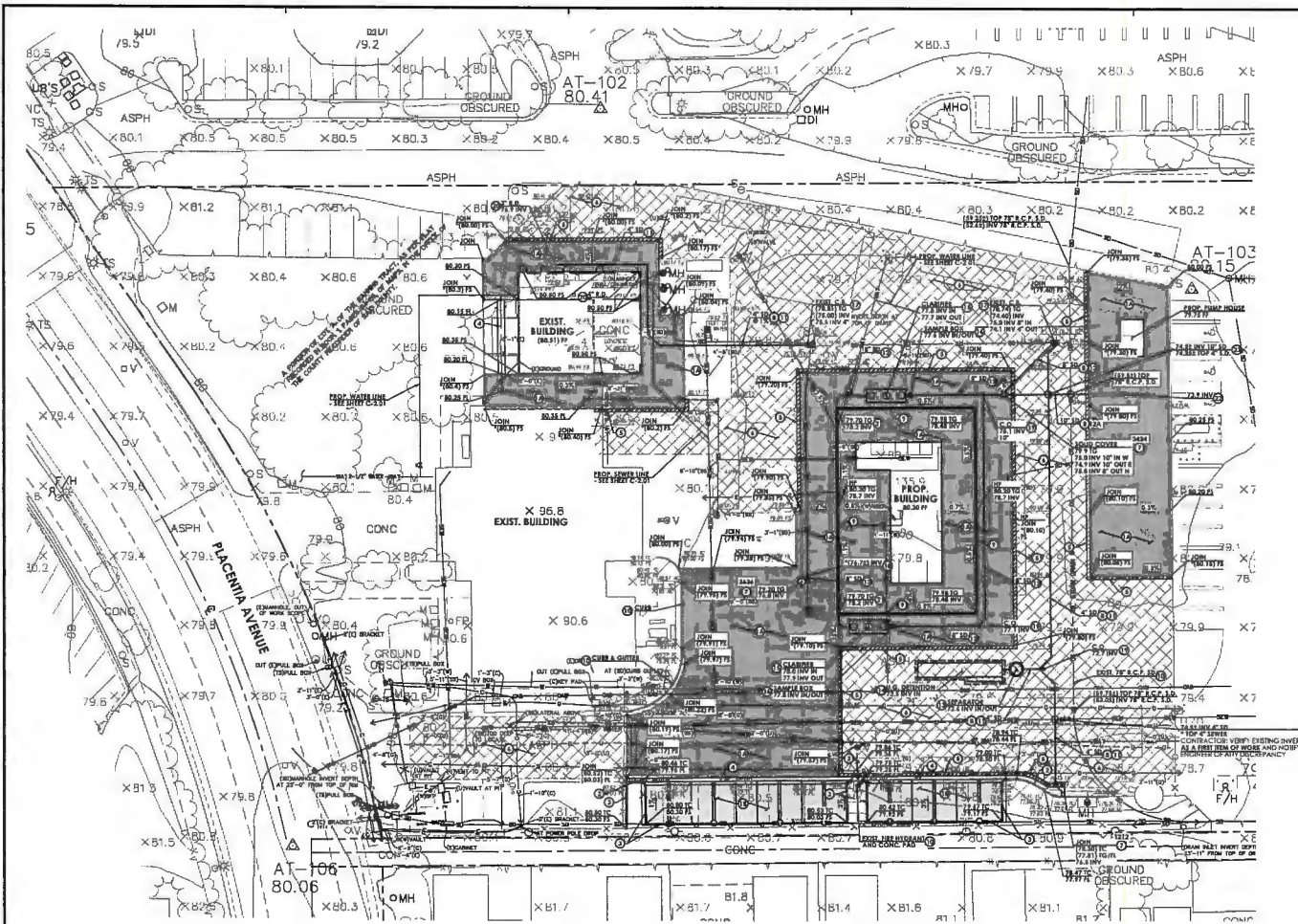
- PLUG AND ABANDON EXISTING STORM DRAIN LINE IN PLACE
- REMOVE EXIST. CATCH BASIN AND PLUG STORM DRAIN FOR FUTURE CONNECTION - SEE SHEET C-1.01
- COURTESY REMOVAL OF EXIST. MISCELLANEOUS ITEMS (COMPLET) AND DISPOSAL ACCORDINGLY
- SAWCUT AND REMOVE EXISTING CONCRETE CONCRETE, A.C.A.B., STAIRS OR PAV (COMPLETE) AND REMOVE FROM PLACE - REMOVE AND LOCATE EXISTING UNDERGROUND UTILITY LINES TO PROTECT AS REQUIRED
- DEMOLISH/REMOVE EXISTING BUILDING, STRUCTURE FOUNDATION, UTILITIES/MECHANICAL AND DISPOSAL
- EXISTING GAS LINE AND/OR APPOINTMENT - COORD. REMOVE WITH THE GAS COMPANY
- SAWCUT AND REMOVE EXISTING CURB OR CURB & GUTTER AND DISPOSE
- CRUI: ELECTRICAL/CAP/RELOC. LINE - SEE ELECTRICAL PLAN FOR CONDUIT CAPPING/REWORKING
- PLUG AND REMOVE EXISTING WATER LINE
- PLUG AND REMOVE EXISTING WATER LINE

* CONSULT RE-ROUTING/CAPPING AS REQUIRED
*** ALL UTILITIES SHOULD BE SHUT OFF AND CAPPED PER UTILITY COMPANY REQUIREMENTS. CONTRACTOR SHALL COORDINATE WITH APPROPRIATE UTILITY COMPANY PRIOR TO COMMENCEMENT OF WORK.
**** SEE THIS REPORT FOR ADDITIONAL DEMOLITION REQUIREMENTS

LEGEND

- LIMITS OF DEMOLITION
- REMOVAL OF EXISTING BUILDING (COMPLETE)
- PROTECT EXISTING UTILITIES IN PLACE





CONTRACTOR TO VERIFY EXISTING ELEVATION PRIOR TO CONSTRUCTION AND NOTIFY CIVIL ENGINEER IMMEDIATELY OF ANY DISCREPANCY.

**** NOTE TO CONTRACTOR:**

VERIFY STEEL SLAB THICKNESS (ASSUMED 4" PCC / VAPOR BARRIER / 2" SAND / 4" CLASS 3 BASE / COMPACTED FILL) IN STRUCTURAL DRAWINGS AND SOILS ENGINEER'S REPORT PRIOR TO CONSTRUCTION AND NOTIFY CIVIL ENGINEER IMMEDIATELY OF ANY DISCREPANCY.

NOTE TO CONTRACTOR:

LOCATE ALL EXISTING UTILITIES AS A PRELIM OF WORK AND PROTECT THEM IN PLACE AS REQUIRED.

NOTE TO CONTRACTOR:

ALL GRADING AND EARTHWORK IS TO BE DONE IN ACCORDANCE WITH THE EARTHWORK SPECIFICATION AND AS DIRECTED BY THE GEOTECHNICAL ENGINEER.



RANCHO CUCAMONGA
8161 ROCHESTER AVENUE, SUITE 100
RANCHO CUCAMONGA, CA 91730
909-897-0909 P

COSTA MESA FIRE TRAINING CENTER

CITY OF COSTA MESA
2300 PLACENTIA AVENUE
COSTA MESA, CA 92627



1/25/23

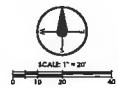
CONSULTANT
CIVITEC
114 CORPORATE DR, SUITE 100
LADERA RANCH CA 92554
P: 949.445.8822
WWW.CIVITEC.COM

NO	DATE	BY	DESCRIPTION

PRECISE GRADING PLAN

DRAWING NUMBER: **C-1.01**

- GENERAL CONSTRUCTION NOTES**
1. CONSTRUCT 4" CONC. PAVING PER ARCHITECT PLAN.
 2. CONSTRUCT CURB & GUTTER PER CITY OF COSTA MESA STD. DWG. NO. 312, C.T. PER PLAN.
 3. CONSTRUCT CURB FOR CITY OF COSTA MESA STD. DWG. NO. 311, C.T. PER PLAN.
 4. CONSTRUCT 2" V-GUTTER PER DETAIL 1, SHEET C-0.02.
 5. CONSTRUCT FULL-DEPTH A.C. PAVING PER DETAIL 2, SHEET C-0.02.
 6. APPLY 3 COATS OF AMIANT EMBLON HALOCAT PER SMPDC SECTION B03-1.
 7. CONSTRUCT CATCH BASIN & CLEAN PER DETAIL 3, SHEET C-0.03.
 8. CONSTRUCT TRENCH RETICULATION FOR CITY OF COSTA MESA STD. DWG. NO. B13.
 9. INSTALL CONCRETE TRENCH DRAIN PER DETAIL 4, SHEET C-0.02.
 10. PROJECT IN PLACE.
 11. CONSTRUCT 4" PVC (SCH 80) STORM DRAIN PIPE, BEDDING PER DETAIL 5, SHEET C-0.02.
 12. CONSTRUCT 6" PVC (SCH 80) STORM DRAIN PIPE, BEDDING PER DETAIL 5, SHEET C-0.02.
 13. CONSTRUCT 12" PVC (SCH 80) STORM DRAIN PIPE, BEDDING PER DETAIL 5, SHEET C-0.02.
 14. INSTALL HYDROPHOBIC ZEPHRAKOTE (CDS UNITS) PER DETAIL 1, SHEET C-0.03.
 15. INSTALL UNDERGROUND PERFORATED DISTRIBUTION SYSTEM PER DETAIL 1, SHEET C-0.04.
 16. INSTALL 3.0" GALLON CLEANER PER DETAIL 1, SHEET C-0.03.
 17. INSTALL 5" SM-1500 BOX PER DETAIL 3, SHEET C-0.03.
 18. COSE INTO EXISTING CATCH BASIN AND CONNECT - WATERPOOF CONNECTION WITH GROUT.
 19. CONNECT TO EXISTING STORM DRAIN.
 20. CONSTRUCT STORM DRAIN CLEAN OUT PER DETAIL 4, SHEET C-0.02.
 21. CONNECT TO BUILDING ROOF DRAIN.
 22. CONNECT TO TRENCH DRAIN.
 23. CONNECT TO UNDERGROUND STORAGE TANK - SEE PLUMBING PLAN.
 24. CONSTRUCT BLANKET PROTECTION FOR PIPES PER 577VC STD. DWG. 228-1.



NOT DATE: SEPTEMBER 28, 2023



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908-987-9008 P

COSTA MESA FIRE TRAINING CENTER
CITY OF COSTA MESA
2300 PLACENTIA AVENUE
COSTA MESA, CA 92627



9/25/23

CONSULTANT

CIVTEC ENGINEERING CONSULTANTS
111 CORPORATE BL. SUITE 100
LAJARA RANCHO CA 92651
P: 949 434 8823
E: info@civtec.com

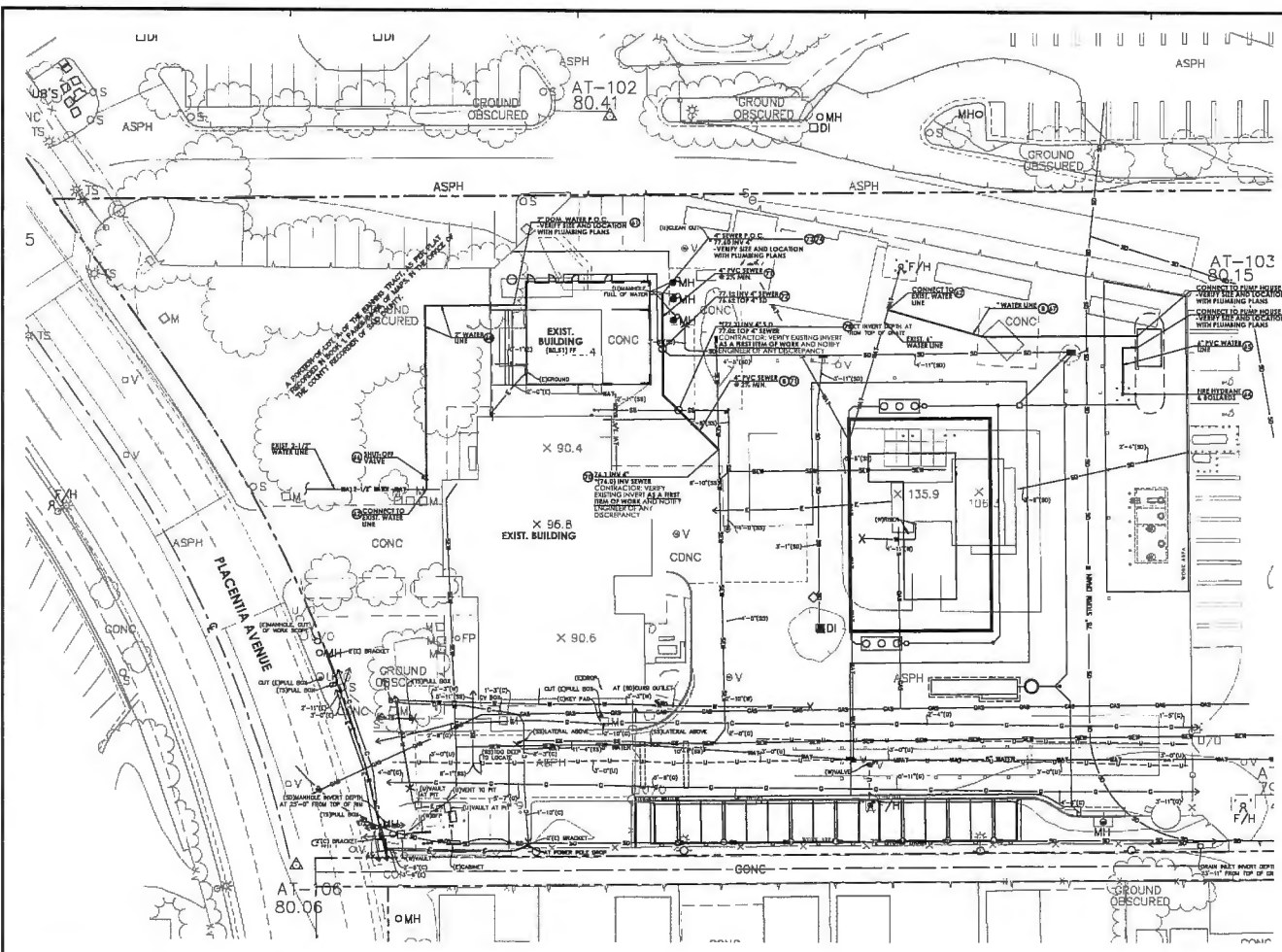
NO	DATE	BY	DESCRIPTION
REVISIONS			

DRAWN: *staff* CHECKED: *ric*
DATE: 10/25/2023 SCALE: PER PLAN
PROJECT NUMBER: 179-14

WATER /SEWER PLAN

DRAWING NUMBER: **C-2.01**

NOT DATE: September 25, 2023



*** NOTE TO CONTRACTOR:**
CONTRACTOR TO VERIFY EXISTING ELEVATION PRIOR TO CONSTRUCTION AND NOTIFY CITY AND CIVIL ENGINEER IMMEDIATELY OF ANY DISCREPANCY.

NOTE TO CONTRACTOR:
VERIFY EXACT SIZE AND LOCATION OF BUILDING WATER F.O.C. WITH PLUMBING DRAWINGS PRIOR TO CONSTRUCTION AND COORDINATE INSTALLATION.

NOTE TO CONTRACTOR:
LOCATE ALL EXISTING UTILITIES AS A FIRST ITEM OF WORK AND PROTECT THEM IN PLACE AS REQUIRED.

EXISTING UNDERGROUND STRUCTURES
THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES OR CONDUITS SHOWN ON THESE PLANS ARE OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS TO THE BEST OF OUR KNOWLEDGE. THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR IS REQUIRED TO TAKE THE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES SHOWN AND ANY OTHER LINES NOT SHOWN OR NOT SHOWN ON THESE PLANS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNERS OF THE UTILITIES OR STRUCTURES CONCERNED BEFORE STARTING WORK. CONTRACTOR FURTHER ASSUMES ALL LIABILITY AND RESPONSIBILITY FOR THE UNDERGROUND UTILITY LEVEL CONDUITS OR STRUCTURES SHOWN OR NOT SHOWN ON THESE PLANS. LOCATE ALL UTILITIES BEFORE CONSTRUCTION.

NOTICE TO CONTRACTOR:
CONTRACTOR TO VERIFY BY FORMING THE EXISTING ELEVATION AND HORIZONTAL LOCATION OF ALL POINTS OF CONNECTIONS AND CROSSINGS PRIOR TO CONSTRUCTION. THE ENGINEER WILL BE NOTICED OF ANY DISCREPANCY IMMEDIATELY.

THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES (UTILITY PIPES, STRUCTURES, ETC.) SHOWN ON THESE PLANS (SHOWN UNDER "NO SERVICE LATERALS") WERE ASCERTAINED BY A REVIEW OF RECORDS PROVIDED BY THESE MEMBER AGENCIES AND ARE APPROXIMATE. WITHIN THE OWNER AND THE ENGINEER ASSUMES ANY RESPONSIBILITY FOR UTILITIES NOT SHOWN OR NOT IN THE LOCATION SHOWN.

THE CONTRACTOR IS REQUIRED TO TAKE THE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES LINES SHOWN AND ANY OTHER LINES NOT OF RECORD OR NOT SHOWN ON THESE PLANS. LOCATIONS OF UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF CONSTRUCTION.

THE QUANTITY ESTIMATE SHOWN HEREON IS FOR THE USE OF GOVERNING AGENCIES IN DETERMINING BOND AMOUNTS AND/OR FEES AND IS NOT TO BE USED FOR BID PURPOSES.

CONSTRUCTION NOTES/ESTIMATE OF QUANTITIES

NO.	DESCRIPTION	QUANTITY
GENERAL CONSTRUCTION NOTES		
1	CONTRACT FRENCH REPLACEMENT PER CITY OF COSTA MESA STD. DWG. NO. 813	115 LF
2	PROTECT IN PLACE	
PRIVATE WATER CONSTRUCTION NOTES		
3	CONTRACT 2" PVC, C-90, CLASS 200 WATER LINE, BEDDING PER DETAIL, MESA WAT. DIST. STD. DWG. 19	150 LF
4	CONNECT WATER LINE TO BUILDING WATER LINE - VERIFY LOCATION WITH PLUMBING PLANS	2 EA
5	CONNECT PRIVATE WATER LINE TO EXIST. LINE	2 EA
6	CONNECT WATER LINE TO PUMP HOUSE - SEE PLUMBING PLANS	2 EA
7	INSTALL FIRE HYDRANT PER MESA WATER DISTRICT STD. DWG. 4 & 4B - CONTRA TYPE OF HYDRANT WITH FREE DEPARTMENT PRIOR TO CONSTRUCTION	1 EA
8	CONTRACT 4" PVC, C-90, DR14, WATER LINE, BEDDING PER DETAIL MESA WAT. DIST. STD. DWG. 18	25 LF
9	CONTRACT 2" SHUT-OFF VALVE IN CONCRETE METER BOX	1 EA
10	CONTRACT 2" PVC, C-90, CLASS 200 WATER LINE, BEDDING PER DETAIL MESA WAT. DIST. STD. DWG. 18	103 LF
PRIVATE SEWER CONSTRUCTION NOTES		
11	CONNECT TO EXIST. SEWER LINE WITH CIP IN SADDLE	1 EA
12	CONTRACT 4" PVC SEWER LINE (FOR SILL BEDDING PER DETAIL E. SHEET C-2-02)	21 LF
13	CONTRACT BLANKET PROTECTION FOR PIPES PER SFWPC STD. DWG. 228-3	2 EA
14	CONTRACT PRIVATE SEWER LINE TO BUILDING SEWER LINE - VERIFY LOCATION WITH BLDG. PLUMBING PLANS	1 EA
15	CONTRACT SEWER CLEANOUT PER DETAIL 7, SHEET C-1-02	1 EA

NOTICE TO THE CONTRACTOR:
THE ESTIMATES OF IMPROVEMENT AND GRADING QUANTITIES AS SHOWN HEREON ARE PROVIDED FOR SATISFYING PLAN CHECK INFORMATION REQUIREMENTS ONLY. THE CONTRACTOR SHALL FURNISH AN INDEPENDENT ESTIMATE OF ALL IMPROVEMENT QUANTITIES INCLUDING GRADING QUANTITIES, AND SHALL USE SAME AS A BASIS FOR THEIR BIDDING AND CONTRACTS.



MESA WATER DISTRICT STANDARD WATER CONSTRUCTION NOTES

- ENGINEERING PLAN CONCERNING THE EXISTING AND PERFORMANCE GUARANTEE BOND SHALL BE PAID AND APPLICATION (A-7) COMPLETED BY THE APPLICANT PRIOR TO THE PLANS AND ISSUANCE OF THE A.P. PER SHALL BE IN ACCORDANCE WITH MESA WATER RATES AND SERVICE SCHEDULE.
- CAPACITY CHANGES SHALL BE COLLECTED BY MESA WATER AT THE TIME OTHER FEES ARE COLLECTED FROM APPROVAL OF PLANS AND SERVICE AGREEMENT. THIS FEE SHALL BE IN ACCORDANCE WITH MESA WATER RATES AND SERVICE SCHEDULE.
- WATER MAINS SHALL BE INSTALLED ACCORDING TO THE LATEST STANDARDS AND SPECIFICATIONS OF MESA WATER.
- CONTRACTOR TO HAVE ON THE JOB SITE, A COPY OF THE LATEST STANDARD SPECIFICATIONS OF MESA WATER.
- CONTRACTOR SHALL SCHEDULE INSPECTIONS A MINIMUM OF 24 HOURS IN ADVANCE AND IN ACCORDANCE WITH THE INSPECTION CHECKLIST REQUIREMENTS. THE SCHEDULE AN INSPECTION, CALL (949) 267-5518.
- A CLASS PERFORMANCE GUARANTEE BOND SHALL BE ISSUED ONE HOUR AFTER MESA WATER'S NOTICE OF COMPLETION TO GUARANTEE WORK PERFORMANCE BY THE CONTRACTOR.
- SEPARATION BETWEEN SANITARY SEWER AND WATER MAINS SHALL BE A MINIMUM OF 10 HORIZONTAL, 1" VERTICAL (LANDSLIDE SERVICE).
- A 15" WATER MAIN SADDLE SHALL BE GRANTED TO MESA WATER FOR MAINTENANCE PURPOSES. 3" FOR WATER SERVICES (1" FOR EACH SIDE OF MAIN). 2" EACH SIDE OF SERVICE. SADDLE DOCUMENTS ARE TO BE SUBMITTED TO MESA WATER FOR APPROVAL PRIOR TO A PERMIT BEING ISSUED.
- SERVICE LATERALS SHALL BE SET TO GRADE BY CONTRACTOR PRIOR TO THE INSTALLATION OF WATER METERS AND BOXES PER MESA WATER STANDARD DRAWINGS 1, 2, & 3.
- WATER METERS SHALL NOT BE INSTALLED NOR WATER TURNED ON UNTIL THE BACKFLOW DEVICES REQUIRED FOR THE BUILDING AND REGULATION SYSTEMS HAVE BEEN INSTALLED, TESTED, APPROVED, AND CERTIFIED. CONTACT CROSS CONNECTION CONTROL AT (949) 431-1011.
- PROTECT EXISTING UTILITIES IN PLACE.
- WATER MAINS SHALL HAVE AT MINIMUM COVER TO FINISH GRADE.
- Raise existing water valve covers to grade per MESA WATER STANDARD DRAWING 14.
- INSTALL FIRE HYDRANT PER MESA WATER STANDARD DRAWING 4, 4A, AND 4B.
- INSTALL SIGN OFF PER MESA WATER STANDARD DRAWING 1.
- WATER MAINS SHALL BE TESTED AT 225 PSI FOR FOUR HOURS.
- BACKFILL MATERIAL IN PIPE TRENCH SHALL HAVE A SAND EQUIVALENT OF 30 OR GREATER.

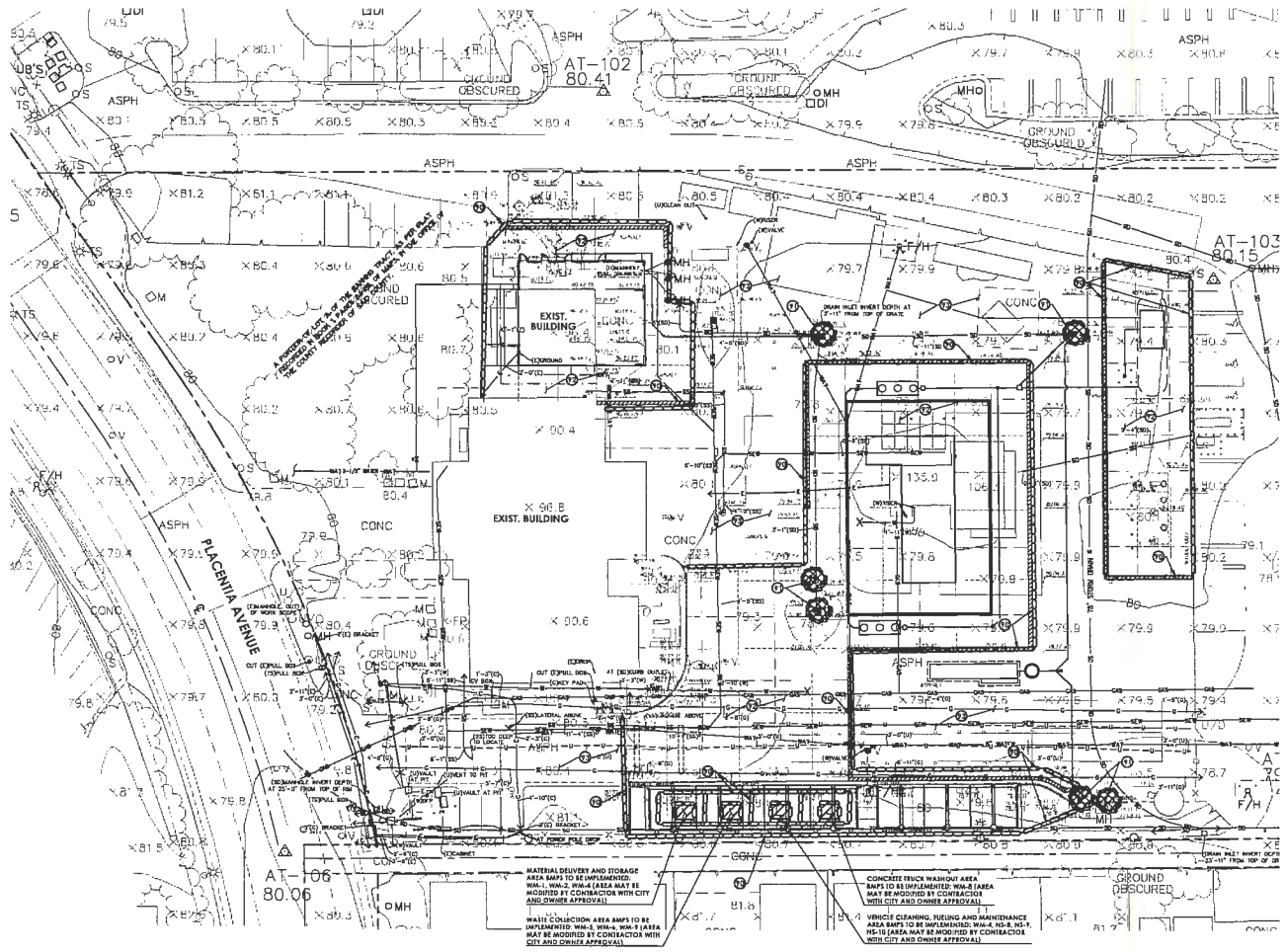
- THE BACKFILL ABOVE THE PIPE TRENCH SHALL BE COMPACTED PER MESA WATER STANDARD DRAWING 18 AND IN CONFORMANCE WITH THE CITY OF COSTA MESA STANDARD DRAWING 813.
- CONTRACT 2" PVC IN CURB FACE TO TIGHTEN WATER SERVICE LOCATION.
- INSTALL INSET AND GRAVITY BLOCKS PER MESA WATER STANDARD DRAWING 11 AND 12.
- CONTRACTOR SHALL VERIFY DEPTH AND LOCATION OF ALL UTILITIES PRIOR TO TRENCHING.
- CONTRACTOR SHALL INSTALL TEMPORARY TAPS FOR TESTING AND CONNECTION FROM TO CONSTRUCTION.
- CONTRACTOR, AT THEIR EXPENSE SHALL REMOVE ALL REMOVED EQUIPMENT TO MESA WATER YARD AND REMOVE OTHER MATERIAL INCLUDING BUT NOT LIMITED TO A.C.P., BROKEN CONCRETE, AND MISC. SOIL.
- WATER METERS AND BOXES SHALL BE INSTALLED BY MESA WATER NOT PAID FOR BY THE APPLICANT/OWNER.
- INTEGRITY METERS SHALL REQUIRE A REDUCED PRESSURE FRENCH ASSEMBLY AND ALL METERED WATER SERVICES TO ANY CONDOMINIUM UNIT OVER TWO STORIES OR FIVE OR MORE UNITS OR ONE METERS SHALL BE LOCATED IN MESA WATER LAWSUIT OR WITHIN 7' OF ANY MESA WATER FACILITY.
- A REDUCED PRESSURE FRENCH ASSEMBLY SHALL BE REQUIRED ON METERED WATER SERVICES TO ALL INDUSTRIAL AIR SERVICE.
- A DOUBLE CHECK DETECTOR ASSEMBLY WITH COMBINATION FLOW METER WILL BE REQUIRED ON FIRE LINE SERVICES. PER MESA WATER STANDARD DRAWING 22A.
- FRENCH SERVICES SHALL NOT BE TURNED ON UNTIL THE MESA WATER ENGINEERING DEPARTMENT HAS RECEIVED A LETTER FROM THE OWNER OF OWNER'S AUTHORIZED AGENT, REQUESTING IT AND STATION THAT THE PLUMBING IS READY FOR THE FRENCH TO BE TURNED ON. THE LETTER SHALL ALSO CONTAIN MESA WATER'S FILE NUMBER, SIZE, AND SERIAL NUMBER OF THE FRENCH AND PRESSURE ADDRESS.
- IF A 120 SPINNER SYSTEM IS NOT A FLOW THROUGH SYSTEM, THEN A TESTABLE BACKFLOW DEVICES SHALL BE INSTALLED NEXT TO THE BUILDING. MESA WATER SERVICE SHALL VERIFY FLOW THROUGH SYSTEM BY TURNING OFF THE HOUSE VALVE AND CHECKING FOR FLOW THROUGH CONNECTION ILL. TIGHT OR 10MP.



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8161 ROCHESTER AVENUE, SUITE 100
RANCHO CUCAMONGA, CA 91730
626-987-2903 F

COSTA MESA FIRE TRAINING CENTER

CITY OF COSTA MESA
2300 PLACENTIA AVENUE
COSTA MESA, CA 92627



- GENERAL NOTES**
- EROSION CONTROL SHALL BE REQUIRED FOR GRADING OPERATIONS DURING THE RAINY SEASON (OCTOBER 15TH THROUGH APRIL 15TH)
 - SLOPES CONSIDERED FROM 1% TO 10% SHALL BE TREATED PER EROSION CONTROL PLAN FROM 10% TO 15% SLOPE CONTROL PER EROSION CONTROL PLAN FROM 15% TO 20% SLOPE CONTROL PER EROSION CONTROL PLAN FROM 20% TO 25% SLOPE CONTROL PER EROSION CONTROL PLAN FROM 25% TO 30% SLOPE CONTROL PER EROSION CONTROL PLAN FROM 30% TO 35% SLOPE CONTROL PER EROSION CONTROL PLAN FROM 35% TO 40% SLOPE CONTROL PER EROSION CONTROL PLAN FROM 40% TO 45% SLOPE CONTROL PER EROSION CONTROL PLAN FROM 45% TO 50% SLOPE CONTROL PER EROSION CONTROL PLAN FROM 50% TO 55% SLOPE CONTROL PER EROSION CONTROL PLAN FROM 55% TO 60% SLOPE CONTROL PER EROSION CONTROL PLAN FROM 60% TO 65% SLOPE CONTROL PER EROSION CONTROL PLAN FROM 65% TO 70% SLOPE CONTROL PER EROSION CONTROL PLAN FROM 70% TO 75% SLOPE CONTROL PER EROSION CONTROL PLAN FROM 75% TO 80% SLOPE CONTROL PER EROSION CONTROL PLAN FROM 80% TO 85% SLOPE CONTROL PER EROSION CONTROL PLAN FROM 85% TO 90% SLOPE CONTROL PER EROSION CONTROL PLAN FROM 90% TO 95% SLOPE CONTROL PER EROSION CONTROL PLAN FROM 95% TO 100% SLOPE CONTROL PER EROSION CONTROL PLAN
 - THE DESIGN CIVIL ENGINEER HAS REVIEWED AND APPROVED EROSION CONTROL WORKS IN ACCORDANCE WITH THE APPROVED PLANS.
 - IN CASE OF EMERGENCY, CALL _____
- (RESPONSIBLE PERSON)
[FIRM NAME]
[24 HOUR TELEPHONE]
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND SHALL PREVENT THE RELEASE OF IMPROVED WATER OR PUBLIC AREAS ON THE CREATION OF HAZARDOUS CONDITIONS
 - THE CONTRACTOR SHALL CONDUCT THE OPERATIONS SO THAT RUNOFF TO ANYWHERE WITHIN THE PROJECT AREA OR CHANNELLED INTO THE STORM DRAIN SYSTEM WHICH SERVES THE BAYVIEW AREA. STORM RUNOFF FROM ONE AREA SHALL NOT BE DIVERTED TO ANOTHER AREA
 - NO CHANGES TO EXISTING OR NATURAL DRAINAGE COURSES SHALL BE PERMITTED DURING THE RAINY SEASON UNLESS THE APPROVED DRAINAGE FACILITIES HAVE BEEN COMPLETELY CLEARING AND GRADING SHALL BE LIMITED TO AREAS THAT WILL RECEIVE IMMEDIATE GRADING
 - EROSION CONTROL MEASURES SHALL BE REQUIRED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD UNLESS OTHERWISE SPECIFIED
 - DEBULGING SHALL BE CONDUCTED AS INDIVIDUAL BROUGH GRADING AREAS ARE COMPLETED
 - GRADED AREAS AROUND THE TRACT PERMITTEE SHALL DRAIN AWAY FROM THE TOP OF THE SLOPE AT THE CONCLUSION OF EACH WORKING DAY.
 - TEMPORARY EROSION PROTECTION SHALL BE REQUIRED FOR MANUFACTURED SLOPES PRIOR TO PERMANENT FINISHING.
 - FLARE AREAS DURING PERIODS OF COMPLETION FROM TO FINAL GRADE. SHALL BE PROTECTED TO LIMIT EROSION AND THE RISK OF DOWNSLOPE FROM PROTECTIVE MEASURES SHALL INCLUDE TEMPORARY SLOPE PROTECTION USING PILES OF FAYED DIRT WITH PROTECTED SLOPES. SLOPES SHALL BE PROTECTED WITH CHECK DAMS. LANDS BAG PROTECTED SHALL NOT BE BROUGHT TO GRADE UNTIL PROTECTIVE CHANNELS GRADING TO CHECK RUNOFF AWAY FROM AREAS WHERE EROSION IS NOT UNDERTAKEN.
 - PROJECT AREA AS WELL AS ADJACENT PROPERTY AREAS SHALL REMAIN FREE AT ALL TIMES
 - EQUIPMENT AND PERSONNEL FOR EMERGENCY WORK SHALL BE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON. NECESSARY MATERIALS SHALL BE STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE ACCESS TO THE PROJECT SITE.
 - REMOVE PROTECTIVE DEVICES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN THE SOFT RAIN PROBABLY WILL OCCUR OR BEFORE
 - DEVICES SHALL NOT BE MOVED OR MODIFIED WITHOUT APPROVAL FROM THE CITY ENGINEER OR PUBLIC WORKS INSPECTOR.
 - AFTER A RAINFALL, SILT AND DEBRIS SHALL BE REMOVED FROM CHECK DAMS, SILT FENCES AND OTHER IMPACTED AREAS.
 - AN UPDATED COPY OF THIS PLAN SHALL BE KEPT AVAILABLE TO THE CITY AT THE PROJECT SITE.
 - INFORMATION ON THIS PLAN IS FOR EROSION CONTROL ONLY. THE CITY ENGINEER MAY MODIFY THIS PLAN AS NECESSARY FOR THE PROTECTION OF THE PROJECT.
 - APPROVAL OF THIS PLAN SHALL NOT RELIEVE THE CONTRACTOR OF RESPONSIBILITIES TO THE USE OF ADEQUATE PROTECTIVE MEASURES TO PREVENT CONTIGUOUS AREAS FROM BEING DAMAGED OR HAZARDOUS TO PUBLIC OR PRIVATE PROPERTY IMPACTED BY THE CONSTRUCTION ACTIVITIES.
 - APPROVAL OF THIS PLAN SHALL NOT RELIEVE THE DEVELOPER OF THE RESPONSIBILITY FOR THE CORRECTION OF ERRORS AND OMISSIONS DISCOVERED DURING CONSTRUCTION. UPON REQUEST, THE REQUIRED EVIDENCE SHALL BE FURNISHED FOR APPROVAL.

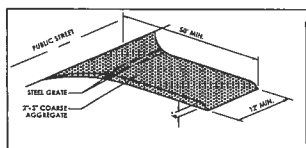
- GRAVEL BAGS:**
- GENERAL: GRAVEL BAGS SHALL INCLUDE PROVIDING ALL LABOR, MATERIAL, AND EQUIPMENT TO FABRICATE AND INSTALL GRAVEL BAGS AS REQUIRED TO FACILITATE THE CONTROL OF EROSION.
 - LOCATION: GRAVEL BAGS SHALL BE PLACED PER PLAN AND IN LOCATIONS SPECIFIED BY THE CITY, AND IN LOCATIONS DEEMED NECESSARY BY THE CONTRACTOR.
 - MANUFACTURE: GRAVEL BAGS SHALL BE FABRICATED USING FACTORY-MANUFACTURED BAGS OF HEAVY POLYPROPYLENE TREATED TO RESIST DEGRADATION BY ULTRAVIOLET LIGHT AND HAVING SUFFICIENT RESISTANCE TO Tearing TO ALLOW ELONGATION OF BAGS WITHIN 30 MONTHS OF INITIAL PLACEMENT WITH A LOSS OF NOT MORE THAN FIVE PERCENT OF THE BAGS SHALL BE FILLED WITH SUBORDINATE TO ROUND GRAVEL LESS THAN 3/4 INCH IN DIAMETER. WITH LESS THAN FIVE PERCENT OF MATERIAL PASSING A # 20 SIEVE. THE FILLED BAGS SHALL HAVE THE OPEN ENDS SECURELY FASTENED PRIOR TO INSTALLATION.
 - INSTALLATION: GRAVEL BAGS SHALL BE INSTALLED IN A SIDE BY SIDE MANNER TO ENTAIL SIFT AND ADD ADD TO OVER THE TOP EDGE OF WATER NOTwithstanding THE OTHER REQUIREMENTS OF THIS SPECIFICATION. FAILURE OF THE BAGS TO PERFORM THIS FUNCTION SHALL BE REASON TO REJECT THESE INSTALLATION.
- GRAVEL BAGS SHALL BE INSTALLED WITH THE HIGHEST FACE AGAINST THE GROUND SURFACE OR THE UNDERLYING CORNER OF BAGS, AND FIELDED IN PLACE TO CONFORM TO THE UNDERLYING SURFACE. THE BAGS SHALL BE PLACED WITH THE OPEN ENDS TO THE "UPHILL" OR DOWNSTREAM DIRECTION. ACCORDING AT THE BOTTOM OR BACK DOWNSTREAM BAG. SIFT ENDS WILL BE TUCKED UNDER BAG. SUBSEQUENT BAGS WITHIN ONE COURSE OF BAGS SHALL BE PLACED AS TO REST UPON THE TOP EDGE OF THE PREVIOUSLY PLACED BAG. WITH NOT LESS THAN 10 PERCENT OF THE BAGS IN CONTACT WITH THE PREVIOUS BAG, AND NOT MORE THAN 30 PERCENT IN CONTACT.
- SUBSEQUENT COURSES OF BAGS SHALL BE PLACED AS DESCRIBED PREVIOUSLY, WITH THE MID-POINT OF THE BAGS STRADDLING THE JOINTS OF BAGS IN THE UNDERLYING BOW.
- CONSTRUCTION OF A GRAVEL BAG BEAN PERPENDICULAR TO THE DIRECTION OF FLOW SHALL INCORPORATE BAGS PLACED IN A 75 DEGREE CONFIGURATION WITH ALL INDIVIDUAL BAGS ORIENTED PERPENDICULAR TO THE DIRECTION OF FLOW. THE BEAN SHALL BE CONSTRUCTED WITH A SPECIFIED NUMBER OF ROWS AT THE BOTTOM OR CONTACT WITH THE GROUND. WITH SUFFICIENT PILES DOWN IN EACH OVERLAPPING COURSE. THE UPSTREAM AND DOWNSTREAM FACES OF THE BEAN SHALL BE NO GREATER THAN 10 FEET HORIZONTAL TO 1 VERTICAL.
- DAMAGES WHICH COULD FORESEEABLY BE PREVENTED BY PROPER GRAVEL BAG INSTALLATION SHALL BE THE CONTRACTOR'S RESPONSIBILITY.

- EROSION CONTROL NOTES**
- A SENSORY CHECK FOR EMERGENCY WORK SHALL BE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON. NECESSARY MATERIALS SHALL BE AVAILABLE ON SITE AND STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE ACCESS TO THE PROJECT SITE.
 - DEVICES SHALL NOT BE MOVED OR MODIFIED WITHOUT THE APPROVAL OF THE CITY ENGINEER.
 - ALL REMOVABLE PROTECTIVE DEVICES SHOULD BE IN PLACE AT THE END OF EACH WORKING DAY WHEN THE FIRE-DAY RAIN PROBABLY WILL OCCUR EXCEED 40 PERCENT.
 - AFTER A RAINFALL, ALL SILT AND DEBRIS SHALL BE REMOVED FROM CHECK DAMS, SILT FENCES AND OTHER IMPACTED AREAS.
 - ALL GRADED AREAS AROUND THE TRACT PERMITTEE SHALL DRAIN AWAY FROM THE TOP OF THE SLOPE AT THE CONCLUSION OF EACH WORKING DAY.
 - A GUARD SHALL BE POSTED ON THE SITE WITHIN THE DEPTH OF WATER IN ANY DEVICES EXCEED TWO FEET.
 - DURING GRADING OPERATIONS AND PRIOR TO CONSTRUCTION OF PERMANENT DRAINAGE STRUCTURES TEMPORARY DRAINAGE CONTROL SHALL BE PROVIDED TO PREVENT FLOODING WATER AND DAMAGE TO ADJACENT PROPERTIES.
 - ALL EXISTING DRAINAGE CHANNELS ON THE PROJECT SITE MUST CONTINUE TO FUNCTION. ESPECIALLY DURING STORM CONDITIONS. PROTECTIVE MEASURES AND TEMPORARY DRAINAGE PROVISIONS MUST BE USED TO PROTECT ADJACENT PROPERTIES DURING CONSTRUCTION.

- EROSION CONTROL CONSTRUCTION NOTES**
- INSTALL GRAVEL BAGS (SE-8)
 - INSTALL STORM DRAIN INLET PROTECTION (SE-10)
 - APPLY SOIL BINDERS TO DISTURBED INACTIVE AREAS (EC-5) - APPLIES TO ENTIRE SITE
 - IMPLEMENT STREET SWEEPING AND VACUUMING (SE-7)



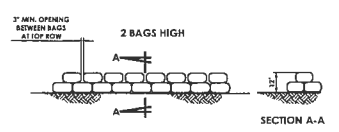
- CONSTRUCTION SITE-WATER MITIGATION MEASURES (BMP)**
- THE FOLLOWING BMP'S AS OUTLINED IN BUT NOT LIMITED TO THE BEST MANAGEMENT PRACTICES HANDBOOK, CALIFORNIA SUSTAINABLE QUALITY LAND DEVELOPMENT, CALIFORNIA 2015 OF THE LATEST EDITION, SHALL APPLY DURING THE CONSTRUCTION OF THIS PROJECT. ADDITIONAL MEASURES MAY BE REQUIRED IF DETERMINED APPROPRIATE BY CITY INSPECTORS.
- NS-1 WATER CONSERVATION PRACTICES
 - NS-2 DEWATERING OPERATIONS
 - NS-3 FERTILIZER MANAGEMENT
 - NS-4 PESTICIDE MANAGEMENT
 - NS-5 FUEL AND EQUIPMENT MAINTENANCE
 - NS-6 CONCRETE CURING
 - NS-7 CONCRETE FINISHING
 - WS-1 WIND EROSION CONTROL
 - TC-1 STABILIZED CONSTRUCTION ENTRANCE
 - SE-1 ENTRANCE OUTLET THE WALL
 - SE-2 SIFT FENCE
 - SE-3 CHECK DAMS
 - SE-4 PIER FIELDS
 - SE-5 GRAVEL BAGS BEAN
 - SE-6 STRIP BARBERS
 - SE-7 STORM DRAIN INLET PROTECTION
 - SE-8 SLOTTING
 - SE-9 PRESERVATION OF EXISTING VEGETATION
 - SE-10 Silt BINDERS
- NOTE: LOCATIONS TO BE DETERMINED BY CONTRACTOR AND APPROVED BY CITY INSPECTOR



NOTE: PLACE 4" PVC DRAIN PIPE IN EXISTING GUTTER FLOWING WITH 1/2" GAP AT DOWNFALLS OR STREET CURBS & GUTTER DRAINAGE FLOW IN GUTTER.

NOTE: A BUNNAGE RACK IS REQUIRED AT BOTH ENTRIES TO THE SITE UNTIL THE ASPHALT HAS BEEN INSTALLED.

NOTE: CONTRACTOR SHALL REPAIR ALL DAMAGED CURBS & GUTTERS IN PUBLIC RECORD OR WAIT FOR THE SATISFACTION OF THE CITY PRIOR TO PROJECT CLOSE-OUT.



TC-1 STABILIZED CONSTRUCTION ENTRANCE

SE-8 GRAVEL BAG DETAILS

9/25/23

CIVITEC
111 COMMERCE BLVD, SUITE 100
LAKERS RAMPO, CA 92534
P: 949.448.0872
F: 949.448.0873

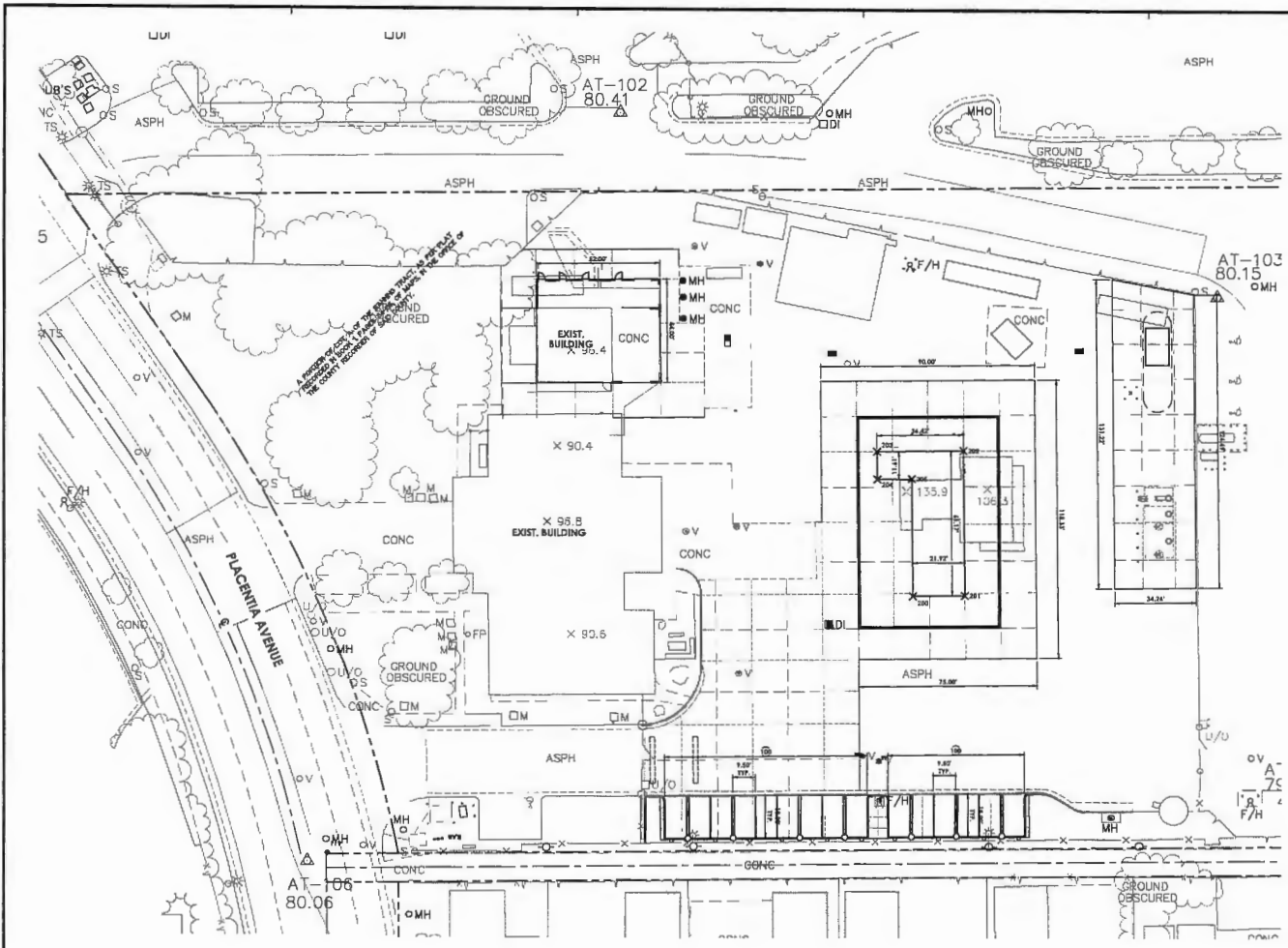
NO	DATE	BY	DESCRIPTION
REVISIONS			

DRAWN: JHAM | CHECKED: TIC
DATE: 7/25/2022 | SCALE: PER PLAN
PROJECT NUMBER: 179.11

EROSION CONTROL PLAN

DRAWING NUMBER: **C-3.01**

COSTA MESA FIRE TRAINING CENTER
CITY OF COSTA MESA
2300 PLACENTIA AVENUE
COSTA MESA, CA 92627



NOTE TO CONTRACTOR:

A. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR PROVIDING COMPLETE, TIMELY AND ACCURATE FIELD LAYOUT OF THE PROPOSED SITE IMPROVEMENTS INCLUDING, BUT NOT NECESSARILY LIMITED TO, HORIZONTAL AND VERTICAL CONTROL AND DIMENSIONAL COORDINATION AS NECESSARY TO CONSTRUCT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE SURVEY WORK SHALL BE PERFORMED BY A LICENSED LAND SURVEYOR AND SHALL PROVIDE FOR THE SURVEY AND FLAGGING OF ALL CONSTRUCTION ELEMENTS INCLUDING BUT NOT LIMITED TO EXISTING LOCALITIES, PAVING DECKS/AUGMENTED FINISH WALLS, LIGHT FIXTURES, SIGNAL MOW CURBS, SINKING, SHADE STRUCTURES, PLAY FIELDS AND APPROPRIANCES, CURBS AND GUTTER ALIGNMENTS, CATCH BASINS, DEANS, ETC.

B. AN AUTOCAD-COMPATIBLE DWG FILE OF THE PROPOSED IMPROVEMENTS SHALL BE PROVIDED TO THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION FOR HIS USE IN PREPARING THE NECESSARY FIELD EXISTING / LAYOUT OF PROPOSED IMPROVEMENTS. THE USE OF THIS DIGITAL FILE SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND IS INTENDED TO ASSIST THE SURVEYOR IN THE LAYOUT OF THE PROPOSED IMPROVEMENTS.

THESE ELECTRONIC FILES ARE NOT CONSTRUCTION DOCUMENTS. DIFFERENCES MAY EXIST BETWEEN THESE ELECTRONIC FILES AND CORRESPONDING HARD COPY CONSTRUCTION DOCUMENTS ISSUED FOR PUBLIC USE. IN THE EVENT THAT A CONFLICT ARISES BETWEEN THE SIGNED OR SEALED HARD COPY CONSTRUCTION DOCUMENTS AND THE ELECTRONIC FILES, THE SIGNED OR SEALED HARD COPY CONSTRUCTION DOCUMENTS SHALL GOVERN. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING IF ANY CONFLICT EXISTS AND SHALL BRING ANY DISCREPANCIES TO THE PROJECT LANDSCAPE ARCHITECT'S ATTENTION PRIOR TO ANY FIELD LAYOUT. BY THE CONTRACTOR'S USE OF THESE ELECTRONIC FILES, THEY ARE NOT RELIEVED OF THEIR DUTY TO FULLY COMPLY WITH THE CONTRACT DOCUMENTS, INCLUDING, AND WITHOUT LIMITATION, THE NEED TO CHECK, CONTROL, AND COORDINATE ALL DIMENSIONS AND DETAILS. TAKE FIELD MEASUREMENTS, VERIFY FIELD CONDITIONS, AND COORDINATE THE WORK WITH THAT OF OTHER CONTRACTORS FOR THE PROJECT.

THE DIGITAL INFORMATION PROVIDED BY CIVTEC SHALL NOT BE USED FOR ANY PURPOSE OTHER THAN THAT FOR THE PROJECT DESCRIBED ABOVE AND SHALL NOT BE RELEASED TO ANY OTHER PARTY WITHOUT THE WRITTEN CONSENT OF CIVTEC. THE INFORMATION CONTAINED ON THE ELECTRONIC MEDIA IS AN INSTRUMENT OF PROFESSIONAL SERVICE AND SHALL REMAIN THE PROPERTY OF CIVTEC.

- GENERAL NOTES**
- CONTRACTOR SHALL REFERENCE ARCHITECTURAL AND/OR LANDSCAPE PLANS FOR ADDITIONAL LANDSCAPE REQUIREMENTS AND DETAILS.
 - CONTRACTOR SHALL REMOVE AND DISPOSE OF EXISTING LANDSCAPE AND MAKE ANY IMPROVEMENTS AS NECESSARY TO CONSTRUCT IMPROVEMENTS SHOWN HEREON.
 - ALL SIDEWALKS, CURB RETENAIL AND ACCESS POINTS SHALL MEET TITLE 24 AND AMERICANS WITH DISABILITIES ACT (ADA) REQUIREMENTS.

POINT TABLE

POINT #	DESCRIPTION	EASTING	NORTHING
113	3188788.17	420614.74	
117	3188792.23	420618.85	
119	3188793.34	420622.97	
206	3188792.84	420618.78	
261	3188793.04	420617.87	
262	3188791.20	420617.32	
263	3188793.06	420618.97	
264	3188791.19	420618.91	
265	3188791.43	420618.19	

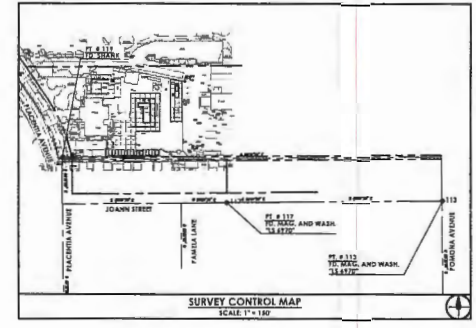
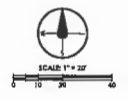
BENCHMARK
COUNTY OF ORANGE BENCH MARK NO. "CM-81-04"
ELEV.: 79.411' (NAVDSM, 2006 LEVISED)
DESCRIBED BY OCS 2004 - FOUND 3.31' (OCS) ALUMINUM BENCHMARK DISE BRANDED "CM-81-04", SET IN THE NORTHWEST CORNER OF AN 8 FT. BY 4 FT. CONCRETE CATCH BASIN. MONUMENT IS LOCATED IN THE SOUTHWEST PORTION OF THE INTERSECTION OF PLACENTIA AVENUE AND THE INTERSECTION TO BRENDA HIGH SCHOOL, 32 FT. WEST OF THE CENTERLINE OF PLACENTIA AND 23 FT. 50/100TH OF THE CENTERLINE OF THE ENTRANCE DRIVEWAY TO BRENDA HIGH SCHOOL. MONUMENT IS SET LEVEL WITH THE SURFACE.

BASIS OF BEARINGS
THE BEARINGS SHOWN HEREON ARE BASED UPON THE CENTERLINE OF JOHNS ST. HAVING A BEARING OF N 89°37'00" E. PER TRACT MAP NO. 14127, RECORDED IN BOOKS 474, PAGES 8 AND 9. ORIGINAL RECORDS OF COUNTY OF ORANGE.

SIGNING/STRIPING CONSTRUCTION NOTES & ESTIMATED QUANTITIES

NO.	DESCRIPTION	QUANTITY
1	PAINT PARKING STRIPING PER ARCHITECT PLANS	14

NOTICE TO THE CONTRACTOR
THE ESTIMATES OF IMPROVEMENT AND SIGNING QUANTITIES AS SHOWN HEREON ARE PROVIDED FOR SATISFYING PLAN CHECK INFORMATION REQUIREMENTS ONLY. THE CONTRACTOR SHALL FURNISH AN INDEPENDENT ESTIMATE OF ALL IMPROVEMENT QUANTITIES INCLUDING GRADING QUANTITIES, AND SHALL USE SAME AS A BASIS FOR HIS BIDS AND CONTRACT(S).



7/25/23

CIVTEC
CIVIL ENGINEERING
111 CORPORATE DR., SUITE 100
COSTA MESA, CA 92626
P: 949-463-8827
E: info@civtec.com

NO.	DATE	BY	DESCRIPTION
REVISIONS			

DRAWN: STAFF CHECKED: TRC
DATE: 7/26/2023 SCALE: PER PLAN
PROJECT NUMBER: 170-14

HORIZONTAL CONTROL PLAN

DRAWING NUMBER: **C-4.01**

PLOT DATE: 6 September 2023



RANCHO CUCAMONGA
8163 ROCHESTER AVENUE, SUITE 100
RANCHO CUCAMONGA, CA 91730
909-987-0900 P

COSTA MESA FIRE TRAINING CENTER

CITY OF COSTA MESA
2300 PLACENTIA AVENUE
COSTA MESA, CA 92627

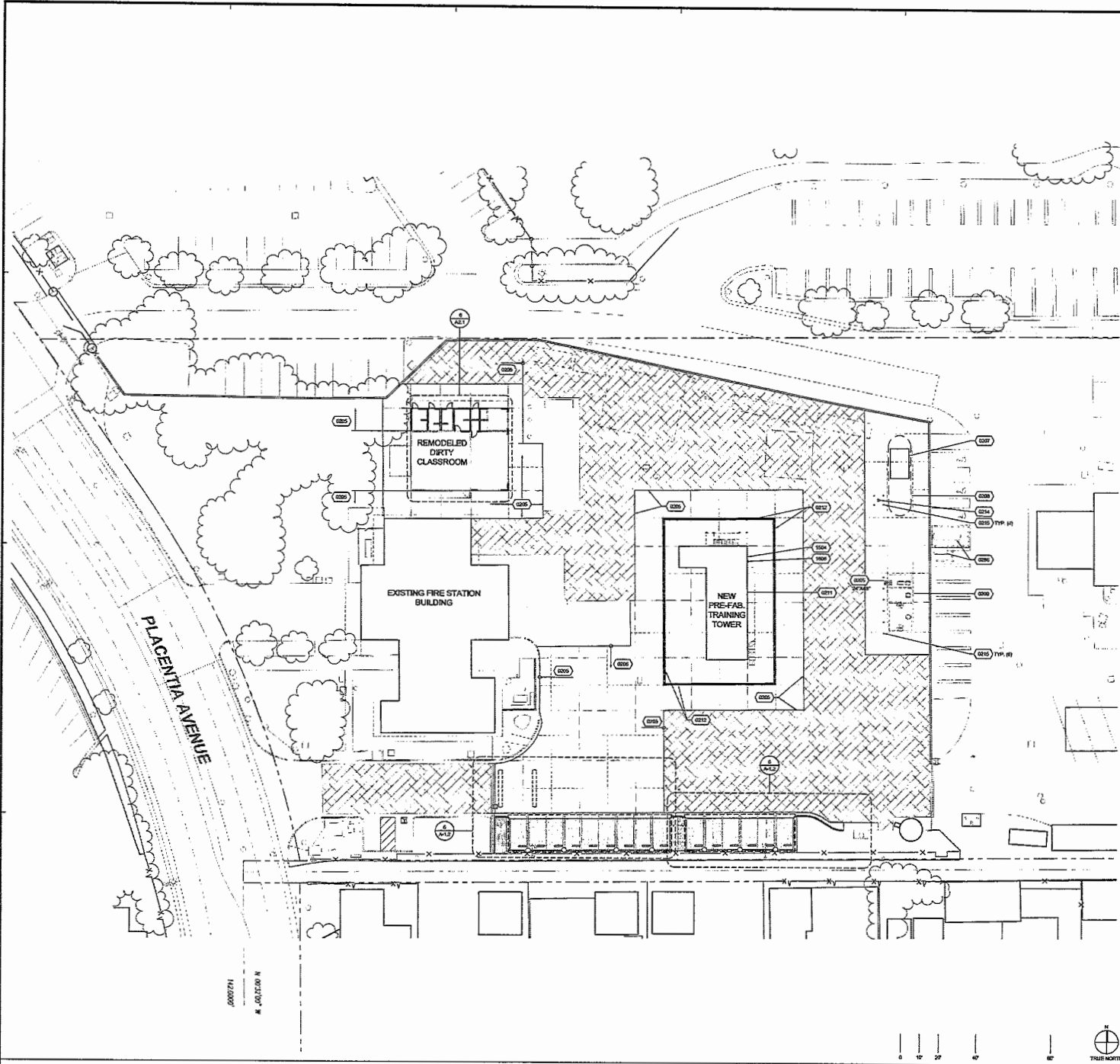


CONSULTANT

NO	DATE	BY	DESCRIPTION

DRAWN: KWC CHECKED: KN
DATE: 09/29/2023 SCALE: AS NOTED
PROJECT NUMBER: 230075

SITE PLAN
DRAWING NUMBER: **A1.1**



- CONCRETE PAVING, 4,000 PSI, 6" THICK WITH #4 REBAR @ 18" O.C. EACHWAY
CONCRETE JOINT C/J, SEE 170A.3
CONCRETE JOINT C/J, SEE 170A.3
- CONCRETE SIDEWALK, 4,000 PSI, 6" THICK WITH #4 REBAR @ 18" O.C. EACHWAY
CONCRETE JOINT C/J, SEE 170A.3
CONCRETE JOINT C/J, SEE 170A.3
- SAW CUT JOINT C/J, SEE 170A.3
EXPANSION JOINT E/J, SEE 170A.3
- SUBGRADE OVER EXISTING ASPHALT PAVING
- STAMPED POLYMER-CURED GRANITE, 4" THICK CURBS SET BY DECORATIVE STONE COURSE ON EQUAL, OVER COMPACTED SUBGRADE

- GENERAL NOTES**
- REFER TO CIVIL, PLUMBING, AND ELECTRICAL DRAWINGS FOR ADDITIONAL SITE AND UTILITY WORKS.
 - RESTORE FINISH SURFACE TO MATCH ORIGINAL CONDITIONS AFTER TRENCHING AND UTILITY INSTALLATIONS.
- TRAINING TOWER RELATED SCOPE BY GENERAL CONTRACTOR:**
- DEMOLISH EXISTING TRAINING TOWER STRUCTURE AND FOOTING.
 - OVERCADAUTION.
 - BACKFILL AND PROVIDE A CERTIFIED PAD.
 - STAKE ALL CORNERS OF THE NEW TRAINING TOWER.
 - INSTALL SITE ELECTRICAL CONDUITS AND CONDUCTORS AND STUB OUT AT ELECTRICAL PANEL LOCATION.
 - INSTALL SITE GAS/PNEUMATIC PIPES AND STUB OUT AT POC POINT OF CONNECTION WITHIN NEW TRAINING TOWER.
 - INSTALL ELECTRICAL PANEL, LIGHT FIXTURES, SWITCHES, RECEPTACLES INSIDE NEW TRAINING TOWER. POC CONDUITS SHALL BE USED. ELECTRICAL COMPONENTS TO BE AT LEAST 18 FEET AWAY FROM BURN AREA.
 - SEE ELECTRICAL AND PLUMBING DRAWINGS FOR MORE INFORMATION.
 - COORDINATE WITH OWNER Hired HWP TOWER CONTRACTOR.
- SCOPE FOR OWNER Hired HWP TOWER CONTRACTOR:**
- TOWER FOOTING TRENCH EXCAVATION.
 - CONSTRUCT NEW TRAINING TOWER FOOTING AND STRUCTURE.
 - INSTALL CONDUITS AND CONDUCTORS FROM ELECTRICAL PANELS TO BURN PROP AND BARGE CONNECTIONS/ANCHORS.
 - INSTALL PROPANE LINE FROM POC INSIDE TRAINING TOWER AND CONNECT TO CLASH B BURN PROP.

- LEGEND & GENERAL NOTES** 3
- 8" THK, REINFORCED CONCRETE PAVING, SEE LEGEND
 - PUMP HOUSE, SEE PLUMBING DRAWINGS
 - UNDERGROUND WATER STORAGE TANK, SEE PLUMBING DRAWINGS
 - PUMP TEST PIT, SEE DRAWING A1.3
 - FIRE TRAINING TOWER, O.U.L. COORDINATE WITH OWNER
 - TRENCH GRAB, SEE CIVIL DRAWINGS
 - TRAINING FIRE HYDRANT, SEE CIVIL
 - TUBE STEEL BOLLARD, SEE 16A.1.3
 - PROTECT IN PLACE (I) PROPANE TANK
 - PROPANE STUB-OUT, SEE PLUMBING DRAWINGS
 - ELECTRICAL PANEL, TYPICAL, SEE ELECTRICAL DRAWINGS

REFERENCE NOTES 4

SITE PLAN



0000751
4_00.00.00 N



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8163 ROCHESTER AVENUE, SUITE 100
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909-97-0000

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COSTA MESA, CA 92627



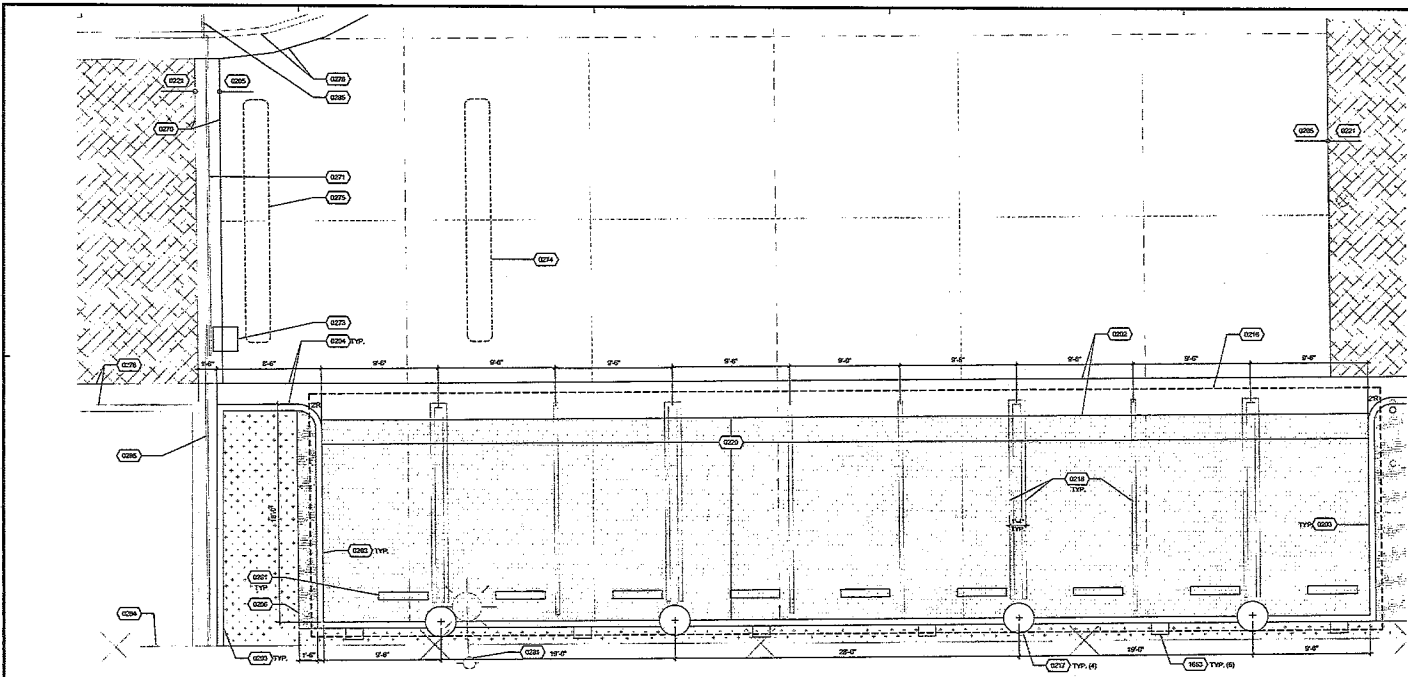
CONSULTANT

NO	DATE	BY	DESCRIPTION
REVISIONS			

DRAWN: SY CHECKED: KJH
DATE: 09/29/2023 SCALE: AS NOTED
PROJECT NUMBER: 230175

ENLARGED SITE PLAN

DRAWING NUMBER: **A1.2**



ENLARGED SITE PLAN

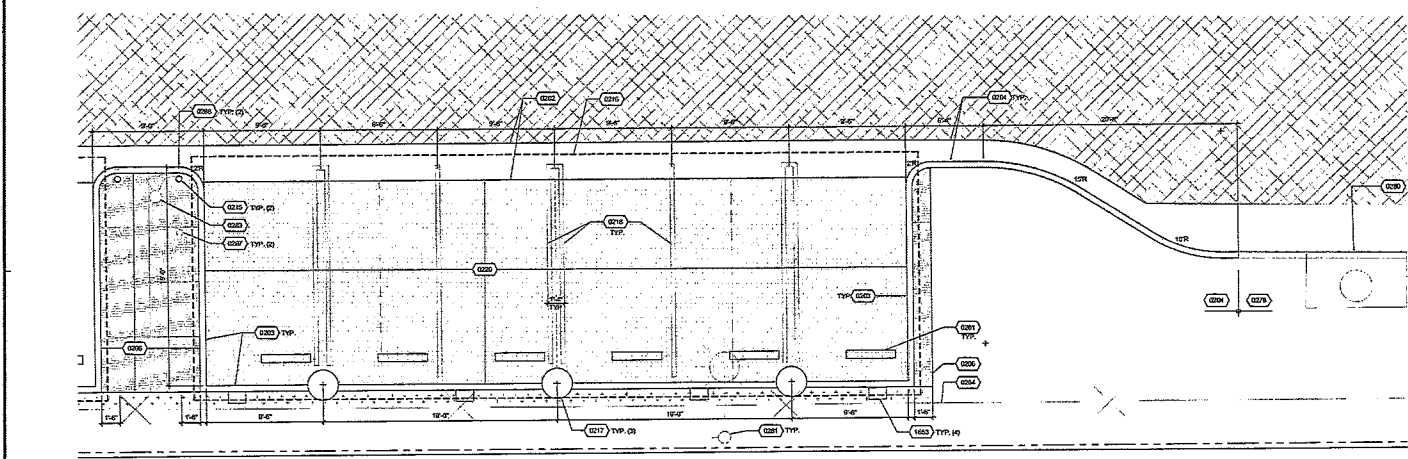
1/4" = 1'-0"

6

LEGEND

2

- 0202 CONCRETE GUTTER, SEE CIVIL DRAWINGS
- 0203 CONCRETE CURB, TYPICAL, SEE CIVIL DRAWINGS
- 0204 CONCRETE CURBS AND GUTTER, TYPICAL, SEE CIVIL DRAWINGS
- 0205 8" THK. REINFORCED CONCRETE PAVING, SEE LEGEND
- 0206 4" THK. REINFORCED CONCRETE PAVING, SEE LEGEND
- 0207 TUBE STEEL BOLLARD, SEE 16A1.3
- 0208 OUTLINE OF CARPORT STRUCTURE ABOVE, SEE DRAWING A1.4
- 0209 CARPORT STRUCTURE COLUMN BASE, SEE DRAWING A1.4
- 0210 4" WIDE PARKING STRIPING, PAINTED WHITE
- 0211 6" THK. REINFORCED CONCRETE PAVING, SEE LEGEND
- 0212 ASPHALT SLURRY COAT OVER (E) ASPHALT PAVING
- 0213 WHEEL STOP, SEE 16A1.3
- 0214 PROTECT IN PLACE (E) CONCRETE PAVING
- 0215 PROTECT IN PLACE (E) ROLLING GATE AND TRACK
- 0216 REINSTALL (E) GATE OPERATOR, RESTORE ALL CONNECTIONS
- 0217 CONCRETE ENCASED EXIT LOOP, CONNECTED TO GATE OPERATOR
- 0218 PROTECT IN PLACE (E) CONCRETE CURB / CURB AND GUTTER
- 0219 PROTECT IN PLACE (E) DRAIN STRUCTURE
- 0220 PROTECT IN PLACE (E) LIGHT STANDARD
- 0221 PROTECT IN PLACE (E) FIRE HYDRANT
- 0222 PROTECT IN PLACE (E) CHAINLINK FENCE
- 0223 PROTECT IN PLACE (E) T.S. FENCE
- 0224 PROTECT IN PLACE (E) BOLLARD
- 0225 DELETE (E) BOLLARD AND FOOTING
- 0226 PULL BOX FOR FUTURE EV CHARGING STATION, SEE ELECTRICAL



ENLARGED SITE PLAN

1/4" = 1'-0"

8

REFERENCE NOTES

2



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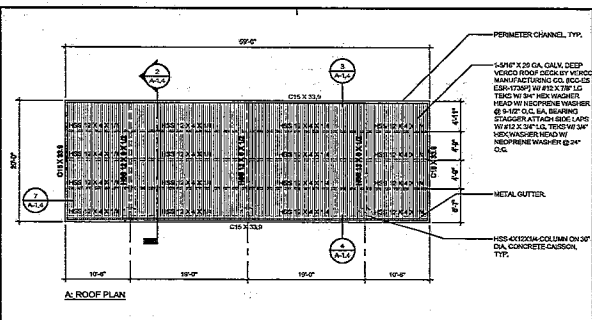
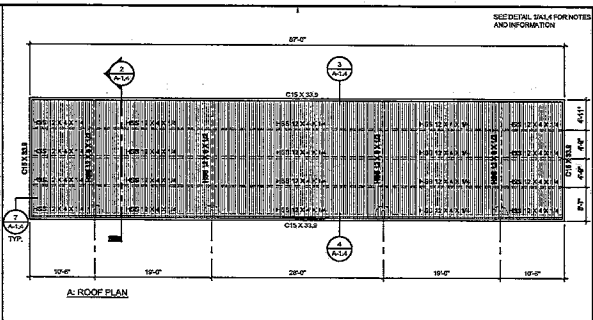
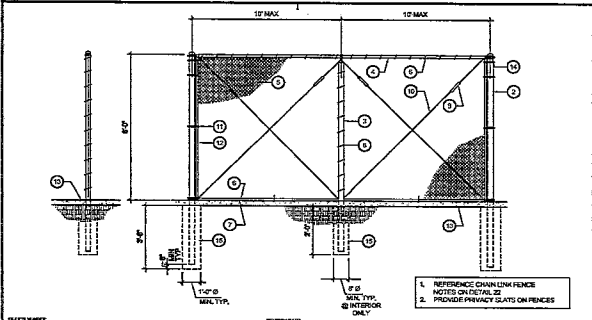
CONSULTANT

NO	DATE	BY	DESCRIPTION

DRAWN: SY CHECKED: KVN
 DATE: 05/25/2023 SCALE: AS NOTED
 PROJECT NUMBER: 230075

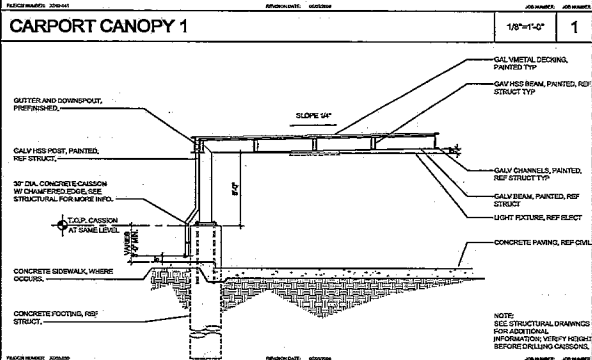
SITE DETAILS

DRAWING NUMBER: **A1.4**



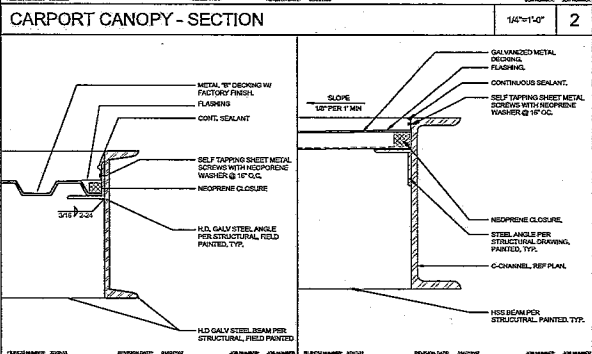
CHAINLINK FENCING	1/2"=1'-0"	17	CARPORT CANOPY 2	1/8"=1'-0"	9	CARPORT CANOPY 1	1/8"=1'-0"	1
<p>KEYNOTES FOR CHAIN LINK FENCE DETAILS:</p> <ol style="list-style-type: none"> 3"x3" GALVANIZED STEEL ANCHOR BOLT EMBEDDED INTO CONCRETE 1/2" MIN. BETWEEN POSTS, TYP. 2 7/8" O.D. GALV. FENCE POST (2 1/2" DIA. UNCL. ANGLE & CORNER POST), TYP. 3/8" O.D. GALVANIZED STEEL LINE POST AND HORIZONTAL (2 1/2" DIA. UNCL. ANGLE), TYP. 1 1/2" O.D. GALVANIZED STEEL HORIZONTAL RAIL (2 1/2" DIA. UNCL. ANGLE), TYP. 2"x2" MESH 1/2" GA. GALVANIZED FENCE FABRIC WITH ANCHORED TOP AND BOTTOM STANCHION FABRIC TO BE GALVANIZED BEFORE HEAVING GALVAN. TYP. 8 GA. (2 1/4" DIA.) GALVANIZED STEEL WIRE OR HOE RINGS AT 1' O.C. MAX. SPACING. MINIMUM OF 8 THE WIRE FOR EA. 17' HORIZONTAL RAIL, TYP. 7 GA. (1 3/4" DIA.) GALVANIZED STEEL TENSION WIRE, TYP. 8 GA. (2 1/4" DIA.) GALVANIZED STEEL POST CLIP AT 16" MAX. SPACING MIN. OF 5 POST CLIPS FOR 4 POSTS. MIN. OF 10 POST CLIPS FOR 10' POST, TYP. GALVANIZED ADJUSTABLE TURNBUCKLE FOR 3/8" DIA. TRUSS ROD, TYP. 3/8" GALV. STEEL ADJUSTABLE TRUSS ROD TRUSS RODS ARE REQUIRED FOR ALL GATE POST PANELS AND END OF CORNER POST PANELS, TYP. GALVANIZED STRETCHER BOLT TENSION BAND AT 12" MAX. SPACING. MIN. OF 6 TENSION BANDS FOR 7' POSTS AND 20 TENSION BANDS FOR 30' POSTS, TYP. 1/4" x 1/4" GALVANIZED STEEL STRETCHER BOLT, TYP. EXISTING PAVING, PATCH AND REPAIR AS REQUIRED TO MATCH ADJACENT CONCRETION. GALV. RAINPROOF CAP, TYP. CONCRETE FOOTING, TYP. 								

CHAINLINK FENCING KEYNOTES	X18	22			14			10
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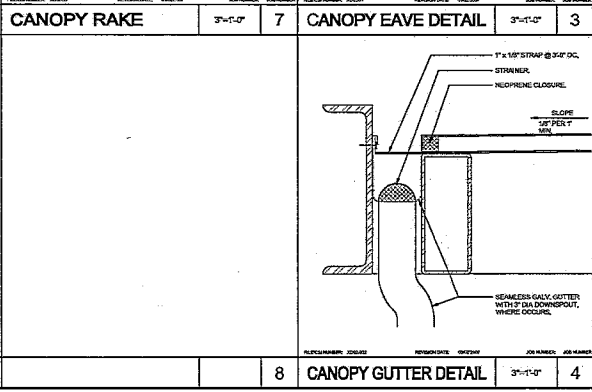
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					16			12
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					16			12
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 909-467-0009 F

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CONSULTANT

NO	DATE	BY	DESCRIPTION
REVISIONS			

DRAWN: SY CHECKED: KN
 DATE: 09/29/2023 SCALE: AS SHOWN
 PROJECT NUMBER: 230075

DIRTY TRAINING CLASSROOM BLDG DEMO PLANS

DRAWING NUMBER: **A2.1D**

ROOM #	ROOM NAME
E101	PARAMEDIC APPARATUS STORAGE

ROOM LEGEND 1

- FLOOR PLAN LEGEND**
- PROTECT IN PLACE (P) WALL
 - ===== (E) WALL, CONCRETE CORE, FIRESTOP, SHEATHING, INSULATION AND EVERYTHING INSIDE TO BE REMOVED. REPAIRS ELECTRICAL OR PLUMBING AS REQUIRED TO MAINTAIN ORIGINAL FUNCTION
 - E - - - - - (R) DOOR / WINDOW / FRAME TO BE REMOVED

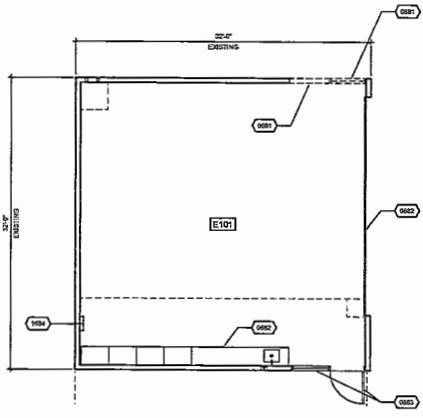
- REFLECTED CEILING PLAN LEGEND**
- PROTECT IN PLACE (P) LIGHT FIXTURES
 - PROTECT IN PLACE (P) PLASTER FINISH

- ROOF PLAN LEGEND**
- PROTECT IN PLACE (P) PVC ROOFING
 - ▽ PROTECT IN PLACE (P) GYPSUM

MATERIAL LEGEND 2

- (R2) REMOVE (E) WALL FINISH AND FRAMING. PREPARE OPENING FRAMING TO RECEIVE NEW DOOR
- (R2) PROTECT IN PLACE (P) CASERWORK
- (R2) REMOVE (E) FLASHING STRIP / METAL FLASHING / COPING. PREPARE TO RECEIVE (R) CORING
- (R2) PROTECT IN PLACE (P) FLASHING STRIP / METAL FLASHING
- (R2) REMOVE (E) WINDOW FRAME. FILL OPENING W/ WOOD STUD FRAMED WALL AND FINISH MATCHING ADJACENT WALL
- (R2) PROTECT IN PLACE (P) ROLL-UP DOOR
- (R2) PROTECT IN PLACE (P) DOOR / WINDOW / FRAME
- (R2) PROTECT IN PLACE (P) ROOF DRAIN & OVERFLOW DRAIN
- (R2) PROTECT IN PLACE (P) EXHAUST GRILLE
- (R2) PROTECT IN PLACE (P) EXHAUST FAN
- (R2) PROTECT IN PLACE (P) ELECTRICAL PANEL

NOTES
 1. SEE STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR ADDITIONAL RECESSED OR SURFACE MOUNTED EQUIPMENT.
 2. SEE DETAIL UNITS FOR SIGNAGE SCHEDULE.



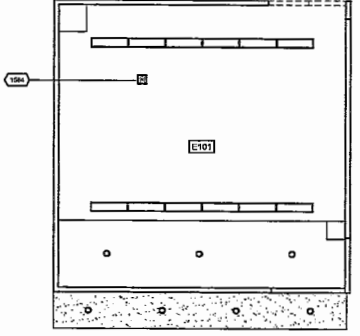
3/16" = 1'-0" 14

DEMOLITION FLOOR PLAN



3/16" = 1'-0" 6

MATERIAL LEGEND



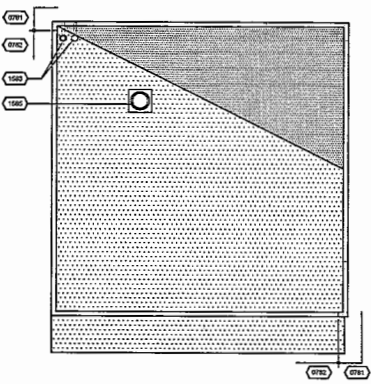
3/16" = 1'-0" 14

DEMOLITION FLOOR PLAN



3/16" = 1'-0" 6

MATERIAL LEGEND



3/16" = 1'-0" 16

DEMOLITION FLOOR PLAN



3/16" = 1'-0" 6

MATERIAL LEGEND

DEMOLITION REFLECTED CEILING PLAN

DEMOLITION ROOF PLAN

REFERENCE NOTES

4



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NO.	DATE	BY	DESCRIPTION

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 NO. DATE BY DESCRIPTION
 REVISIONS

DRAWN: SY CHECKED: KN
 DATE: 05/23/2023 SCALE: AS SHOWN
 PROJECT NUMBER: 230375

DIRTY TRAINING CLASSROOM BLDG PLANS

DRAWING NUMBER: **A2.1**

ROOM #	ROOM NAME
E101	DIRTY TRAINING CLASSROOM
102	BATHROOM 1
103	BATHROOM 2
104	BATHROOM 3
105	BATHROOM 4
106	WATER HEATER ROOM
107	JANITOR
108	EXTERIOR SHOWER 1
109	EXTERIOR SHOWER 2
110	COVERED PATIO
111	COVERED PATIO

ROOM LEGEND	1
-------------	---

FLOOR PLAN LEGEND

PROJECT IN PLACE (P) WALL

WALLS:
 SINGLE WALL: 2" WOOD STUDS SINGLE / DOUBLE WALL AS INDICATED @ 16" O.C. TYP. FULL HEIGHT TO ROOF DECK AND/...
 DOUBLE WALL: SEE PLAN FOR DOUBLE WALL THICKNESS.
 INTERIOR WALLS: PROVIDE ONE LAYER OF 5/8" TYPE X GYPSUM BOARD EACH SIDE, U.N.G., PROVIDE ACoustICAL INSULATION.
 EXTERIOR WALLS: PROVIDE ONE LAYER OF 5/8" TYPE X GYPSUM BOARD AT INTERIOR SIDE, AND EXTERIOR PLASTER OVER POLYMER OR EXTERIOR SOL. LIQD. PROVIDE R-9 BATT INSULATION.
 SEE 13&4.3 FOR BASE AT INTERIOR WALL.
 SEE 14&4.3 FOR BASE AT EXTERIOR WALL.
 STRUCTURAL DRAWINGS FOR SHEAR WALL LOCATIONS.

REFLECTED CEILING PLAN LEGEND

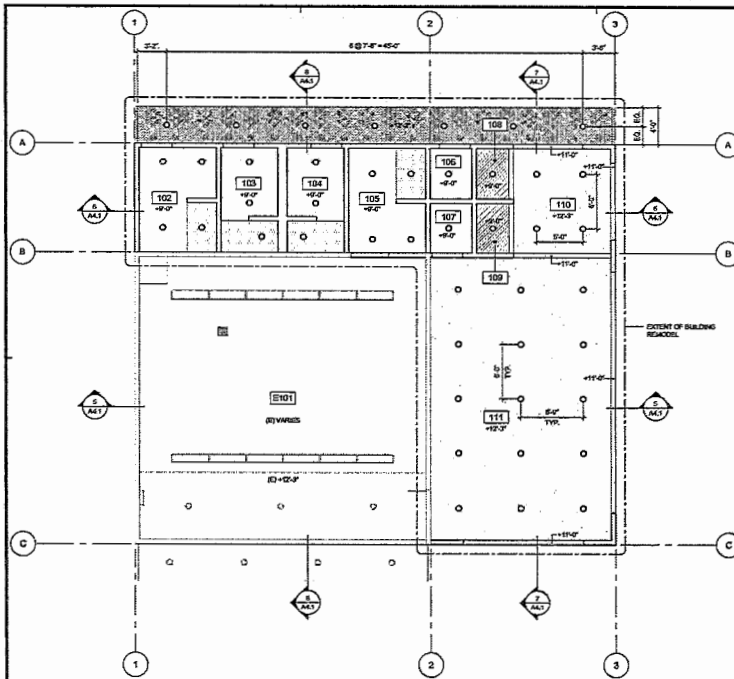
	PLASTER FINISH, COLOR 1
	PLASTER FINISH, COLOR 2
	STAINLESS STEEL CLADDING
	SOLID POLYMER CEILING PANEL
	5/8" GYPSUM BOARD CEILING, PAINTED
	LIGHT FIXTURES

ROOF PLAN LEGEND

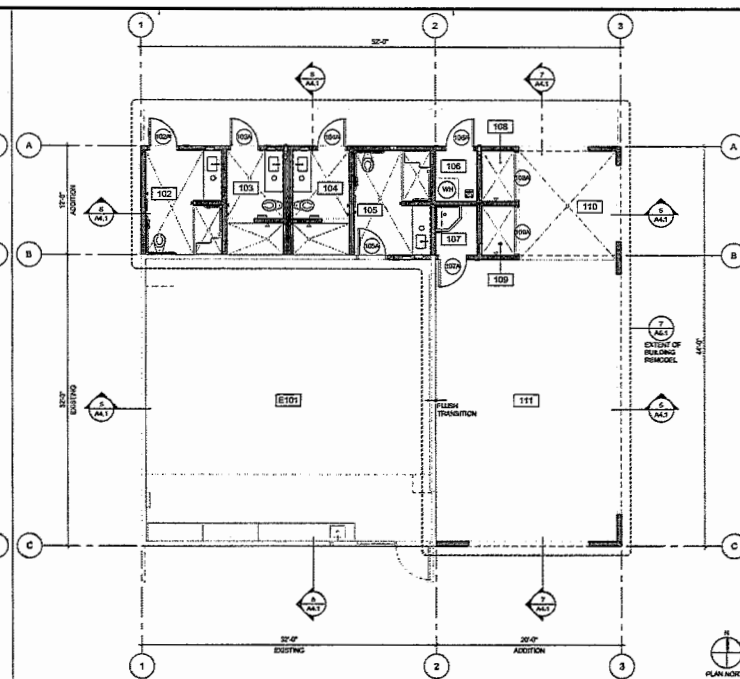
	ADHERED THERMOPLASTIC (PVC) ROOFING - MEMBRANE MANUFACTURER'S SPEC. SNOW/RAINFALL UNDERLAINING: 60 TO 80 MIL POLYESTER - FIRE HAZARD CLASSIFICATION: 1/2 CLASS A LOCAL REFLECTIVE IRON/POLY. 1/4" OVER 1/4" COVER BOARD OVER 400 PSF SURFACE
	CRICKET WITH PVC ROOFING, SEE DETAIL 1.3 & 4&2
	ROOF AND OVERFLOW DRAIN, SEE 3&4.2
	EXHAUST FAN, SEE MECHANICAL DRAWINGS PROVIDE LEVEL PLATFORM, SEE 13&4.3

GENERAL NOTES:

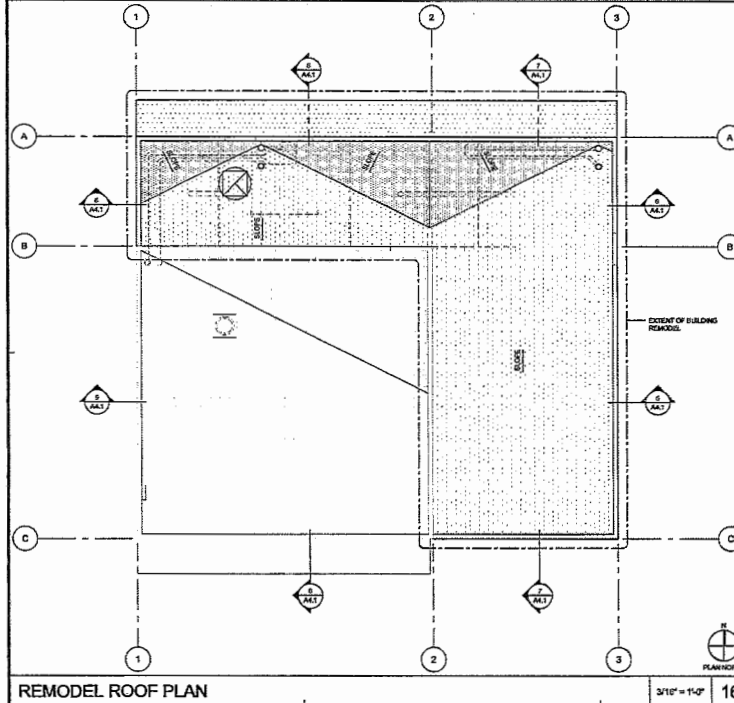
- GENERAL NOTES SHALL APPLY THROUGHOUT THE PROJECT.
- ANYTHING THAT IS NOT IDENTIFIED AS EXISTING (E) SHALL BE NEW (N) THROUGHOUT.
- SEE STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION AND ACCESSORIES OR SURFACES MOUNTED TO STRUCTURE.
- REPAIR AND PAINT THE OFFICE ROOMS & ALL GYPSUM BOARD WALLS, CEILING, SOFFITS, AND ALL PREVIOUSLY PAINTED SURFACES.
- REMOVE PLASTER AND REPAIR (PLASTER FRESH COAT FROM EXISTING WALL AND SOFFIT PLASTER FINISHING AND PROVIDE NEW PLASTER FINISH COAT.
- SEE 1.3 & 4&4.2 FOR CONDUIT, PVC PIPING AND RACK DETAIL AT ROOF.



REMODEL REFLECTED CEILING PLAN 3/16" = 1'-0" 14



REMODEL FLOOR PLAN 3/16" = 1'-0" 6



REMODEL ROOF PLAN 3/16" = 1'-0" 16

REFERENCE NOTES 8

MATERIAL LEGEND & NOTES 4



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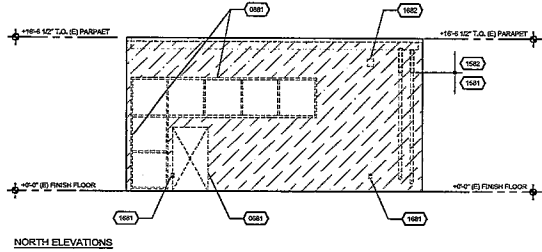
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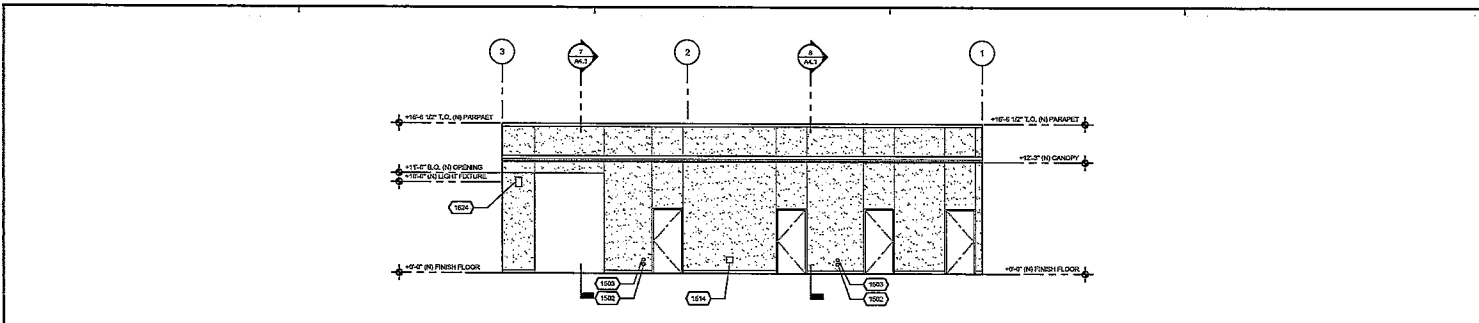
NO	DATE	BY	DESCRIPTION
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 DATE: 05/28/2023 SCALE: AS SHOWN
 PROJECT NUMBER: 230075

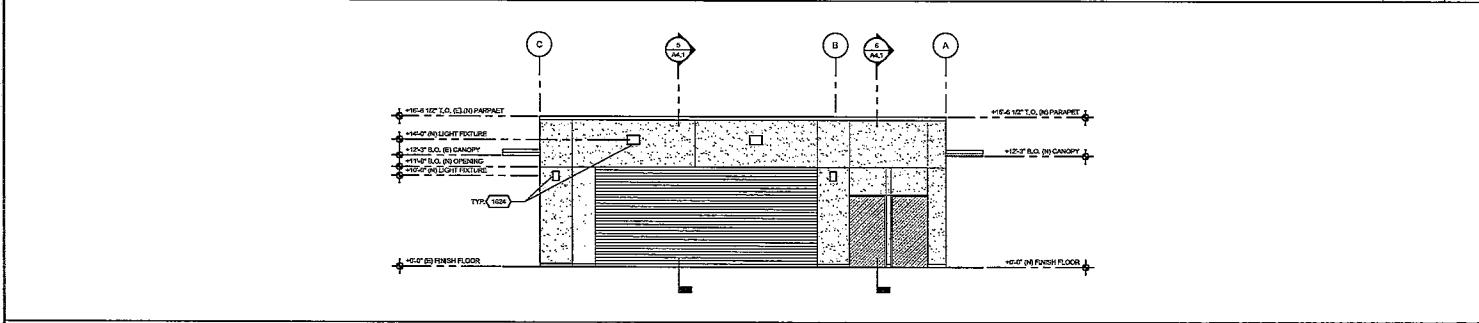
DIRTY TRAINING CLASSROOM BLDG DEMO ELEVATIONS

DRAWING NUMBER: **A3.1D**

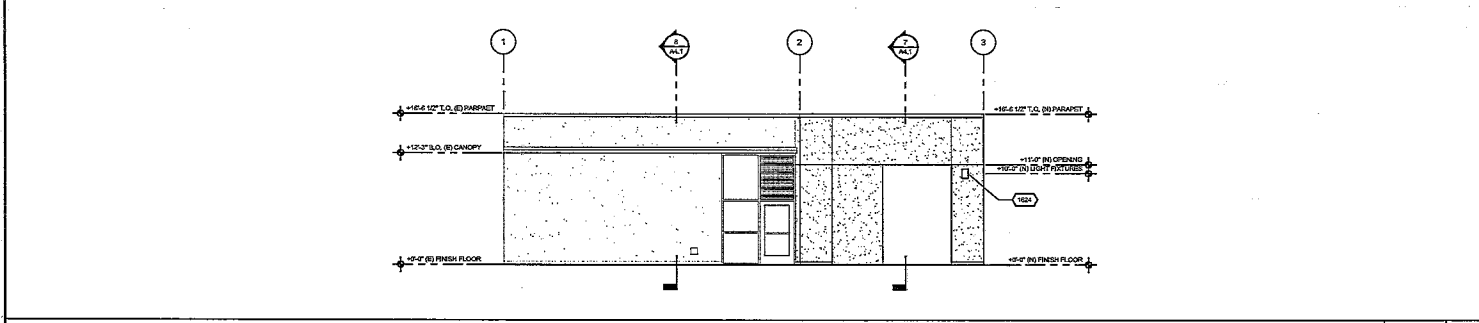




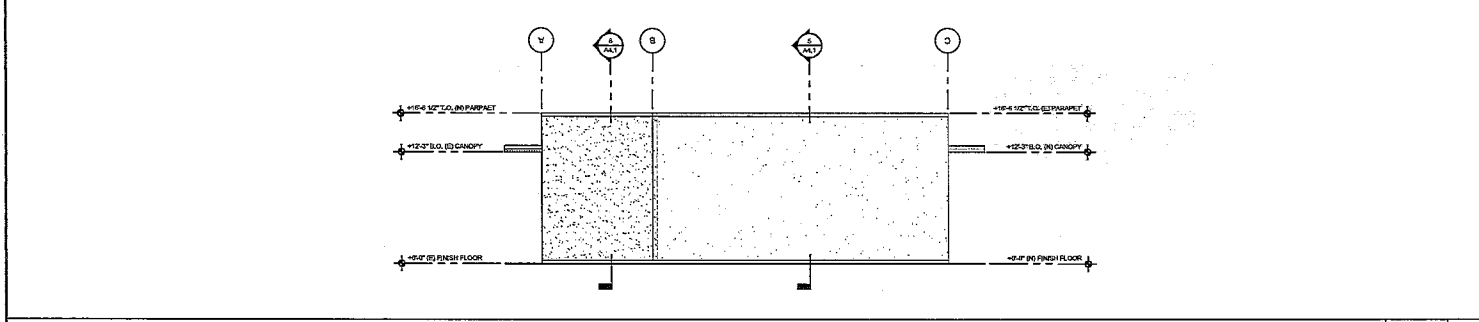
NORTH ELEVATION 3/16" = 1'-0" 5



EAST ELEVATION 3/16" = 1'-0" 6



SOUTH ELEVATION 3/16" = 1'-0" 7



WEST ELEVATION 3/16" = 1'-0" 8

EXTERIOR PLASTER - COLOR 1 (WHITE)
MIN 2" THICKNESS

NOTES:

1. FOR WEED SCREENS, SEE DETAIL.
2. FOR CONTROL JOINT AT EXTERIOR PLASTER LOCATION, SEE DETAIL.
3. ALL TOOF CUTTERS SHALL BE PROVIDED WITH GASKETS TO PREVENT PENETRATION OF LEAKING WATER.
4. ALL LOUVERS AND VENTS SHALL HAVE 5/8" NONCOMBUSTIBLE CARBON STEEL FRAME. EXCEPTION: APPROVED VENTS RESISTING INTENSIFY OF FLAMES AND EMBERS.

MATERIAL LEGEND 2

- ROOF DRAIN THROUGH WALL, SEE 1404.2 AND PLUMBING DWGS
- OVERFLOW DRAIN THROUGH WALL, SEE 1404.2 AND PLUMBING DWGS
- HOSE REEL, SEE PLUMBING DRAWINGS
- LIGHT FIXTURE, SEE ELECTRICAL DRAWINGS



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CONSULTANT

[Signature Area]

NO	DATE	BY	DESCRIPTION

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DATE:	09/29/2023	SCALE:	AS SHOWN
PROJECT NUMBER:	230075		

EXTERIOR ELEVATIONS

DRAWING NUMBER: **A3.1**



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2300 PLACENTIA AVENUE
COSTA MESA, CA 92627



CONSULTANT

NO	DATE	BY	DESCRIPTION
			REVISIONS

DESIGN: KWC CHECKED: KN
DATE: 03/28/2023 SCALE: AS NOTED
PROJECT NUMBER: 230075

FINISH AND DOOR SCHEDULES
DRAWING NUMBER: A5.1

#	ROOM NAME	PARTICOT						WALLS						REMARKS
		FLOOR	NORTH	EAST	SOUTH	WEST	NORTH	EAST	SOUTH	WEST	INTERIOR ELEVATION SHEET			
101	DRIFT SWIMMING CLAMM	RF	RF	-	-	-	GYP	GYP	GYP	GYP	GALCI	-	-	
102	BATHROOM 1	FOR	FOR	-	-	-	FOR	FOR	FOR	FOR	GALCI	-	-	
103	BATHROOM 2	FOR	FOR	-	-	-	FOR	FOR	FOR	FOR	GALCI	-	-	
104	BATHROOM 3	FOR	FOR	-	-	-	FOR	FOR	FOR	FOR	SAKCI	-	-	
105	BATHROOM 4	FOR	FOR	-	-	-	FOR	FOR	FOR	FOR	-	-	-	
106	WATER HEATER ROOM	RF	RF	-	-	-	MRG	MRG	MRG	MRG	-	-	-	
107	JANITOR	RF	RF	-	-	-	FOR	MRG	MRG	FOR	TRACI	-	-	
108	ELECTRICAL ROOM 1	FOR	FOR	-	-	-	SS	SS	SS	SS	SAKCI	-	-	
109	ELECTRICAL ROOM 2	FOR	FOR	-	-	-	SS	SS	SS	SS	SAKCI	-	-	
110	COVERED PICO	RF	RF	-	-	-	PLA	PLA	PLA	PLA	-	-	-	
111	COVERED PICO	RF	RF	-	-	-	PLA	PLA	PLA	PLA	-	-	-	

#	DOOR SIZE (WIDTH X HEIGHT)	TYPE	THICKNESS	MATERIAL	FINISH	DETAILS				REMARKS			
						HEAD	JAMB	JAMB	SILL				
101A	3'-0" X 7'-0"	A	1 1/2"	Y	FM	FM	FM	FM	3	3	3	23	-
102A	3'-0" X 7'-0"	A	1 1/2"	Y	FM	FM	FM	FM	3	3	3	23	-
103A	3'-0" X 7'-0"	A	1 1/2"	Y	FM	FM	FM	FM	3	3	3	23	-
104A	3'-0" X 7'-0"	A	1 1/2"	Y	FM	FM	FM	FM	3	3	3	23	-
105A	3'-0" X 7'-0"	A	1 1/2"	Y	FM	FM	FM	FM	3	3	3	23	-
106A	3'-0" X 7'-0"	A	1 1/2"	Y	FM	FM	FM	FM	3	3	3	23	-
107A	3'-0" X 7'-0"	A	1 1/2"	Y	FM	FM	FM	FM	3	3	3	23	-
108A	SEE DOOR TYPE	F	-	-	-	SS	SS	SS	13	12	12	20	SAKCI
109A	SEE DOOR TYPE	F	-	-	-	SS	SS	SS	13	12	12	20	SAKCI

FINISH NOTES

- PORCELAIN TILE TO BE 3/8" SET OVER 1/2" TYPE X GYPSUM TILE BACKER BOARD AT ALL WALL LOCATIONS UNLESS OTHERWISE NOTED.
- DEPRESS CONCRETE SLAB 3/4" MINIMUM PORCELAIN FLOOR TILE IS SCHEDULED. PORCELAIN FLOOR TILES TO BE SET ON FULL MORTAR BED.
- VERIFY WITH ARCHITECT PORCELAIN FLOOR TILE PATTERNS.
- FOR TYPICAL WALL TILE PATTERNS, SEE DETAIL 15A.11.
- FLOOR AND CEILING FINISHES SHALL NOT EXCEED THE FINISH SCHEDULE CLASSIFICATIONS IN CHART TABLE 1.

MATERIAL FINISH ASSUMPTIONS

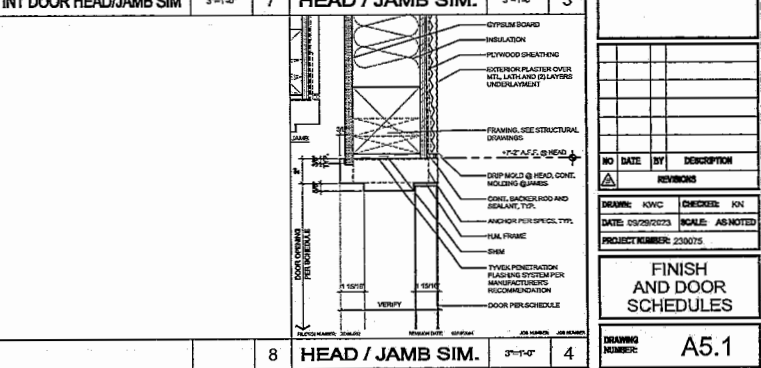
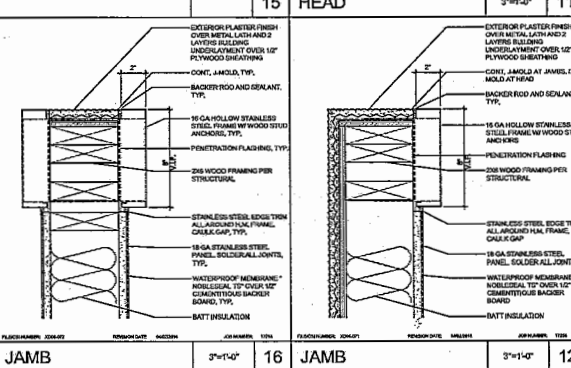
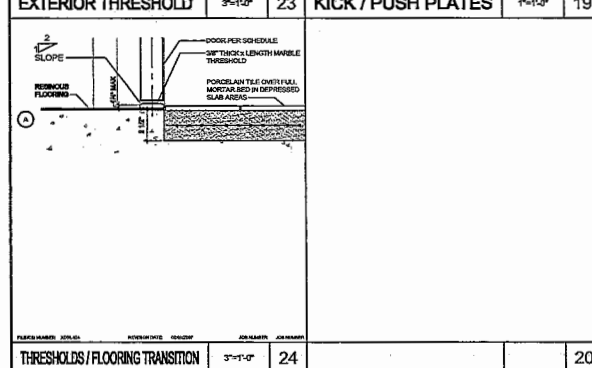
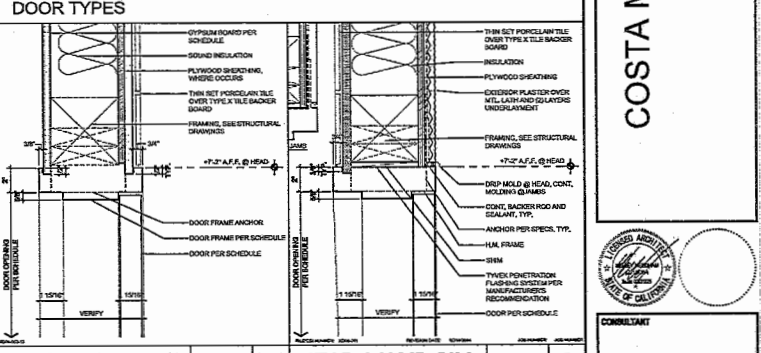
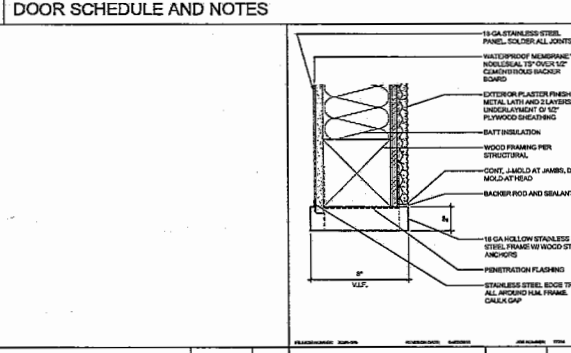
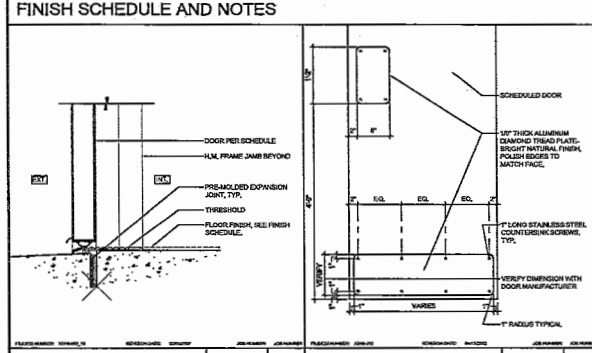
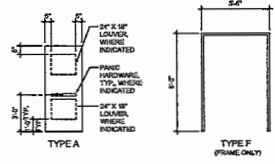
- CONC = FINISHED CONCRETE WITH CHEMICAL HARDENER
- HPF = FIBER REINFORCED CONCRETE PANEL
- GYP = GYPSUM BOARD, PAINTED
- MOR = MORTAR RESISTANT GYPSUM BOARD
- POB = POLISHED CONCRETE
- EXT = EXTERIOR GYPSUM BOARD
- PLA = POLISHED CONCRETE
- FOR = PORCELAIN TILE
- MRG = MORTAR RESISTANT BASE, RESISTANT FLOORING
- SS = RESISTANT FLOORING EPoxy COATING
- SAK = STAINLESS STEEL PANEL

DOOR NOTES

- PROVIDE MESHROOM SPRING, FOR DETAIL, AND SPRING FOR DETAIL, FOR DOORS TO UNLOCK ROOMS. SEE DETAIL, FOR MESHROOM DETAIL.
- FOR FINISH PLATE AND KICK PLATE, SEE DETAIL.

MATERIAL FINISH ASSUMPTIONS

- AL = ALUMINUM
- AN = ANODIZED
- FM = FACTORY FINISH
- HM = HOLLOW METAL
- PL = PAINTED FINISH
- PLC = PLATE CLAMANTE
- ST = STAINLESS STEEL
- SS = STAINLESS STEEL
- TR = TRIMMED CLADDING
- WD = WOOD VENEER
- WC = WOOD SOLID CORE
- Y = YES





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 CITY OF COSTA MESA
 2300 PLACENTIA AVENUE
 COSTA MESA, CA 92627



CONSULTANT

NO	DATE	BY	DESCRIPTION
1	09/28/2023	KN	AS NOTED

PROJECT NUMBER: 230075

INTERIOR ELEVATIONS

DRAWING NUMBER: **A7.1**

MATERIALS:
 CABINETS: SOLID COMPOSITE
 COUNTERTOP: QUARTZ
 SHOWER ENCLOSURE: 1/2" SOLID SURFACE (CORIAN OR EQUAL)

LEGEND:

- 1004 STAINLESS STEEL SHOWER ENCLOSURE W/ TRIMS, ALL WALLS & CEILING
- 1005 QUARTZ WATERFALL END PANEL
- 1006 SHOWER NICHE, 40"X17" CLEAR, SEE 03A.1
- 1007 SURFACE MOUNTED TOILET TISSUE DISPENSER, BOBROCK B-86697
- 1008 SURFACE MOUNTED SEAT COVER DISPENSER, BOBROCK B-4221
- 1009 RECESSED PAPER TOWEL DISPENSER, BOBROCK B-35803
- 1010 COUNTER MOUNTED WASTE CHUTE, BOBROCK B-332
- 1011 ROBE HOOK, BOBROCK B-76277
- 1012 FOLDING SHOWER SEAT, BOBROCK B-4181
- 1013 TWO WALL 42 X 54 INCH GRAB BAR, BOBROCK B-8587, SEE 22A.1
- 1014 TWO WALL 24 X 36 INCH GRAB BAR, BOBROCK B-85816, SEE 22A.1
- 1015 MIRROR W/ S.S. PERIMETER FRAME, BOBROCK B-156, CUSTOM SIZE
- 1016 CUSTOM S.S. UTILITY SHELF, BOBROCK B-224 X-35
- 1017 FLOOR STANDING WASTE RECEPTACLE, BOBROCK B-2280
- 1018 RECEPTACLE, SEE ELECTRICAL DRAWINGS

MATERIALS:
 CABINETS: SOLID COMPOSITE
 COUNTERTOP: QUARTZ
 SHOWER ENCLOSURE: 1/2" SOLID SURFACE

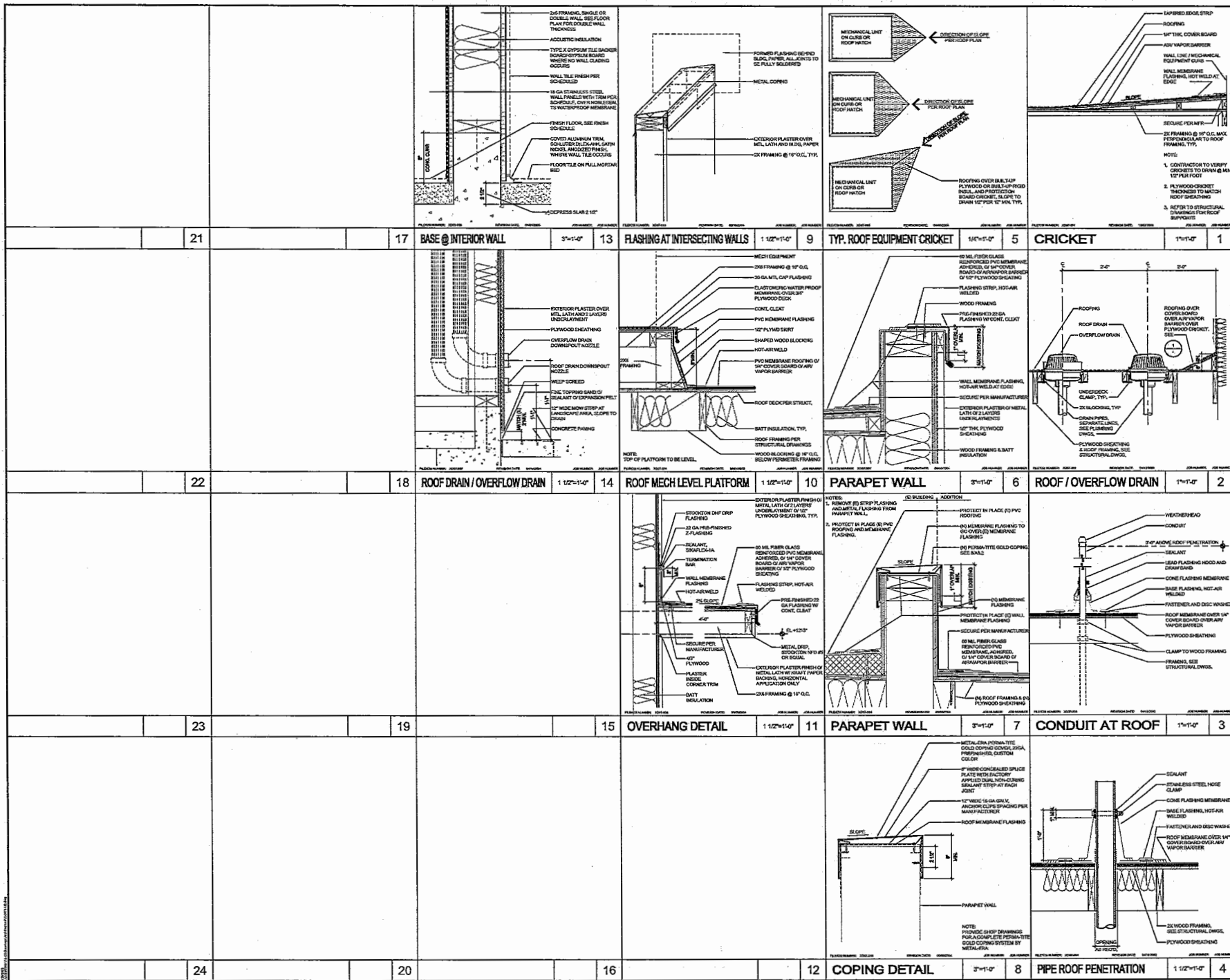
GENERAL NOTES:

1. FOR CASEWORK ANCHORAGE DETAIL, SEE 04A.1
2. FOR CASEWORK FACE PANEL DETAIL, SEE 04A.1
3. FOR COUNTERTOP DETAILS, SEE 04A.1
4. FOR FIXTURE HEIGHT SCHEDULE, SEE 04A.1
5. FOR ADA LAVATORY FIXTURE AND TOILET CLEARANCE, SEE 04A.1
6. FOR TYPICAL SHOWER ELEVATION, SEE 11A.1
7. FOR TYPICAL WALL TILE PATTERN, SEE DETAIL 10A.1
8. FOR TILE WALL CORNERS AND TRANSITION, SEE 10A.1

REFERENCE NOTES 1/4" = 1'-0" 6 2

ROOM 107 - JANITOR 1/4" = 1'-0" 19 **ROOMS 108, 109, 110 - EXTERIOR SHOWERS AND PATIO** 1/4" = 1'-0" 3

ROOM 111 - PATIO 1/4" = 1'-0" 4



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2300 PLACENTIA AVENUE
COSTA MESA, CA 92627



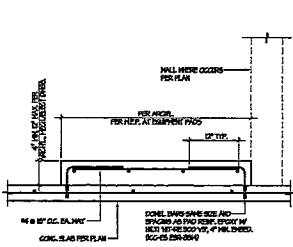
CONSULTANT

NO	DATE	BY	DESCRIPTION

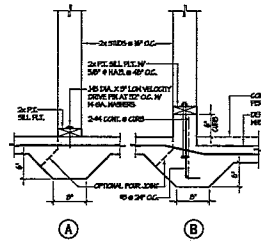
DRAWING NUMBER: **A8.2**

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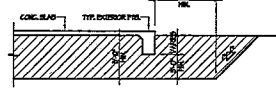
2300 PLACENTIA AVENUE
COSTA MESA, CA 92627



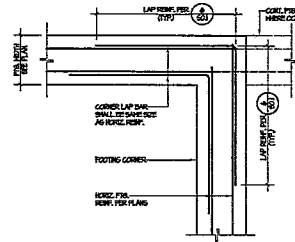
HOUSKEEPING PAD DETAIL
SCALE: 1/4" = 1'-0"



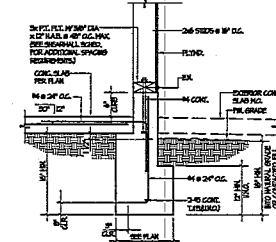
TYPICAL NON-BEARING WALL FOOTING DETAIL
SCALE: 1/4" = 1'-0"



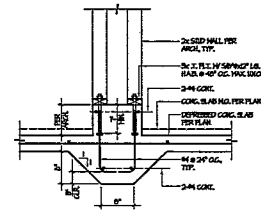
OVER EXCAVATION REQUIREMENTS
SCALE: 1/4" = 1'-0"



TYPICAL REINFORCING AT FOOTING CORNERS AND INTERSECTIONS
SCALE: 1/4" = 1'-0"



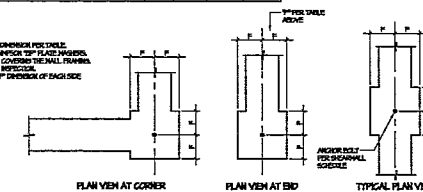
TYPICAL EXTERIOR BEARING WALL FOOTING DETAIL
SCALE: 1/4" = 1'-0"



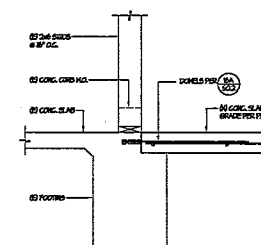
TYPICAL PLUMBING WALL TO CONCRETE CURB DETAIL
SCALE: 1/4" = 1'-0"

HD OR HDN HOLD-DOWN TABLE											
WALL	SPACING TOP W/HD (SPACING)	SPACING BETW EGG (SPACING)	BOLTS TO TOP OF FOOT (NO. OF)	TOP OF FOOT CL. (IN.)	ANCHOR SPACING (IN.)	ANCHOR TYPE	WALL THICKNESS (IN.)	F	MIN. LOADS ON BOLT (KIP)	LOADS ON TOP OF FOOT (KIP)	DEAL
RI	-	12" O.C.	-	3"	3"	3"	12"	12"	12"	12"	12"
RI	-	12" O.C.	-	3"	3"	3"	12"	12"	12"	12"	12"
RI	12" O.C.	12" O.C.	3-3/4"	3"	3"	3"	12"	12"	12"	12"	12"
RI	12" O.C.	12" O.C.	3-3/4"	3"	3"	3"	12"	12"	12"	12"	12"
RI	12" O.C.	12" O.C.	3-3/4"	3"	3"	3"	12"	12"	12"	12"	12"
RI	12" O.C.	12" O.C.	3-3/4"	3"	3"	3"	12"	12"	12"	12"	12"
RI	12" O.C.	12" O.C.	3-3/4"	3"	3"	3"	12"	12"	12"	12"	12"
RI	12" O.C.	12" O.C.	3-3/4"	3"	3"	3"	12"	12"	12"	12"	12"
RI	12" O.C.	12" O.C.	3-3/4"	3"	3"	3"	12"	12"	12"	12"	12"
RI	12" O.C.	12" O.C.	3-3/4"	3"	3"	3"	12"	12"	12"	12"	12"

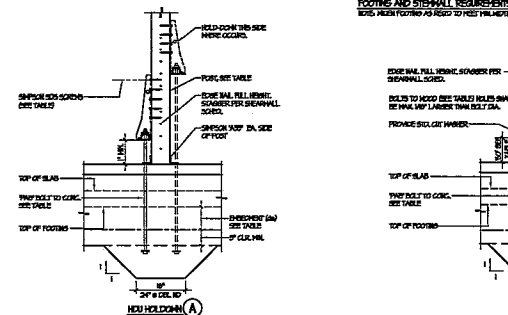
1. HOLD-DOWN SHALL BE TYPICAL AS SHOWN BY MANUFACTURER.
2. THIS TABLE APPLIES TO ALL APPLICATIONS.
3. REBAR FOOTING AS REQUIRED FOR HOLD-DOWN PER 1708 AND 1709 FOR CONCRETE WALLS.
4. HOLDING ANCHORS FOR HD AND HDN HOLD-DOWN SHALL BE APPROXIMATELY 1/2" FROM TOP OF FOOTING.
5. HOLDING ANCHORS FOR HD AND HDN HOLD-DOWN SHALL BE APPROXIMATELY 1/2" FROM TOP OF FOOTING.
6. IF A 1/2" MIN. DIMENSION IS SPECIFIED FOOTING WIDTH IS GREATER THAN 1/2" DIMENSION OF EACH SIDE OF THE HOLD-DOWN, THE LARGER FOOTING WIDTH SHALL GOVERN.



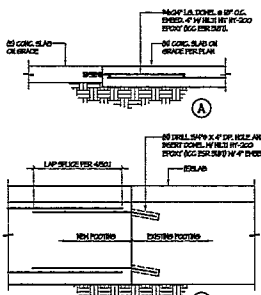
TYPICAL PLUMBING WALL TO CONCRETE CURB DETAIL
SCALE: 1/4" = 1'-0"



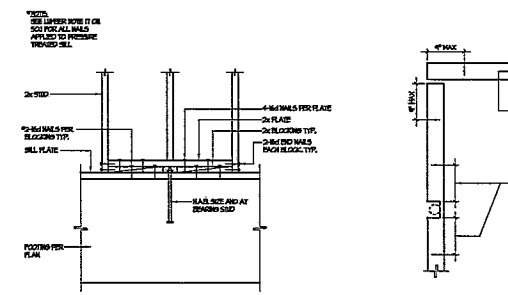
NEW CONCRETE SLAB TO EXISTING FOOTING
SCALE: 1/4" = 1'-0"



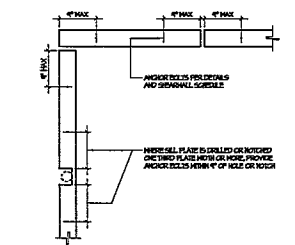
TYPICAL HOLD-DOWN DETAIL
SCALE: 1/4" = 1'-0"



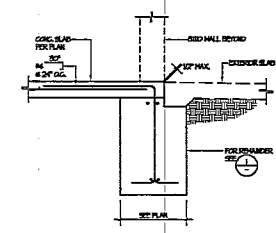
TYPICAL DOWNERS TO FOOTING/SLAB
SCALE: 1/4" = 1'-0"



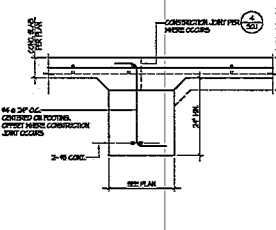
TYPICAL AT ANCHOR BOLT BELOW STUD
SCALE: 1/4" = 1'-0"



TYPICAL ANCHOR BOLT PLACEMENT AT WALL DETAIL
SCALE: 1/4" = 1'-0"



TYPICAL SLAB DETAIL AT STUD WALL OPENING
SCALE: 1/4" = 1'-0"



TYPICAL INTERIOR FOOTING DETAIL
SCALE: 1/4" = 1'-0"



CONSULTANT
miyamoto.

NO.	DATE	BY	DESCRIPTION
REVISIONS			
1	09/29/2023	EE	CHECKED: RB, TB
2	09/29/2023	EE	SCALE: AS NOTED
3	09/29/2023	EE	PROJECT NUMBER: 230075

FOUNDATION DETAILS

DRAWING NUMBER: **S0.2**



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COSTA MESA FIRE DEPARTMENT**

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COSTA MESA, CA 92627



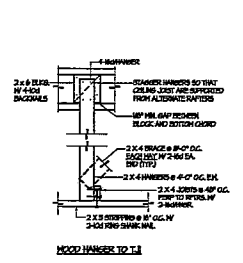
CONSULTANT
miyamoto.

NO.	DATE	BY	DESCRIPTION
REVISIONS			

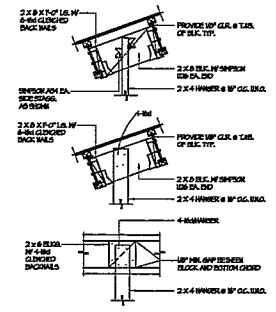
DRAWN: GE CHECKED: RL/TH
DATE: 08/28/2023 SCALE: AS NOTED
PROJECT NUMBER: 230075

MISC. DETAILS

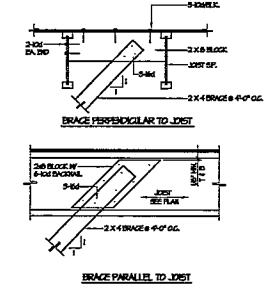
DRAWING NUMBER: **S0.4**



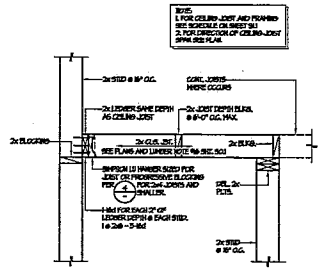
13 TYPICAL SUSPENDED CEILING DETAIL - PKU FRAMED
SCALE: NOT TO SCALE



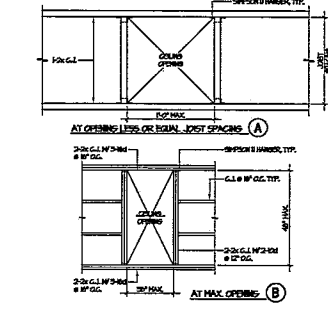
14 TYPICAL HANGER TO PKU JOIST
SCALE: NOT TO SCALE



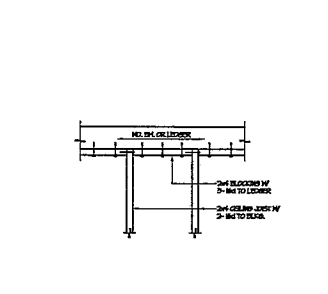
15 TYPICAL WALL BRACE TO PKU DETAIL
SCALE: NOT TO SCALE



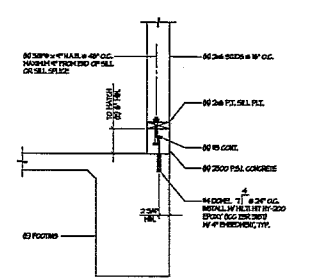
9 TYPICAL CEILING JOISTS FRAMED DETAIL
SCALE: NOT TO SCALE



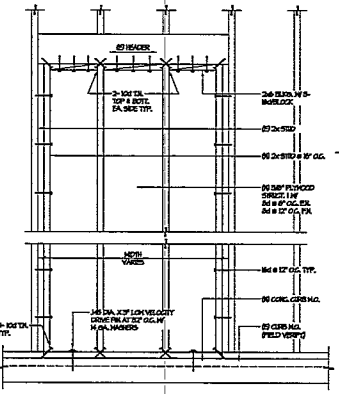
10 CEILING OPENING DETAIL
SCALE: NOT TO SCALE



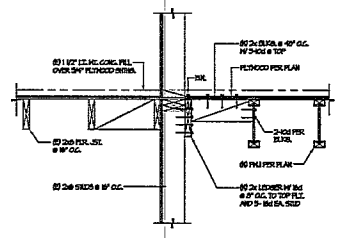
11 TYPICAL PROGRESSIVE BLOCKING
SCALE: NOT TO SCALE



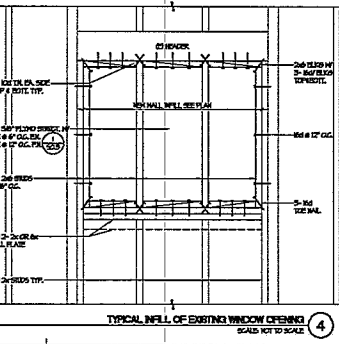
5 NEW CONC. CURB AT (E) CONC. FOOTING
SCALE: NOT TO SCALE



2 TYPICAL INFILL OF EXISTING DOOR OPENING
SCALE: NOT TO SCALE



3 NEW JOIST PERP. TO EXISTING STUD WALL
SCALE: NOT TO SCALE



4 TYPICAL INFILL OF EXISTING WINDOW OPENING
SCALE: NOT TO SCALE



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CONSULTANT

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10000 Wilshire Blvd, Suite 200
Beverly Hills, CA 90210
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NO.	DATE	BY	DESCRIPTION

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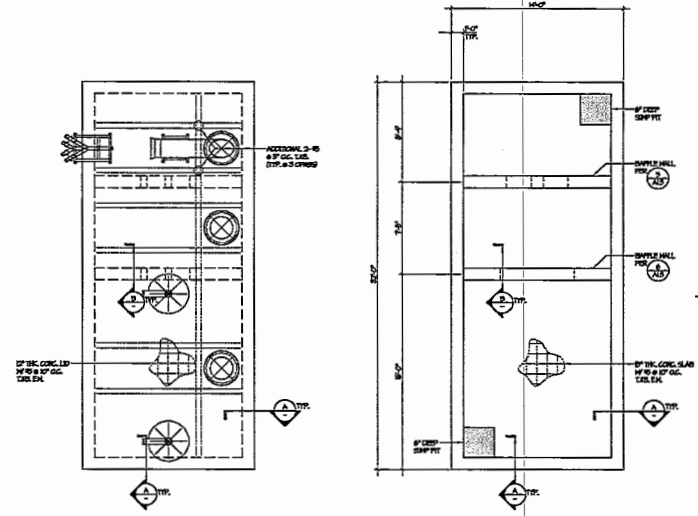
DRAWN: EE CHECKED: RB, TB

DATE: 09/25/2023 SCALE: AS NOTED

PROJECT NUMBER: 230075

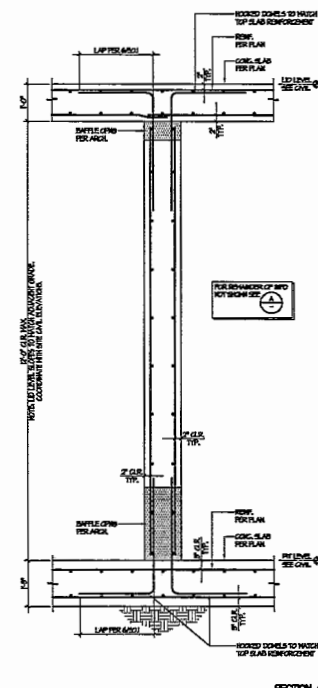
**PUMP TEST PIT
PLANS & DETAILS**

DRAWING NUMBER: **S0.6**

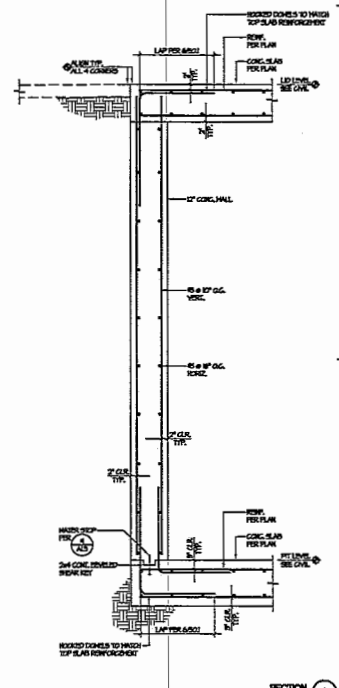


LID LEVEL PLAN
SCALE: 1/4" = 1'-0"

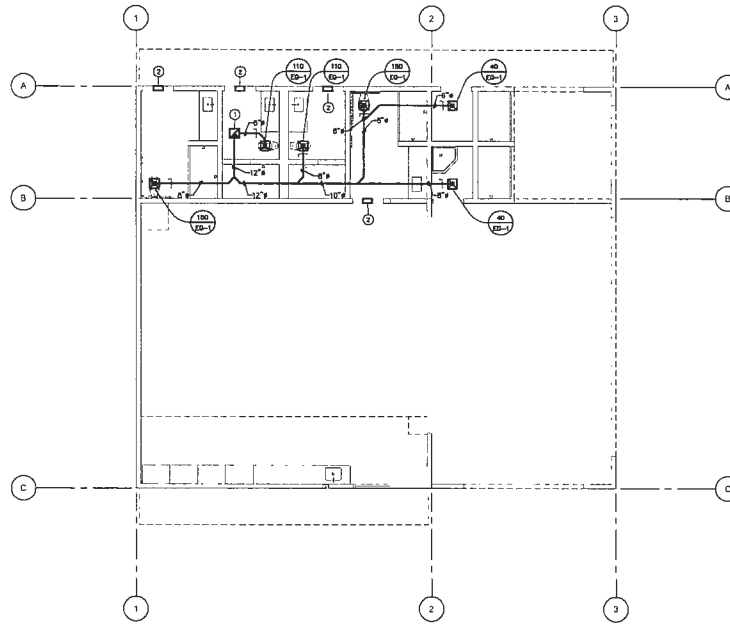
FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



SECTION A-A
SCALE: 3/4" = 1'-0"



SECTION B-B
SCALE: 3/4" = 1'-0"



MECHANICAL FLOOR PLAN

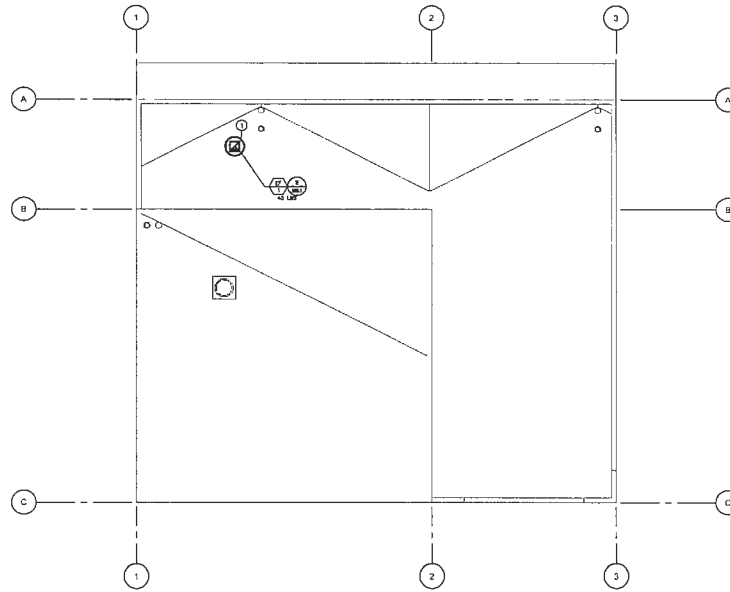
SCALE 3/16"=1'-0" 2

CONSTRUCTION NOTES:

- COORDINATE ENTIRE INSTALLATION OF THE HVAC SYSTEM WITH THE WORK OF ALL OTHER TRADES PRIOR TO ANY FABRICATION OR INSTALLATION. PROVIDE ALL FITTINGS, OFFSETS, AND TRANSITIONS AS REQUIRED FOR A COMPLETE WORKABLE INSTALLATION. THE MECHANICAL CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE ITEMS TO BE PROVIDED BY OTHER TRADES WHERE MENTIONED IN THE CONTRACT DOCUMENTS PRIOR TO BID - NO EXCEPTIONS.
- COORDINATE THE LOCATIONS OF ALL CEILING DIFFUSERS, REGISTERS AND GRILLES WITH THE ARCHITECTURAL REFLECTIVE CEILING PLAN, ELECTRICAL LIGHTING LAYOUT AND ARCHITECTURAL ROOM ELEVATIONS. COORDINATE AND PAINT ALL DIFFUSERS PER ARCHITECTURAL REQUIREMENTS.
- AT THE TIME OF ROUGH INSTALLATION, OR DURING STORAGE ON THE CONSTRUCTION SITE AND UNTIL FINAL STARTUP OF THE HEATING, COOLING AND VENTILATING EQUIPMENT, ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, SHEET METAL, OR OTHER ACCEPTABLE METHODS TO REDUCE THE AMOUNT OF DUCT, WATER, AND DEBRIS WHICH MAY ENTER THE SYSTEM.
- PROVIDE ALL TRANSITIONS AS REQUIRED TO CONNECT OUTWORK TO EQUIPMENT.

CONSTRUCTION KEYNOTES:

- 12"x12" EXHAUST DUCT UP THRU ROOF. SEE 1/A2.1 FOR CONTINUATION.
- EXTERIOR DOOR LOUVER WITH MINIMUM 0.5 SQ FT OF FREE AREA.



MECHANICAL ROOF PLAN

SCALE 3/16"=1'-0" 1

CONSTRUCTION NOTES:

- COORDINATE ENTIRE INSTALLATION OF THE HVAC SYSTEM WITH THE WORK OF ALL OTHER TRADES PRIOR TO ANY FABRICATION OR INSTALLATION. PROVIDE ALL FITTINGS, OFFSETS, AND TRANSITIONS AS REQUIRED FOR A COMPLETE WORKABLE INSTALLATION. THE MECHANICAL CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE ITEMS TO BE PROVIDED BY OTHER TRADES WHERE MENTIONED IN THE CONTRACT DOCUMENTS PRIOR TO BID - NO EXCEPTIONS.
- COORDINATE THE LOCATIONS OF ALL CEILING DIFFUSERS, REGISTERS AND GRILLES WITH THE ARCHITECTURAL REFLECTIVE CEILING PLAN, ELECTRICAL LIGHTING LAYOUT AND ARCHITECTURAL ROOM ELEVATIONS. COORDINATE AND PAINT ALL DIFFUSERS PER ARCHITECTURAL REQUIREMENTS.
- AT THE TIME OF ROUGH INSTALLATION, OR DURING STORAGE ON THE CONSTRUCTION SITE AND UNTIL FINAL STARTUP OF THE HEATING, COOLING AND VENTILATING EQUIPMENT, ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, SHEET METAL, OR OTHER ACCEPTABLE METHODS TO REDUCE THE AMOUNT OF DUCT, WATER, AND DEBRIS WHICH MAY ENTER THE SYSTEM.
- PROVIDE ALL TRANSITIONS AS REQUIRED TO CONNECT OUTWORK TO EQUIPMENT.

CONSTRUCTION KEYNOTES:

- 12"x12" EXHAUST DUCT DOWN THRU ROOF. SEE 2/A2.1 FOR CONTINUATION.



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COSTA MESA, CA 92627



CONSULTANT
PDS
PDS CONSULTANTS INC.

NO	DATE	BY	DESCRIPTION
1			REVISIONS

DRAWN:	CHECKED:
DATE: 09/28/2023	SCALE:
PROJECT NUMBER: 230075	

MECHANICAL FLOOR + ROOF PLAN

DRAWING NUMBER: M2.1



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909-87-0267

COSTA MESA FIRE TRAINING CENTER

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COSTA MESA, CA 92627

FIXTURE SCHEDULE															
ITEM	FIXTURE	ROUGH-IN CONNECTIONS					DESCRIPTION	ITEM	FIXTURE	ROUGH-IN CONNECTIONS					DESCRIPTION
		TRAP	WASTE	VENT	HOT WATER	COLD WATER				GAS	TRAP	WASTE	VENT	HOT WATER	
WC 1	WATER CLOSET	INT	4"	2"	1"	---	---	SH 17	SHOWER	---	---	3/4"	3/4"	---	SYNCHRO NO. 3461-1S "TECAS SHOWER SYSTEM", COMPLETE WITH PRESSURE BALANCING MISC. VALVE WITH LEVER HANDLE, INTEGRAL SERVICE STOP, 1.5 GPM ADJUSTABLE SHOWER HEAD.
WC 2	WATER CLOSET (ACCESSIBLE)	INT	4"	2"	1"	---	---	SH 2	SHOWER ACCESSIBLE	---	---	3/4"	3/4"	---	SYNCHRO NO. 37-3200-CV-3-CX-4325H-1S "TPOISED SHOWER SYSTEM", COMPLETE WITH PRESSURE BALANCING MISC. VALVE WITH LEVER HANDLE, INTEGRAL SERVICE STOP, SEPARATE DIVERTER VALVE, 1.5 GPM HAND-HELD SHOWER, 80" HOSE, IN-LINE VACUUM BREAKER AND 30" SLIDE BAR.
L 1	LAVATORY (UNDER COUNTER HW/DW)	1-1/4"	2"	1-1/2"	1/2"	---	---	RD 1	ROOF DRAIN	---	---	---	---	---	SEE PLAN FOR SIZES
SS 1	SERVICE SINK	3"	3"	3"	3/4"	3/4"	---	OD 1	OVERFLOW DRAIN	---	---	---	---	---	SEE PLAN FOR SIZES
TP 1	TRAP PRIMER (SINGLE DRAIN)	---	---	---	1/2"	---	---	ET 1	EXPANSION TANK	---	---	---	---	---	---
TP 2	TRAP PRIMER (MULTIPLE DRAIN)	---	---	---	1/2"	---	---	GPR 1	PROPANE GAS PRESSURE REGULATOR	---	---	---	---	---	---
RHS 1	RECESSED HOSE BRB	---	---	---	3/4"	---	---	GPR 2	PROPANE GAS PRESSURE REGULATOR	---	---	---	---	---	---
WA 1	WATER HAMMER ARRESTOR	---	---	---	---	---	---	---	---	---	---	---	---	---	---
FD 1	FLOOR DRAIN	2"	2"	1-1/2"	---	---	---	---	---	---	---	---	---	---	---
FD 2	FLOOR DRAIN (SHOWER)	2"	2"	1-1/2"	---	---	---	---	---	---	---	---	---	---	---

LEGEND		
SYMBOL	ABBREVIATION	DESCRIPTION
---	S OR W	SOIL OR WASTE BELOW FLOOR OR GRADE
---	SD	STORM DRAIN ABOVE FLOOR
---	SO	STORM DRAIN BELOW FLOOR OR GRADE
---	DO	OVERFLOW DRAIN ABOVE FLOOR
---	V	SANITARY VENT
---	CW	COLD WATER
---	HW	HOT WATER
---	CD	CONDENSATE DRAIN
---	TP	TRAP PRIMER
---	ESD	EXISTING STORM DRAIN
---	EOD	OVERFLOW DRAIN
---	PG	PROPANE GAS LINE
---	---	DIRECTION OF FLOW
---	SOV	SHUT-OFF VALVE
---	SOV/CC	SHUT-OFF VALVE OR GAS COOK IN YARD BOX
---	FD	FLOOR CLEANOUT
---	---	RISER UP
---	---	RISER DOWN
---	ABV	ABOVE
---	AP	ACCESS PANEL
---	BL	BELOW
---	CEL	CEILING
---	CONT	CONTINUATION
---	COTG	CLEANOUT TO GRADE
---	DN	DOWN
---	FLR	FLOOR
---	PLCS	PLACES
---	VTR	VENT THRU ROOF
---	YB	YARD BOX

ELECTRIC WATER HEATER SCHEDULE														
ITEM	MANUFACTURER	MODEL NO.	SERVICE	LOCATION	STORAGE	ELECTRICAL DEMANDS				RECOVERY CAPACITY @ 60°F	INLET TEMP °F	OUTLET TEMP °F	OPER. WT. LBS.	REMARKS
						VOLT	PHASE	KW/AMP	CYCLE					
WH 1	AO SMITH	DDN-88	DOMESTIC HOT WATER	SEE PLANS	68 GALLONS	208	1	8.0	60	61 GPH	80	120	727 LBS.	MUST HAVE ASHRAE STUDY OF DETERMINE COMPLY WITH TITLE 24 REQUIREMENT FOR SERVICE WATER HEATERS.

FIRE WATER BOOSTER PUMP SCHEDULE														
ITEM	MANUFACTURER	MODEL NO.	SERVICE	LOCATION	TYPE	CAPACITY			MOTOR			OPER. WT. LBS.	REMARKS	
						GPM	HEAD	HORSE POWER	VOLT	PHASE	CYCLE			R.P.M.
TP 1	WEL ADIATRONICS/SNCRIFLO	FP-PWF190-74-WA	FIRE HYDRANT SERVICE	GROUND LEVEL	VERTICAL TURBINE	250	171	25	208	3	60	3520	1836 LBS.	FIRE PUMP CONTROLLED. JOSELYN CLARK MODEL CS080 MVE-DELTA CLOSED WITH TRANSDUCER SWITCH 1/2" NPT, 3" W/3" 80 CRK. CHECK VALVE, GATE VALVE, BUTTERFLY VALVE, PRESSURE GAUGE, AUTOMATIC AIR RELEASE VALVE AND CASING RELIEF VALVE.
TP 2	WEL ADIATRONICS/SNCRIFLO	ORZ-ROU	FIRE HYDRANT SERVICE	GROUND LEVEL	VERTICAL TURBINE	23	40	3	238	3	60	3320	1836 LBS.	

- ### MATERIALS
- UNDERGROUND PROPANE PIPING SHALL BE SCHEDULE 40 BLACK STEEL PIPE CONFORMING TO ASTM A33 USING 100 POUND BANGED BALLBEARER IRON SCREWED FITTINGS.
 - EXPOSED PROPANE PIPING OUTSIDE THE BUILDING SHALL BE SCHEDULE 40 GALVANIZED STEEL PIPE CONFORMING TO ASTM A33 USING GALVANIZED 150 POUND BANGED GALVANIZED BALLBEARER IRON SCREWED FITTINGS.
 - VALVES: LPG BALL VALVES 1/2" AND LARGER SHALL BE NIBCO NO. T-580-70-1A OR APPROVED EQUAL.
 - CORROSION PROTECTION:
 - ALL BELOW GROUND METALLIC FITTINGS, VALVES, FLANGES, BOLTS, SHALL BE PROTECTED AGAINST CORROSION AS FOLLOWS:
 - ALL METALLIC COMPONENTS AS DESCRIBED ABOVE SHALL RECEIVE A HEAVY COATING OF "THERM-YT" OIL BASE BODY MASTIC.
 - AFTER MASTIC COATING IS COMPLETED AND INSPECTED, WRAP ENTIRE METALLIC COMPONENT WITH A MINIMUM OF 10 MIL POLYETHYLENE WRAP OVERLAPPING JOBS OF THE CIRCUMFERENCE AND EXTENDED BEYOND ENDS OF COMPONENT AS REQUIRED FOR POLYETHYLENE TO BE SECURED TO PIPING. THE OVERLAP SEAM SHALL BE LOCATED TO AVOID SHARPENED MATERIAL FROM ENTERING THE UNCALCULATED AREA. THE ENDS AND SEAM OF THE POLYETHYLENE MATERIAL SHALL BE SECURED TO THE PIPING AND SEALED WITH 3M SCOTCH/WRAP NO. 50, 10 MIL, 2" WIDE, PRINTED, PIPE WRAP SEALING TAPE.
 - THE MASTIC COATING SHALL BE INSPECTED AND APPROVED PRIOR TO THE FINAL APPLICATION OF THE POLYETHYLENE MATERIAL. WRAP SHALL ALSO BE INSPECTED.



CONSULTANT
PDS
David Dainoff-Holmes Inc.

NO.	DATE	BY	DESCRIPTION

NO. DATE BY DESCRIPTION
REVISIONS
DRAWN: CHECKED:
DATE: 09/29/2023 SCALE:
PROJECT NUMBER: 230075

PLUMBING LGND,
SCHEDULE &
GENERAL NOTES

DRAWING NUMBER: **P0.1**



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COSTA MESA FIRE TRAINING CENTER

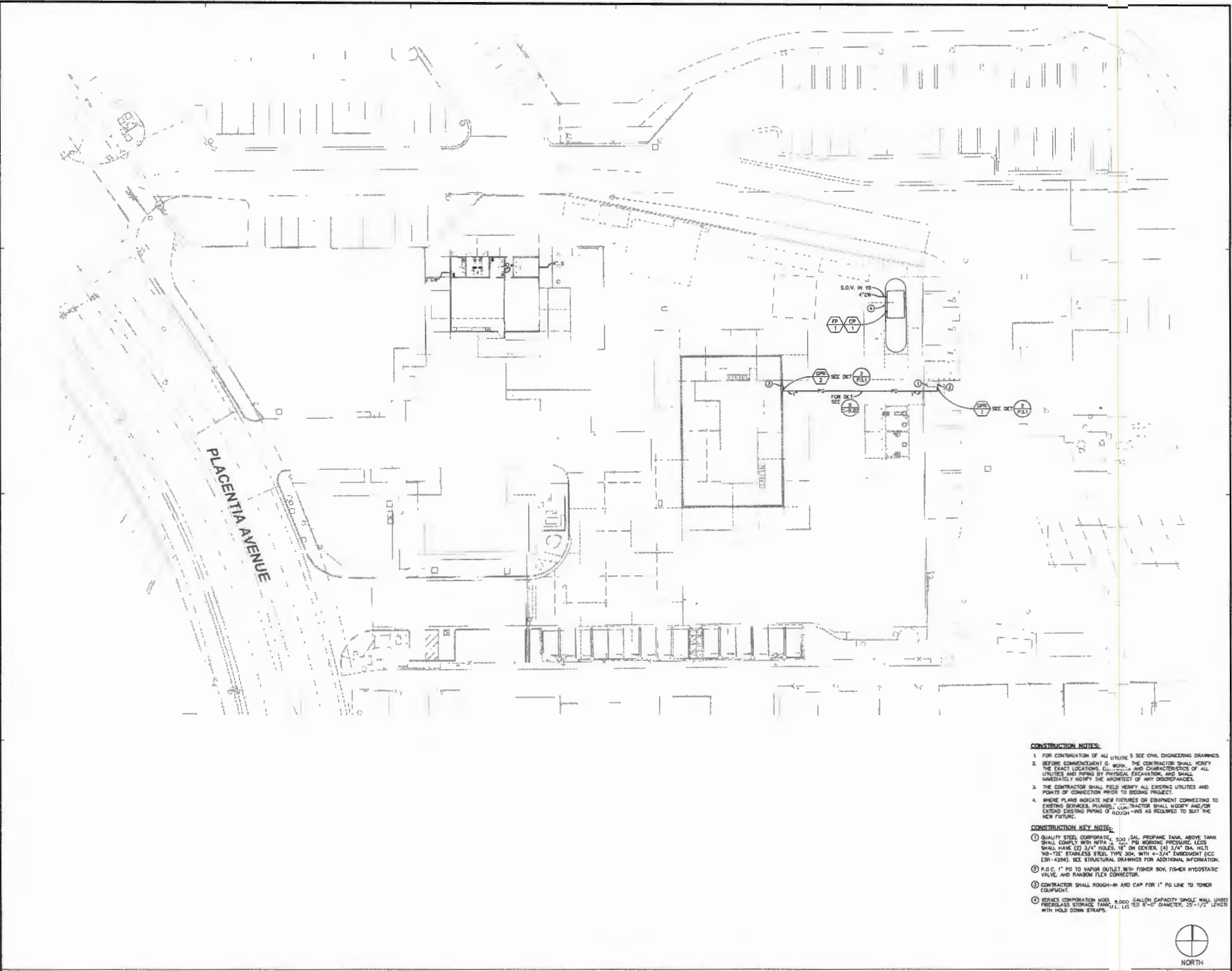
CITY OF COSTA MESA
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COSTA MESA, CA 92627



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			REVISIONS

DRAWN:	CHECKED:
DATE: 09/20/2023	SCALE:
PROJECT NUMBER: 230075	

PLUMBING SITE PLAN
DRAWING NUMBER: P1.1



- CONSTRUCTION NOTES:**
- FOR CONTINUATION OF ALL UTILITIES SEE CIVIL ENGINEERING DRAWINGS.
 - BEFORE COMMENCEMENT OF WORK, THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION, DEPTH, AND CHARACTERISTICS OF ALL UTILITIES AND PIPING BY PHYSICAL EXCAVATION, AND SHALL IMMEDIATELY NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
 - THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES AND POINTS OF CONNECTION PRIOR TO BEGING PROJECT.
 - WHERE PLANS INDICATE NEW FIXTURES OR EQUIPMENT CONNECTING TO EXISTING SERVICES, PLUMBER, CONTRACTOR SHALL MODIFY AND/OR EXTEND EXISTING PIPING AS REQUIRED TO SUIT THE NEW FIXTURE.
- CONSTRUCTION KEY NOTE:**
- QUALITY STEEL CORPORATION, 500 TALL PIPERACK TANK ABOVE TANK SHALL COMPLY WITH WPA 2, 150 PSI WORKING PRESSURE. LEGS SHALL HAVE (2) 3/4" HOLES, 18" ON CENTER. (4) 3/4" DIA. HLT 18-18 STAINLESS STEEL TYPE 304 WITH 4-3/4" EMBEDMENT (SEE ESR-4266). SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
 - 1/2" O.D. 1" PD TO VAPOR OUTLET WITH FISHER SOV, FISHER HYDROSTATIC VALVE, AND RANDOM TIE CONNECTION.
 - CONTRACTOR SHALL ROUGH-IN AND CAP FOR 1" PD LINE TO TONER EQUIPMENT.
 - SEWERS CONNECTION MODEL 6 BOD GALLON CAPACITY SHOULD HAVE UNDER FIBERGLASS STORAGE TANK, 1.5' IS 8'-0" DIAMETER, 20'-1/2" LENGTH WITH HOLD DOWN STRAPS.

PLUMBING SITE PLAN





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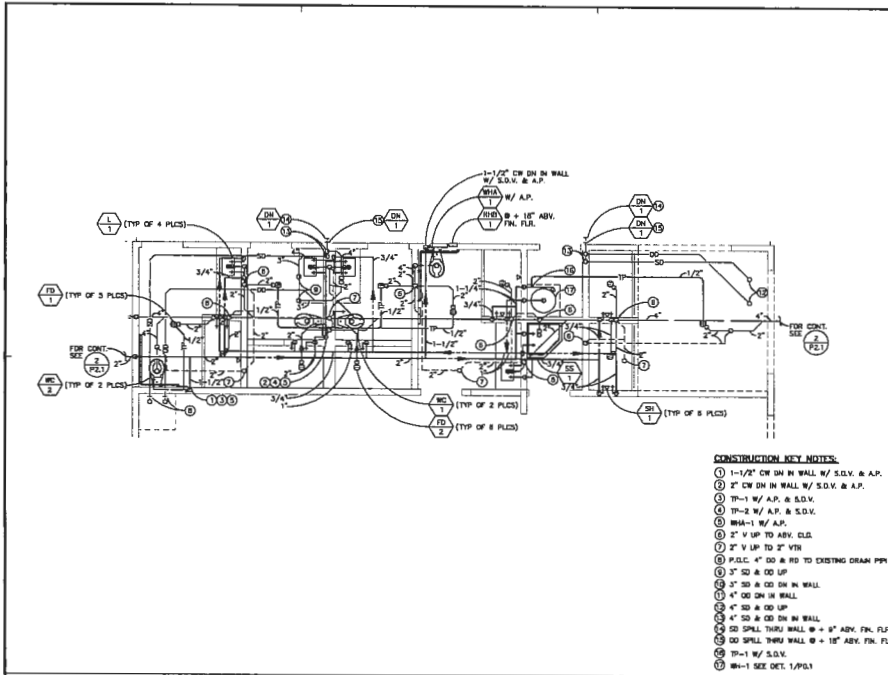
CONSULTANT
PDS
Professional Design Services, Inc.

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REVISIONS			

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SCALE:
PROJECT NUMBER: 230075

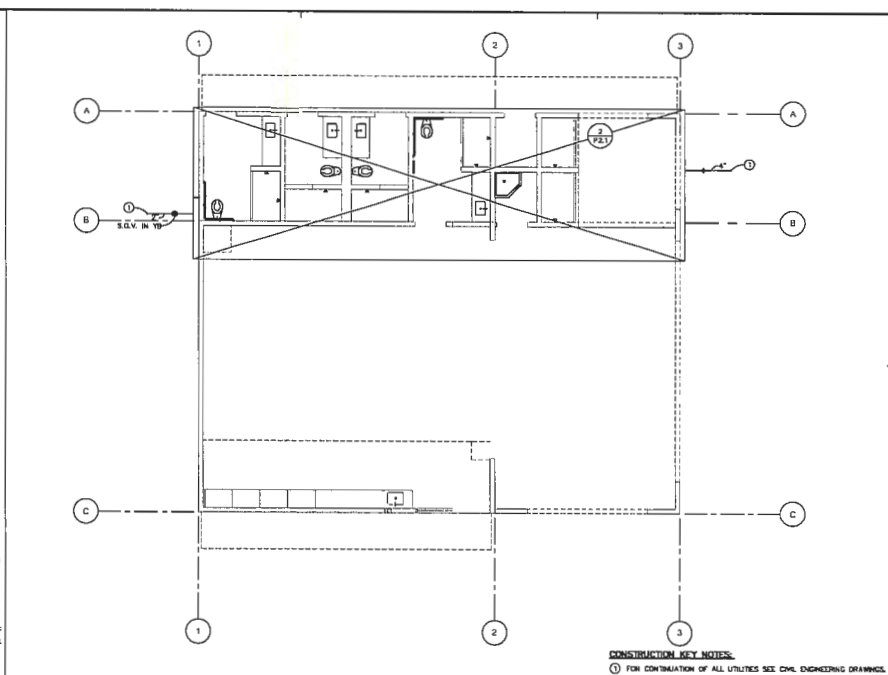
PLUMBING FLOOR PLAN

DRAWING NUMBER: P2.1



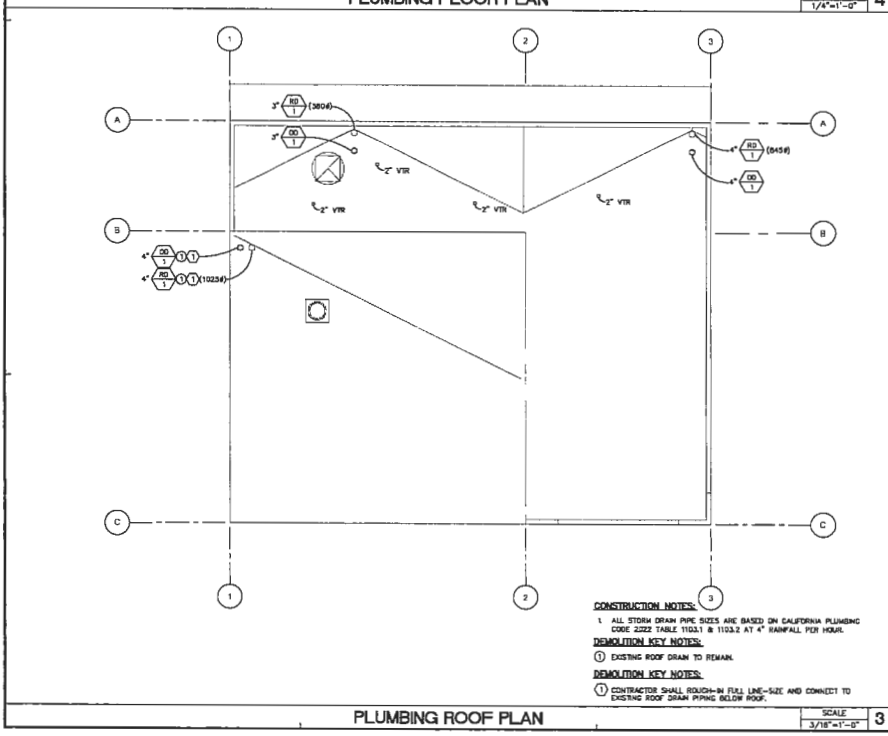
PLUMBING FLOOR PLAN

SCALE: 1/4"=1'-0" 4



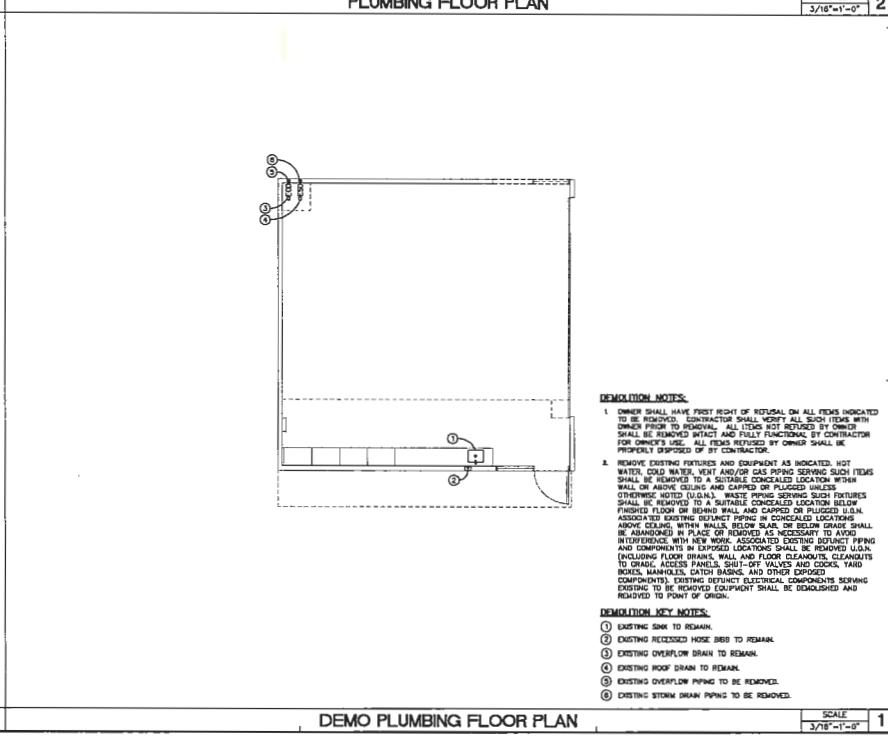
PLUMBING FLOOR PLAN

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PLUMBING ROOF PLAN

SCALE: 3/16"=1'-0" 3



DEMO PLUMBING FLOOR PLAN

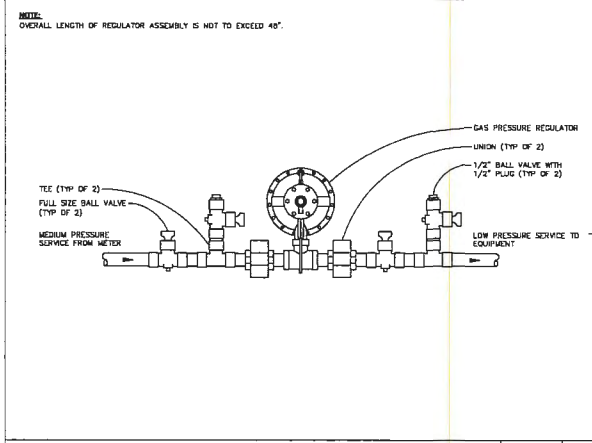
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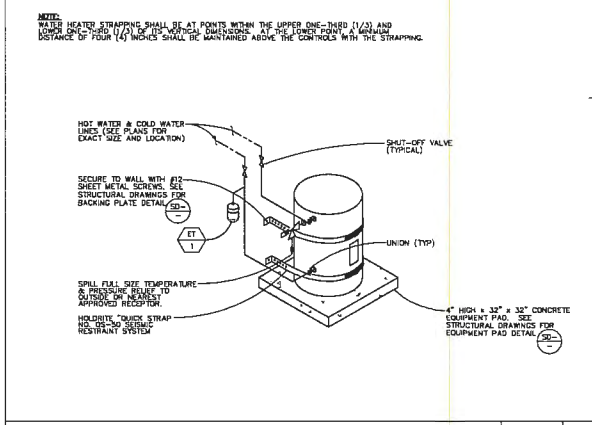
COSTA MESA FIRE TRAINING CENTER

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GAS PRESSURE REGULATOR DETAIL

SCALE: NONE
 2



ELECTRIC WATER HEATER DETAIL

SCALE: NONE
 1



CONSULTANT
 PDS
 PDS
 PDS

NO.	DATE	BY	DESCRIPTION

REVISIONS	

DATE:	09/29/2023	SCALE:	
PROJECT NUMBER:	230075		

PLUMBING DETAILS

DRAWING NUMBER: **P3.1**

GENERAL NOTES

- THE CONTRACTOR SHALL TRACE ALL LINE AND LOW VOLTAGE CIRCUITS SERVING THE EXISTING LIGHTING FIXTURES, RECEPTACLES, COMMUNICATIONS AND ALARM DEVICES LOCATED WITHIN THE PROJECT AREA PRIOR TO CONSTRUCTION OF THE STRUCTURE LINE AND LOW VOLTAGE EQUIPMENT. HE SHALL COORDINATE THE DETAILING OF RACE TRAYS WITH THE GENERAL CONTRACTOR TO AVOID COLLISIONS. THE DETAILING OF RACE TRAYS IS TO BE COMPLETED PRIOR TO THE START OF CONSTRUCTION. THE DETAILING OF RACE TRAYS IS TO BE COMPLETED PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL INCREASE AND PAY FOR PERMITS AND FEES NECESSARY FOR ERECTION AND COMPLETION OF ELECTRICAL WORK, INCLUDING ALL CHARGES BY THE LOCAL GOVERNMENT AGENCIES.
- ALL OUTLET LOCATIONS SHALL BE COORDINATED WITH ARCHITECTURAL ELEVATIONS PRIOR TO INSTALLATION.
- THIS CONTRACTOR SHALL SUPPLY POWER TO AND MAKE CONNECTION TO ALL MOTORS AND EQUIPMENT REQUIRING ELECTRICAL CONNECTIONS AS SHOWN ON THE PLANS.
- EXACT LOCATION OF ALL CEILING MOUNTED DEVICES SHALL BE AS INDICATED ON THE ARCHITECTURAL REFLECTED CEILING PLANS.
- UNLESS OTHERWISE NOTED, TRIMMING HEIGHTS INDICATED ON ELECTRICAL OUTLETS ARE FROM FINISHED FLOOR TO CENTER OF OUTLET.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CUT-OUTS IN TILE OR COACETER FLASHES WHERE RECEPTACLES, OUTLETS, ETC. OCCUR.
- ALL WIRELESS DEVICES, ETC. MOUNTED IN FINE MESH CEILING SHALL BE ENCLOSED WITH AN APPROVED ENCLOSURE CARrying THE SAME FIRE RATING AS THE CEILING.
- ALL SURFACE MOUNTED LIGHTING FIXTURES SHALL BE APPROVED FOR DIRECT TRIMMING ON LIST DENRITY COMPATIBLE CEILING.
- THE NUMERALS SHOWN AT TOP LEFT FIXTURE IDENTIFICATION SYMBOL, WHICH INDICATE NUMBER OF LIGHT FIXTURES REQUIRED SHALL NOT BE USED BY THE CONTRACTOR FOR HIS QUANTITY TAKE-OFF AT RISKING OR FOR DETERMINATION OF HIS PART FIXTURES SHALL BE INDICATED. THE CONTRACTOR SHALL INSTALL A LIGHT FIXTURE MARKER FOR A FIXTURE OUTLET IS SHOWN ON DRAWINGS.
- NO CONDUIT SHALL BE RUN HORIZONTALLY IN CONCRETE FLOOR SLABS.
- ALL FINAL CONNECTIONS TO OWNER-FURNISHED EQUIPMENT SHALL BE MADE BY THE CONTRACTOR.
- EQUIPMENT ANCHORAGE NOTE
ALL ELECTRICAL EQUIPMENT SHALL BE ANCHORED OR BRACED TO MEET THE HORIZONTAL AND VERTICAL FORCES PRESCRIBED IN THE 2019 IBC CODE SECTION 610.4.1 AND 610.4.2. THE ATTACHMENT OF THE FOLLOWING ITEMS SHALL BE DESIGNED TO RESIST THE FORCES PRESCRIBED ABOVE AND NOT LISTED ON THE PLANS:
A. EQUIPMENT MOUNTING LESS THAN 400 POUNDS SUPPORTED DIRECTLY ON THE FLOOR OR ROOF.
B. EQUIPMENT MOUNTING LESS THAN 20 POUNDS SUPPORTED BY VIBRATION ISOLATORS.
C. EQUIPMENT MOUNTING LESS THAN 20 POUNDS SUPPORTED FROM A ROOF OR FLOOR ON HANG FROM A WALL.
H. THE CONTRACTOR SHALL VERIFY THE SITE INCLUDING SPECIFICALLY ALL AREAS INDICATED ON THE DRAWINGS. HE SHALL IMMEDIATELY RAISE A NOTICE UPON THE EXISTING CONTRACTOR AND BY RETURNING A BID ACCEPTS CONDITIONS UNDER WHICH HE SHALL BE REQUIRED TO PERFORM HIS WORK.
I. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DO ALL CORING, CUTTING, PATCHING AND REPAIRS OF WALLS AND TRIMMED MATERIALS IF IT IS NECESSARY FOR HIM TO PREPARE FOR HIS WORK. ALL CORING PATCH SHALL BE SEALED TO RESTORE THE RATED INTEGRITY OF THE PARTICULAR WALL, FLOOR OR CEILING.
J. ATTENTION IS CALLED TO THE FACT THAT THE CEILING SYSTEMS FOR THE ROOF PART ARE CONSIDERED TO BE INACCESSIBLE. THE CONTRACTOR SHALL STRATEGICALLY LOCATE BOXES ETC. IN AN ACCESSIBLE CEILING SPACE.
K. UNLESS OTHERWISE NOTED, CONDUIT IS PERMITTED BY THE ARCHITECT, SUCH CONDUIT SHALL BE PAINTED TO MATCH FINISH OF SURFACE TO WHICH IT IS ATTACHED/SUPPORTED TO.
L. INSTALL WIRELESS SYSTEMS AS FOLLOWS:
A. BRASS GALVANIZED STEEL IN ALL OUTDOOR LOCATIONS AND IN INDOOR LOCATIONS WHERE SUBJECT TO PHYSICAL DAMAGE.
B. UV-C OR EPOXY IN ALL INDOOR AREAS.
C. FLEXIBLE METAL CONDUIT FOR FINAL CONNECTIONS TO LIGHT FIXTURES, MOTORS, VIBRATING ELECTRICAL EQUIPMENT AND HORIZONTAL RUNS IN ROOMS WITH WALLS.
D. PVC CONDUIT FOR UNDERGROUND RUNS. USE 3/4" PVC TAPED RIGID STEEL RISER ELBOWS AND RISERS FOR CONDUIT 3/4"-1".
E. USE COMPRESSION TYPE FITTINGS FOR ALL METALLIC CONDUIT.
F. COORDINATE WITH OTHER INSTALLATIONS.
M. CONDUIT ROUTING INDICATED ON THESE PLANS IS AS SHOWN. THE ACTUAL ROUTING OF CONDUIT SHALL BE COORDINATED IN THE FIELD TO AVOID INTERFERENCE WITH OTHER UTILITIES AND TRACES. THE CONTRACTOR SHALL INSTALL ALL CONDUIT AND CONDUIT FITTINGS, ETC. AS REQUIRED FOR A COMPLETE SYSTEM IN FULL COMPLIANCE WITH ALL APPLICABLE CODES.
N. ALL EXTERIOR MOUNTED EQUIPMENT SHALL BE WEATHERPROOF OR PROVIDED IN A WEATHERPROOF ENCLOSURE.
O. ALL POWER AND LIGHTING BRANCH CIRCUITS SHALL BE INSTALLED WITH A 10 AMPERE GROUND LINE BOND. THE COMPLETE ELECTRICAL SYSTEM SHALL BE GROUNDED IN ACCORDANCE WITH ARTICLE 250 OF THE CALIFORNIA ELECTRICAL CODE (CEC).
P. CONSTRUCTION NAME PLATES FOR BRANCH CIRCUIT PANELS SHALL MATCH THE NOMENCLATURE PROVIDED BY THE OWNER AT THE END OF THE CONTRACT.
Q. UNLESS SPECIFICALLY SHOWN ON THESE PLANS NO STRUCTURAL MEMBER SHALL BE CUT, DRILLED, NOT NOTCHED OR NOTCHED FROM WITHIN AUTHORIZATION FROM THE STRUCTURAL ENGINEER.

ELECTRICAL SYMBOL LIST

- CONDUIT RUN CONCEALED IN CEILING, WALLS OR UNDER FLOOR 3/4" MIN.
- CONDUIT RUN UNDERGROUND.
- ~ FLEXIBLE CONDUIT. REALIZE WHERE EXPOSED TO WEATHER. REFER TO SPECIFICATIONS FOR INSTALLATION.
- CONDUIT TURNED DOWN.
- CONDUIT TURNED UP.
- NO CONDUIT LINES ON CONDUIT RIMS INDICATE NUMBER OF RISERS CONTAINED THEREIN. TWO RISERS INDICATED MEAN CROSS LINES ARE NOT SHOWN. MATERIALS ADJACENT TO CROSS LINES ON CONDUIT RIMS INDICATE SIZE OF CONDUITORS IN LEGS OF 'X'.
- 15-15 CONDUIT MORE THAN 1/2" DIAMETER. LETTER AND NUMERALS INDICATED ELECTRICAL PANEL, AND CIRCUIT NUMBER.
- 15-15 LIGHTING FIXTURE IDENTIFICATION SYMBOL. LETTER INDICATES TYPE OF FIXTURE. NUMERAL AT TOP OF IDENTIFICATION INDICATES NUMBER OF FIXTURES REQUIRED. NUMBER AT BOTTOM OF IDENTIFICATION INDICATES TRIMMING HEIGHT FROM FLOOR TO BOTTOM OF FIXTURE. OFFSHOOT OF TRIMMING HEIGHT INDICATED CEILING FINISHING.
- 15-15 BRANCH CIRCUIT PANEL, POINTING TO DESIGN ON SCHEDULE.
- 15-15 CIRCUIT BREAKER. REFER TO SINGLE LINE DIAGRAM.
- 15-15 GROUND.
- 15-15 15A LED LIGHT FIXTURE. SHADING INDICATES FIXTURE TO BE PROVIDED WITH INTEGRAL 150 WATT EMERGENCY BATTERY PACK.
- 15-15 15B LED LIGHT FIXTURE. SHADING INDICATES FIXTURE TO BE PROVIDED WITH INTEGRAL 150 WATT EMERGENCY BATTERY PACK.
- 15-15 EXISTING EQUIPMENT TO REMAIN.
- 15-15 NEW EQUIPMENT.
- 15-15 DUPLEX RECEPTACLE. FLOOR IN WALL. ORIGINATING TYPE OF APP. DEV. SHALL PLATE TO MATCH DEVICES PROVIDED.
- 15-15 15C NEW 150W CLASS 2 DATA RISE FOR DETAIL LED (OTHER) CENTRAL QUANTITY OF CROSS TIES REPRESENT QUANTITY OF SUCH TIES TO BE INSTALLED. CEILING MOUNTED JUNCTION BOX.
- 15-15 EMERGENCY EXIT SIGN.
- 15-15 15D 15V DRIVER SWITCH. LETTER INDICATES SWITCH LINES CONTROLLED BY DIFFER. MODEL. REFER TO 15D OR 15E.
- 15-15 MAKE DOUBLE SWITCH LETTER AT BOTTOM INDICATES OUTLETS CONTROLLED. POINTED AT AMP TO TOP OF THE BOX. STANDARD PSEU SHALL PLATE. APPROPRIATE DIMENSIONS:
P - PILOT LEAD
D - DOUBLE POLE
K - NOT OPERATED
T - TEST

LIGHTING FIXTURE SCHEDULE

TYPE	MANUFACTURER CATALOG	LAMP QTY. & TYPE	ROOM	VOLTS	REMARKS
A	CONCRETE LIGHTING WOL-8000-4000-100-00-000	100W LED MR16	20	208	4" ROUND LED DOWN LIGHT FIXTURE SHALL BE PROVIDED WITH INTEGRAL 150 WATT EMERGENCY BATTERY PACK. REFER TO 15D OR 15E FOR DETAILS. FOR DETAILS TYPE LIGHT FIXTURE IS TO BE SUBMITTED BY ARCHITECT.
B	CONCRETE LIGHTING WOL-8000-4000-100-00-000	100W LED MR16	5	208	4" LED DOWN LIGHT FIXTURE SHALL BE PROVIDED WITH INTEGRAL 150 WATT EMERGENCY BATTERY PACK. REFER TO 15D OR 15E FOR DETAILS. FOR DETAILS TYPE LIGHT FIXTURE IS TO BE SUBMITTED BY ARCHITECT.
C	CONCRETE LIGHTING WOL-8000-4000-100-00-000	100W LED MR16	20	208	4" ROUND LED DOWN LIGHT FIXTURE SHALL BE PROVIDED WITH INTEGRAL 150 WATT EMERGENCY BATTERY PACK. REFER TO 15D OR 15E FOR DETAILS. FOR DETAILS TYPE LIGHT FIXTURE IS TO BE SUBMITTED BY ARCHITECT.
D	CONCRETE LIGHTING WOL-8000-4000-100-00-000	100W LED MR16	11	208	4" ROUND LED DOWN LIGHT FIXTURE SHALL BE PROVIDED WITH INTEGRAL 150 WATT EMERGENCY BATTERY PACK. REFER TO 15D OR 15E FOR DETAILS. FOR DETAILS TYPE LIGHT FIXTURE IS TO BE SUBMITTED BY ARCHITECT.
E	CONCRETE LIGHTING WOL-8000-4000-100-00-000	100W LED MR16	24	208	4" ROUND LED DOWN LIGHT FIXTURE SHALL BE PROVIDED WITH INTEGRAL 150 WATT EMERGENCY BATTERY PACK. REFER TO 15D OR 15E FOR DETAILS. FOR DETAILS TYPE LIGHT FIXTURE IS TO BE SUBMITTED BY ARCHITECT.
F	CONCRETE LIGHTING WOL-8000-4000-100-00-000	100W LED MR16	26	208	4" ROUND LED DOWN LIGHT FIXTURE SHALL BE PROVIDED WITH INTEGRAL 150 WATT EMERGENCY BATTERY PACK. REFER TO 15D OR 15E FOR DETAILS. FOR DETAILS TYPE LIGHT FIXTURE IS TO BE SUBMITTED BY ARCHITECT.
G	CONCRETE LIGHTING WOL-8000-4000-100-00-000	100W LED MR16	24	208	4" ROUND LED DOWN LIGHT FIXTURE SHALL BE PROVIDED WITH INTEGRAL 150 WATT EMERGENCY BATTERY PACK. REFER TO 15D OR 15E FOR DETAILS. FOR DETAILS TYPE LIGHT FIXTURE IS TO BE SUBMITTED BY ARCHITECT.

SITE LIGHTING FIXTURE SCHEDULE

TYPE	MANUFACTURER CATALOG	LAMP QTY. & TYPE	ROOM	VOLTS	REMARKS
A	CONCRETE LIGHTING WOL-8000-4000-100-00-000	100W LED MR16	21	208	4" ROUND LED DOWN LIGHT FIXTURE SHALL BE PROVIDED WITH INTEGRAL 150 WATT EMERGENCY BATTERY PACK. REFER TO 15D OR 15E FOR DETAILS. FOR DETAILS TYPE LIGHT FIXTURE IS TO BE SUBMITTED BY ARCHITECT.

APPLICABLE CODES

ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS, AND THE REQUIREMENTS OF THE CALIFORNIA CODE OF REGULATIONS (CCR) TITLE 24, INCLUSIVE OF:

- 2019 CALIFORNIA ADMINISTRATIVE CODE (CACI) CCR, TITLE 24, PART 1
- 2019 CALIFORNIA BUILDING CODE (CBC) CCR, TITLE 24, PART 2, BASED ON 2018 INTERNATIONAL BUILDING CODE.
- 2019 CALIFORNIA ELECTRICAL CODE (CEC) CCR, TITLE 24, PART 3, BASED ON 2017 NATIONAL ELECTRICAL CODE (NEC).
- 2019 CALIFORNIA FIRE CODE (CFR) CCR, TITLE 24, PART 5, BASED ON 2018 INTERNATIONAL FIRE CODE.
- 2019 CALIFORNIA EXISTING BUILDING CODE, CCR, TITLE 24, PART 10, BASED ON 2018 INTERNATIONAL EXISTING BUILDING CODE.
- 2019 CALIFORNIA REFERENCED STANDARDS CODE, CCR, TITLE 24, PART 12.

THE ALARM SYSTEM PERMITTED APPROVAL NOTE

THIS FIRE ALARM SYSTEM IS A PERMITTED APPROVAL. THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY PLANS, EQUIPMENT DATA, MATERIALS, WORK, DRAWINGS, AND CALCULATIONS TO THE CITY OF COSTA MESA DEPARTMENT FOR REVIEW AND APPROVAL. THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE CITY OF COSTA MESA DEPARTMENT PRIOR TO INSTALLING THE FIRE ALARM SYSTEM COMPONENTS.

THE FIRE ALARM SYSTEM DEVICES AND COMPONENTS INDICATED ON THESE DRAWINGS ARE THE PROPERTY OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING THE QUANTITY AND TYPE OF DEVICES REQUIRED BY THE CITY OF COSTA MESA DEPARTMENT AT NO ADDITIONAL COST TO THE CONTRACTOR.

THE FIRE ALARM SYSTEM DRAWINGS SHALL BEAR THE SEAL AND SIGNATURE OF A STATE OF CALIFORNIA PROFESSIONAL ELECTRICAL ENGINEER.



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CONSULTANT
ALAN ENGINEERING GROUP, INC.
1801 WILSON AVENUE, SUITE 200, COSTA MESA, CA 92626
TEL: 949-441-1111 FAX: 949-441-1112

NO.	DATE	BY	DESCRIPTION

NO DATE BY DESCRIPTION

REVISIONS

DRAWN: CSF CHECKED: RES
DATE: 09/26/2023 SCALE: AS NOTED
PROJECT NUMBER: 230075

GENERAL NOTES, SYMBOL LIST & LT. FIXT. SCHED.

DRAWING NUMBER: **E0.1**



RANCHO CUCAMONGA
8163 ROCHFESTER AVENUE, SUITE 100
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909-957-2669 P

COSTA MESA FIRE TRAINING CENTER
COSTA MESA FIRE DEPARTMENT
2300 PLACENTIA AVENUE
COSTA MESA, CA 92627



CONSULTANT
AS&P ENGINEERING GROUP, INC.
11411 WEST 16TH AVENUE, SUITE 300
DENVER, CO 80242

Table with columns: NO, DATE, BY, DESCRIPTION. Includes a REVISIONS section.

DRAWN: CSF | CHECKED: RES
DATE: 06/29/2023 | SCALE: AS NOTED
PROJECT NUMBER: 230075

TITLE 24 COMPLIANCE FORMS

DRAWING NUMBER: E0.3

INDOOR LIGHTING - CALIFORNIA ENERGY COMMISSION
DECLARATION OF COMPLIANCE
The Declaration is made by the undersigned in compliance with requirements of 1995 CALIFORNIA TITLE 24, PART 01, CHAPTER 1, ARTICLE 1.1, SECTION 101.01 (1) and 101.01 (2) for indoor lighting systems using the prescribed lighting system as detailed on the drawings. It is also used to document compliance with requirements of 1995 CALIFORNIA TITLE 24, PART 01, CHAPTER 1, ARTICLE 1.1, SECTION 101.01 (1) and 101.01 (2) for indoor lighting systems using the prescribed lighting system as detailed on the drawings.

Table with columns: GENERAL INFORMATION, PROJECT SCOPE, and COMPLIANCE CHECKS. Includes project name, location, and area details.

CA Building Energy Efficiency Standards - 2022 Residential Compliance
Report Number: 2022-0336
Schema Version: 19/2022-03

INDOOR LIGHTING - CALIFORNIA ENERGY COMMISSION
DECLARATION OF COMPLIANCE
The Declaration is made by the undersigned in compliance with requirements of 1995 CALIFORNIA TITLE 24, PART 01, CHAPTER 1, ARTICLE 1.1, SECTION 101.01 (1) and 101.01 (2) for indoor lighting systems using the prescribed lighting system as detailed on the drawings.

Table with columns: COMPLIANCE CHECKS, ADDITIONAL REMARKS, and ADDITIONAL CONDITIONS. Includes lighting fixture details and compliance notes.

CA Building Energy Efficiency Standards - 2022 Residential Compliance
Report Number: 2022-0336
Schema Version: 19/2022-03

INDOOR LIGHTING - CALIFORNIA ENERGY COMMISSION
DECLARATION OF COMPLIANCE
The Declaration is made by the undersigned in compliance with requirements of 1995 CALIFORNIA TITLE 24, PART 01, CHAPTER 1, ARTICLE 1.1, SECTION 101.01 (1) and 101.01 (2) for indoor lighting systems using the prescribed lighting system as detailed on the drawings.

Table with columns: WINDOW LIGHTING CONTROLS (Not Including PFRs), LIGHTING POWER ALLOWANCE, COMPLETE BUILDING OR AREA CATEGORY METHODS, and ADDITIONAL ALLOWANCE AREA CATEGORY METHOD QUALIFYING LIGHTING SYSTEM.

CA Building Energy Efficiency Standards - 2022 Residential Compliance
Report Number: 2022-0336
Schema Version: 19/2022-03

INDOOR LIGHTING - CALIFORNIA ENERGY COMMISSION
DECLARATION OF COMPLIANCE
The Declaration is made by the undersigned in compliance with requirements of 1995 CALIFORNIA TITLE 24, PART 01, CHAPTER 1, ARTICLE 1.1, SECTION 101.01 (1) and 101.01 (2) for indoor lighting systems using the prescribed lighting system as detailed on the drawings.

Table with columns: ADDITIONAL LIGHTING ALLOWANCE, TAILED DECORATIVE SPECIAL EFFECTS, POWER ADJUSTMENT LIGHTING CONTROL CREDIT (POWER ADJUSTMENT FACTOR (PAF)), LIGHTING POWER REDUCTION COMPLIANCE FOR ONLY-ON-ONE OCCASIONS, LOW LIGHTING POWER FOR ALL ALTERATIONS - CONTROLLED EXCEPTIONS, LIGHTING DESIGN POWER ADJUSTMENT FACTOR (LDPAF), DIMMING TEST LIGHTING, and ADDITIONAL LIGHTING ALLOWANCE, TAILED FLOOR AND TASK LIGHTING.

CA Building Energy Efficiency Standards - 2022 Residential Compliance
Report Number: 2022-0336
Schema Version: 19/2022-03

INDOOR LIGHTING - CALIFORNIA ENERGY COMMISSION
DECLARATION OF COMPLIANCE
The Declaration is made by the undersigned in compliance with requirements of 1995 CALIFORNIA TITLE 24, PART 01, CHAPTER 1, ARTICLE 1.1, SECTION 101.01 (1) and 101.01 (2) for indoor lighting systems using the prescribed lighting system as detailed on the drawings.

DECLARATION OF REQUIRED CERTIFICATES OF INSTALLATION
The undersigned hereby certifies that the information provided in this declaration, if any corrections have been made, is true and correct, and that the undersigned is not aware of any information that would make this declaration false or misleading.

DECLARATION OF REQUIRED CERTIFICATES OF ACCEPTANCE
The undersigned hereby certifies that the information provided in this declaration, if any corrections have been made, is true and correct, and that the undersigned is not aware of any information that would make this declaration false or misleading.

CA Building Energy Efficiency Standards - 2022 Residential Compliance
Report Number: 2022-0336
Schema Version: 19/2022-03

INDOOR LIGHTING - CALIFORNIA ENERGY COMMISSION
DECLARATION OF COMPLIANCE
The Declaration is made by the undersigned in compliance with requirements of 1995 CALIFORNIA TITLE 24, PART 01, CHAPTER 1, ARTICLE 1.1, SECTION 101.01 (1) and 101.01 (2) for indoor lighting systems using the prescribed lighting system as detailed on the drawings.

DECLARATION OF REQUIRED CERTIFICATES OF ACCEPTANCE
The undersigned hereby certifies that the information provided in this declaration, if any corrections have been made, is true and correct, and that the undersigned is not aware of any information that would make this declaration false or misleading.

DECLARATION OF REQUIRED CERTIFICATES OF ACCEPTANCE
The undersigned hereby certifies that the information provided in this declaration, if any corrections have been made, is true and correct, and that the undersigned is not aware of any information that would make this declaration false or misleading.

CA Building Energy Efficiency Standards - 2022 Residential Compliance
Report Number: 2022-0336
Schema Version: 19/2022-03



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2300 PLACENTIA AVENUE
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CONSULTANT
AAF ENGINEERING GROUP, INC.
10000 BAYVIEW BLVD., SUITE 100
DUBLIN, CA 94568
(925) 835-1100
www.aafeng.com

NO	DATE	BY	DESCRIPTION
1			REVISIONS

DRAWN: CBF CHECKED: RES
DATE: 09/28/2023 SCALE: AS NOTED
PROJECT NUMBER: 230075

TITLE 24 COMPLIANCE FORMS

DRAWING NUMBER: E0.4

OUTDOOR LIGHTING CALIFORNIA ENERGY COMMISSION
SECTION OF COMPLIANCE REC-0024
PROJECT NAME: Costa Mesa Fire Training Center Report Phase: Design Phase Sheet No: 01/02/2023

COMPLIANCE RESULTS

Table with columns: Item, Description, Status, Compliance Status, etc.

ADDITIONAL REMARKS
The user indicates remarks made in the permit application to the Authority Having Jurisdiction.

OUTDOOR LIGHTING CALIFORNIA ENERGY COMMISSION
SECTION OF COMPLIANCE REC-0024
PROJECT NAME: Costa Mesa Fire Training Center Report Phase: Design Phase Sheet No: 01/02/2023

LIGHTING ALLOWANCE PER SPECIFICATION

Table with columns: Area Description, Specific Area Type, Allowed Density, etc.

DECLARATION OF REQUIRED CERTIFICATES OF ACCEPTANCE
I, the undersigned, hereby certify that the information provided in this document, if any, is true and correct to the best of my knowledge and belief.

OUTDOOR LIGHTING CALIFORNIA ENERGY COMMISSION
SECTION OF COMPLIANCE REC-0024
PROJECT NAME: Costa Mesa Fire Training Center Report Phase: Design Phase Sheet No: 01/02/2023

DECLARATION OF REQUIRED CERTIFICATES OF ACCEPTANCE

RESPONSIBLE PERSON'S DECLARATION STATEMENT
I, the undersigned, hereby certify that the information provided in this document, if any, is true and correct to the best of my knowledge and belief.

OUTDOOR LIGHTING CALIFORNIA ENERGY COMMISSION
SECTION OF COMPLIANCE REC-0024
PROJECT NAME: Costa Mesa Fire Training Center Report Phase: Design Phase Sheet No: 01/02/2023

DECLARATION OF REQUIRED CERTIFICATES OF ACCEPTANCE

OUTDOOR LIGHTING CALIFORNIA ENERGY COMMISSION
SECTION OF COMPLIANCE REC-0024
PROJECT NAME: Costa Mesa Fire Training Center Report Phase: Design Phase Sheet No: 01/02/2023

COMPLIANCE RESULTS

Table with columns: Item, Description, Status, Compliance Status, etc.

ADDITIONAL REMARKS
The user indicates remarks made in the permit application to the Authority Having Jurisdiction.

OUTDOOR LIGHTING CALIFORNIA ENERGY COMMISSION
SECTION OF COMPLIANCE REC-0024
PROJECT NAME: Costa Mesa Fire Training Center Report Phase: Design Phase Sheet No: 01/02/2023

LIGHTING ALLOWANCE PER SPECIFICATION

Table with columns: Area Description, Specific Area Type, Allowed Density, etc.

DECLARATION OF REQUIRED CERTIFICATES OF ACCEPTANCE
I, the undersigned, hereby certify that the information provided in this document, if any, is true and correct to the best of my knowledge and belief.

OUTDOOR LIGHTING CALIFORNIA ENERGY COMMISSION
SECTION OF COMPLIANCE REC-0024
PROJECT NAME: Costa Mesa Fire Training Center Report Phase: Design Phase Sheet No: 01/02/2023

DECLARATION OF REQUIRED CERTIFICATES OF ACCEPTANCE

RESPONSIBLE PERSON'S DECLARATION STATEMENT
I, the undersigned, hereby certify that the information provided in this document, if any, is true and correct to the best of my knowledge and belief.

OUTDOOR LIGHTING CALIFORNIA ENERGY COMMISSION
SECTION OF COMPLIANCE REC-0024
PROJECT NAME: Costa Mesa Fire Training Center Report Phase: Design Phase Sheet No: 01/02/2023

DECLARATION OF REQUIRED CERTIFICATES OF ACCEPTANCE

OUTDOOR LIGHTING CALIFORNIA ENERGY COMMISSION
SECTION OF COMPLIANCE REC-0024
PROJECT NAME: Costa Mesa Fire Training Center Report Phase: Design Phase Sheet No: 01/02/2023

COMPLIANCE RESULTS

Table with columns: Item, Description, Status, Compliance Status, etc.

ADDITIONAL REMARKS
The user indicates remarks made in the permit application to the Authority Having Jurisdiction.

OUTDOOR LIGHTING CALIFORNIA ENERGY COMMISSION
SECTION OF COMPLIANCE REC-0024
PROJECT NAME: Costa Mesa Fire Training Center Report Phase: Design Phase Sheet No: 01/02/2023

LIGHTING ALLOWANCE PER SPECIFICATION

Table with columns: Area Description, Specific Area Type, Allowed Density, etc.

DECLARATION OF REQUIRED CERTIFICATES OF ACCEPTANCE
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OUTDOOR LIGHTING CALIFORNIA ENERGY COMMISSION
SECTION OF COMPLIANCE REC-0024
PROJECT NAME: Costa Mesa Fire Training Center Report Phase: Design Phase Sheet No: 01/02/2023

DECLARATION OF REQUIRED CERTIFICATES OF ACCEPTANCE

RESPONSIBLE PERSON'S DECLARATION STATEMENT
I, the undersigned, hereby certify that the information provided in this document, if any, is true and correct to the best of my knowledge and belief.

OUTDOOR LIGHTING CALIFORNIA ENERGY COMMISSION
SECTION OF COMPLIANCE REC-0024
PROJECT NAME: Costa Mesa Fire Training Center Report Phase: Design Phase Sheet No: 01/02/2023

DECLARATION OF REQUIRED CERTIFICATES OF ACCEPTANCE



RANCHO CUCAMONGA
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 RANCHO CUCAMONGA, CA 91760
 909-967-2828 F

**COSTA MESA FIRE TRAINING CENTER
 COSTA MESA FIRE DEPARTMENT**

2300 PLACENTIA AVENUE
 COSTA MESA, CA 92627



CONSULTANT

 AMP ENGINEERING GROUP, INC.
 4800 MILLER AVENUE, SUITE 200, COSTA MESA, CA 92626
 TEL: 949-441-8888 FAX: 949-441-8889

NO.	DATE	BY	DESCRIPTION

REVISIONS

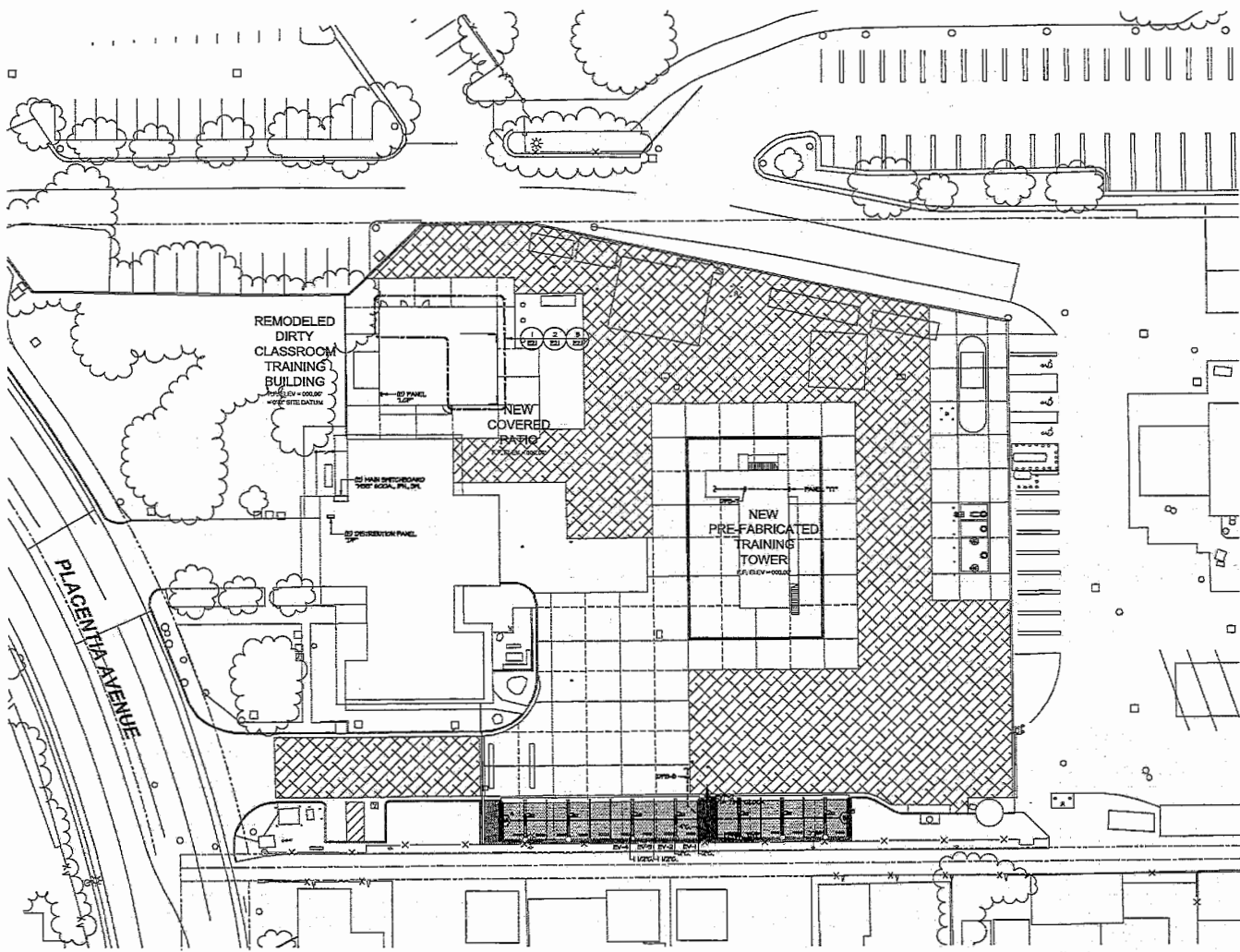
DRAWN: CBF CHECKED: RES
 DATE: 06/29/2023 SCALE: AS NOTED
 PROJECT NUMBER: 23007S

SITE PLAN

DRAWING NUMBER: **E.1.1**

PLAN NOTES:

- ① REFER TO GENERAL NOTES, DRAWING E811 FOR ADDITIONAL REQUIREMENTS.
- ② EXTERIOR FINISHED DEVICES / RECEPTACLES SHALL BE PROVIDED COMPLETE WITH LOCKING TYPE WEATHERPROOF COVERS AND BE UL LISTED FOR THE LOCATIONS SHOWN IN USE. COVERS SHALL BE AS MANUFACTURED BY RAED OR APPROVED EQUAL. PLASTIC COVERS NOT ALLOWED.



TRUE NORTH

SITE PLAN

1" = 20'-0" 1



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909-967-0203 P

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2300 PLACENTIA AVENUE
COSTA MESA, CA 92627



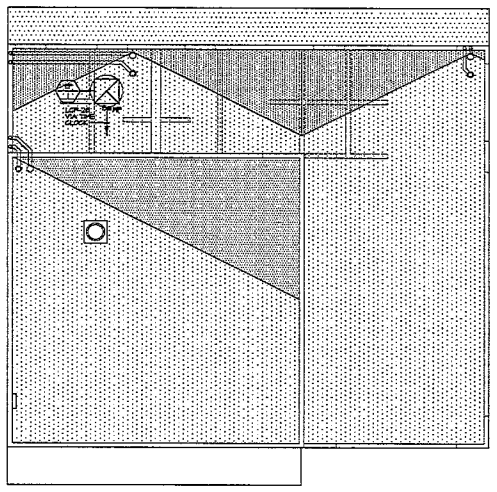
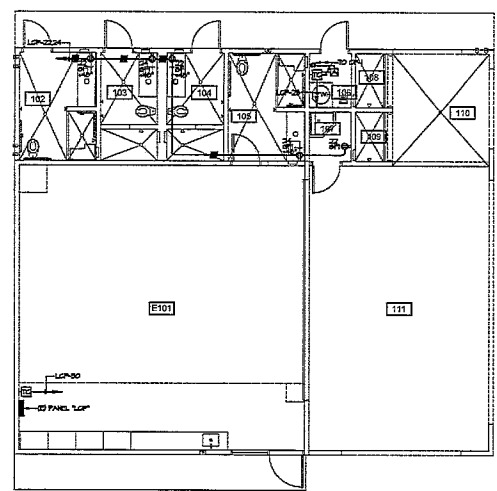
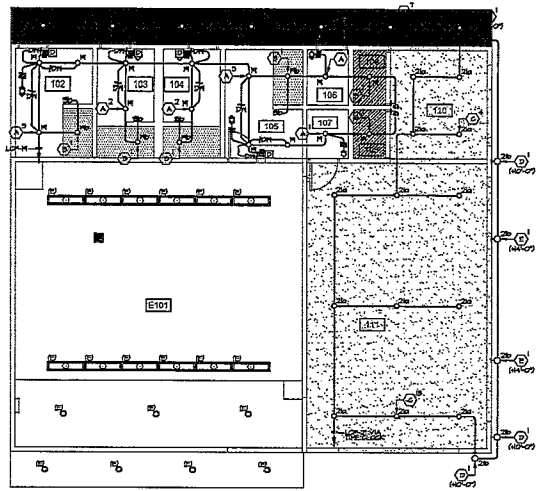
NO	DATE	BY	DESCRIPTION

DRAWN: CBF CHECKED: RES
DATE: 09/25/2023 SCALE: AS NOTED
PROJECT NUMBER: 230075

DIRTY TRAINING CLASSROOM BLDG PLANS

DRAWING NUMBER: E2.1

- PLAN NOTES:**
- REFER TO GENERAL NOTES DRAWING E01 FOR ADDITIONAL REQUIREMENTS.
 - REFER TO LIGHTING FIXTURE SCHEDULE DRAWING E01 FOR TYPE OF FIXTURE TO BE PROVIDED AND INSTALLED.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL CEILING RELATED FIXTURES AND DEVICES WITH THE ARCHITECTURAL REFLECTED CEILING PLAN.
 - OCCUPANT SEATWORK LOCATIONS INDICATED ON PLAN SHALL BE ADJUSTED/PROVIDED AS REQUIRED TO PROVIDE FULL COVERAGE OF THE AREA INDICATED ON FINAL PLACEMENT OF SEATWORK SHALL CONFORM WITH THE SEATWORK MANUFACTURER'S RECOMMENDATION.
 - NO EXPOSED CONDUIT WILL BE ALLOWED.
 - CONTRACTOR TO TEST AND COORDINATE WITH THE TITLE 24 ACCEPTANCE TESTER PRIOR TO THE BEGINNING OF THE PROJECT TO VERIFY ALL TITLE 24 ACCEPTANCE TEST REQUIREMENTS AND DOCUMENTS TO BE COMPLETED. CONTRACTOR SHALL PROVIDE, COMPLETE AND VERIFY ALL REQUIRED TITLE 24 ACCEPTANCE TEST DOCUMENTS AS REQUIRED BY THE T24 ACCEPTANCE TESTER.
 - CONTRACTOR TO PROVIDE ENGRAVED LABELING AT EACH RECEPTACLE, DATA OUTLET, JUNCTION BOX, DISCONNECT SWITCH, ETC. DISPLAYING THE EP OR PANEL, WITH CIRCLES DESIGNATING THE DATA OUTLET, RECEPTACLE, JUNCTION BOX, DISCONNECT SWITCH, ETC.
 - ALL CONCRETE SURFACES THE REMODEL AREA WHETHER IDENTIFIED ON PLAN OR NOT, SHALL BE TRACED AND IDENTIFIED PRIOR TO START OF THE DEMOLITION PHASE. CONCRETE AFFECTED BY THE REMODEL THAT SERVE AREAS OF THE BUILDING THAT ARE NOT A PART OF THE REMODEL, SHALL BE MAINTAINED IN OPERATION DURING THE CONSTRUCTION PHASE. INTERRUPTION OF SERVICE WILL NOT BE ALLOWED.
 - EXACT LOCATION OF OUTLETS SHOWN ON THESE DRAWINGS SHALL BE COORDINATED WITH THE ARCHITECTURAL ELEVATIONS PRIOR TO REMOVAL AND SHALL BE LOCATED IN SUCH A MANNER TO AVOID INTERFERENCE WITH OTHER OUTLETS AND CASINGS.
 - EXTENSION MOUNTED DEVICES / RECEPTACLES SHALL BE PROVIDED COMPLETE WITH LOCKING TYPE WEATHERPROOF COVER AND BE UL LISTED FOR LIST LOCATIONS SHOWN IN THESE COVERS SHALL BE AS MANUFACTURED BY RACO OR APPROVED EQUAL. PLASTIC COVERS NOT ALLOWED.
 - THE CONTRACTOR SHALL REFER TO THE MECHANICAL AND PLUMBING DRAWINGS FOR EXACT EQUIPMENT LOCATIONS AND ELECTRICAL CONNECTIONS REQUIREMENTS. CONTRACTOR SHALL PROVIDE ALL POWER AND CONTROL CONNECTIONS AS INDICATED ON THE MECHANICAL AND PLUMBING DRAWINGS.



ROOM NUMBER	DESCRIPTION
E101	DIRTY TRAINING CLASSROOM
102	BATHROOM 1
103	BATHROOM 2
104	BATHROOM 3
105	BATHROOM 4
106	WATER HEATER ROOM
107	CUSTODIAL
108	EXTERIOR SHOWER 1
109	EXTERIOR SHOWER 2
110	COVERED PATIO
111	COVERED PATIO

REMODEL REFLECTED CEILING PLAN 3/16" = 1'-0" 1

REMODEL FLOOR PLAN 3/16" = 1'-0" 2

REMODEL ROOF PLAN 3/16" = 1'-0" 3

ROOM LEGEND



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RANCHO CUCAMONGA, CA 91730
909-977-0997

COSTA MESA FIRE TRAINING CENTER
COSTA MESA FIRE DEPARTMENT
2300 PLACENTIA AVENUE
COSTA MESA, CA 92627



CONSULTANT

ALAN P. ENGINEERING GROUP, INC.
100 WEST 11TH STREET, SUITE 100, COSTA MESA, CA 92627

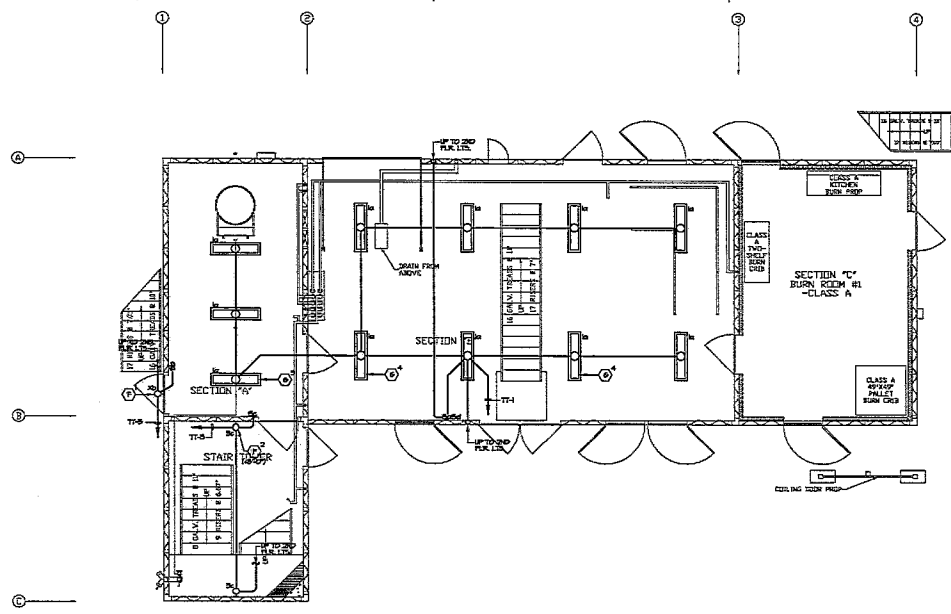
NO.	DATE	BY	DESCRIPTION
1			REVISIONS

TRAINING TOWER
LIGHTING PLANS

DRAWING NUMBER: E3.1

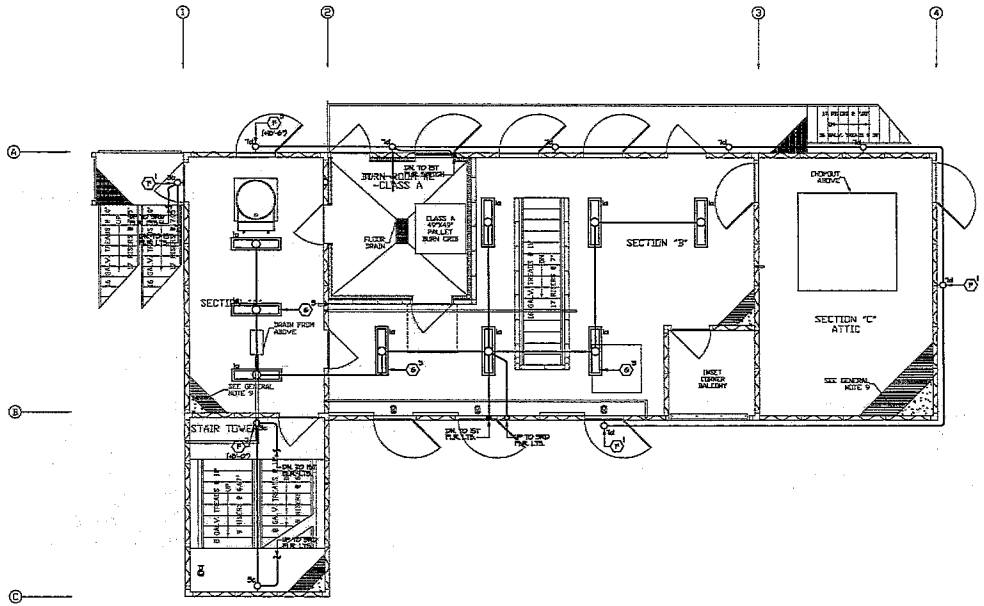
- PLAN NOTES:**
- REFER TO GENERAL NOTES DRAWING 201 FOR ADDITIONAL REQUIREMENTS.
 - USE PVC SCHEDULE 40 OR 80 CONDUIT AND NON-METALLIC FITTINGS AND BOXES FOR ALL RACEWAYS INSTALLED IN THIS BUILDING. USE STAINLESS STEEL HARDWARE (BUSHES, BRACKETS, ETC.) FOR MOUNTING OF EQUIPMENT/BOXES.
 - REFER TO LIGHTING FIXTURE SCHEDULE DRAWING 201 FOR TYPE OF FIXTURE TO BE PROVIDED AND INSTALLED.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL CEILING MOUNTED FIXTURES AND DEVICES WITH THE ARCHITECTURAL REFLECTED CEILING PLAN.

NO EXPOSED CONDUIT WILL BE ALLOWED.



FIRST FLOOR TRAINING TOWER LIGHTING PLAN

1/4" = 1'-0" 1



SECOND FLOOR TRAINING TOWER LIGHTING PLAN

1/4" = 1'-0" 2



RANCHO CUCAMONGA
 8143 ROCHESTER AVENUE, SUITE 100
 RANCHO CUCAMONGA, CA 91750
 909-957-0202 F

COSTA MESA FIRE TRAINING CENTER
 COSTA MESA FIRE DEPARTMENT
 2300 PLACENTIA AVENUE
 COSTA MESA, CA 92627



CONSULTANT

 A&P ENGINEERING GROUP, INC.
 1800 WEST 18TH AVENUE, SUITE 100
 DENVER, COLORADO 80202

NO	DATE	BY	DESCRIPTION
1			REVISIONS

DRAWN: CBF CHECKED: RES
 DATE: 08/29/2023 SCALE: AS NOTED
 PROJECT NUMBER: 230075

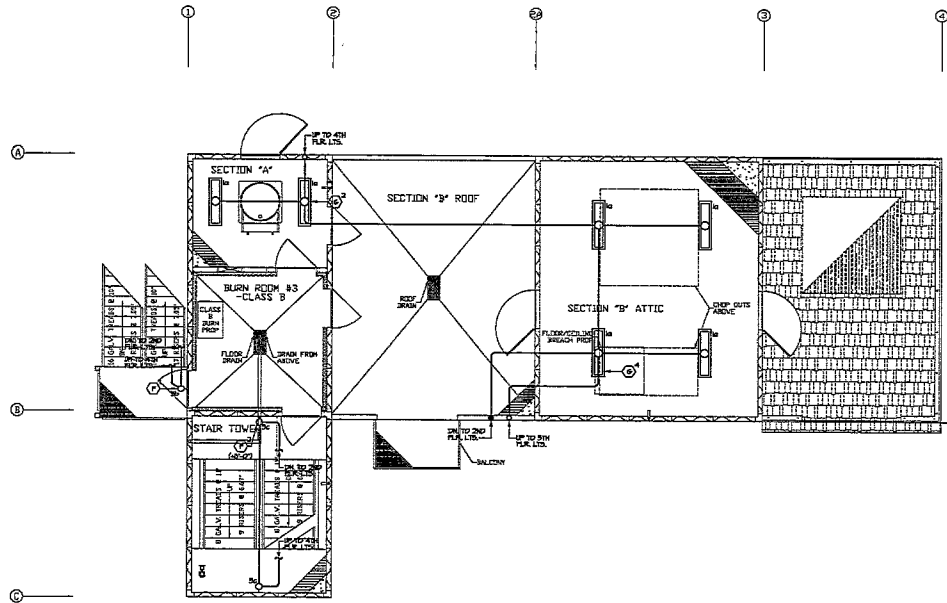
TRAINING TOWER LIGHTING PLANS

DRAWING NUMBER: E3.2

PLAN NOTES:

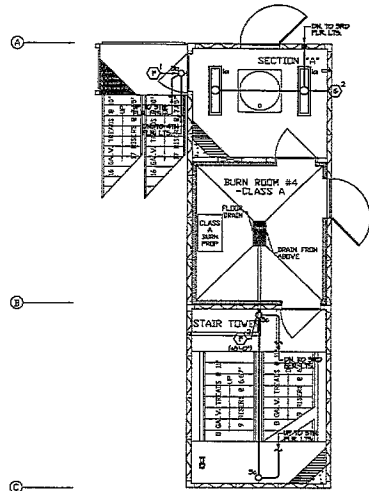
- ① REFER TO GENERAL NOTES DRAWING SET FOR ADDITIONAL REQUIREMENTS.
- ② SEE PVC SCHEDULE 40 OR 80 CONDUIT AND NON-METALLIC FITTINGS AND BOXES FROM ALL MANUFACTURERS INSTALLED IN THIS BUILDING. USE STAINLESS STEEL HARDWARE (SCREWS, BRACKETS, ETC.) FOR MOUNTING OF LEADWIRE/FITTINGS.
- ③ REFER TO LIGHTING FIXTURE SCHEDULE DRAWING SET FOR TYPE OF FIXTURE TO BE PROVIDED AND INSTALLED.
- ④ THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL CEILING RELATED FIXTURES AND DEVICES WITH THE ARCHITECTURAL REFLECTED CEILING PLAN.

NO EXPOSED CONDUIT WILL BE ALLOWED.



THIRD FLOOR TRAINING TOWER LIGHTING PLAN

1/4" = 1'-0" 1



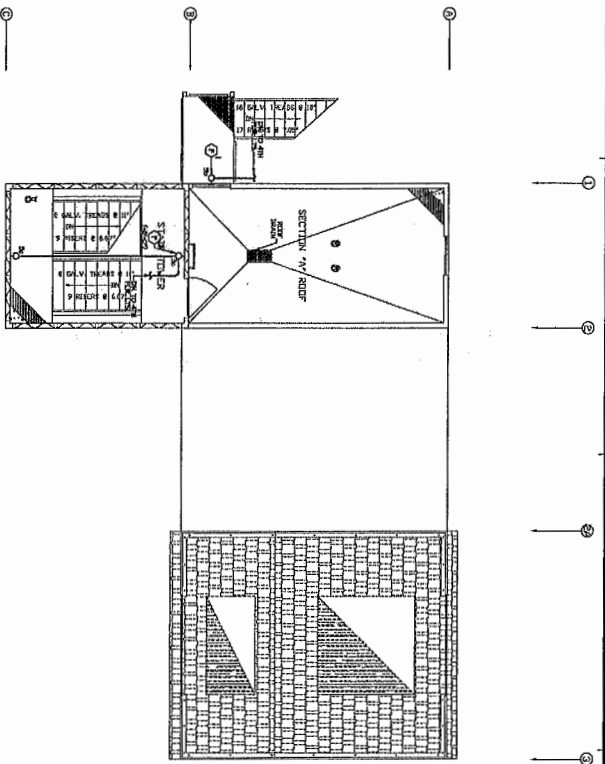
TOWER 4TH FLOOR PLAN
 SCALE: 1/4" = 1'-0"



FOURTH FLOOR TRAINING TOWER LIGHTING PLAN

1/4" = 1'-0" 2 NOT USED

3



FIFTH FLOOR TRAINING TOWER LIGHTING PLAN

1/8" = 1'-0" 1



- PLAN NOTES:**
- 1 REFER TO GENERAL NOTES, DRAWING SET, FOR ADDITIONAL INFORMATION.
 - 2 THE CONTRACTOR SHALL VERIFY THE EXISTING CONDITIONS AND PROVIDE THE NECESSARY PROTECTION AND SUPPORT FOR ALL UTILITIES AND STRUCTURES TO REMAIN.
 - 3 REFER TO THE PROJECT MANUAL FOR DETAILS, SPECIFICATIONS AND THE TYPE OF MATERIALS TO BE USED.
 - 4 THE CONTRACTOR SHALL VERIFY THE EXISTING CONDITIONS AND PROVIDE THE NECESSARY PROTECTION AND SUPPORT FOR ALL UTILITIES AND STRUCTURES TO REMAIN.

NO EXPOSED CONCRETE WILL BE ALLOWED.

NOT USED

2



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(714) 441-0000

**COSTA MESA FIRE TRAINING CENTER
COSTA MESA FIRE DEPARTMENT**

2300 PLACENTIA AVENUE
COSTA MESA, CA 92627



CONSULTANT
A&P ARCHITECTURE AND PLANNING
1000 WEST CENTER STREET, SUITE 200
COSTA MESA, CA 92626
(714) 441-0000

NO.	DATE	BY	DESCRIPTION

DRAWN: CBF CHECKED: MS
DATE: 05/20/2013 SCALE: AS SHOWN
PROJECT NUMBER: 200705

**TRAINING TOWER
LIGHTING PLANS**

DRAWING NUMBER: **E3.3**



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8163 ROCHESTER AVENUE, SUITE 100
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909-857-0269 P

COSTA MESA FIRE TRAINING CENTER
COSTA MESA FIRE DEPARTMENT
2300 PLACENTIA AVENUE
COSTA MESA, CA 92627



CONSULTANT
AMP ENGINEERING GROUP, INC.
AND ARCHITECTS
10000 BAYVIEW BLVD., SUITE 100, COSTA MESA, CA 92626
TEL: 949-266-1000 FAX: 949-266-1001

NO	DATE	BY	DESCRIPTION

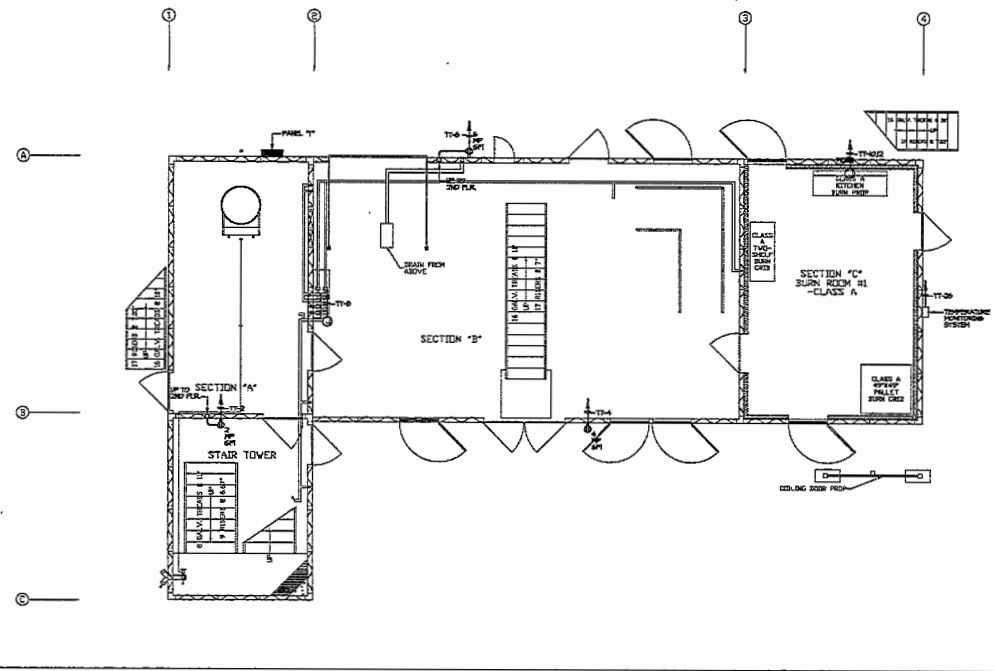
TRAINING TOWER
POWER PLANS

DRAWING NUMBER: E3.4

PLAN NOTES:

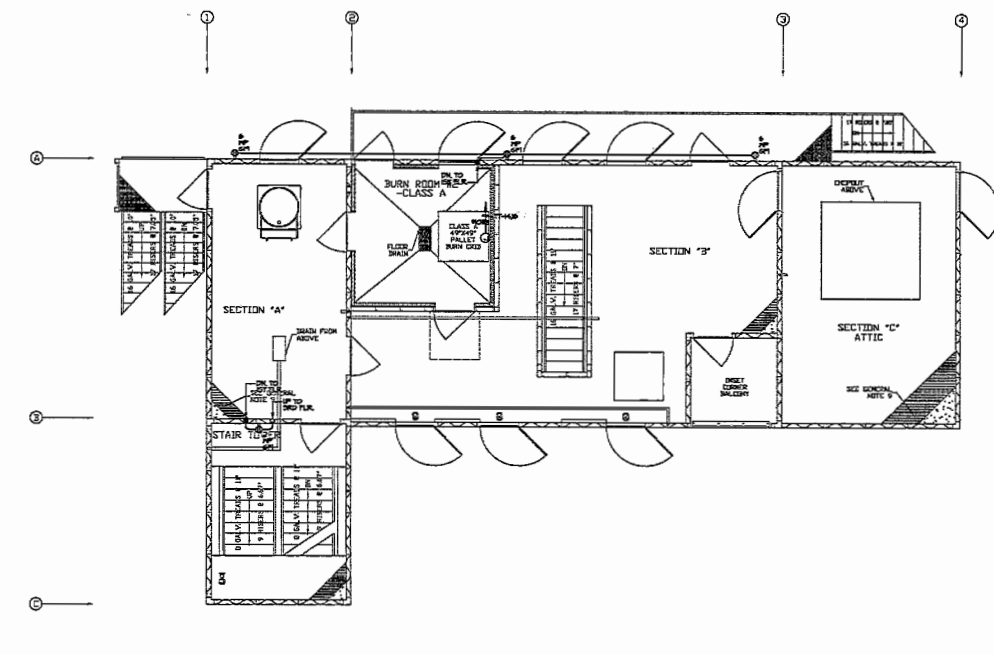
- REFER TO GENERAL NOTES DRAWING 801 FOR ADDITIONAL REQUIREMENTS.
- USE PVC SCHEDULE 40 OR 80 CONDUIT AND NON-METALLIC FITTINGS AND BOXES FOR ALL RACONTS DETALLED IN THIS DRAWING. USE STAINLESS STEEL HANGWARE (HOOKS, BRACKETS, ETC) FOR MOUNTING OF EQUIPMENT/FITTINGS.
- EXACT LOCATION OF GUILTS SHOWN ON THESE DRAWINGS SHALL BE COORDINATED WITH THE ARCHITECTURAL DRAWINGS PRIOR TO BEGINNING AND SHALL BE LOCATED IN SUCH A MANNER TO AVOID INTERFERENCE WITH OTHER GUILTS AND GARDENS.
- SEE SINGLE LINE DIAGRAM DRAWING 802 FOR CONDUIT SIZE AND WIRE SIZE AND QUANTITIES REQUIRED FOR ALL ELECTRICAL EQUIPMENT.
- CONDUIT AND WIRE INDICATED ON THE SINGLE LINE DIAGRAM METHOD SHOWN ON THIS DRAWING ARE NOT SHALL BE A PART OF THIS CONTRACT AND THE RESPONSIBILITY OF THIS CONTRACTOR TO PROVIDE REQUIRED ROUTING TO MEET THE INTENT OF THESE PLANS AND SPECIFICATIONS.
- EXTERIOR MOUNTED RECEPTACLES SHALL BE PROVIDED COMPLETE WITH LOCKING-TYPE WEATHERPROOF COVERS. COVERS SHALL BE AS MANUFACTURED BY RAO OR APPROVED EQUAL.

NO EXPOSED CONDUIT WILL BE ALLOWED.



FIRST FLOOR TRAINING TOWER POWER PLAN

1/4" = 1'-0" 1



SECOND FLOOR TRAINING TOWER POWER PLAN

1/4" = 1'-0" 2



RANCHO CUCAMONGA
 6163 ROCHESTER AVENUE, SUITE 100
 RANCHO CUCAMONGA, CA 91730
 909-667-0027

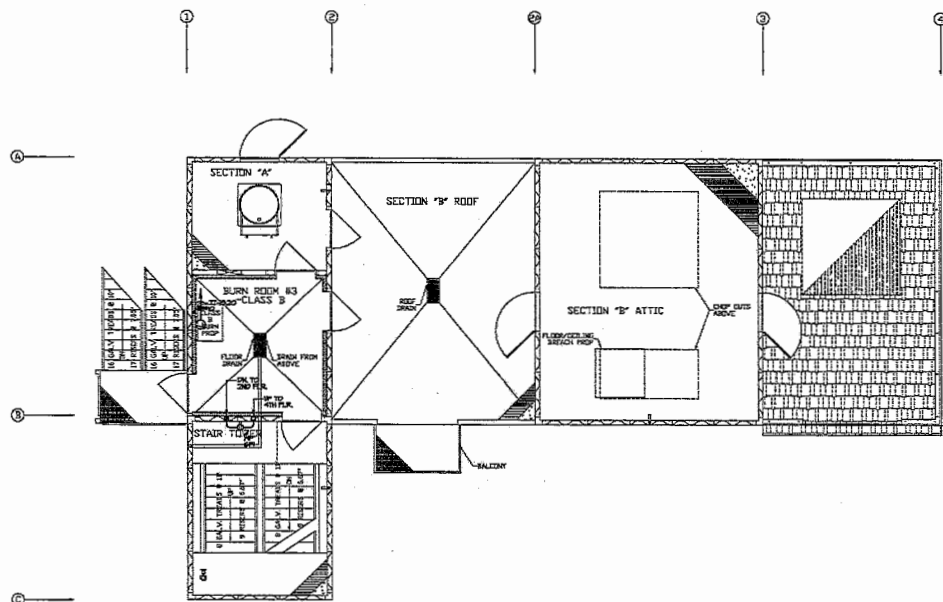
**COSTA MESA FIRE TRAINING CENTER
 COSTA MESA FIRE DEPARTMENT**

2300 PLACENTIA AVENUE
 COSTA MESA, CA 92627

PLAN NOTES:

- ① REFER TO GENERAL NOTES, DRAWING SET FOR ADDITIONAL REQUIREMENTS.
- ② USE PVC SCHEDULE 40 OR 80 CONDUIT AND NON-METALLIC FITTINGS AND RINGS FOR ALL RACEWAYS INSTALLED IN THIS SYSTEM, USE STAINLESS STEEL HANGWARE (BRACKETS, BRACKETETS, ETC.) FOR MOUNTING OF DEATHENUTS/ROCKERS.
- ③ EXACT LOCATION OF OUTLETS SHOWN ON THESE DRAWINGS SHALL BE COORDINATED WITH THE ARCHITECTURAL ELEVATIONS PRIOR TO WORKING AND SHALL BE LOCATED IN SUCH A MANNER TO AVOID INTERFERENCES WITH OTHER OUTLETS AND CASINGING.
- ④ SEE SINGLE LINE DIAGRAM DRAWINGS FOR CONDUIT SIZE AND WIRE SIZE AND QUANTITIES REQUIRED FOR ALL ELECTRICAL EQUIPMENT.
- ⑤ CONDUIT AND WIRE INDICATED ON THE SINGLE LINE DIAGRAM, WHETHER SHOWN ON THIS DRAWING OR NOT, SHALL BE A PART OF THIS CONTRACT AND THE RESPONSIBILITY OF THIS CONTRACTOR TO PROVIDE REQUIRED ROUTING TO MEET THE INTENT OF THESE PLANS AND SPECIFICATIONS.
- ⑥ EXTERIOR PENETRATED RECESSES SHALL BE PROVIDED COMPLETE WITH LOCUSITE TYPE WEATHERPROOF COVERS. COVERS SHALL BE AS MANUFACTURED BY PAGO OR APPROVED EQUAL.

NO EXPOSED CONDUIT WILL BE ALLOWED.

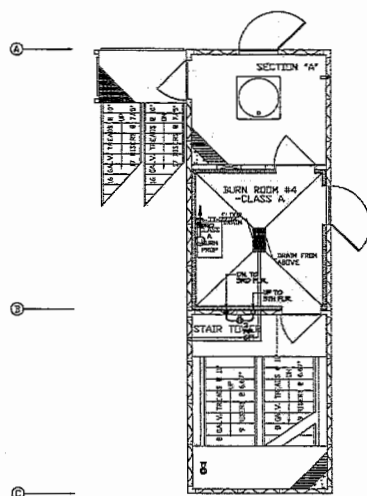


PLAN NORTH

THIRD FLOOR TRAINING TOWER POWER PLAN

1/4" = 1'-0"

1



TOWER 4TH FLOOR PLAN
 SCALE: 1/4" = 1'-0"



PLAN NORTH

FOURTH FLOOR TRAINING TOWER POWER PLAN

1/4" = 1'-0"

2

NOT USED

3



CONSULTANT

 ALAN ENGSTROM CONSULTING, INC.
 10000 N. 100TH AVENUE, SUITE 1000, WASHINGTON, DC 20131

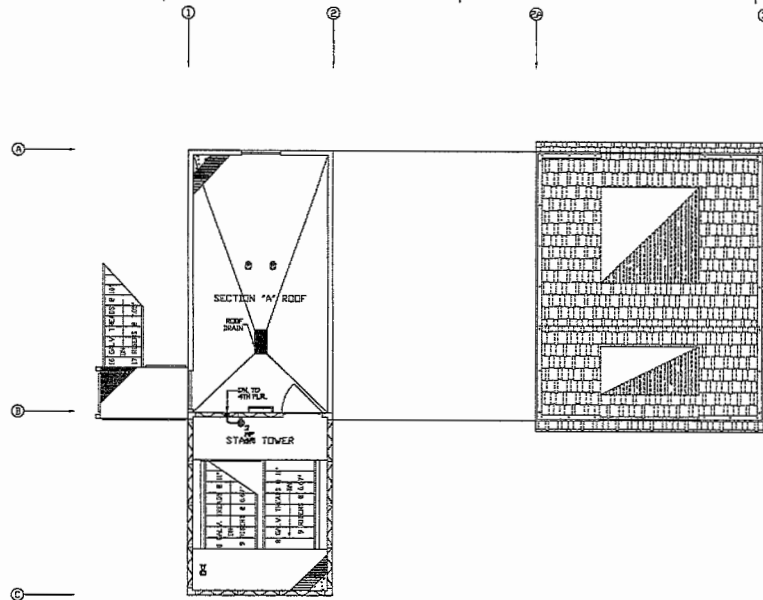
NO.	DATE	BY	DESCRIPTION

NO DATE BY DESCRIPTION
 REVISIONS

DRAWN: CHJ CHECKED: RES
 DATE: 06/29/2023 SCALE: AS NOTED
 PROJECT NUMBER: 230075

TRAINING TOWER
 POWER PLANS

DRAWING NUMBER: E3.5



TOWER AND RESIDENTIAL POWER PLAN

FIFTH FLOOR TRAINING TOWER POWER PLAN

1/4" = 1'-0" 1

PLAN NOTES:

- ① REFER TO ADDITIONAL NOTES DRAWING E04, FOR ADDITIONAL REQUIREMENTS.
- ② USE PVC SCHEDULE 40 OR 80 CONDUIT AND NON-METALLIC FITTINGS AND BOXES FOR ALL RACEWAYS INSTALLED IN THIS BUILDING. USE STAINLESS STEEL HARDWARE (NUTS, BRACKETS, ETC.) FOR MOUNTING OF EQUIPMENT/FITTINGS.
- ③ EXACT LOCATION OF CONDUITS SHOWN ON THESE DRAWINGS SHALL BE COORDINATED WITH THE ARCHITECTURAL ELEVATIONS PRIOR TO REQUEST AND SHALL BE LOCATED IN SUCH A MANNER TO AVOID INTERFERENCES WITH OTHER SYSTEMS AND CASINGING.
- ④ SEE SINGLE LINE DIAGRAM DRAWING E03 FOR CONDUIT SIZE AND PING SIZE AND QUANTITIES REQUIRED FOR ALL ELECTRICAL EQUIPMENT.
- ⑤ CONDUIT AND WIRE INDICATED ON THE SINGLE LINE DIAGRAM WHETHER SHOWN ON THIS DRAWING OR NOT, SHALL BE A PART OF THIS CONTRACT AND THE RESPONSIBILITY OF THIS CONTRACTOR TO PROVIDE REQUIRED ROUTING TO MEET THE intent OF THESE PLANS AND SPECIFICATIONS.
- ⑥ EXTERIOR MOUNTED ENCLOSURES SHALL BE PROVIDED COMPLETE WITH LOCKING TYPE WEATHERPROOF COVER. COVERS SHALL BE AS MANUFACTURED BY RACO OR APPROVED EQUAL.

NO EXPOSED CONDUIT WILL BE ALLOWED.



RANCHO CUCAMONGA
8163 ROCHESTER AVENUE, SUITE 100
RANCHO CUCAMONGA, CA 91730
909-867-2929 P

COSTA MESA FIRE TRAINING CENTER
COSTA MESA FIRE DEPARTMENT
2300 PLACENTIA AVENUE
COSTA MESA, CA 92627



CONSULTANT
A&P ENGINEERING GROUP, INC.
1000 WEST 10TH AVENUE, SUITE 100
DENVER, CO 80202

NO	DATE	BY	DESCRIPTION

REVISIONS
DRAWN: CSJ CHECKED: RJS
DATE: 01/29/2023 SCALE: AS NOTED
PROJECT NUMBER: 230075

TRAINING TOWER
POWER PLANS

DRAWING NUMBER: E3.6

NOT USED



RANCHO CUCAMONGA
 5155 ROCHESTER AVENUE, SUITE 100
 RANCHO CUCAMONGA, CA 91750
 909-687-0969 P

COSTA MESA FIRE TRAINING CENTER
COSTA MESA FIRE DEPARTMENT
 2300 PLACENTIA AVENUE
 COSTA MESA, CA 92627



CONSULTANT

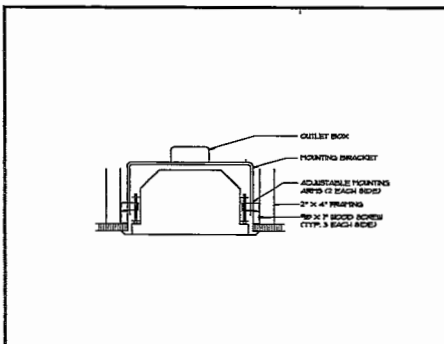
 A&P ENGINEERING GROUP, INC.
 480 WEST 9TH ST., SUITE 100, COSTA MESA, CA 92627
 TEL: 949-448-7800 FAX: 949-448-7801

NO.	DATE	BY	DESCRIPTION

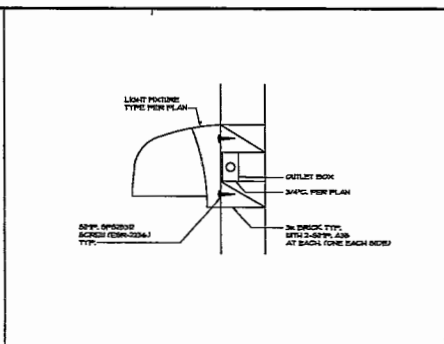
ELECTRICAL DETAILS

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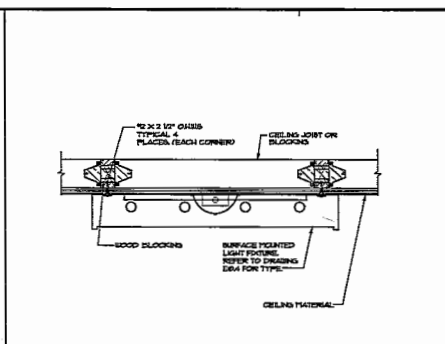
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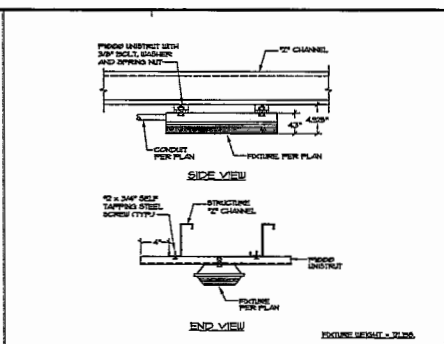
DN. LIGHT FIXTURE - GYP BOARD CLNG. SCALE: NONE 1



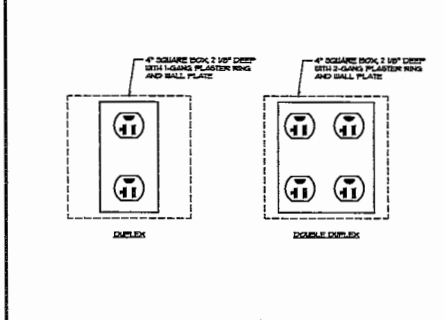
EXTERIOR LT. FIXTURE - WALL MTD. SCALE: NONE 2



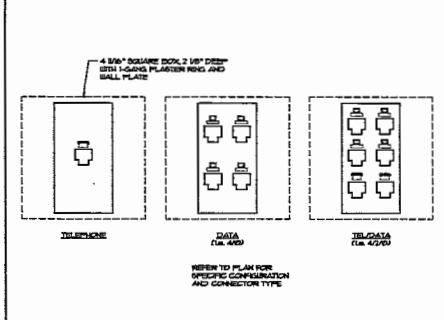
SURFACE MOUNTED LT. FIXTURE SCALE: NONE 3



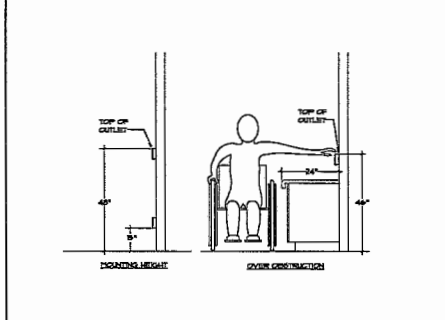
CANOPY LIGHT FIXTURE SCALE: NONE 4



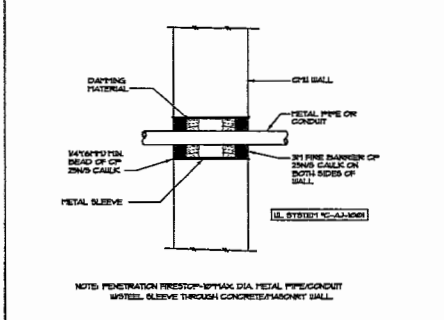
RECPTACLE - FLUSH MOUNTED SCALE: NONE 5



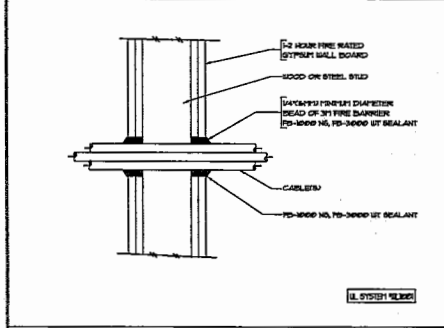
TEL/DATA OUTLET - FLUSH MOUNTED SCALE: NONE 6



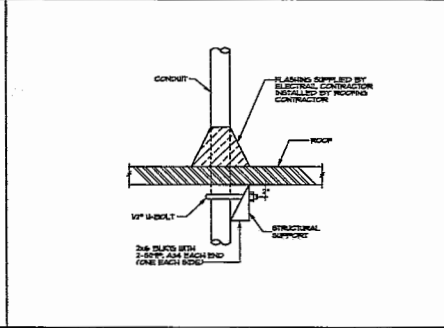
DEVICE MOUNTING HEIGHTS SCALE: NONE 7



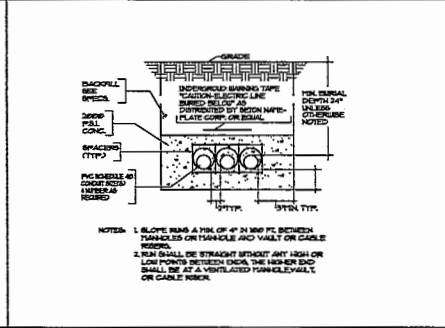
WALL PENETRATION DETAIL SCALE: NONE 8



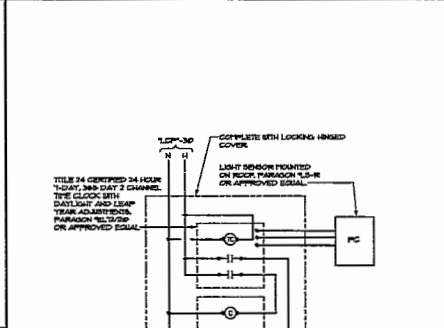
CABLE WALL PENETRATION DETAIL SCALE: NONE 9



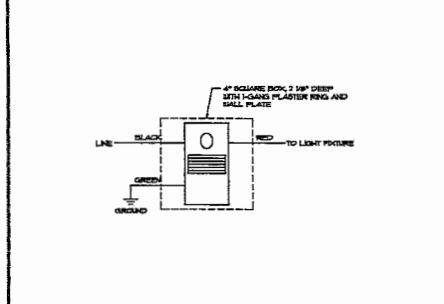
ROOF CONDUIT PENETRATION DETAIL SCALE: NONE 10



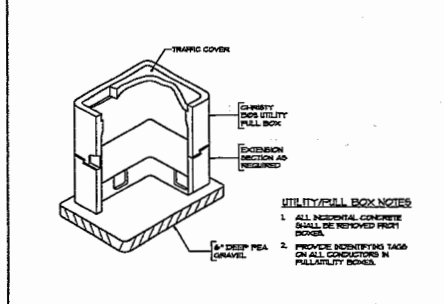
UNDERGROUND DUCT-BANK SCALE: NONE 11



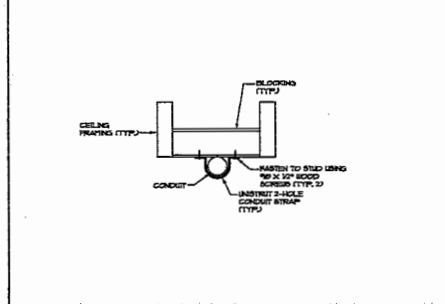
CONDUIT SUPPORT DETAIL SCALE: NONE 15



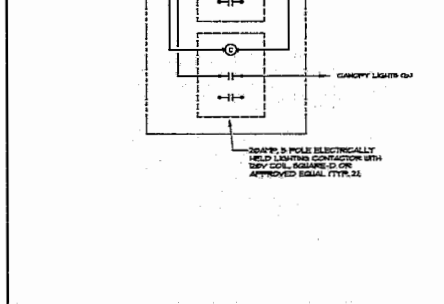
WALL MOUNTED - OCCUPANT SENSOR SCALE: NONE 13



UNDERGROUND PULL BOX SCALE: NONE 14



CONDUIT SUPPORT DETAIL SCALE: NONE 15



NOT USED SCALE: NONE 16

ATTACHMENT 3
(Prefabricated Tower Structure & Footing Plans)



**CUSTOM HIGH RISE - FIVE STORY
CITY OF COSTA MESA FIRE DEPARTMENT**

GENERAL NOTES

- 1) THIS INFORMATION CONFORMS TO ALL APPLICABLE STANDARDS FOR FIRE TRAINING SIMULATORS AT THE TIME OF PREPARATION.
- 2) THE ERECTION CONTRACTOR ASSUMES RESPONSIBILITY FOR ALL MATERIALS, AT THE TIME OF DELIVERY, THIS CONTRACTOR IS ALSO RESPONSIBLE TO ACCOUNT FOR ALL MATERIAL, AT TIME OF DELIVERY, IF THERE IS A DISCREPANCY IN THE MATERIAL DELIVERED, CONTACT WHP TRAININGTOOLWORKS IMMEDIATELY IN ORDER TO MAKE PROPER ARRANGEMENTS TO PROVIDE THE NECESSARY MATERIAL.
- 3) THIS SET OF DRAWINGS IS INTENDED AS A CONCEPTUAL SET, PROVIDED FOR SECONDARY REFERENCE ONLY. REFER TO BROWN INDUSTRIES CONSTRUCTION DRAWINGS AND THE MISCELLANEOUS METALS DRAWINGS AS PRIMARY REFERENCE FOR EXACT MATERIAL, DIMENSIONS, EXECUTION, AND PROCEDURES.
- 4) THESE DRAWINGS, SPECIFICATIONS, IDEAS, DETAILS, AND ARRANGEMENTS ARE AND SHALL REMAIN THE PROPERTY OF WHP TRAININGTOOLWORKS AND NO PART THERE OF SHALL BE COPIED, REPRODUCED, OR USED IN CONNECTION WITH ANY WORK OR PROJECT OTHER THAN THE SPECIFIC PROJECT FOR WHICH THEY HAVE BEEN PREPARED WITHOUT WRITTEN CONSENT FROM WHP TRAININGTOOLWORKS.
- 5) WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. INSTALLING CONTRACTORS OR OWNERS SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND WHP TRAININGTOOLWORKS SHALL BE NOTIFIED IMMEDIATELY OF ANY VARIATIONS OR DISCREPANCIES FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. ANY FIELD CHANGES OR MODIFICATIONS TO EITHER THE STRUCTURE OR ADDITIVE COMPONENTS MUST BE REPORTED AND APPROVED BY WHP TRAININGTOOLWORKS PRIOR TO PERFORMING ANY WORK.
- 6) MISCELLANEOUS FIELD CUTTING AND FITTING OF BOTH STRUCTURAL AS WELL AS LIGHT GAUGE FRAMING COMPONENTS WILL BE NECESSARY TO BE ABLE TO PERFORM THE INSTALLATION PROCEDURES REQUIRED AND WILL BE CONSIDERED AS A STANDARD CONDITION AND REQUIREMENT FOR ERECTION OF THIS LIVE FIRE TRAINING SIMULATOR AND ITS COMPONENTS.
- 7) DOORS SHALL BE PAINTED 1/2 GA STEEL, REINFORCED WITH STEEL CHANNEL. EACH EXTERIOR NON-BURN ROOM DOOR SHALL BE PROVIDED WITH CD HEAVY-DUTY STAINLESS STEEL CONTINUOUS HINGE AND CD COMMERCIAL GRADE KEYS LOCKSET. EACH INTERIOR NON-BURN ROOM DOOR SHALL BE PROVIDED WITH CD HEAVY-DUTY STAINLESS STEEL CONTINUOUS HINGE AND CD COMMERCIAL GRADE PASSAGE SETS. EACH BURN ROOM DOOR SHALL BE PROVIDED WITH CD HEAVY-DUTY STAINLESS STEEL CONTINUOUS HINGE, CD SPRING-TYPE CLOSING DEVICE, CD DOOR FILL, CD HELLER CATCH AND CD HASP FOR USE IN SECURING THE BUILDING WHEN NOT IN USE. ANY RELEASABLE DOORS SHALL BE PROVIDED WITH CD METAL ASTRIKAL, CD INACTIVE LEAF, AND CD CAME BOLT. DOOR HINGES SHALL BE MOUNTED TO STUDS A MINIMUM OF 4" X 12 GA. ALL FRAMED DOOR OPENINGS THAT DO NOT SIT ON THE CONCRETE SITU WALL SHALL EXTEND 6" FROM THE BOTTOM OF DOOR SLAB TO PROVIDE A 6" OPENING UNDER THE DOOR. ALL DOORS SHALL HAVE CD NON-TEMP DOOR SWEEP INSTALLED ON THE OUTWARD SIDE OF THE DOOR TO COVER THE 6" OPENING. THE DOOR SWEEP SHALL DRAG AGAINST THE FINISHED FLOOR LEVEL.
- 8) WINDOW CLOSURES SHALL BE PAINTED 1/2 GA HOT-DIPPED GALVANIZED SINGLE LEAVES WITH A 1" DEEP PPM FRAME DESIGN. EACH NON-BURN ROOM WINDOW ACCESSIBLE FROM THE GROUND SHALL BE PROVIDED WITH CD STAINLESS STEEL CONTINUOUS HINGE, CD SLAM LATCH, CD KEYS LEVER ON THE EXTERIOR SIDE OF THE CLOSURE, CD PASSAGE LEVER ON THE INTERIOR SIDE OF THE CLOSURE, AND CD HOLD-OPEN DEVICE. EACH NON-BURN ROOM CLOSURE NOT ACCESSIBLE FROM THE GROUND SHALL BE PROVIDED WITH CD STAINLESS STEEL CONTINUOUS HINGE, CD SLAM LATCH, CD PASSAGE LEVER ON THE EXTERIOR SIDE OF THE CLOSURE, CD PASSAGE LEVER ON THE INTERIOR SIDE OF THE CLOSURE, AND CD HOLD-OPEN DEVICE. EACH BURN ROOM CLOSURE SHALL BE PROVIDED WITH ONE OF THE ABOVE HARDWARE SETS AND SHALL INCLUDE CD "PASSGATE" MOUNTING CHANNELS WELDED ON THE INTERIOR SIDE OF THE CLOSURE. ALL CLOSURES SHALL BE INSTALLED WITH EQUAL SPACING BETWEEN THE FRAMED OPENING AND THE CLOSURE PAN. ALL SILL ELEVATIONS SHALL BE 48" ABOVE FINISHED FLOOR ELEVATION.
- 9) FLOOR DECKS ABOVE GRADE SHALL BE CONCRETE OVER GALVANIZED 1/2" CD DECK FASTENED DIRECTLY TO LEVEL FLOOR JOISTS PER THE BROWN INDUSTRIES CONSTRUCTION DRAWINGS. ALL FLOOR DECKS SHALL REQUIRE FIELD CUTTING AND FITTING AS REQUIRED TO ACCOMMODATE THE BUILDING CONFIGURATION. CONCRETE FILL SHALL BE PROVIDED OVER THE CD DECK WITH MINIMUM 4" DEPTH AT THE EXTERIOR WALLS. CONCRETE SHALL BE A SMALL AGGREGATE CONCRETE WITH FIBER MESH REINFORCING. CONCRETE SHALL BE PITCHED TO EXTERIOR WALLS AND/OR DRAINS. FINISH SHALL BE A SLIP RESISTANT FINISH. CONCRETE FILL, BY OTHERS.
- 10) ALL CORRUGATED WALL PANELS ARE TO BE PREPARED IN ONE OF 9 STANDARD COLORS. COMPOUND CORRUGATED WALL PANELS ARE 3'-5" WIDE AND 4'-8" DEEP. COMPOUND CORRUGATED ROOF PANELS ARE TO BE GALVANIZED 3'-5" WIDE AND 7'-8" DEEP. ALL WALL AND ROOF PANELS ARE TO BE SITED AT 6" O.C. INTERVALS UTILIZING 5/16" DIAMETER BOLT FASTENERS PROVIDED IN A COLOR TO MATCH THE WALL OR ROOF PANEL COLOR.
- 11) ALL INTERIOR WALL PARTITIONS SHALL BE CONSTRUCTED OF 4" X 10 GA GALVANIZED METAL STUDS AT 24" O.C. AND 4-1/8" X 1/2 GA GALVANIZED METAL TRACK. STUDS AT DOOR JAMB HINGES SHALL BE 4" X 12 GA. ALL SIDES OF INTERIOR PARTITIONS NOT RECEIVING BURN ROOM PANELS SHALL RECEIVE 18 GA GALVANIZED SHEETING FASTENED WITH 48 X 5/16" LDM PROFILE TOR SCREWS AT 12" O.C.

DESIGN LOADS

- ROOF LOAD -- 100 PSF
- FLOOR LOAD -- 100 PSF
- ATTIC LOAD -- 100 PSF
- WIND LOAD -- 100 PSF
- WIND EXPOSURE -- 100 PSF

MARK #	DESCRIPTION	WINDOW SHUTTER HARDWARE PACKAGES					
		DOOR OPENING	SHUTTER LEAF	LOCKING HANDLE KIT	NON-LOCKING HANDLE KIT	HOLD OPEN	THERMAL BREAK CHANNELS
W1	LOCKING WINDOW SHUTTER	1	1	1	1	1	1
W2	LOCKING BURN ROOM SHUTTER	1	1	1	1	1	1
W3	LOCKING ATTIC SHUTTER	1	1	1	1	1	1
W4	NON-LOCKING WINDOW SHUTTER	1	1	1	1	1	1
W5	NON-LOCKING BURN ROOM SHUTTER	1	1	1	1	1	1
W6	NON-LOCKING ATTIC SHUTTER	1	1	1	1	1	1

MARK #	DESCRIPTION	DOOR HARDWARE PACKAGES									
		DOOR OPENING	DOOR LEAF	DOOR SWEEP	DOOR KNOB PLATE	DOOR KNOB SET	PASSAGE KNOB SET	BURN ROOM KIT	SLAM LATCH	HARDWARE BOLT	CAME BOLT
D1	EXTERIOR SINGLE PLATE DOOR	1	1	1	1	1	1	1	1	1	
D2	EXTERIOR SINGLE BURN ROOM DOOR	1	1	1	1	1	1	1	1	1	
D3	EXTERIOR DOUBLE PLATE DOOR	1	1	1	1	1	1	1	1	1	
D4	EXTERIOR DOUBLE BURN ROOM DOOR	1	1	1	1	1	1	1	1	1	
D5	INTERIOR SINGLE PLATE DOOR	1	1	1	1	1	1	1	1	1	
D6	INTERIOR SINGLE BURN ROOM DOOR	1	1	1	1	1	1	1	1	1	
D7	INTERIOR DOUBLE PLATE DOOR	1	1	1	1	1	1	1	1	1	
D8	INTERIOR DOUBLE BURN ROOM DOOR	1	1	1	1	1	1	1	1	1	

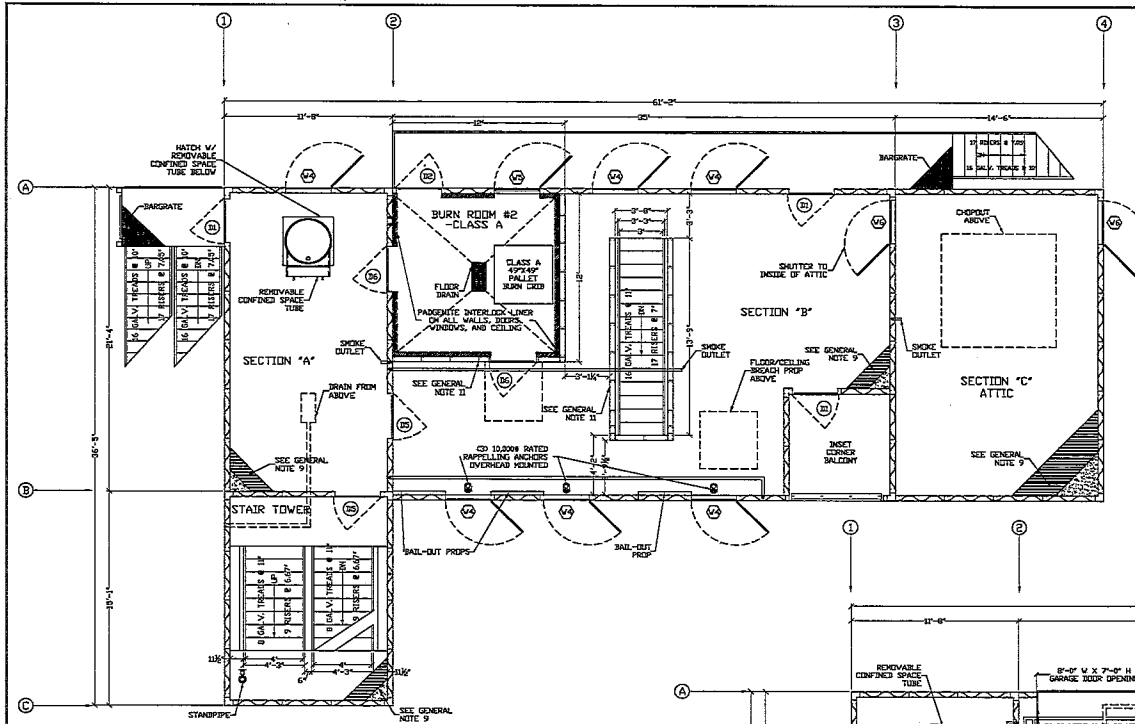
WHP
A DIV. OF JAVITE AND SONS CONSTRUCTION, INC.
610 DICK RD GRANDVIEW, MO 64030
TEL: 816-382-9883
info@whptraining.com
www.whptraining.com

**CUSTOM HIGH RISE - FIVE STORY
FIRE TRAINING SIMULATOR**
CITY OF COSTA MESA FIRE DEPARTMENT TRAINING SIMULATOR

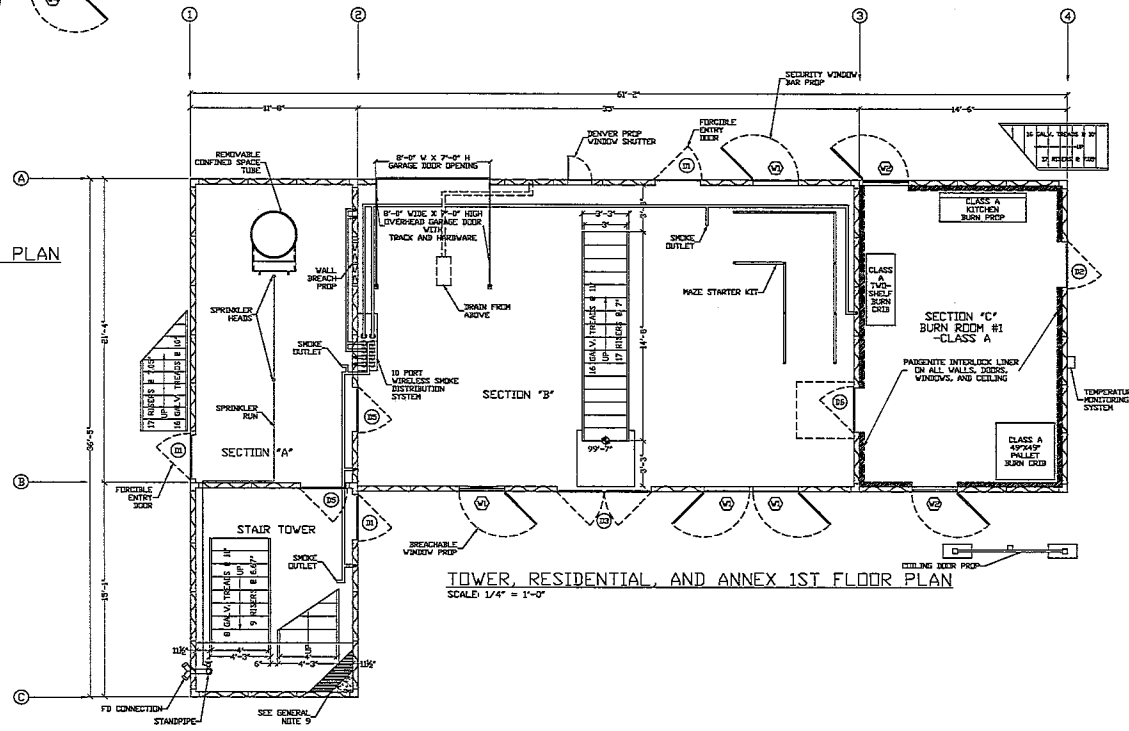
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03-21-00	03-21-00	3
03-21-00	03-21-00	4
03-21-00	03-21-00	5
03-21-00	03-21-00	6
03-21-00	03-21-00	7
03-21-00	03-21-00	8
03-21-00	03-21-00	9
03-21-00	03-21-00	10

COVER PAGE
0



TOWER AND RESIDENTIAL 2ND FLOOR PLAN AND ANNEX ROOF PLAN
SCALE: 1/4" = 1'-0"



TOWER, RESIDENTIAL, AND ANNEX 1ST FLOOR PLAN
SCALE: 1/4" = 1'-0"

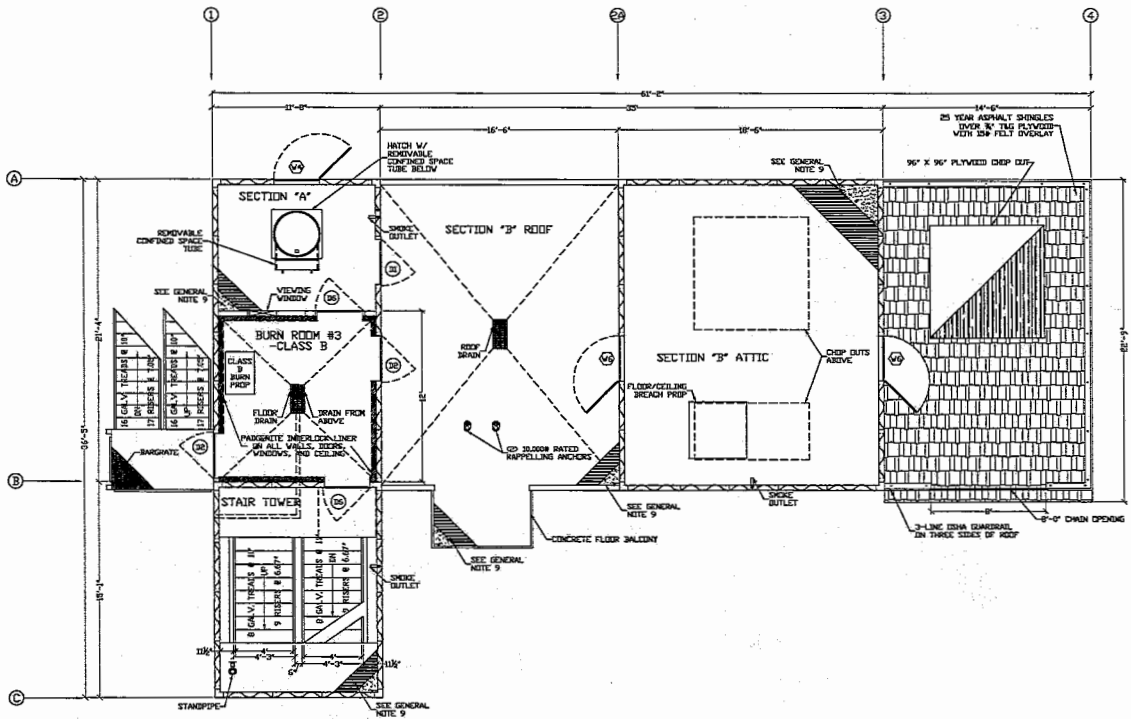
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 DRAWING TITLE: FIRST FLOOR AND SECOND FLOOR PLANS
 DESIGNER: JES-311
 CHECKER: JES-311
 APPROVER: JES-311

**CUSTOM HIGH RISE - FIVE STORY
 FIRE TRAINING SIMULATOR**
 CITY OF COSTA MESA FIRE DEPARTMENT TRAINING SIMULATOR

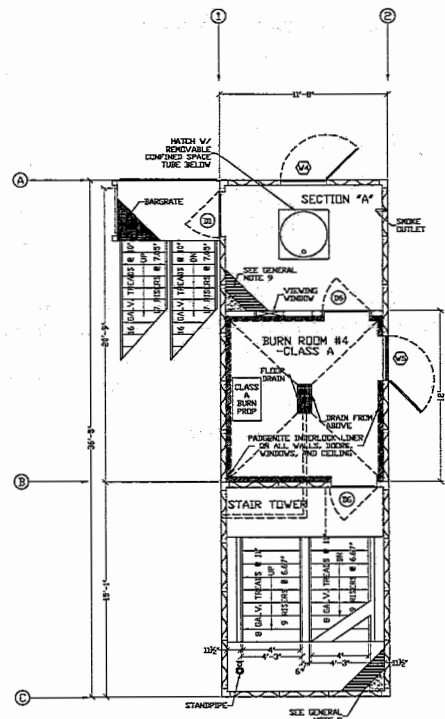
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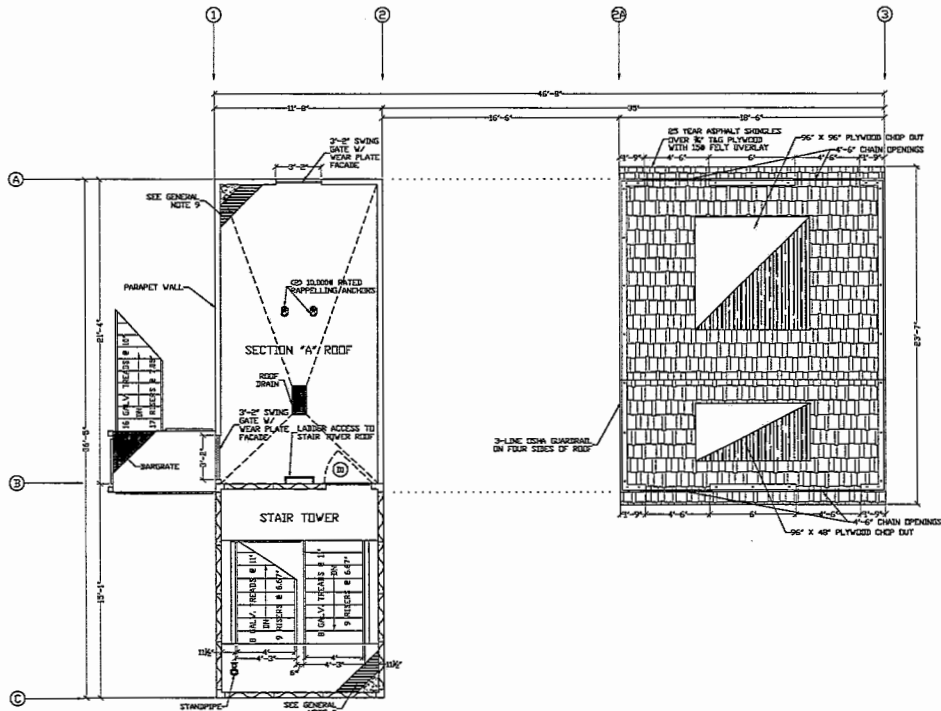
THIRD FLOOR AND
 FOURTH FLOOR PLANS



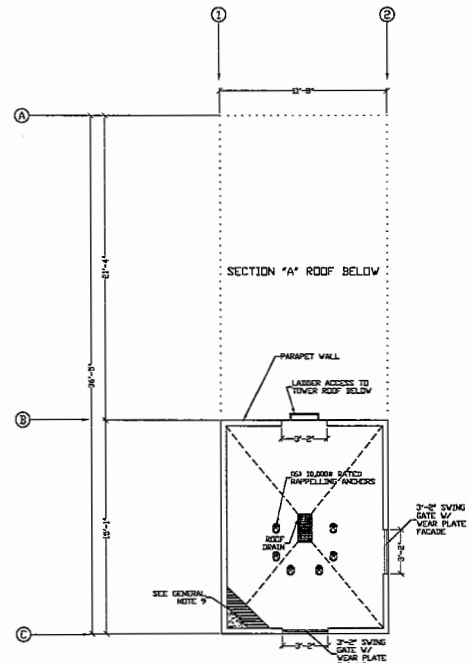
TOWER 3RD FLOOR PLAN AND RESIDENTIAL ATTIC PLAN
 SCALE: 1/4" = 1'-0"



TOWER 4TH FLOOR PLAN
 SCALE: 1/4" = 1'-0"



TOWER AND RESIDENTIAL ROOF PLAN
SCALE: 1/4" = 1'-0"

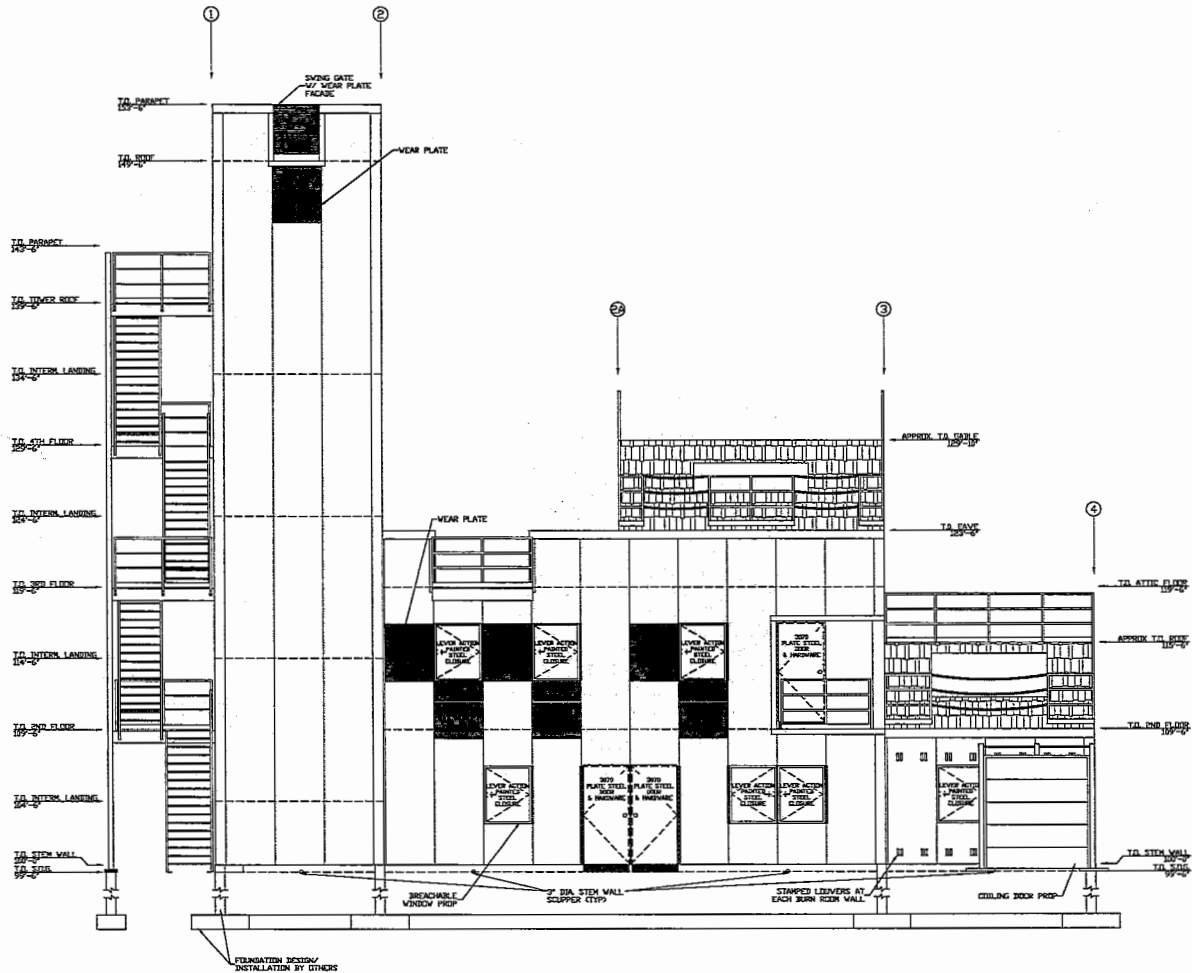


STAIR TOWER ROOF PLAN
SCALE: 1/4" = 1'-0"

**CUSTOM HIGH RISE - FIVE STORY
FIRE TRAINING SIMULATOR**
CITY OF COSTA MESA FIRE DEPARTMENT TRAINING SIMULATOR

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		9	REVISED PER PERMITS
		10	REVISED PER PERMITS

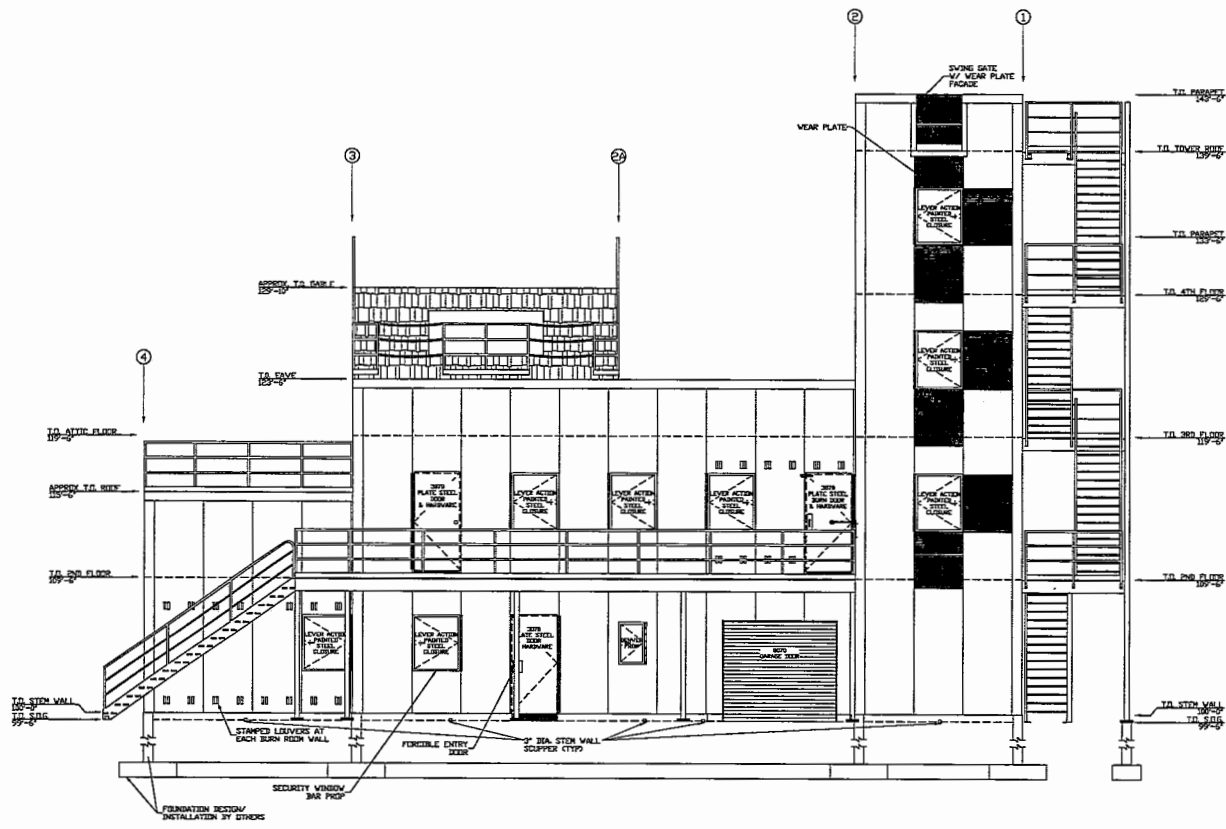


FRONT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

**CUSTOM HIGH RISE - FIVE STORY
 FIRE TRAINING SIMULATOR**
 CITY OF COSTA MESA FIRE DEPARTMENT TRAINING SIMULATOR

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PROJECT NUMBER:	02-E-001	REVISION DATE:	
DRAWN BY:	AW	CHECKED BY:	AW
DATE:	10-2-2011	DATE:	
FRONT SIDE ELEVATIONS			

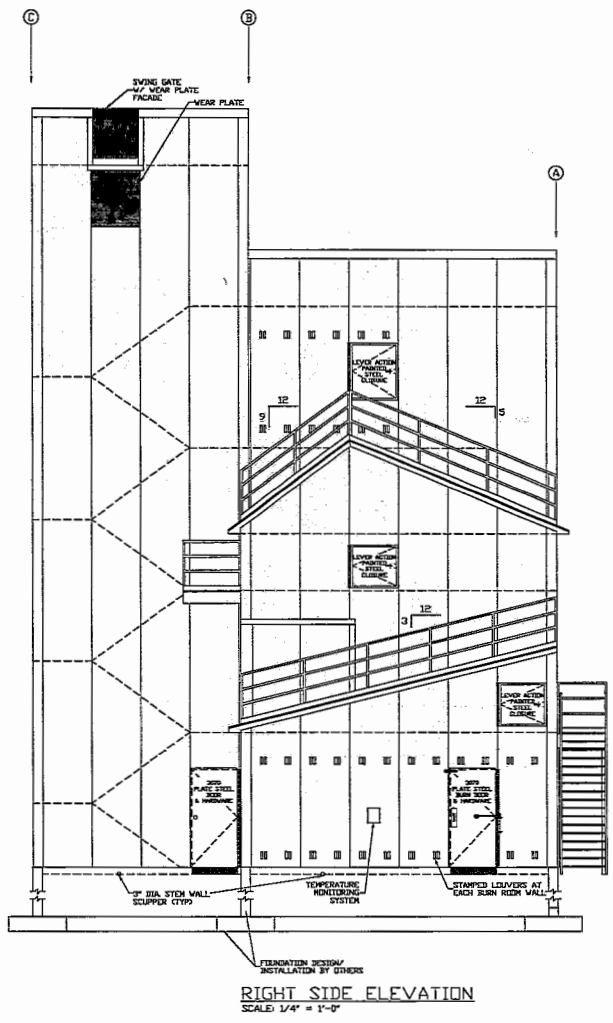
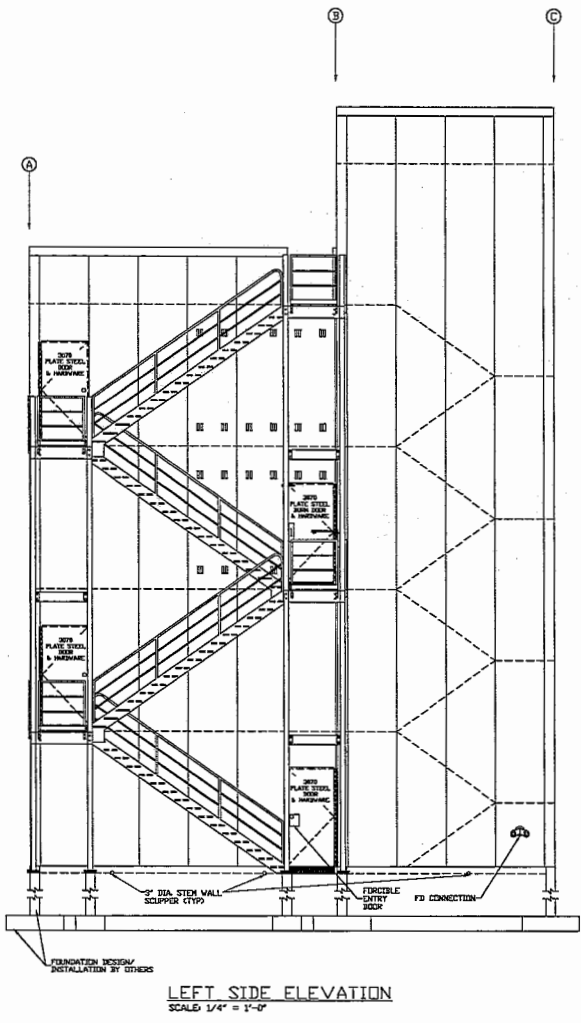



REAR SIDE ELEVATION
SCALE: 1/4" = 1'-0"

**CUSTOM HIGH RISE - FIVE STORY
 FIRE TRAINING SIMULATOR**
 CITY OF COSTA MESA FIRE DEPARTMENT TRAINING SIMULATOR

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PROJECT NUMBER:	02-AL-002	REVISION DATES:
PROJECT ARCHITECT:	WHP	NO. 1
DESIGNED BY:	WHP	NO. 2
DATE:	10-5-2014	NO. 3
		NO. 4



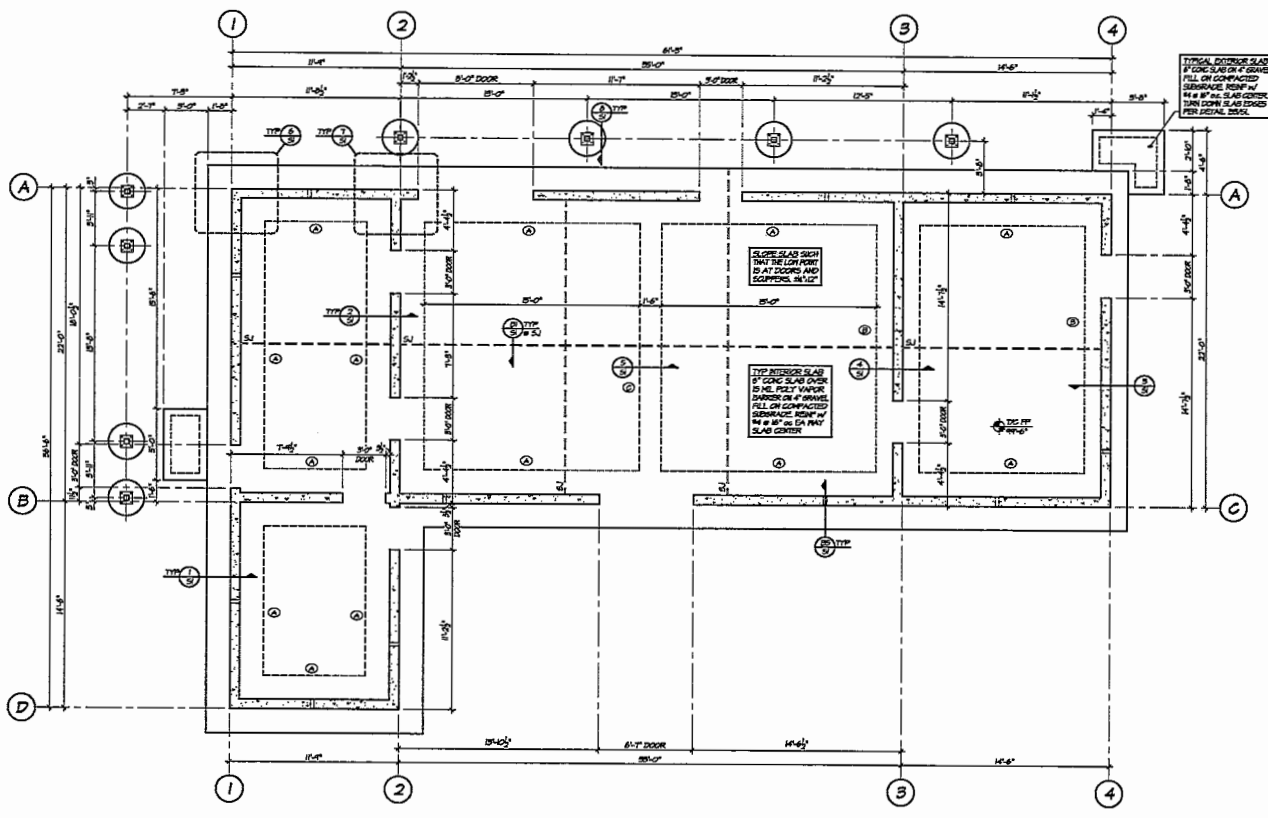

WHP
 A DIV. OF JAMES AND SONS CONSTRUCTION, INC.
 679 EDGE RD GRANBEEK, ID 84039
 TEL: 977-365-3865
 FAX: 977-365-3865
 TOLL FREE: 1-800-351-2029 www.jamesandsons.com

**CUSTOM HIGH RISE - FIVE STORY
 FIRE TRAINING SIMULATOR**
 CITY OF COSTA MESA FIRE DEPARTMENT TRAINING SIMULATOR

PROJECT NUMBER: 03-0001
 PROJECT LOCATION: COSTA MESA, CALIFORNIA
 DRAWING NO.: 15-5-311
 DATE: 05-15-11

PROJECT NUMBER: 03-0001
 PROJECT LOCATION: COSTA MESA, CALIFORNIA
 DRAWING NO.: 15-5-311
 DATE: 05-15-11

LEFT SIDE
 AND RIGHT SIDE
 ELEVATIONS



VERIFY LOCATION OF EACH ANCHOR BOLT PER SECTION 519 DUCRET 100 REV. A, ANCHOR BOLT SHALL BE PLACED WITHIN 4\"/>

FOUNDATION PLAN
 11' x 10'
 15' x 10' - 100'-0"
 15' x 10' - 100'-0"

SOIL REMEDIATION PER GEOTECHNICAL REPORT BY LUSIGNON CONSULTING, INC. DATED JAN 8, 2022.

GRADE BEAM SCHEDULE

GRADE	SIZE
(A)	4'-0" x 8'-0" x 2'-0"
(B)	3'-0" x 3'-0" x 2'-0"
(C)	1'-0" x 3'-0" x 2'-0"

STRUCTURAL NOTES:

- DESIGN:**
 - Design and construction shall conform to the 2022 California Building Code as amended by the County of Santa Clara.
 - The Contractor shall notify the Structural Engineer prior to any construction or modification of the foundation system. The Engineer is responsible for the foundation system design and construction. The Engineer shall be notified of any construction or modification of the foundation system.
 - The Contractor shall be responsible for the construction of the foundation system. The Contractor shall be responsible for the construction of the foundation system.
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 - The Contractor shall be responsible for the construction of the foundation system. The Contractor shall be responsible for the construction of the foundation system.
- CONSTRUCTION:**
 - Concrete shall be cast in place and compacted according to ACI 318-19. The concrete shall be cast in place and compacted according to ACI 318-19.
 - Formwork shall be used for the concrete. The formwork shall be used for the concrete.
 - Reinforcement shall be installed and secured according to the drawings. The reinforcement shall be installed and secured according to the drawings.
 - The Contractor shall be responsible for the construction of the foundation system. The Contractor shall be responsible for the construction of the foundation system.
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- FOUNDATION:**
 - Foundation design shall conform to the 2022 California Building Code as amended by the County of Santa Clara.
 - The Contractor shall be responsible for the construction of the foundation system. The Contractor shall be responsible for the construction of the foundation system.
 - The Contractor shall be responsible for the construction of the foundation system. The Contractor shall be responsible for the construction of the foundation system.
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STRUCTURAL ENGINEERS
 519 DUCRET 100 SUITE 200 • COSTA MESA, CA 92626
 PHONE 714.671.7000 • WWW.STRUCTURALENG.COM

Part of the solution.

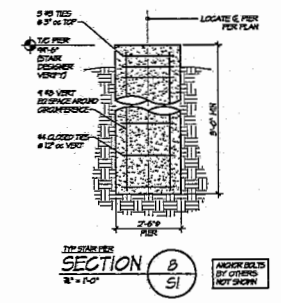
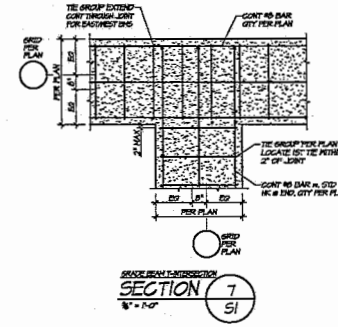
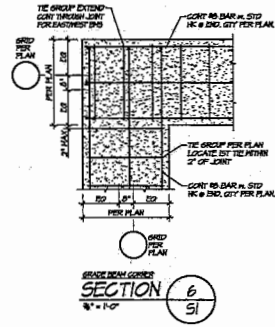
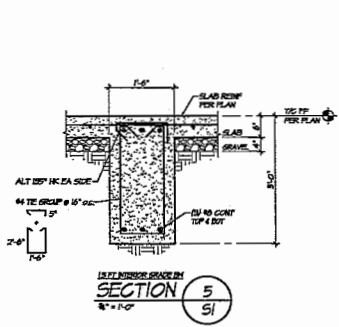
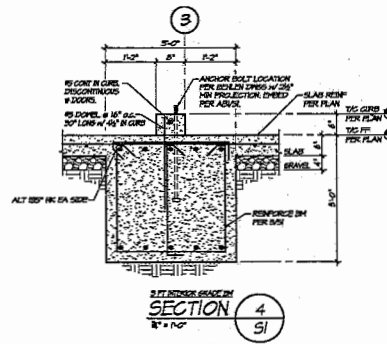
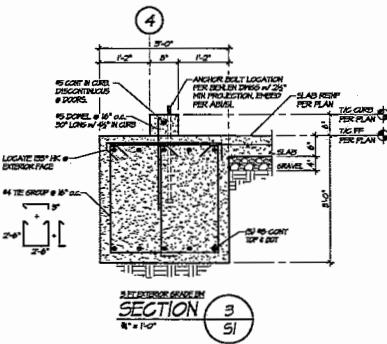
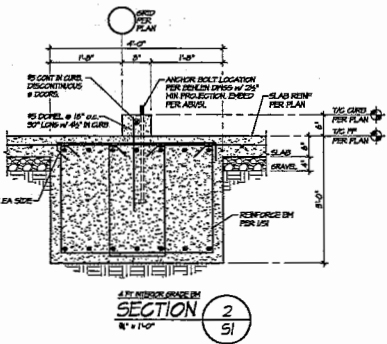
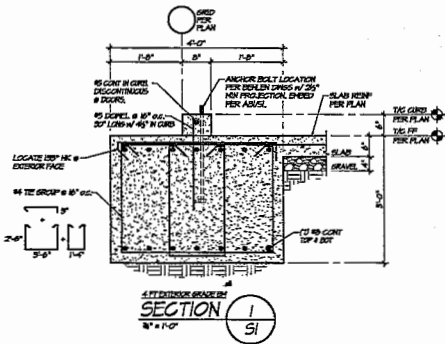
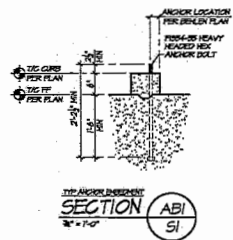
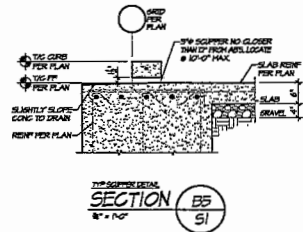
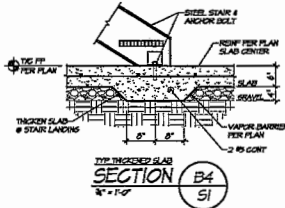
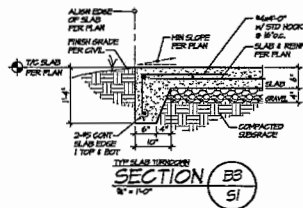
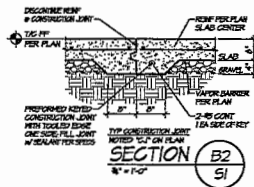
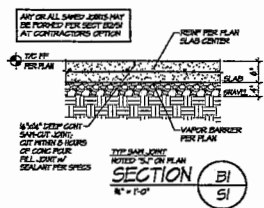
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 519 DUCRET 100 SUITE 200 • COSTA MESA, CA 92626
 PHONE 714.671.7000
 TOLL FREE 1-800-335-7622

FIRE TRAINING SIMULATOR
COSTA MESA, CA
FOUNDATION PLAN & GENERAL NOTES

DATE	REVISIONS	BY

DRAWN BY: MJR
 DESIGNED BY: MJR
 CHECKED BY: TAH
 DATE: 11/3/23
 PROJECT #: WHP22.23

SO



STRUCTURAL ENGINEERS
 4855 S.W. 10TH AVE. SUITE 200 • MIAMI, FL 33155
 PHONE: (305) 551-2222 • FAX: (305) 551-2222
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 618 DUCK RD. GRANDVIEW, MD 24450
 TEL: 410-336-3800 FAX: 800-736-7594
 TOLL FREE: 1-800-551-0222 www.traininglowers.com

FIRE TRAINING SIMULATOR
COSTA MESA, CA
FOUNDATION DETAILS

DATE	REVISIONS	BY

DRAWN BY: MJR
 DESIGNED BY: MJR
 CHECKED BY: TAH
 DATE: 11/3/23
 PROJECT #: WH9123

S1

BEHLEN

Made Strong

STANDARD DETAILS


The details within this booklet cover a wide range of buildings & circumstances. To determine which of these pertain to your situation in particular, make reference to the Building Construction Drawings furnished by Behlen Industries.

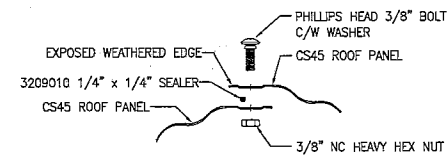
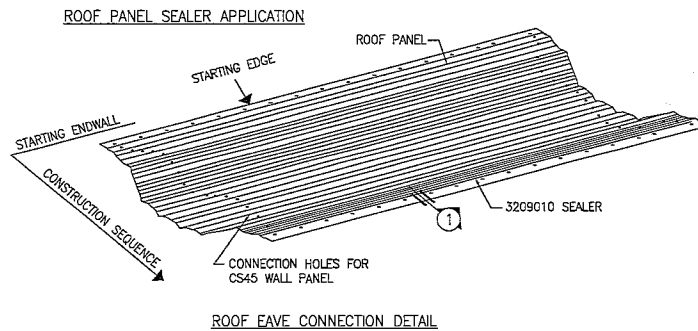
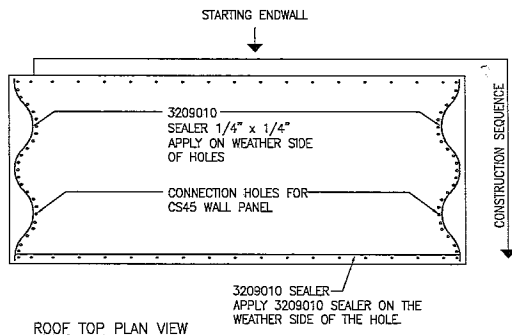


SO# 111508

Table Of Contents

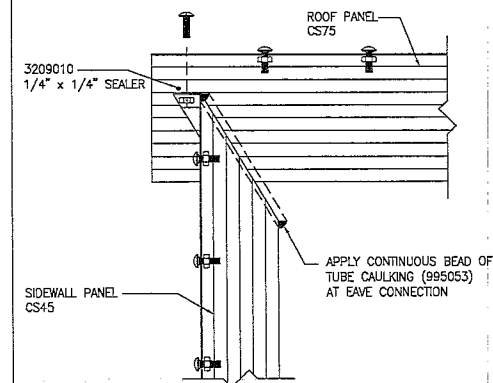
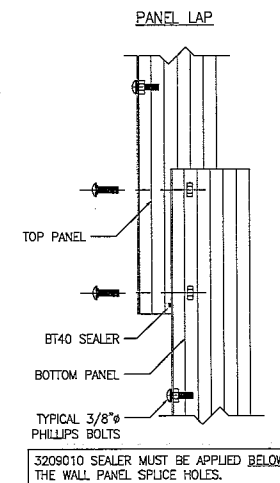
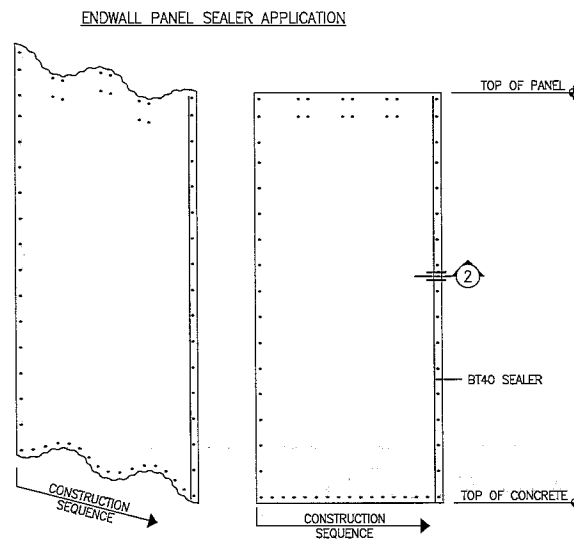
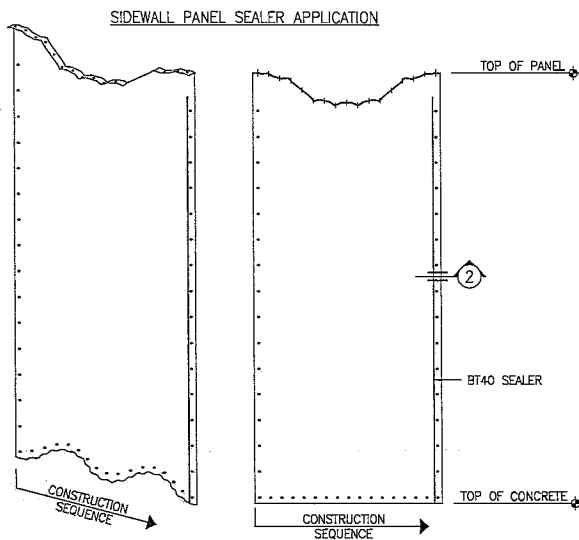
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<input checked="" type="checkbox"/>	FT-1	FIRETOWER BUILDING STANDARD DETAILS COVER PAGE	9
<input checked="" type="checkbox"/>	FT-2	ROOF & WALL PANEL SEALER APPLICATION	2
<input checked="" type="checkbox"/>	FT-3	FOOTING CHANNEL DETAIL	3
<input checked="" type="checkbox"/>	FT-4	SEALER AND FASTENER DETAILS	2
<input checked="" type="checkbox"/>	FT-5	VERTICAL DETAILS	2
<input checked="" type="checkbox"/>	FT-6A	TRUSS DETAILS	2
<input checked="" type="checkbox"/>	FT-6B	ROOF DETAILS	3
<input checked="" type="checkbox"/>	FT-6C	PARTIAL ENDWALL DETAILS	1
<input checked="" type="checkbox"/>	FT-7A	FLOOR SECTIONS	3
<input checked="" type="checkbox"/>	FT-7B	FLOOR SECTIONS	3
<input checked="" type="checkbox"/>	FT-8	SHUTTER DETAILS	3
<input type="checkbox"/>	FT-9A	CONFINED SPACE TUBE - 1 STOREY	2
<input type="checkbox"/>	FT-9B	CONFINED SPACE TUBE - 2 STORES	3
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<input type="checkbox"/>	FT-10B	RAPPELLING ANCHOR DETAILS	2
<input checked="" type="checkbox"/>	FT-10C	TS - WALL MOUNTED RAPPELLING ANCHOR DETAILS	2
<input type="checkbox"/>	FT-10D	CEE - WALL MOUNTED RAPPELLING ANCHOR DETAILS	2
<input checked="" type="checkbox"/>	FT-10E	TS & CEE - WALL MOUNTED RAPPELLING ANCHOR DETAILS	2
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<input checked="" type="checkbox"/>	FT-11B	INTERIOR FRAMED OPENINGS	0

10	ADDED SHEETS FR-11A & FT-11B	S.Y.	NOV 19/21	FIRETOWER STANDARD DETAILS COVER PAGE  SHEET FT-1 ISSUE 10
9	REVISED TITLE BLOCK	C.G.	AUG 21/20	
8	ADDED SHEETS FT-10C, FT-10D & FT-10E	C.G.	JULY 23/20	
7	ISSUED FT-8 REVISION	S.Y.	OCT 16/19	
6	SHEET FT-7A DETAIL E REVISED TO INCLUDE 16880 SUPPORT CLP	L.B.	MAR 7/18	
5	ADDED SHEET FT-6C	S.Y.	JAN 9/18	
4	REVISED TITLE BLOCK	L.B.	APRIL 5/17	
3	UPDATED FT-7B REVISION	G.G.	SEPT 14/16	
2	REVISED TITLE BLOCK	H.R.	MAY 30/14	
1	ISSUE	T.Y./M.M./D.D.	627 DOUGLAS STREET, BRANSON, MISSOURI, 65751-204-728-1158 625 SHELTON DRIVE, CAMBRIDGE, OHIO, 43021-518-628-8003	



APPLY 3209010 SEALER ON THE WEATHER SIDE OF THE HOLE.

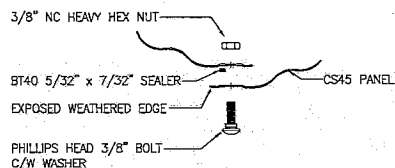
1 ROOF SEALER DETAIL



BUMPER/ROOF JOIST NOT SHOWN FOR CLARITY

SIDEWALL SECTION SEALER APPLICATION

APPLY BT40 SEALER TO THE FULL HEIGHT OF THE PANEL



2 WALL PANEL SEALER DETAIL

NOTE:

- THIS DRAWING ONLY REPRESENTS THE AREAS WHERE SEALER IS BEING SUPPLIED BY BEHLEN. ACTUAL LOCATION OF THE SEALER HAS TO BE DETERMINED BY THE ERECTOR IN RELATION TO THE CONSTRUCTION AND/OR LAP SEQUENCE.
- ALWAYS APPLY SEALER ON THE WEATHER SIDE OF HOLES.

ROOF & WALL PANEL SEALER APPLICATION		
2	REVISED TITLE BLOCK	C.G. AUG 21/20
1	REVISED TITLE BLOCK	H.R. MAY 30/14
0	ISSUED FOR ASSEMBLY	C.C. OCT 21/11
ISSUE	DESCRIPTION	NAME YY/MM/DD

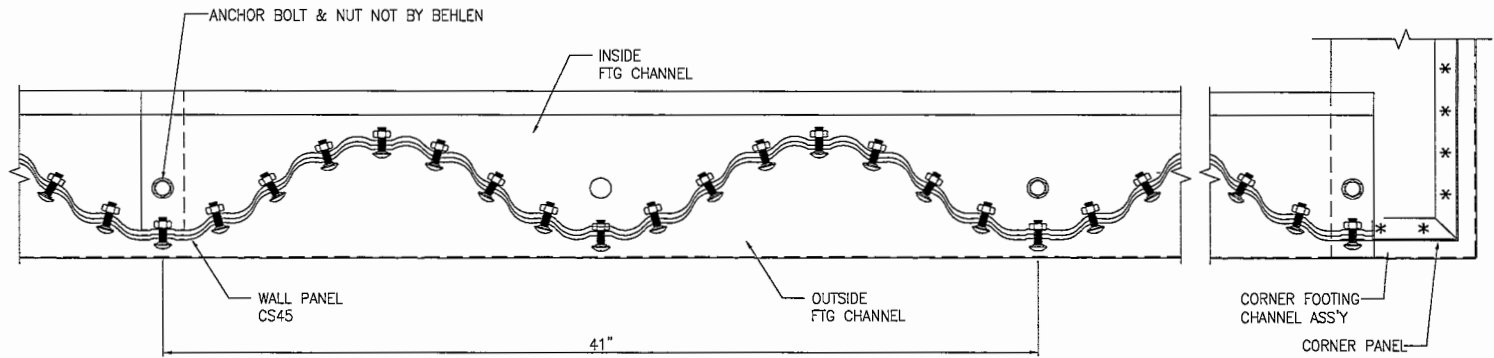
BEHLEN

827 EDWARDS STREET, GILBERT, ARIZONA, USA, TEL: 514-258-1188
625 SEEDON DRIVE, OAKBRIDGE, ONTARIO, CANADA, TEL: 519-860-6003

SPEC
FT-2

ISSUE

2

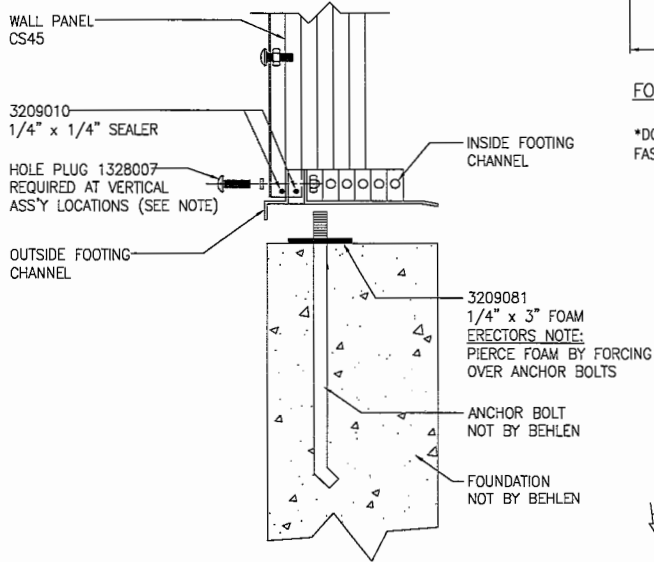


FOOTING CHANNEL DETAIL

NOTE: VERTICAL ASSEMBLY NOT SHOWN FOR CLARITY.

CORNER FOOTING CHANNEL DETAIL

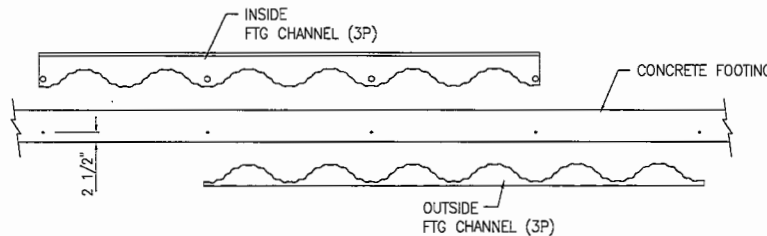
*DO NOT FASTEN THE SEAMLINE BOLT UNTIL ALL OF THE BOLTS ARE FASTENED ON BOTH PANELS THAT THE SEAMLINE BOLT LANDS ON.



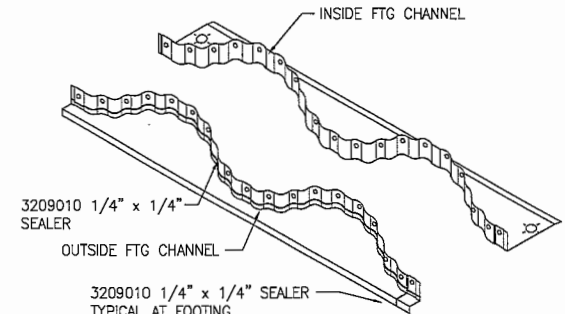
NOTE: SEAM LINE VERTICALS NOT SHOWN FOR CLARITY.

FOOTING CHANNEL DETAIL

3209010 SEALER MUST BE APPLIED BELOW THE WALL PANEL FOOTING CHANNEL HOLES.



ERECTION NOTE: STAGGER FOOTING CHANNEL AS SHOWN



3209010 1/4" x 1/4" SEALER TYPICAL AT FOOTING CHANNEL SPLICES AND CORNER FOOTING CHANNEL ASS'Y TO MAINTAIN WEATHER TIGHTNESS

OUTSIDE FOOTING CHANNEL SEALER APPLICATION

FOOTING CHANNEL OUTSIDE:	FOOTING CHANNEL INSIDE:	CORNER FTG CHANNEL ASS'Y:
137442 - 3 PANEL	137448 - 3 PANEL	SEE ANCHOR BOLT DETAILS
137444 - 2 PANEL	137450 - 2 PANEL	FOR LOCATIONS

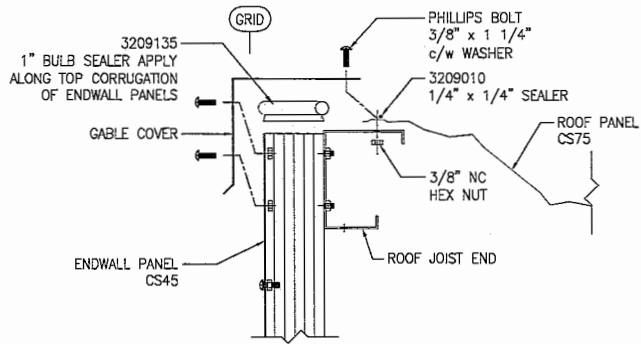
HOLE PLUG NOTE:
INSERT HOLE PLUG 1328007 INTO BOTTOM HOLE OF SEAMLINE WHERE VERTICAL ASS'YS ARE LOCATED. APPLY TOUCH UP PAINT TO HOLE PLUG TO MATCH BLDG COLOR.

FOOTING CHANNEL DETAILS			ISSUE
3	REVISED TITLE BLOCK	C.S.	AUG 21/20
2	REVISED TITLE BLOCK	H.R.	MAY 30/14
1	REVISED FOUNDATION NOTE	B.Y.	DEC 5/11
0	ISSUED FOR ASSEMBLY	C.C.	OCT 21/11
ISSUE	DESCRIPTION	NAME	11/AM/00

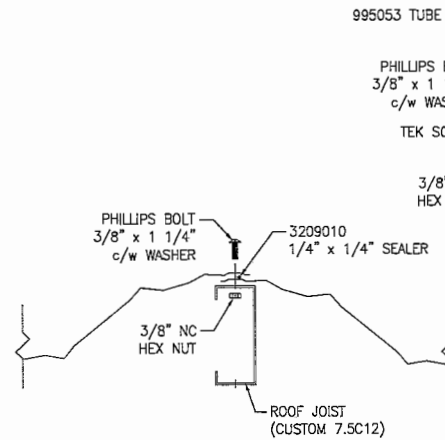
807 BOULVAR STREET, BRANSON, MISSOURI, USA TEL: 264-728-1188
425 SHELDON DRIVE, CAMBRIDGE, ONTARIO, CANADA, N1T 2K1, 519-820-8823

BEHLEN

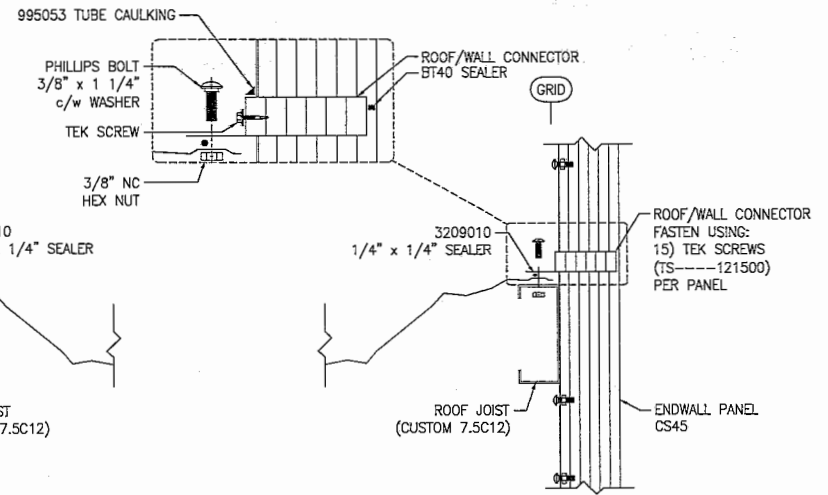
SHEET FT-3
ISSUE 3



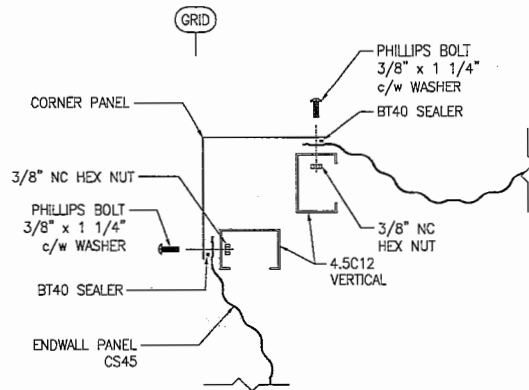
ENDWALL SECTION



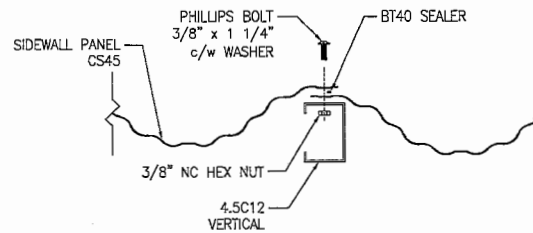
TYPICAL ROOF SECTION



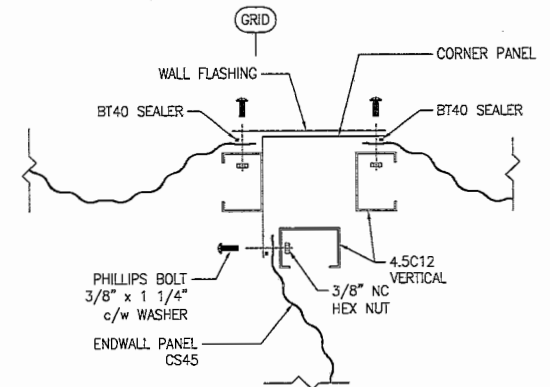
ANNEX TO RESIDENTIAL SECTION



CORNER DETAIL
TYPICAL



PANEL CONNECTION DETAIL
TYPICAL

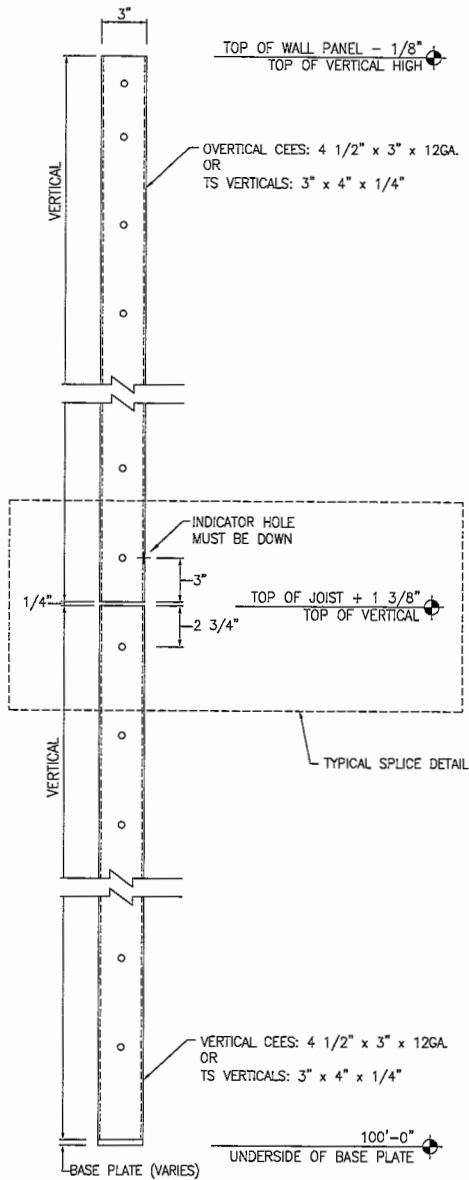


BLDG TO BLDG CONNECTION DETAIL
TYPICAL

NOTE:
ALWAYS APPLY SEALER ON THE WEATHER SIDE OF HOLES
SEE PAGE FT-2 FOR SEALER APPLICATION

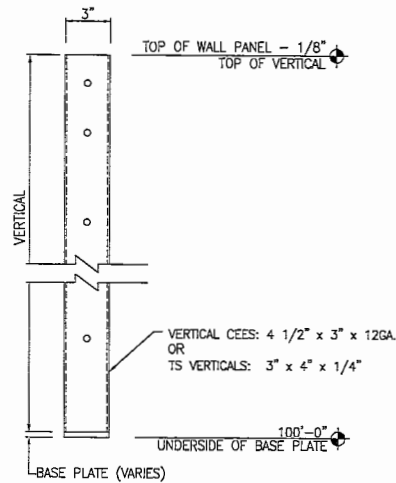
			SEALER AND FASTENER DETAILS	
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1	REVISED TITLE BLOCK	H.R.	MAY 30/14	
0	ISSUED FOR ASSEMBLY	C.G.	OCT 21/11	
ISSUE	DESCRIPTION	NAME	YY/MM/DD	

SHEET
FT-4
ISSUE
2

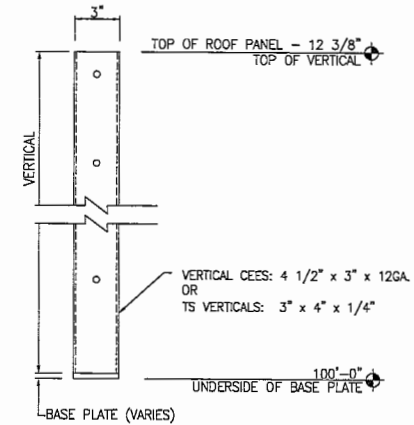


TOWER VERTICALS - TYPICAL STACKING
(BOLTED ALONG SEAMLINE @ 6" o/c.)

REFER TO ASSEMBLY DRAWINGS FOR VERTICAL
LOCATIONS, PART NUMBERS AND SPLICE LOCATIONS.



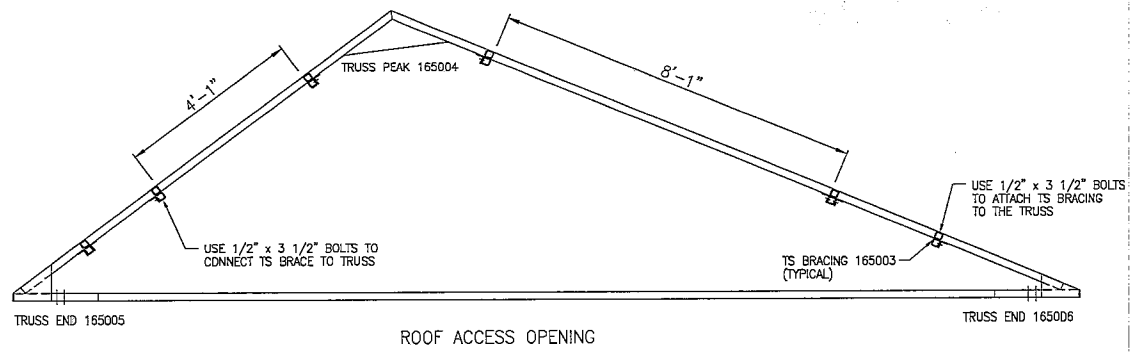
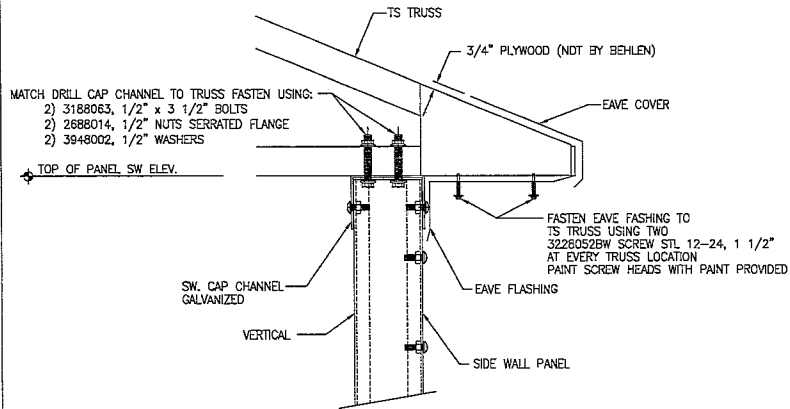
RESIDENTIAL VERTICALS - TYPICAL
(BOLTED ALONG SEAMLINE @ 6" o/c.)



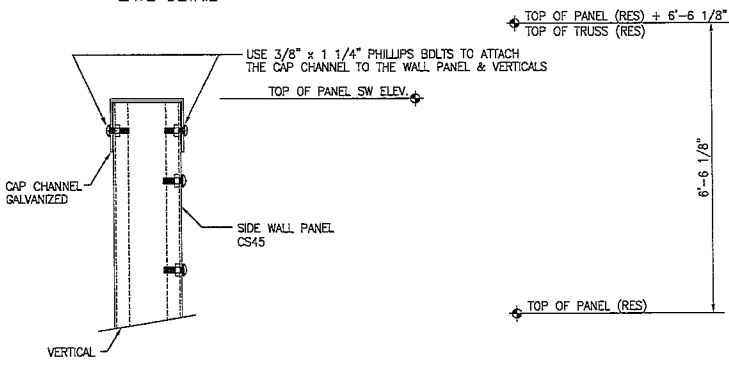
ANNEX VERTICALS - TYPICAL
(BOLTED ALONG SEAMLINE @ 6" o/c.)

REVISIONS			VERTICAL DETAILS	
NO.	DESCRIPTION	DATE	BY	CHKD.
2	REVISED TITLE BLOCK	AUG 21/22	C.G.	
1	REVISED TITLE BLOCK	MAY 30/14	H.R.	
0	ISSUED FOR ASSEMBLY	OCT 21/13	C.C.	
ISSUE	DESCRIPTION	NAME	YY/MM/DD	

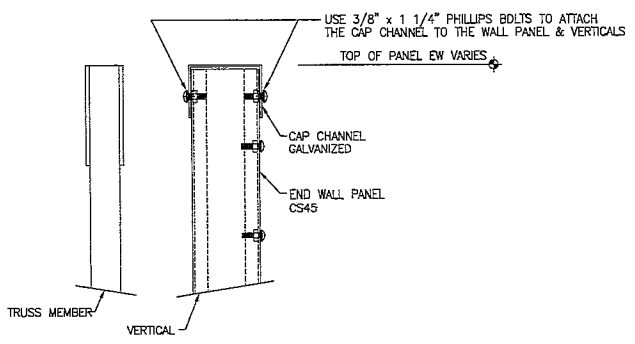
BEHLEN		SHEET FT-5
127 DRAGAGE STREET, BOSTON, MASSACHUSETTS, USA TEL: 617-264-7200-1188 400 SHELDON DRIVE, CAMBRIDGE, MASSACHUSETTS, USA TEL: 617-552-6500-4000		ISSUE 2



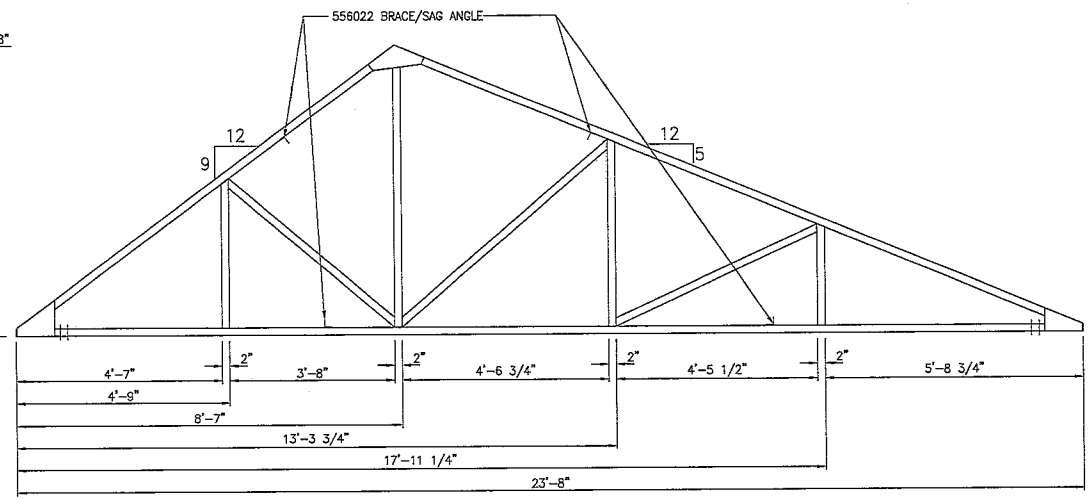
EAVE DETAIL



CAP CHANNEL DETAIL SIDEWALL



CAP CHANNEL DETAIL ENDWALL



TYPICAL ROOF TRUSS DETAIL

NOTE: ~USE 1/2" x 3 1/2" BOLT TO CONNECT TS BRACE TO TRUSS
 ~USE TWO 1/2" x 3 1/2" BOLTS & TWO 1/2" WASHER AT EACH END TO ATTACH THE TRUSS TO THE CAP CHANNEL

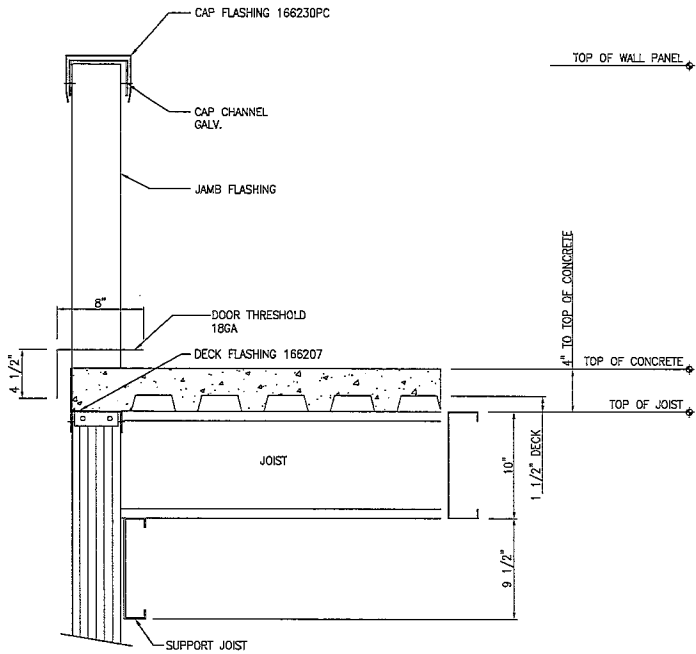
TYPICAL TRUSS MEMBERS, 2"x2"x1/4" TUBE STEEL

TRUSS DETAILS			
2	REVISED TITLE BLOCK	C.G.	AUG 21/20
1	REVISED TITLE BLOCK	H.R.	MAY 30/14
0	ISSUED FOR ASSEMBLY	C.C.	OCT 21/11
ISSUE	DESCRIPTION	NAME	YY/MM/DD

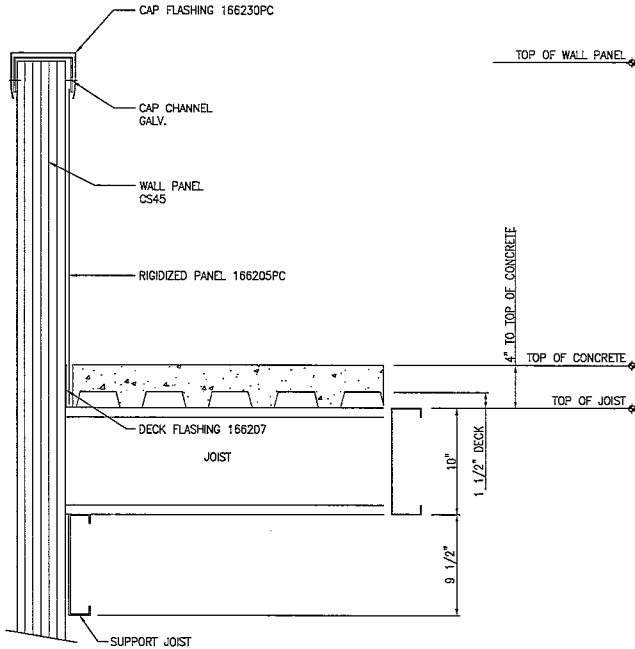
BEHLEN

427 DODD STREET, BRANDON, VERMONT, USA 05733-2101-1188
 605 SHELTON DRIVE, CAMBRIDGE, OHIO, USA 43001-6003

SHEET	FT-6A
ISSUE	2

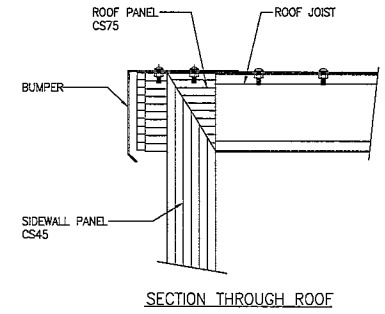


PARAPET OPENING SECTION

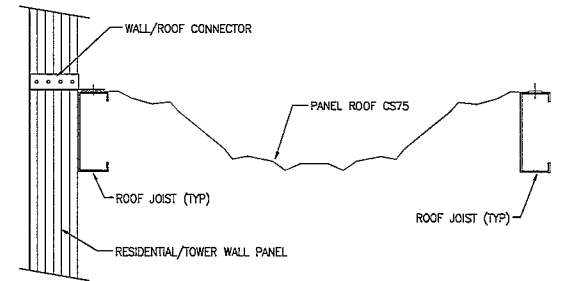


PARAPET WALL SECTION

NOTE:
JOIST ORIENTATION MAY NOT BE EXACTLY AS SHOWN.
SEE BUILDING ASSEMBLY DRAWINGS FOR PROPER JOIST ORIENTATION.



SECTION THROUGH ROOF



SECTION THROUGH ANNEX ROOF AND RESIDENTIAL/TOWER WALL

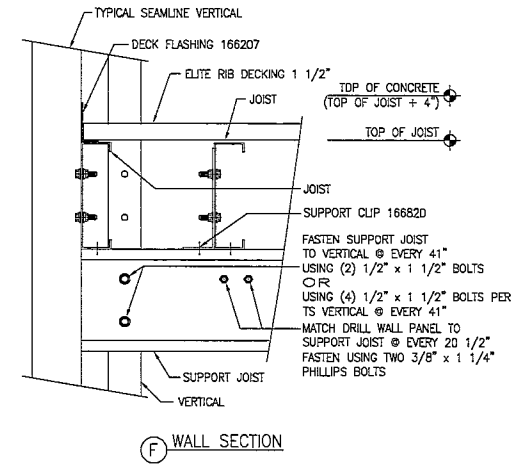
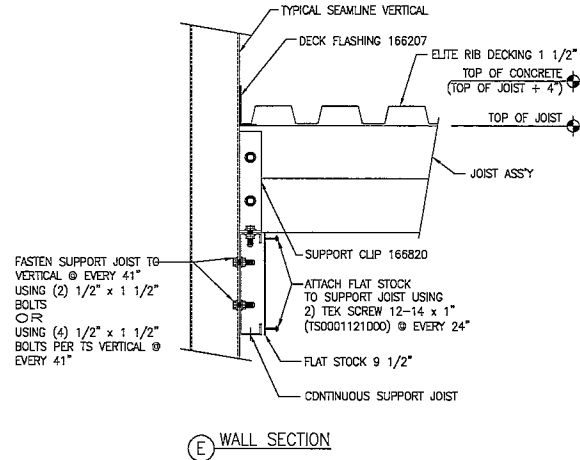
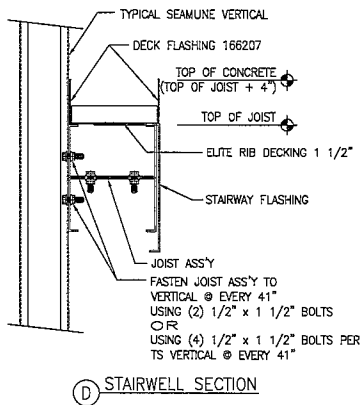
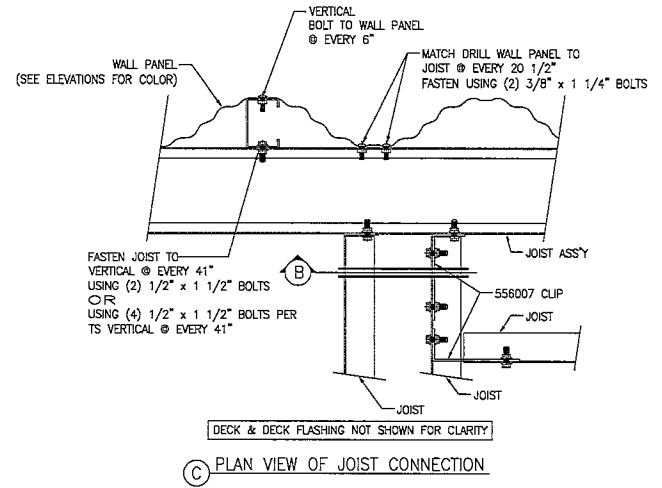
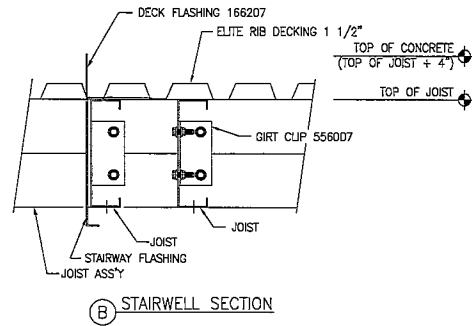
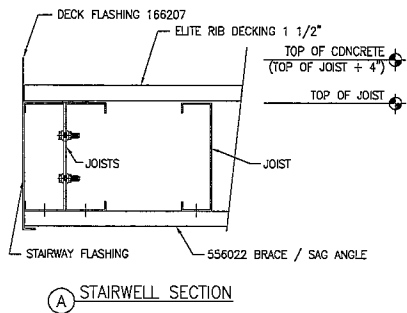
ROOF DETAILS			
3	REVISED TITLE BLOCK	C.G.	AUG 21/20
2	REVISED TITLE BLOCK	H.R.	MAY 30/14
1	REVISED NOTE	B.Y.	DEC 5/11
0	ISSUED FOR ASSEMBLY	C.C.	OCT 21/11
ISSUE	DESCRIPTION	NAME	TY/MA/20

BEHLEN

1227 DOUGLAS STREET, BRIMMON WAREHOUS, RFA TEL: 204-725-1182
615 SHELTON DRIVE, CAMBRIDGE, ONTARIO, M7 2K1, 519-820-8003

SHEET
FT-6B

ISSUE
3

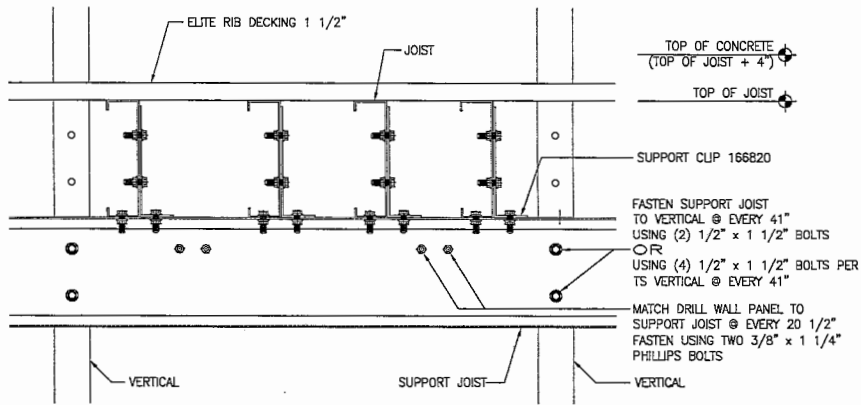


FLOOR SECTIONS		
3	REVISED TITLE BLOCK	C.G. AUG 21/20
2	DETAIL E REVISED TO INCLUDE 166820 SUPPORT CLIP	H.R. MAR 7/18
1	REVISED TITLE BLOCK	H.R. MAY 30/14
0	ISSUED FOR ASSEMBLY	C.C. OCT 21/11
ISSUE	DESCRIPTION	NAME
		TY/NA/BD

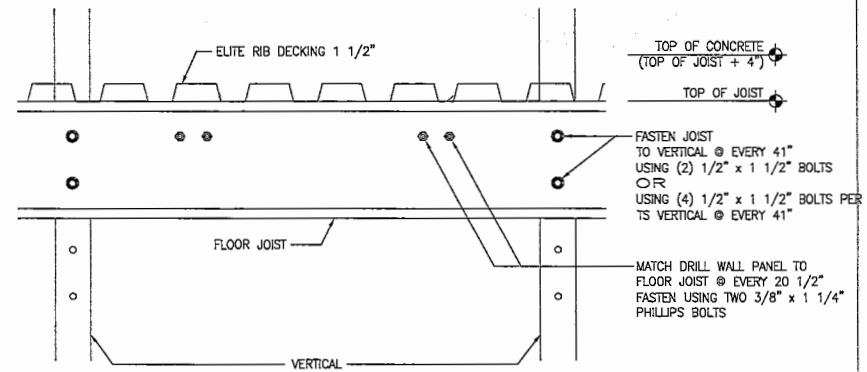
BEHLEN

SHEET
FT-7A
 ISSUE
3

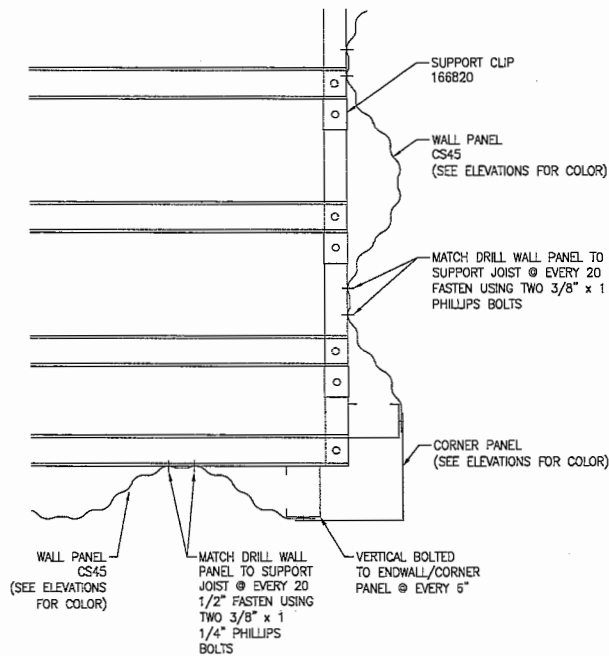
307 DOUGLAS STREET, BOSTON, MASSACHUSETTS 02472 617-252-1150
 625 SHELDON DRIVE, CAMBRIDGE, MASSACHUSETTS 02142 617-252-6003



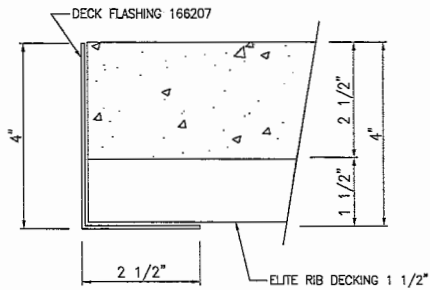
G SUPPORT JOIST DETAIL



H FLOOR JOIST TO PANEL DETAIL

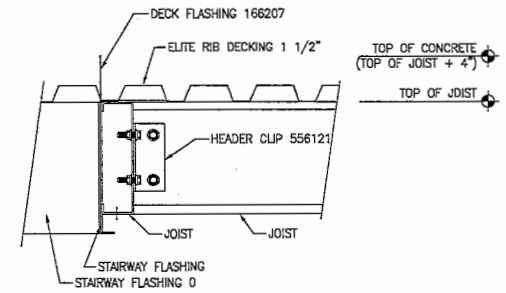


J CORNER DETAIL



FLASHING NOTE:
FLASHING SHALL BE FASTENED TO DECK/JOISTS WITH A MINIMUM #12 TEK SCREW @ 6" O.C.

DECK FLASHING DETAIL
TYPICAL WITH CONCRETE



K OPENING SECTION

FLOOR SECTIONS			
NO.	DESCRIPTION	DATE	BY
3	REVISED TITLE BLOCK	C.G. AUG 21/20	
2	ADDED SECTION K DETAIL	C.G. SEPT 14/18	
1	REVISED TITLE BLOCK	H.R. MAY 30/14	
0	ISSUED FOR ASSEMBLY	C.C. OCT 21/11	
ISSUE	DESCRIPTION	NAME	DATE

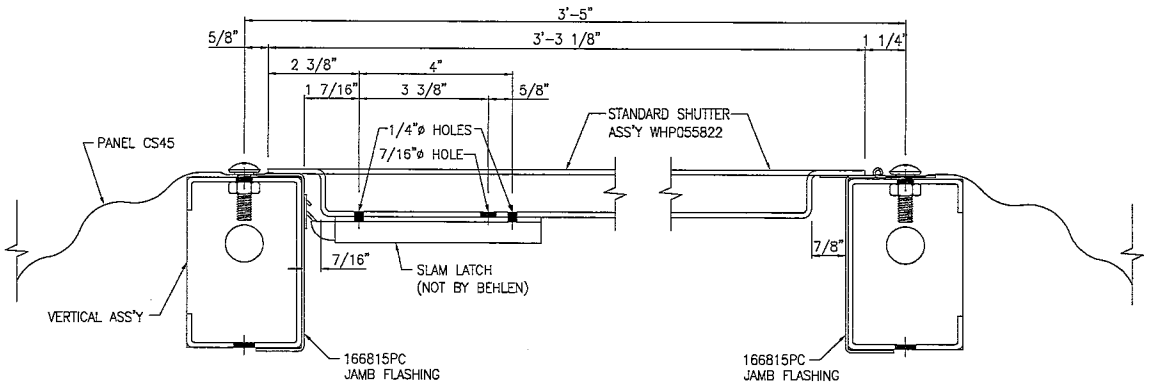
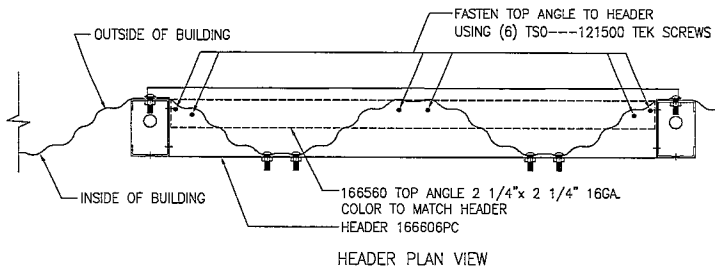
817 DOUGLAS STREET, BARNHART, MINNESOTA, TEL 262-228-1188

865 SHELTON DRIVE, CAMBRIDGE, OHIO, TEL 262-539-6262

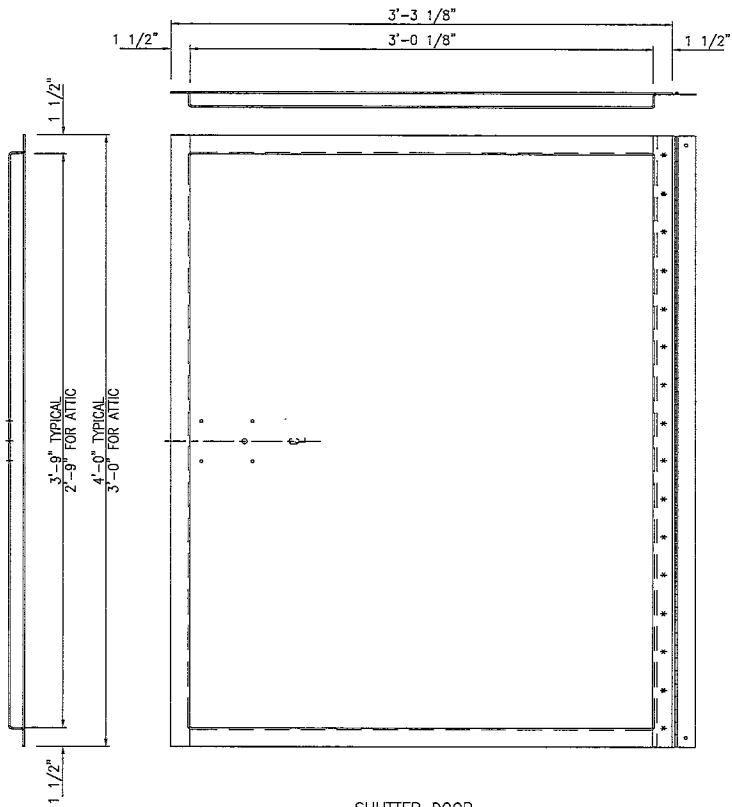
BEHLEN

SHEET
FT-7B

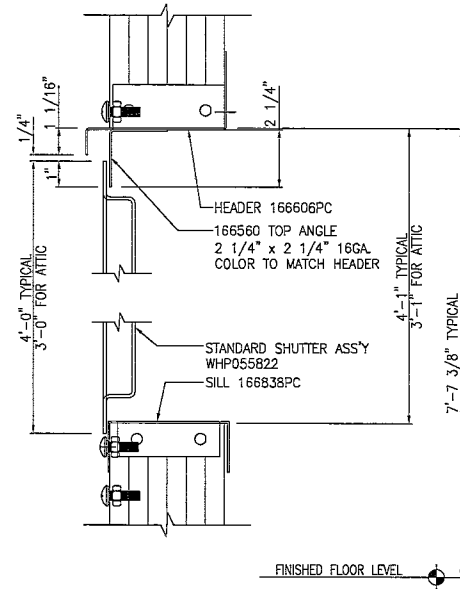
ISSUE
3



SHUTTER DETAIL AT VERTICALS



NOTE: HAT BARS NOT SHOWN FOR CLARITY.
HAT BARS ARE REQ'D FOR BURN ROOM SHUTTER ASS'Y ONLY WHP055824



SHUTTER HEADER/SILL DETAIL SIDEWALL

SHUTTER MODELS SUPPLIED BY BEHLEN:
WHP822 STANDARD SHUTTER ASS'Y MODEL
WHP824 BURN ROOM SHUTTER ASS'Y MODEL
WHP826 ATTIC SHUTTER ASS'Y MODEL

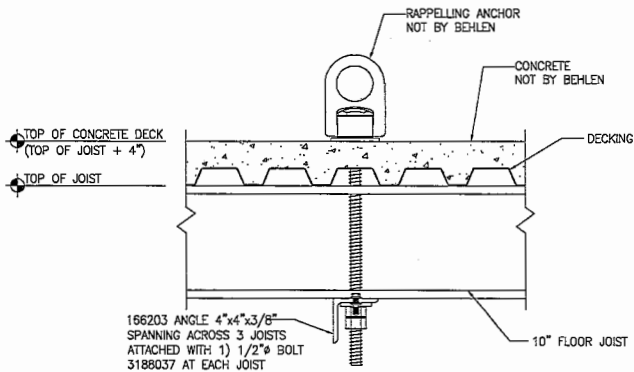
ALL SHUTTERS ASS'Y MODELS USE FRAMING COMPONENTS FROM WINDOW FRAME MODELS.

FLOOR SECTIONS			
3	REVISED TITLE BLOCK	C.G.	AUG 21/20
2	REVISED NOTES CONCERNING 3/8" x 1 1/2" FINISH BOLTS	E.Y.	OCT 16/19
1	REVISED TITLE BLOCK	H.R.	MAY 30/14
0	ISSUED FOR ASSEMBLY	C.C.	OCT 21/11
ISSUE	DESCRIPTION	NAME	YY/MM/DD

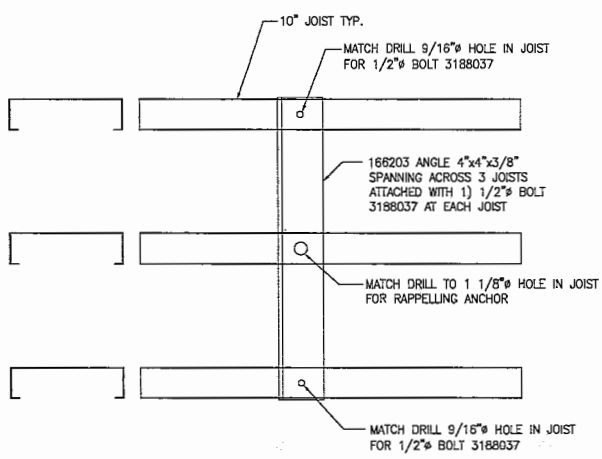
BEHLEN

207 DOUGLAS STREET, GRANCON, MINNETONKA, MN 55345, 224-726-1188
225 BELDON DRIVE, CAMBRIDGE, OHIO 43021, 519-626-6003

SHEET	FT-8
ISSUE	3

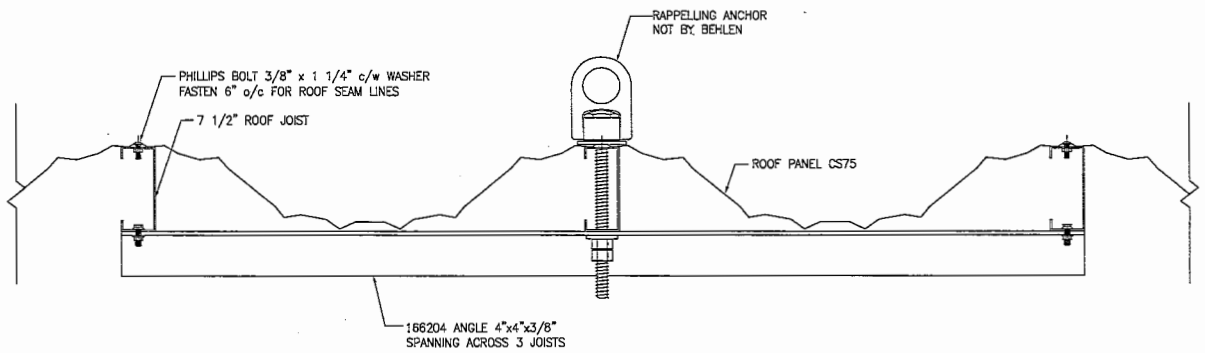


SECTION THROUGH RAPPELLING DETAIL
TYPICAL AT DECK & CONCRETE

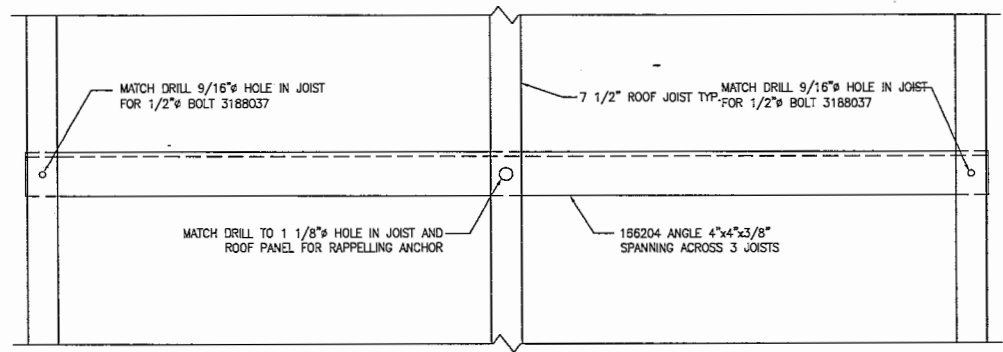


IF JOIST SPACING IS LESS THAN 12" ROTATE ANGLE TO FIT

PLAN VIEW OF RAPPELLING DETAIL
TYPICAL AT DECK & CONCRETE



SECTION THROUGH RAPPELLING DETAIL
TYPICAL AT CS75 ROOF PANEL



NOTE: ROOF PANEL NOT SHOWN FOR CLARITY

PLAN VIEW OF RAPPELLING DETAIL
TYPICAL AT CS75 ROOF PANEL

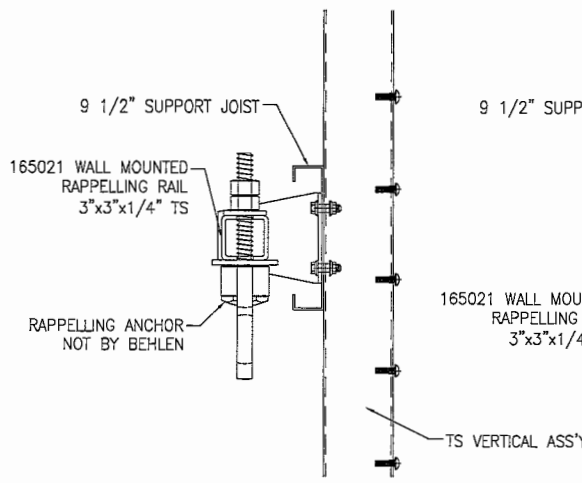
RAPPELLING ANCHOR DETAILS			
2	REVISED TITLE BLOCK	C.C.	AUG 21/20
1	REVISED TITLE BLOCK	H.R.	MAY 30/14
0	ISSUED FOR ASSEMBLY	C.C.	OCT 21/11
ISSUE	DESCRIPTION	NAME	TY/AM/DO

BEHLEN

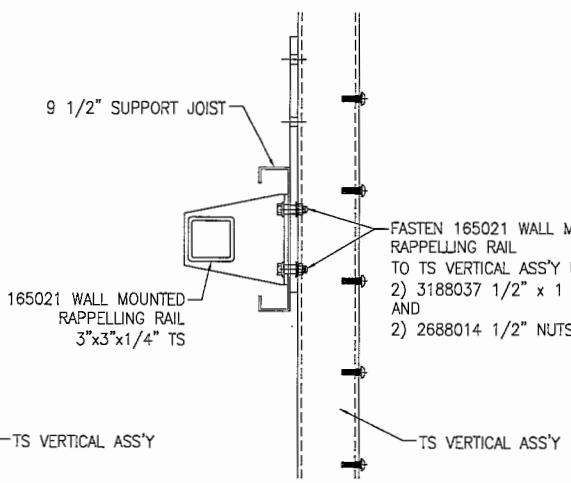
627 DRAKELUS STREET, SHARON, MASSACHUSETTS, USA TEL: 508-726-1188
625 SHELTON BLVD, SHARON, OHIO, USA TEL: 313-522-6000

SHEET
FT-10A

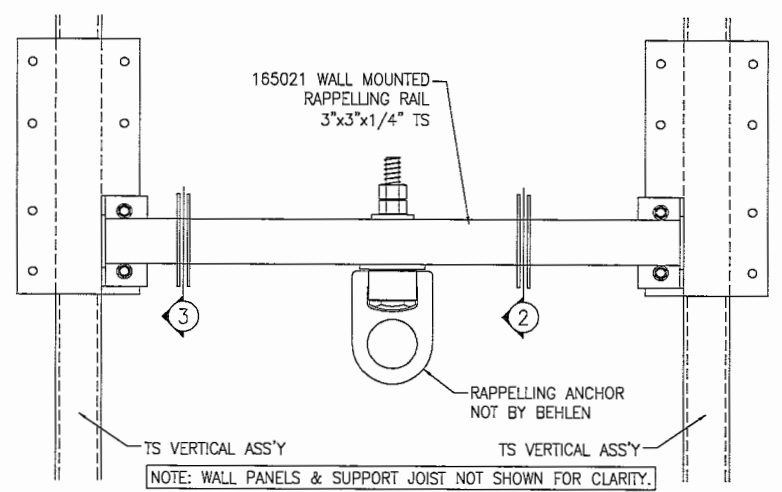
ISSUE
2



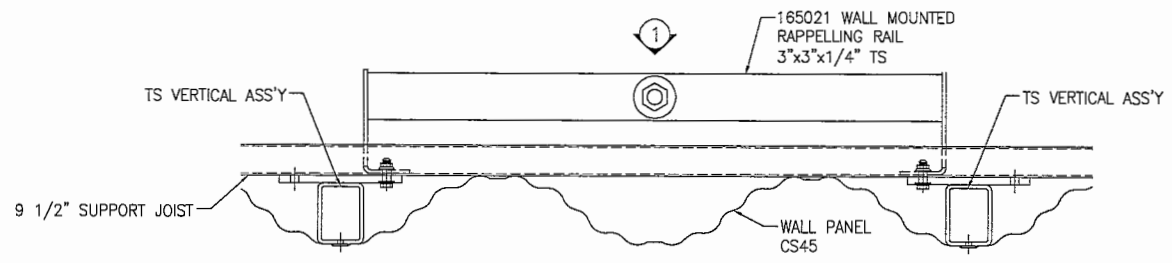
② SECTION THRU RAPPELLING RAIL AT RAPPELLING ANCHOR



③ SECTION THRU RAPPELLING RAIL AT END



① INTERIOR ELEVATION
ELEVATION VIEW OF RAPPELLING RAIL



NOTE: JOISTS NOT SHOWN FOR CLARITY.
PLAN VIEW OF RAPPELLING RAIL

ULTIMATE RAPPELLING LOAD NOT TO EXCEED 3000 LBS WHEN USING WALL MOUNTED RAPPELLING ANCHORS

ISSUE	DESCRIPTION	NAME	DATE
2	REVISED TITLE BLOCK	C.G.	AUG 21/20
1	REVISED TITLE BLOCK	C.G.	AUG 21/20
0	ISSUED FOR ASSEMBLY	C.G.	MAY 08/18

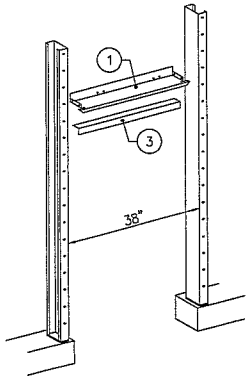
TS - WALL MOUNTED RAPPELLING ANCHOR DETAILS

BEHLEN

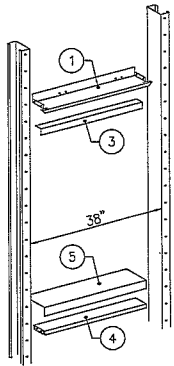
207 WINDHAM STREET, BURLINGTON, VERMONT, USA TEL: 802-278-1188
215 WILLOW DRIVE, CHARLOTTE, NORTH CAROLINA, USA TEL: 704-522-4300

SHEET
FT-10C
ISSUE
2

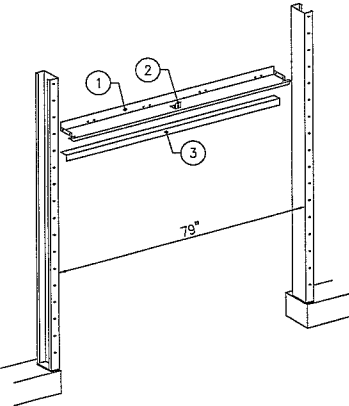
FR1 WALK DOOR FRAME 3'-2" x 7'-1"			
OID	QTY	PART NO.	DESCRIPTION
1	1	166916	HEADER
3	1	166560	TOP ANGLE
2	2	166815	JAMB FLASHING



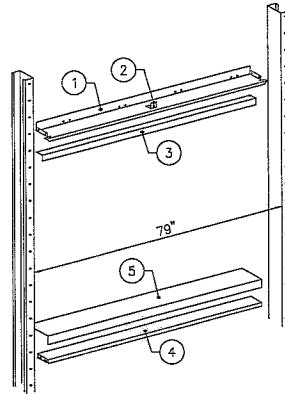
FR2 ELEVATED WALK DOOR FRAME 3'-2" x 7'-7"			
OID	QTY	PART NO.	DESCRIPTION
1	1	166916	HEADER
3	1	166560	TOP ANGLE
4	1	166838	SILL
5	1	166818	THRESHOLD
2	2	166815	JAMB FLASHING



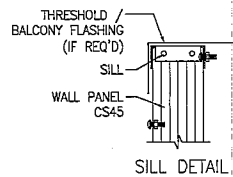
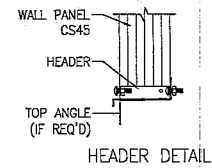
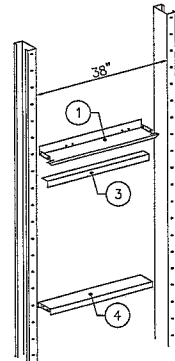
FR3 WALK DOOR FRAME 6'-7" x 7'-1"			
OID	QTY	PART NO.	DESCRIPTION
1	1	166926	HEADER
2	1	166829	HEADER BRACKET
3	1	166559	TOP ANGLE
2	2	166815	JAMB FLASHING



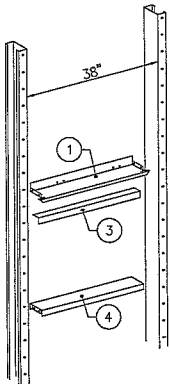
FR4 ELEVATED WALK DOOR FRAME 6'-7" x 7'-7"			
OID	QTY	PART NO.	DESCRIPTION
1	1	166926	HEADER
2	1	166829	HEADER BRACKET
3	1	166559	TOP ANGLE
4	1	166819	SILL
5	1	166822	THRESHOLD
2	2	166815	JAMB FLASHING



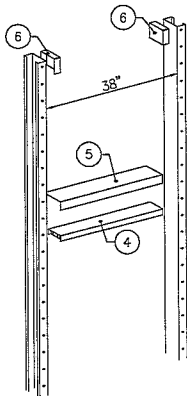
FR5 WINDOW FRAME 3'-2" x 4'-1"			
OID	QTY	PART NO.	DESCRIPTION
1	1	166916	HEADER
3	1	166560	TOP ANGLE
4	1	166838	SILL
1	1	166815	JAMB FLASHING



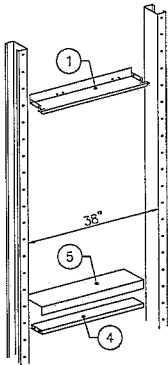
FR6 WINDOW FRAME 3'-2" x 3'-1"			
OID	QTY	PART NO.	DESCRIPTION
1	1	166916	HEADER
3	1	166560	TOP ANGLE
4	1	166838	SILL
1	1	166815	JAMB FLASHING



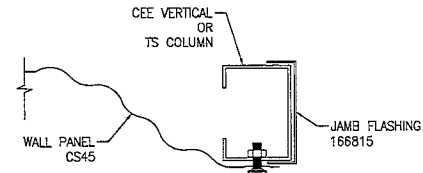
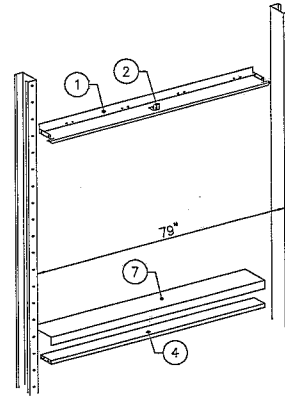
FR7 PARAPET FRAME 3'-2"			
OID	QTY	PART NO.	DESCRIPTION
4	1	166838	SILL
5	1	166818	THRESHOLD
6	2	166152	PARAPET END CAP
1	1	166815	JAMB FLASHING



FR8 BALCONY OPENING 3'-2" x 7'-7"			
OID	QTY	PART NO.	DESCRIPTION
1	1	166916	HEADER
3	1	166560	TOP ANGLE
4	1	166838	SILL
5	1	166412	BALCONY FLASHING
2	2	166815	JAMB FLASHING



FR9 BALCONY OPENING 6'-7" x 7'-7"			
OID	QTY	PART NO.	DESCRIPTION
1	1	166926	HEADER
2	1	166829	HEADER BRACKET
4	1	166819	SILL
7	1	166411	BALCONY FLASHING
2	2	166815	JAMB FLASHING



NOTE:
VERTICAL/COLUMN PROFILE AND/OR ORIENTATION
MAY NOT BE AS SHOWN.

JAMB DETAIL TYPICAL

NOTE:
THE FOLLOWING INFORMATION IS SUPPLIED/REFERENCED ON THE BUILDING ASSEMBLY DRAWINGS:

- VERTICALS / TS COLUMNS (SHEETS 3XX)
- QUANTITY OF EACH FRAME TYPE (SHEETS 6XX)
- ALL FRAME TYPES MAY NOT BE INCLUDED/REQUIRED FOR THE BUILDING
- HEADERS, SILLS, THRESHOLD, AND JAMB FLASHING FINISHES (SHEET 101)

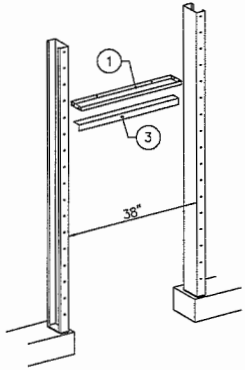
EXTERIOR FRAMED OPENINGS			
OID	QTY	DESCRIPTION	ISSUE

BEHLEN

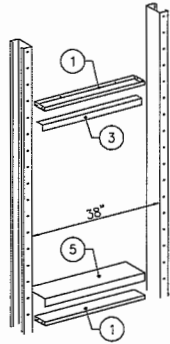
NOV 18/21 827 DUNDAS STREET, SIMCOE, ONTARIO, CANADA L9W 4T8 224-729-1188
605 SHELDON DRIVE, DARRIDGE, ONTARIO, M7L 2K1 519-629-0303

SHEET FT-11A

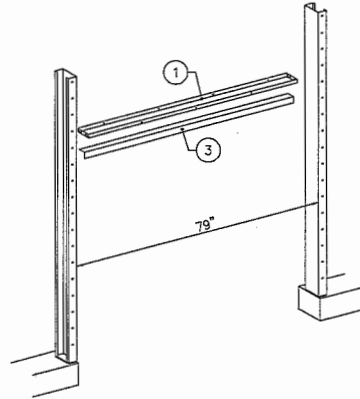
FR21 WALK DOOR FRAME 3'-2" x 7'-1"			
QID	QTY	PART NO.	DESCRIPTION
1	1	166838	HEADER / SILL
3	1	166560	TOP ANGLE
2	2	166815	JAMB FLASHING



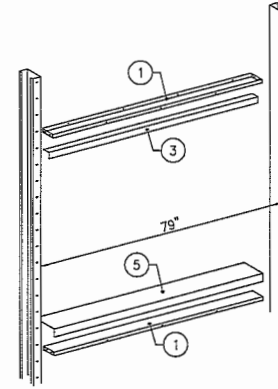
FR22 ELEVATED WALK DOOR FRAME 3'-2" x 7'-7"			
QID	QTY	PART NO.	DESCRIPTION
1	2	166838	HEADER / SILL
3	1	166560	TOP ANGLE
5	1	166818	THRESHOLD
2	2	166815	JAMB FLASHING



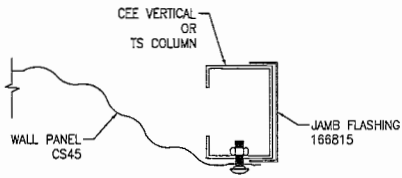
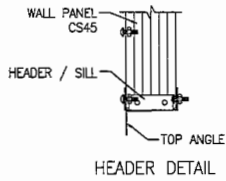
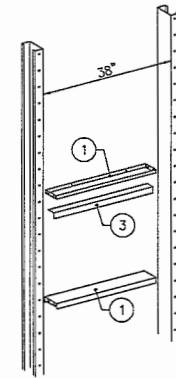
FR23 WALK DOOR FRAME 6'-7" x 7'-1"			
QID	QTY	PART NO.	DESCRIPTION
1	1	166819	HEADER / SILL
3	1	166559	TOP ANGLE
2	2	166815	JAMB FLASHING



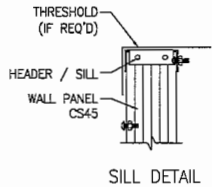
FR24 ELEVATED WALK DOOR FRAME 6'-7" x 7'-7"			
QID	QTY	PART NO.	DESCRIPTION
1	2	166819	HEADER / SILL
3	1	166559	TOP ANGLE
5	1	166822	THRESHOLD
2	2	166815	JAMB FLASHING



FR25 WINDOW FRAME 3'-2" x 3'-1"			
QID	QTY	PART NO.	DESCRIPTION
1	2	166838	HEADER / SILL
3	1	166560	TOP ANGLE
1	1	166815	JAMB FLASHING



NOTE:
VERTICAL/COLUMN PROFILE AND/OR ORIENTATION
MAY NOT BE AS SHOWN.

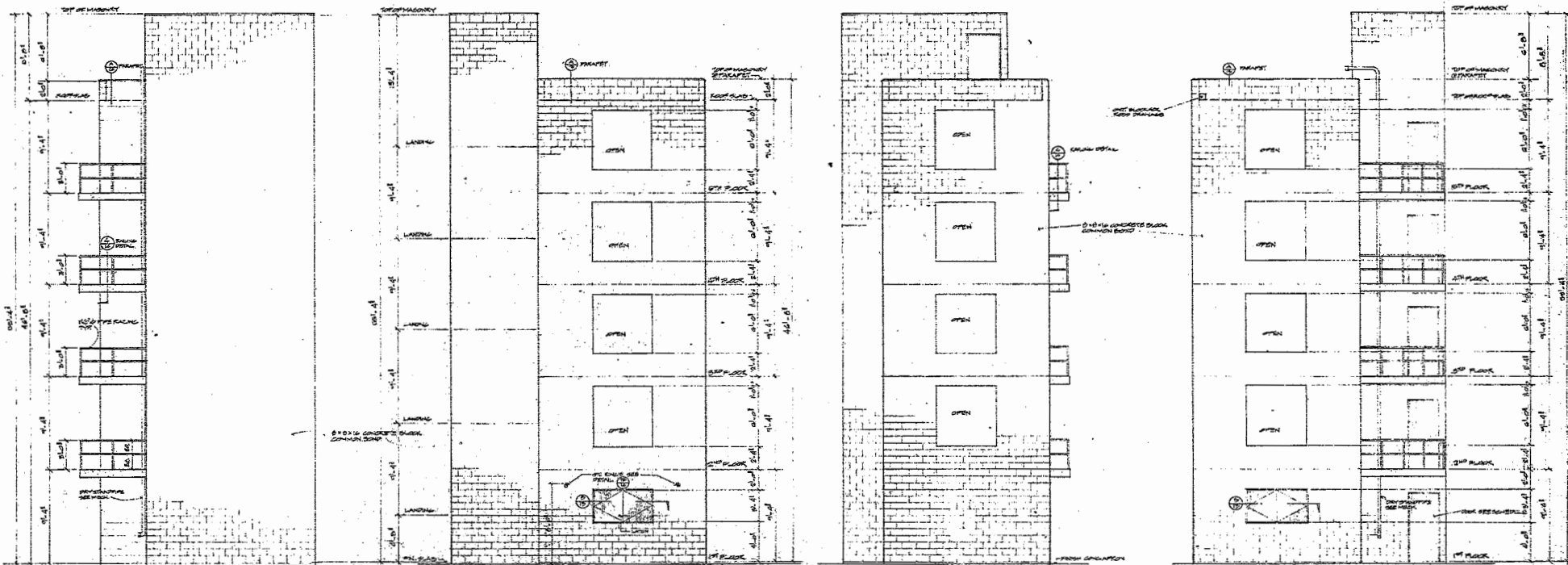


NOTE:
THE FOLLOWING INFORMATION IS SUPPLIED/REFERENCED ON THE BUILDING ASSEMBLY DRAWINGS:

- VERTICALS / TS COLUMNS (SHEETS 3XX)
- QUANTITY OF EACH FRAME TYPE (SHEETS 6XX)
 - ALL FRAME TYPES MAY NOT BE INCLUDED/REQUIRED FOR THE BUILDING
- HEADERS, SILLS, THRESHOLD, AND JAMB FLASHING FINISHES (SHEET 101)

ISSUED FOR ASSEMBLY		BY	NOV 19/21	INTERIOR FRAMED OPENINGS	
ISSUE	DESCRIPTION	NAME	YY/MM/DD	BEHLEN SHEET FT-11B ISSUE: 0	
			877 DOUGLAS STREET, BRIMON, WATERLOO, ONTARIO, CANADA N2L 2Z8, 519-228-1188 625 SHELTON DRIVE, CAMBRIDGE, ONTARIO, M1T 2R1, 519-822-9243		

ATTACHMENT 4
(Existing Facilities “As-Builts”)

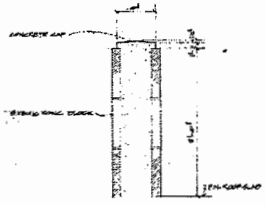


WEST ELEVATION
1/2" = 1'-0"

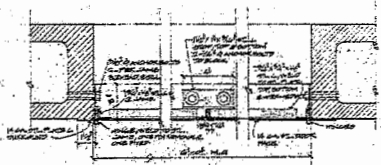
SOUTH ELEVATION
1/2" = 1'-0"

EAST ELEVATION
1/2" = 1'-0"

NORTH ELEVATION
1/2" = 1'-0"



PARAPET DETAIL
1/2" = 1'-0"



NOTE:
FINISHES ALL STEEL
FRAMES WITH BRICK
STEEL SHUTTER DETAIL
1/2" = 1'-0"

SCHWAGER, DESATO & HENDERSON
1909 ADAMS ST. SUITE 200
COSTA MESA

ATA

RESTATION # 1 &
WAREHOUSE AND TOWER BUILDING
THE CITY OF COSTA MESA

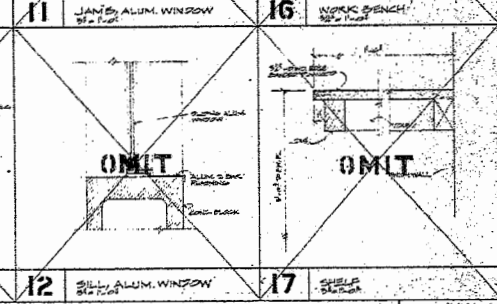
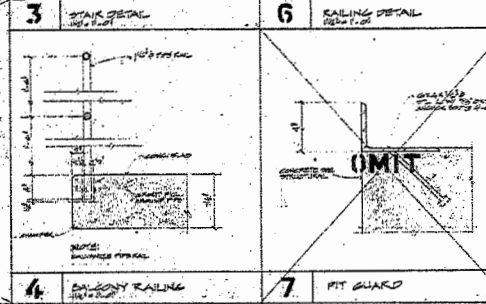
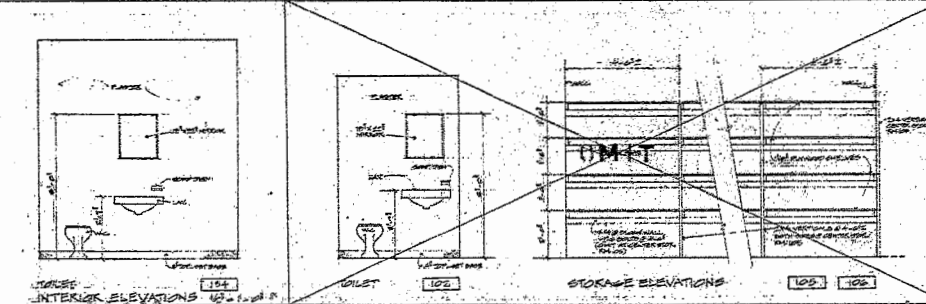
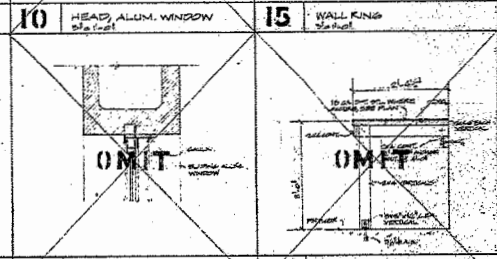
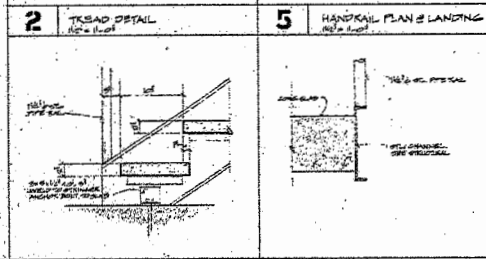
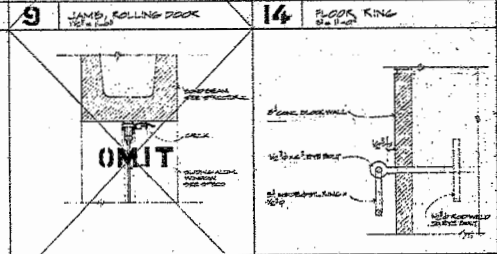
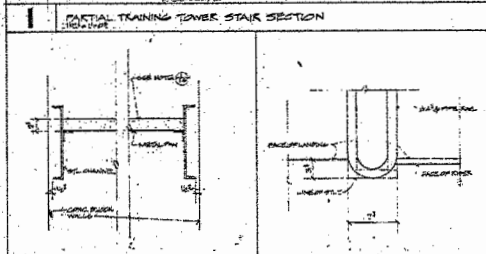
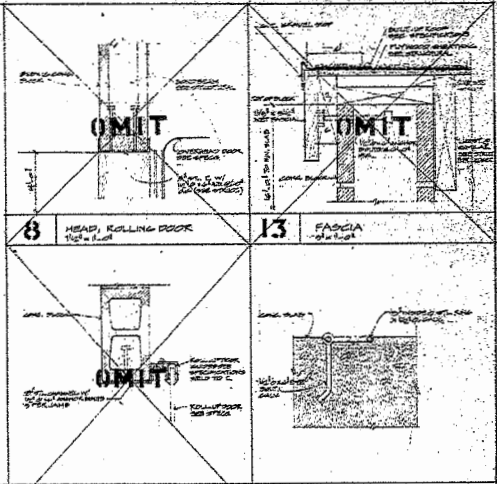
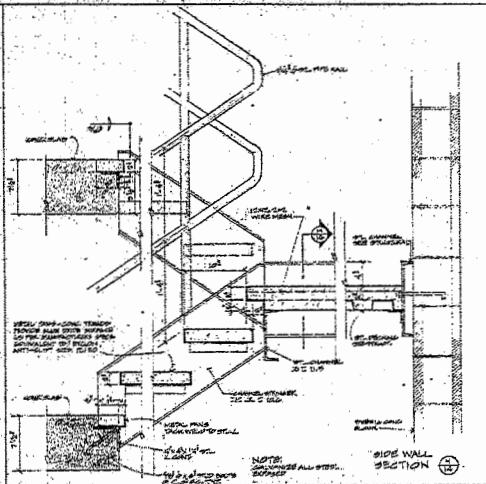
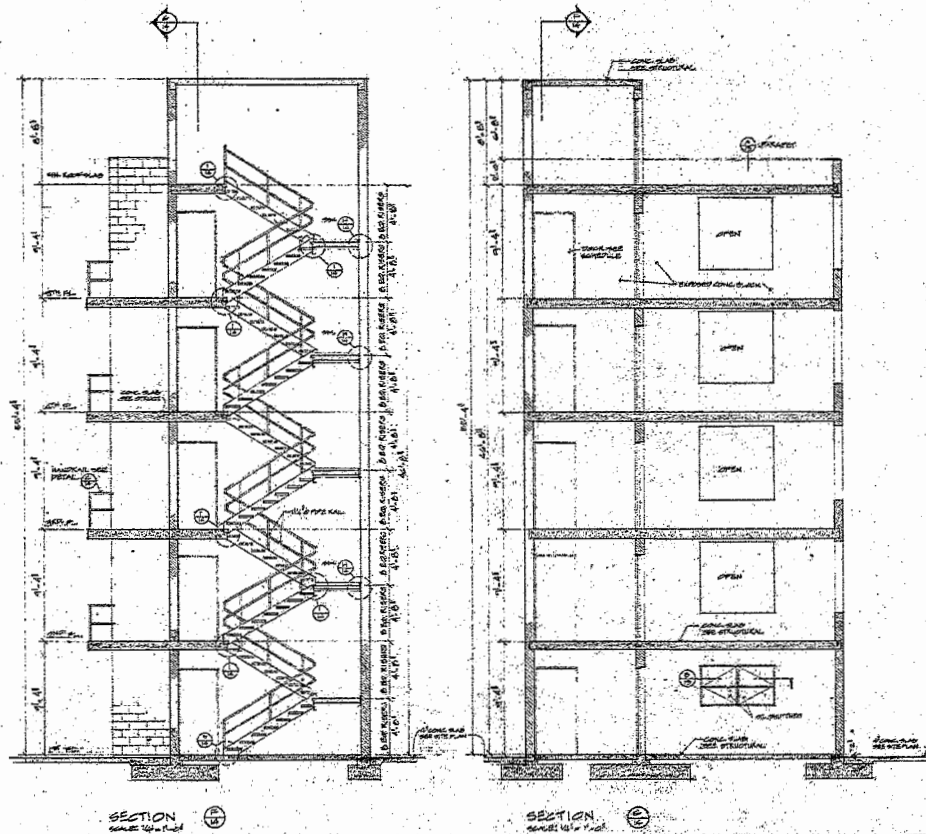
TITLE OF DRAWING
TRAINING TOWER ELEVATIONS

DESIGNED BY
CHECKED BY
DATE

REVISIONS
DRAWN BY
DATE

APPROVED BY
CHECKED BY
DATE

A-13
57



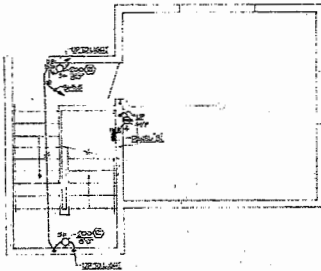
SCHWABER, DESATON & HENDERSON AIA
 1500 ADAMS ST. SUITE 204 P. O. BOX 101 COTTONWOOD, CALIF. 94630

FIRE STATION NO. 4 & WAREHOUSE AND SHOP BUILDING
 THE CITY OF PORTLAND, OREGON
 8000 N. BROADWAY, PORTLAND, OREGON

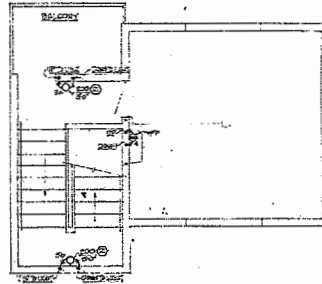
TITLE OR DRAWING: TRAINING TOWER SECTIONS & MISC. DETAILS
 SHEET NO. OF: 37
 APPROVED BY: [Signature]
 DRAWN BY: [Signature]

12/26/57 10, 26, 40, 41 ON			PANEL "B"		TRAINING CENTER		
QTY	AMOUNT	LENGTH (LINEAL FEET)	DESCRIPTION	COST IN DOLLARS			EST. NO.
1	2	3	4	5	6	7	
1	100	1"	WIRE	1000			2
1	100	2"	WIRE	2000			
1	1	1"	WIRE		1000		
1	1	2"	WIRE		2000		
			WIRE		1000		3
			WIRE		2000		
TOTAL WIRE PER PANEL				2 400	2 000		
TOTAL WIRE					4 400		
WIRE PER PANEL				2 400			
WIRE PER PANEL				2 000			
WIRE PER PANEL				4 400			

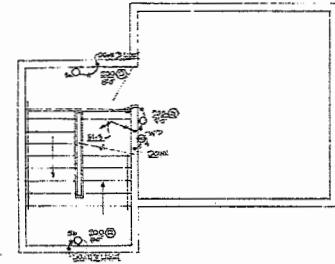
DO NOT SCALE. REMOVE ALL CHANGES. VERIFY POINTS.
 NOTE: POINTS A, B AND C ARE INDICATED BY CIRCLES IN PANELS.
 POINTS D AND E ARE INDICATED BY CIRCLES IN CIRCUIT PANELS.



FIRST FLOOR ELECTRICAL PLAN
 SHEET NO. 22



SECOND AND 5TH FLOOR ELECTRICAL PLAN
 SHEET NO. 23



LOWER ROOF ELECTRICAL PLAN
 SHEET NO. 24

12/26/57 10, 26, 40, 41 ON			PANEL "A"		TRAINING CENTER		
QTY	AMOUNT	LENGTH (LINEAL FEET)	DESCRIPTION	COST IN DOLLARS			EST. NO.
1	2	3	4	5	6	7	
1	100	1"	WIRE	1000			2
1	100	2"	WIRE	2000			
1	1	1"	WIRE		1000		
1	1	2"	WIRE		2000		
TOTAL WIRE PER PANEL				2 400	2 000		
TOTAL WIRE					4 400		

DO NOT SCALE. REMOVE ALL CHANGES.

12/26/57 10, 26, 40, 41 ON			PANEL "A"		TRAINING CENTER		
QTY	AMOUNT	LENGTH (LINEAL FEET)	DESCRIPTION	COST IN DOLLARS			EST. NO.
1	2	3	4	5	6	7	
1	100	1"	WIRE	1000			2
1	100	2"	WIRE	2000			
1	1	1"	WIRE		1000		
1	1	2"	WIRE		2000		
TOTAL WIRE PER PANEL				2 400	2 000		
TOTAL WIRE					4 400		

DO NOT SCALE. REMOVE ALL CHANGES.

12/26/57 10, 26, 40, 41 ON			PANEL "A"		TRAINING CENTER		
QTY	AMOUNT	LENGTH (LINEAL FEET)	DESCRIPTION	COST IN DOLLARS			EST. NO.
1	2	3	4	5	6	7	
1	100	1"	WIRE	1000			2
1	100	2"	WIRE	2000			
1	1	1"	WIRE		1000		
1	1	2"	WIRE		2000		
TOTAL WIRE PER PANEL				2 400	2 000		
TOTAL WIRE					4 400		

DO NOT SCALE. REMOVE ALL CHANGES.

SCHWAGER, DEBATOFF & HENDERSON
 ARCHITECTS

AIA

FIRESTATION NO 4
 WAREHOUSE AND SHOP BUILDING
 FOR
 THE CITY OF COSTA MESA
 COSTA MESA, CALIF.

FIRE TOWER ELECTRICAL PLANS

REVISIONS

APPROVED BY

DATE

USE - BUILD - ADMINISTRATIVE
 ELECTRICAL - WIREWORK
 May not be used for anything
 other than as shown on these plans

37

DATE BY
 SHEET NO.

ATTACHMENT 5
(City Standard Professional Services Agreement)

**CITY OF COSTA MESA
PROFESSIONAL SERVICES AGREEMENT
WITH**

THIS PROFESSIONAL SERVICES AGREEMENT ("Agreement") is made and entered into this ("Effective Date"), by and between the CITY OF COSTA MESA, a municipal corporation ("City"), _____, a California corporation ("Consultant").

WITNESSETH:

A. WHEREAS, City proposes to utilize the services of Consultant as an independent contractor to provide services and staff support services for the Engineering Division, as more fully described herein; and

B. WHEREAS, Consultant represents that it has that degree of specialized expertise contemplated within California Government Code section 37103, and holds all necessary licenses to practice and perform the services herein contemplated; and

C. WHEREAS, City and Consultant desire to contract for the specific services described in Exhibit "A and desire to set forth their rights, duties and liabilities in connection with the services to be performed; and

D. WHEREAS, no official or employee of City has a financial interest, within the provisions of sections 1090-1092 of the California Government Code, in the subject matter of this Agreement.

NOW, THEREFORE, for and in consideration of the mutual covenants and conditions contained herein, the parties hereby agree as follows:

1.0. SERVICES PROVIDED BY CONSULTANT

1.1. Scope of Services. Consultant shall provide the professional services described in Consultant's Proposal, attached hereto as Exhibit "A" and incorporated herein by this reference.

1.2. Professional Practices. All professional services to be provided by Consultant pursuant to this Agreement shall be provided by personnel experienced in their respective fields and in a manner consistent with the standards of care, diligence and skill ordinarily exercised by professional consultants in similar fields and circumstances in accordance with sound professional practices. Consultant also warrants that it is familiar with all laws that may affect its performance of this Agreement and shall advise City of any changes in any laws that may affect Consultant's performance of this Agreement.

1.3. Performance to Satisfaction of City. Consultant agrees to perform all the work to the complete satisfaction of the City and within the hereinafter specified. Evaluations of the work will be done by the City Manager or his or her designee. If the quality of work is not satisfactory, City in its discretion has the right to:

- (a) Meet with Consultant to review the quality of the work and resolve the matters of concern;

- (b) Require Consultant to repeat the work at no additional fee until it is satisfactory; and/or
- (c) Terminate the Agreement as hereinafter set forth.

1.4. Warranty. Consultant warrants that it shall perform the services required by this Agreement in compliance with all applicable Federal and California employment laws, including, but not limited to, those laws related to minimum hours and wages; occupational health and safety; fair employment and employment practices; workers' compensation insurance and safety in employment; and all other Federal, State and local laws and ordinances applicable to the services required under this Agreement. Consultant shall indemnify and hold harmless City from and against all claims, demands, payments, suits, actions, proceedings, and judgments of every nature and description including attorneys' fees and costs, presented, brought, or recovered against City for, or on account of any liability under any of the above-mentioned laws, which may be incurred by reason of Consultant's performance under this Agreement.

1.5. Non-Discrimination. In performing this Agreement, Consultant shall not engage in, nor permit its agents to engage in, discrimination in employment of persons because of their race, religious creed, color, national origin, ancestry, physical disability, mental disability, medical condition, genetic information, marital status, sex, gender, gender identity, gender expression, age, sexual orientation, or military or veteran status, except as permitted pursuant to section 12940 of the Government Code.

1.6. Non-Exclusive Agreement. Consultant acknowledges that City may enter into agreements with other consultants for services similar to the services that are subject to this Agreement or may have its own employees perform services similar to those services contemplated by this Agreement.

1.7. Delegation and Assignment. This is a personal service contract, and the duties set forth herein shall not be delegated or assigned to any person or entity without the prior written consent of City. Consultant may engage a subcontractor(s) as permitted by law and may employ other personnel to perform services contemplated by this Agreement at Consultant's sole cost and expense.

1.8. Confidentiality. Employees of Consultant in the course of their duties may have access to financial, accounting, statistical, and personnel data of private individuals and employees of City. Consultant covenants that all data, documents, discussion, or other information developed or received by Consultant or provided for performance of this Agreement are deemed confidential and shall not be disclosed by Consultant without written authorization by City. City shall grant such authorization if disclosure is required by law. All City data shall be returned to City upon the termination of this Agreement. Consultant's covenant under this Section shall survive the termination of this Agreement.

2.0. COMPENSATION AND BILLING

2.1. Compensation. Consultant shall be paid in accordance with the fee schedule set forth in Exhibit A. Consultant's total compensation shall not exceed _____ Dollars (\$00).

2.2. Additional Services. Consultant shall not receive compensation for any services provided outside the scope of services specified in the Consultant's Proposal unless the City or the Project Manager for this Project, prior to Consultant performing the additional services, approves such additional services in writing. It is specifically understood that oral requests and/or

approvals of such additional services or additional compensation shall be barred and are unenforceable.

2.3. Method of Billing. Consultant may submit invoices to the City for approval on a progress basis, but no more often than two times a month. Said invoice shall be based on the total of all Consultant's services which have been completed to City's sole satisfaction. City shall pay Consultant's invoice within forty-five (45) days from the date City receives said invoice. Each invoice shall describe in detail, the services performed, the date of performance, and the associated time for completion. Any additional services approved and performed pursuant to this Agreement shall be designated as "Additional Services" and shall identify the number of the authorized change order, where applicable, on all invoices.

2.4. Records and Audits. Records of Consultant's services relating to this Agreement shall be maintained in accordance with generally recognized accounting principles and shall be made available to City or its Project Manager for inspection and/or audit at mutually convenient times from the Effective Date until three (3) years after termination of this Agreement.

3.0. TIME OF PERFORMANCE

3.1. Commencement and Completion of Work. Unless otherwise agreed to in writing by the parties, the professional services to be performed pursuant to this Agreement shall commence within five (5) days from the Effective Date of this Agreement. Failure to commence work in a timely manner and/or diligently pursue work to completion may be grounds for termination of this Agreement.

3.2. Excusable Delays. Neither party shall be responsible for delays or lack of performance resulting from acts beyond the reasonable control of the party or parties. Such acts shall include, but not be limited to, acts of God, fire, strikes, material shortages, compliance with laws or regulations, riots, acts of war, or any other conditions beyond the reasonable control of a party.

4.0. TERM AND TERMINATION

4.1. Term. This Agreement shall commence on the Effective Date and continue for a period of _____, unless previously terminated as provided herein or as otherwise agreed to in writing by the parties.

4.2. Notice of Termination. The City reserves and has the right and privilege of canceling, suspending or abandoning the execution of all or any part of the work contemplated by this Agreement, with or without cause, at any time, by providing written notice to Consultant. The termination of this Agreement shall be deemed effective upon receipt of the notice of termination. In the event of such termination, Consultant shall immediately stop rendering services under this Agreement unless directed otherwise by the City.

4.3. Compensation. In the event of termination, City shall pay Consultant for reasonable costs incurred and professional services satisfactorily performed up to and including the date of City's written notice of termination. Compensation for work in progress shall be prorated based on the percentage of work completed as of the effective date of termination in accordance with the fees set forth herein. In ascertaining the professional services actually rendered hereunder up to the effective date of termination of this Agreement, consideration shall be given to both completed work and work in progress, to complete and incomplete drawings, and to other documents pertaining to the services contemplated herein whether delivered to the

City or in the possession of the Consultant.

4.4. Documents. In the event of termination of this Agreement, all documents prepared by Consultant in its performance of this Agreement including, but not limited to, finished or unfinished design, development and construction documents, data studies, drawings, maps and reports, shall be delivered to the City within ten (10) days of delivery of termination notice to Consultant, at no cost to City. Any use of uncompleted documents without specific written authorization from Consultant shall be at City's sole risk and without liability or legal expense to Consultant.

5.0. INSURANCE

5.1. Minimum Scope and Limits of Insurance. Consultant shall obtain, maintain, and keep in full force and effect during the life of this Agreement all of the following minimum scope of insurance coverages with an insurance company admitted to do business in California, rated "A," Class X, or better in the most recent Best's Key Insurance Rating Guide, and approved by City:

- (a) Commercial general liability, including premises-operations, products/completed operations, broad form property damage, blanket contractual liability, independent contractors, personal injury or bodily injury with a policy limit of not less than One Million Dollars (\$1,000,000.00), combined single limits, per occurrence. If such insurance contains a general aggregate limit, it shall apply separately to this Agreement or shall be twice the required occurrence limit.
- (b) Business automobile liability for owned vehicles, hired, and non-owned vehicles, with a policy limit of not less than One Million Dollars (\$1,000,000.00), combined single limits, per occurrence for bodily injury and property damage.
- (c) Workers' compensation insurance as required by the State of California. Consultant agrees to waive, and to obtain endorsements from its workers' compensation insurer waiving subrogation rights under its workers' compensation insurance policy against the City, its officers, agents, employees, and volunteers arising from work performed by Consultant for the City and to require each of its subcontractors, if any, to do likewise under their workers' compensation insurance policies.
- (d) Professional errors and omissions ("E&O") liability insurance with policy limits of not less than One Million Dollars (\$1,000,000.00), combined single limits, per occurrence and aggregate. Architects' and engineers' coverage shall be endorsed to include contractual liability. If the policy is written as a "claims made" policy, the retro date shall be prior to the start of the contract work. Consultant shall obtain and maintain, said E&O liability insurance during the life of this Agreement and for three years after completion of the work hereunder.

5.2. Endorsements. The commercial general liability insurance policy and business automobile liability policy shall contain or be endorsed to contain the following provisions:

- (a) Additional insureds: "The City of Costa Mesa and its elected and appointed

boards, officers, officials, agents, employees, and volunteers are additional insureds with respect to: liability arising out of activities performed by or on behalf of the Consultant pursuant to its contract with the City; products and completed operations of the Consultant; premises owned, occupied or used by the Consultant; automobiles owned, leased, hired, or borrowed by the Consultant.”

- (b) Notice: “Said policy shall not terminate, be suspended, or voided, nor shall it be cancelled, nor the coverage or limits reduced, until thirty (30) days after written notice is given to City.”
- (c) Other insurance: “The Consultant’s insurance coverage shall be primary insurance as respects the City of Costa Mesa, its officers, officials, agents, employees, and volunteers. Any other insurance maintained by the City of Costa Mesa shall be excess and not contributing with the insurance provided by this policy.”
- (d) Any failure to comply with the reporting provisions of the policies shall not affect coverage provided to the City of Costa Mesa, its officers, officials, agents, employees, and volunteers.
- (e) The Consultant’s insurance shall apply separately to each insured against whom claim is made or suit is brought, except with respect to the limits of the insurer’s liability.

5.3. Deductible or Self Insured Retention. If any of such policies provide for a deductible or self-insured retention to provide such coverage, the amount of such deductible or self-insured retention shall be approved in advance by City. No policy of insurance issued as to which the City is an additional insured shall contain a provision which requires that no insured except the named insured can satisfy any such deductible or self-insured retention.

5.4. Certificates of Insurance. Consultant shall provide to City certificates of insurance showing the insurance coverages and required endorsements described above, in a form and content approved by City, prior to performing any services under this Agreement. The certificates of insurance shall be attached hereto as Exhibit “B” and incorporated herein by this reference.

5.5. Non-Limiting. Nothing in this Section shall be construed as limiting in any way, the indemnification provision contained in this Agreement, or the extent to which Consultant may be held responsible for payments of damages to persons or property.

6.0. GENERAL PROVISIONS

6.1. Entire Agreement. This Agreement constitutes the entire agreement between the parties with respect to any matter referenced herein and supersedes any and all other prior writings and oral negotiations. This Agreement may be modified only in writing, and signed by the parties in interest at the time of such modification. The terms of this Agreement shall prevail over any inconsistent provision in any other contract document appurtenant hereto, including exhibits to this Agreement.

6.2. Representatives. The City Manager or his or her designee shall be the representative of City for purposes of this Agreement and may issue all consents, approvals, directives and agreements on behalf of the City, called for by this Agreement, except as otherwise

expressly provided in this Agreement.

Consultant shall designate a representative for purposes of this Agreement who shall be authorized to issue all consents, approvals, directives and agreements on behalf of Consultant called for by this Agreement, except as otherwise expressly provided in this Agreement.

6.3. Project Managers. City shall designate a Project Manager to work directly with Consultant in the performance of this Agreement.

Consultant shall designate a Project Manager who shall represent it and be its agent in all consultations with City during the term of this Agreement. Consultant or its Project Manager shall attend and assist in all coordination meetings called by City.

6.4. Notices. Any notices, documents, correspondence or other communications concerning this Agreement or the work hereunder may be provided by personal delivery or mail and shall be addressed as set forth below. Such communication shall be deemed served or delivered: (a) at the time of delivery if such communication is sent by personal delivery, and (b) 48 hours after deposit in the U.S. Mail as reflected by the official U.S. postmark if such communication is sent through regular United States mail.

IF TO CONSULTANT:

IF TO CITY:

City of Costa Mesa
77 Fair Drive
Costa Mesa, CA 92626
Tel: (714) 754-5291
Attn:

Courtesy copy to:

City of Costa Mesa
77 Fair Drive
Costa Mesa, CA 92626
Attn: Finance Dept. | Purchasing

6.5. Drug-Free Workplace Policy. Consultant shall provide a drug-free workplace by complying with all provisions set forth in City's Council Policy 100-5, attached hereto as Exhibit "C" and incorporated herein by reference. Consultant's failure to conform to the requirements set forth in Council Policy 100-5 shall constitute a material breach of this Agreement and shall be cause for immediate termination of this Agreement by City.

6.6. Attorneys' Fees. In the event that litigation is brought by any party in connection with this Agreement, the prevailing party shall be entitled to recover from the opposing party all costs and expenses, including reasonable attorneys' fees, incurred by the prevailing party in the exercise of any of its rights or remedies hereunder or the enforcement of any of the terms, conditions, or provisions hereof.

6.7. Governing Law. This Agreement shall be governed by and construed under the laws of the State of California without giving effect to that body of laws pertaining to conflict of laws. In the event of any legal action to enforce or interpret this Agreement, the parties hereto

agree that the sole and exclusive venue shall be a court of competent jurisdiction located in Orange County, California.

6.8. Assignment. Consultant shall not voluntarily or by operation of law assign, transfer, sublet or encumber all or any part of Consultant's interest in this Agreement without City's prior written consent. Any attempted assignment, transfer, subletting or encumbrance shall be void and shall constitute a breach of this Agreement and cause for termination of this Agreement. Regardless of City's consent, no subletting or assignment shall release Consultant of Consultant's obligation to perform all other obligations to be performed by Consultant hereunder for the term of this Agreement.

6.9. Indemnification and Hold Harmless. Consultant agrees to defend, indemnify, hold free and harmless the City, its elected officials, officers, agents and employees, at Consultant's sole expense, from and against any and all claims, actions, suits or other legal proceedings brought against the City, its elected officials, officers, agents and employees arising out of the performance of the Consultant, its employees, and/or authorized subcontractors, of the work undertaken pursuant to this Agreement. The defense obligation provided for hereunder shall apply without any advance showing of negligence or wrongdoing by the Consultant, its employees, and/or authorized subcontractors, but shall be required whenever any claim, action, complaint, or suit asserts as its basis the negligence, errors, omissions or misconduct of the Consultant, its employees, and/or authorized subcontractors, and/or whenever any claim, action, complaint or suit asserts liability against the City, its elected officials, officers, agents and employees based upon the work performed by the Consultant, its employees, and/or authorized subcontractors under this Agreement, whether or not the Consultant, its employees, and/or authorized subcontractors are specifically named or otherwise asserted to be liable. Notwithstanding the foregoing, the Consultant shall not be liable for the defense or indemnification of the City for claims, actions, complaints or suits arising out of the sole active negligence or willful misconduct of the City. This provision shall supersede and replace all other indemnity provisions contained either in the City's specifications or Consultant's Proposal, which shall be of no force and effect.

6.10. Independent Contractor. Consultant is and shall be acting at all times as an independent contractor and not as an employee of City. Consultant shall have no power to incur any debt, obligation, or liability on behalf of City or otherwise act on behalf of City as an agent. Neither City nor any of its agents shall have control over the conduct of Consultant or any of Consultant's employees, except as set forth in this Agreement. Consultant shall not, at any time, or in any manner, represent that it or any of its agents or employees are in any manner agents or employees of City. Consultant shall secure, at its sole expense, and be responsible for any and all payment of Income Tax, Social Security, State Disability Insurance Compensation, Unemployment Compensation, and other payroll deductions for Consultant and its officers, agents, and employees, and all business licenses, if any are required, in connection with the services to be performed hereunder. Consultant shall indemnify and hold City harmless from any and all taxes, assessments, penalties, and interest asserted against City by reason of the independent contractor relationship created by this Agreement. Consultant further agrees to indemnify and hold City harmless from any failure of Consultant to comply with the applicable worker's compensation laws. City shall have the right to offset against the amount of any fees due to Consultant under this Agreement any amount due to City from Consultant as a result of Consultant's failure to promptly pay to City any reimbursement or indemnification arising under this paragraph.

6.11. PERS Eligibility Indemnification. In the event that Consultant or any employee, agent, or subcontractor of Consultant providing services under this Agreement claims or is

determined by a court of competent jurisdiction or the California Public Employees Retirement System (PERS) to be eligible for enrollment in PERS as an employee of the City, Consultant shall indemnify, defend, and hold harmless City for the payment of any employee and/or employer contributions for PERS benefits on behalf of Consultant or its employees, agents, or subcontractors, as well as for the payment of any penalties and interest on such contributions, which would otherwise be the responsibility of City.

Notwithstanding any other agency, state or federal policy, rule, regulation, law or ordinance to the contrary, Consultant and any of its employees, agents, and subcontractors providing service under this Agreement shall not qualify for or become entitled to, and hereby agree to waive any claims to, any compensation, benefit, or any incident of employment by City, including but not limited to eligibility to enroll in PERS as an employee of City and entitlement to any contribution to be paid by City for employer contribution and/or employee contributions for PERS benefits.

6.12. Cooperation. In the event any claim or action is brought against City relating to Consultant's performance or services rendered under this Agreement, Consultant shall render any reasonable assistance and cooperation which City might require.

6.13. Ownership of Documents. All findings, reports, documents, information and data including, but not limited to, computer tapes or discs, files and tapes furnished or prepared by Consultant or any of its subcontractors in the course of performance of this Agreement, shall be and remain the sole property of City. Consultant agrees that any such documents or information shall not be made available to any individual or organization without the prior consent of City. Any use of such documents for other projects not contemplated by this Agreement, and any use of incomplete documents, shall be at the sole risk of City and without liability or legal exposure to Consultant. City shall indemnify and hold harmless Consultant from all claims, damages, losses, and expenses, including attorneys' fees, arising out of or resulting from City's use of such documents for other projects not contemplated by this Agreement or use of incomplete documents furnished by Consultant. Consultant shall deliver to City any findings, reports, documents, information, data, in any form, including but not limited to, computer tapes, discs, files audio tapes or any other Project related items as requested by City or its authorized representative, at no additional cost to the City.

6.14. Public Records Act Disclosure. Consultant has been advised and is aware that this Agreement and all reports, documents, information and data, including, but not limited to, computer tapes, discs or files furnished or prepared by Consultant, or any of its subcontractors, pursuant to this Agreement and provided to City may be subject to public disclosure as required by the California Public Records Act (California Government Code section 6250 *et seq.*). Exceptions to public disclosure may be those documents or information that qualify as trade secrets, as that term is defined in the California Government Code section 6254.7, and of which Consultant informs City of such trade secret. The City will endeavor to maintain as confidential all information obtained by it that is designated as a trade secret. The City shall not, in any way, be liable or responsible for the disclosure of any trade secret including, without limitation, those records so marked if disclosure is deemed to be required by law or by order of the Court.

6.15. Conflict of Interest. Consultant and its officers, employees, associates and subconsultants, if any, will comply with all conflict of interest statutes of the State of California applicable to Consultant's services under this agreement, including, but not limited to, the Political Reform Act (Government Code sections 81000, *et seq.*) and Government Code section 1090. During the term of this Agreement, Consultant and its officers, employees, associates and subconsultants shall not, without the prior written approval of the City Representative, perform

work for another person or entity for whom Consultant is not currently performing work that would require Consultant or one of its officers, employees, associates or subconsultants to abstain from a decision under this Agreement pursuant to a conflict of interest statute.

6.16. Responsibility for Errors. Consultant shall be responsible for its work and results under this Agreement. Consultant, when requested, shall furnish clarification and/or explanation as may be required by the City's representative, regarding any services rendered under this Agreement at no additional cost to City. In the event that an error or omission attributable to Consultant occurs, then Consultant shall, at no cost to City, provide all necessary design drawings, estimates and other Consultant professional services necessary to rectify and correct the matter to the sole satisfaction of City and to participate in any meeting required with regard to the correction.

6.17. Prohibited Employment. Consultant will not employ any regular employee of City while this Agreement is in effect.

6.18. Order of Precedence. In the event of an inconsistency in this Agreement and any of the attached Exhibits, the terms set forth in this Agreement shall prevail. If, and to the extent this Agreement incorporates by reference any provision of any document, such provision shall be deemed a part of this Agreement. Nevertheless, if there is any conflict among the terms and conditions of this Agreement and those of any such provision or provisions so incorporated by reference, this Agreement shall govern over the document referenced.

6.19. Costs. Each party shall bear its own costs and fees incurred in the preparation and negotiation of this Agreement and in the performance of its obligations hereunder except as expressly provided herein.

6.20. No Third Party Beneficiary Rights. This Agreement is entered into for the sole benefit of City and Consultant and no other parties are intended to be direct or incidental beneficiaries of this Agreement and no third party shall have any right in, under or to this Agreement.

6.21. Headings. Paragraphs and subparagraph headings contained in this Agreement are included solely for convenience and are not intended to modify, explain or to be a full or accurate description of the content thereof and shall not in any way affect the meaning or interpretation of this Agreement.

6.22. Construction. The parties have participated jointly in the negotiation and drafting of this Agreement. In the event an ambiguity or question of intent or interpretation arises with respect to this Agreement, this Agreement shall be construed as if drafted jointly by the parties and in accordance with its fair meaning. There shall be no presumption or burden of proof favoring or disfavoring any party by virtue of the authorship of any of the provisions of this Agreement.

6.23. Amendments. Only a writing executed by the parties hereto or their respective successors and assigns may amend this Agreement.

6.24. Waiver. The delay or failure of either party at any time to require performance or compliance by the other of any of its obligations or agreements shall in no way be deemed a waiver of those rights to require such performance or compliance. No waiver of any provision of this Agreement shall be effective unless in writing and signed by a duly authorized representative of the party against whom enforcement of a waiver is sought. The waiver of any right or remedy in respect to any occurrence or event shall not be deemed a waiver of any right or remedy in

respect to any other occurrence or event, nor shall any waiver constitute a continuing waiver.

6.25. Severability. If any provision of this Agreement is determined by a court of competent jurisdiction to be unenforceable in any circumstance, such determination shall not affect the validity or enforceability of the remaining terms and provisions hereof or of the offending provision in any other circumstance. Notwithstanding the foregoing, if the value of this Agreement, based upon the substantial benefit of the bargain for any party, is materially impaired, which determination made by the presiding court or arbitrator of competent jurisdiction shall be binding, then both parties agree to substitute such provision(s) through good faith negotiations.

6.26. Counterparts. This Agreement may be executed in one or more counterparts, each of which shall be deemed an original. All counterparts shall be construed together and shall constitute one agreement.

6.27. Corporate Authority. The persons executing this Agreement on behalf of the parties hereto warrant that they are duly authorized to execute this Agreement on behalf of said parties and that by doing so the parties hereto are formally bound to the provisions of this Agreement.

[Signatures appear on following page.]

IN WITNESS WHEREOF, the parties hereto have caused this Agreement to be executed by and through their respective authorized officers, as of the date first above written.

CONSULTANT

Signature

Date: _____

[Name and Title]

Social Security or Taxpayer ID Number

CITY OF COSTA MESA

Thomas Hatch
City Manager

Date: _____

ATTEST:

Brenda Green
City Clerk

APPROVED AS TO FORM:

Thomas Duarte
City Attorney

Date: _____

APPROVED AS TO INSURANCE:

Ruth Wang
Risk Management

Date: _____

APPROVED AS TO CONTENT:

Project Manager

Date: _____

DEPARTMENTAL APPROVAL:

Raja Sethuraman
Public Services Director

Date: _____

APPROVED AS TO PURCHASING:

Kelly A. Telford
Finance Director

Date: _____

EXHIBIT A
CONSULTANT'S PROPOSAL

EXHIBIT B
CERTIFICATES OF INSURANCE

EXHIBIT C

CITY COUNCIL POLICY 100-5

CITY OF COSTA MESA, CALIFORNIA

COUNCIL POLICY

SUBJECT	POLICY NUMBER	EFFECTIVE DATE	PAGE
DRUG-FREE WORKPLACE	100-5	8-8-89	1 of 3

BACKGROUND

Under the Federal Drug-Free Workplace Act of 1988, passed as part of omnibus drug legislation enacted November 18, 1988, contractors and grantees of Federal funds must certify that they will provide drug-free workplaces. At the present time, the City of Costa Mesa, as a sub-grantee of Federal funds under a variety of programs, is required to abide by this Act. The City Council has expressed its support of the national effort to eradicate drug abuse through the creation of a Substance Abuse Committee, institution of a City-wide D.A.R.E. program in all local schools and other activities in support of a drug-free community. This policy is intended to extend that effort to contractors and grantees of the City of Costa Mesa in the elimination of dangerous drugs in the workplace.

PURPOSE

It is the purpose of this Policy to:

1. Clearly state the City of Costa Mesa's commitment to a drug-free society.
2. Set forth guidelines to ensure that public, private, and nonprofit organizations receiving funds from the City of Costa Mesa share the commitment to a drug-free workplace.

POLICY

The City Manager, under direction by the City Council, shall take the necessary steps to see that the following provisions are included in all contracts and agreements entered into by the City of Costa Mesa involving the disbursement of funds.

1. Contractor or Sub-grantee hereby certifies that it will provide a drug-free workplace by:
 - A. Publishing a statement notifying employees that the unlawful manufacture, distribution, dispensing, possession, or use of a controlled substance is prohibited in Contractor's and/or sub-grantee's workplace, specifically the job site or location included in this contract, and specifying the actions that will be taken against the employees for violation of such prohibition;
 - B. Establishing a Drug-Free Awareness Program to inform employees about:

SUBJECT	POLICY NUMBER	EFFECTIVE DATE	PAGE
DRUG-FREE WORKPLACE	100-5	8-8-89	2 of 3

1. The dangers of drug abuse in the workplace;
 2. Contractor's and/or sub-grantee's policy of maintaining a drug-free workplace;
 3. Any available drug counseling, rehabilitation and employee assistance programs; and
 4. The penalties that may be imposed upon employees for drug abuse violations occurring in the workplace;
- C. Making it a requirement that each employee to be engaged in the performance of the contract be given a copy of the statement required by subparagraph A;
- D. Notifying the employee in the statement required by subparagraph 1 A that, as a condition of employment under the contract, the employee will:
1. Abide by the terms of the statement; and
 2. Notify the employer of any criminal drug statute conviction for a violation occurring in the workplace no later than five (5) days after such conviction;
- E. Notifying the City of Costa Mesa within ten (10) days after receiving notice under subparagraph 1 D 2 from an employee or otherwise receiving the actual notice of such conviction;
- F. Taking one of the following actions within thirty (30) days of receiving notice under subparagraph 1 D 2 with respect to an employee who is so convicted:
1. Taking appropriate personnel action against such an employee, up to and including termination; or
 2. Requiring such employee to participate satisfactorily in a drug abuse assistance or rehabilitation program approved for such purposes by a Federal, State, or local health agency, law enforcement, or other appropriate agency;

SUBJECT	POLICY NUMBER	EFFECTIVE DATE	PAGE
DRUG-FREE WORKPLACE	100-5	8-8-89	3 of 3

- G. Making a good faith effort to maintain a drug-free workplace through implementation of subparagraphs 1 A through 1 F, inclusive.
2. Contractor and/or sub-grantee shall be deemed to be in violation of this Policy if the City of Costa Mesa determines that:
 - a. Contractor and/or sub-grantee has made a false certification under paragraph 1 above;
 - b. Contractor and/or sub-grantee has violated the certification by failing to carry out the requirements of subparagraphs 1 A through 1 G above;
 - c. Such number of employees of Contractor and/or sub-grantee have been convicted of violations of criminal drug statutes for violations occurring in the workplace as to indicate that the contractor and/or sub-grantee has failed to make a good faith effort to provide a drug-free workplace.
 3. Should any contractor and/or sub-grantee be deemed to be in violation of this Policy pursuant to the provisions of 2 A, B, and C, a suspension, termination or debarment proceeding subject to applicable Federal, State, and local laws shall be conducted. Upon issuance of any final decision under this section requiring debarment of a contractor and/or sub-grantee, the contractor and/or sub-grantee shall be ineligible for award of any contract, agreement or grant from the City of Costa Mesa for a period specified in the decision, not to exceed five (5) years. Upon issuance of any final decision recommending against debarment of the contractor and/or sub-grantee, the contractor and/or sub-grantee shall be eligible for compensation as provided by law.

ATTACHMENT 6
(Certificate of Insurance Forms)

City of Costa Mesa Insurance Requirements

If a vendor will be performing work on city premises, the vendor will need to furnish insurance certificates to the City prior to beginning work. The insurance that is required is the general liability with a separate endorsement page (detailed description below), automobile insurance and workers compensation.

A purchase order will not be issued until, insurance certificates are provided and the insurance is approved by Risk Management. It will be the responsibility of the department requesting the work to obtain the insurance certificates prior to submitting the purchase requisition to the Finance Department. Any questions about insurance dollar limits for select projects are to be directed to Risk Management prior to the bid process.

The following language is added to bids, price agreement/ contracts and purchase orders for technical and mechanical services:

Insurance

Contractor shall not commence work under this price agreement until he has obtained all insurance required under this section and the insurance has been approved by City as to form, amount, and carrier, nor shall contractor allow any subcontractor to commence any work until all required insurance has been similarly obtained by the subcontractor and approved by City.

Neither the failure of contractor to supply specified insurance policies and coverage, nor the failure of City to approve same shall alter or invalidate the provisions of this price agreement.

Contractor shall obtain and maintain during the life of this contract the following insurance coverage:

General Liability Insurance Coverage

Commercial General Liability, including coverage for premises-operations, products/completed operations hazard, blanket contractual, broad form property damage, independent contractors, and personal injury.

The above insurance coverage shall have limits of not less than one million dollars (\$1,000,000) combined single limit, per occurrence and aggregate.

Endorsement Page (* A separate endorsement page must be provided)

Endorsements to the policies providing the above insurance shall be obtained by contractor, adding the following three provisions:

a) Additional insureds:

"The City of Costa Mesa and its elected and appointed boards, officers, agents, and employees are additional insureds with respect to the subject project and agreement.

b) Notice:

"Said policy shall not terminate, nor shall it be canceled nor the coverage reduced, until thirty (30) days after written notice is given to City.

c) Other Insurance:

Any other insurance maintained by the City of Costa Mesa shall be excess and not contributing with the insurance provided by this policy. "

All insurance carriers utilized by the contractor or any subcontractor under this agreement shall be approved by the California Department of Insurance to transact business in the State of California. The types of services provided under this agreement may further require contractor's insurance carrier(s) to be admitted insurers in the State of California.

Workers' Compensation Insurance

Contractor shall obtain and maintain during the life of this contract workers' compensation insurance in statutory amount and, if any work is sublet, contractor shall require all subcontractors to obtain workers' compensation insurance in statutory amount.

All workers' compensation insurance policies shall provide that the insurance may not be canceled without thirty (30) days advance written notice of such cancellation to City.

Contractor is aware of the provision of Section 3700 of the Labor Code which requires every employer to be insured against liability for Workers' Compensation or undertake self-insurance in accordance with the provisions of that Code, and will comply with such provisions before commencing the performance of the work of this contract.

Automobile Insurance

Automobile insurance including owned, hired, and non-owned vehicles.

The above insurance coverage shall have limits of not less than one million dollars (\$1,000,000) combined single limit, per occurrence and aggregate.

Proof of Insurance

Prior to award of the price agreement/contract, contractor shall furnish the department requesting the service proof of compliance with the above insurance requirements.

The insurance certificates must be approved by the Risk Management Division and a copy needs to be sent to the Finance Department with the purchase requisition. It is ultimately the responsibility of the department requesting the service, to obtain the required insurance.

If purchase requisition is received without appropriate insurance certificates, Purchasing may return the requisition to the department or contact the contractor and request the appropriate insurance certificates.

EXHIBIT B
CONSULTANT'S PROPOSAL



PROPOSAL



PROFESSIONAL CONSTRUCTION MANAGEMENT AND
SPECIAL INSPECTION SUPPORT SERVICES FOR

FIRE STATION NO. 4 TRAINING TOWER FACILITY

stv



1055 West Seventh Street, Suite 2900
Los Angeles, CA 90017
o. 213.482.9444 | f. 213.482.5278
stvinc.com

January 12, 2024

Mr. Hector Soriano, Associate Engineer
City of Costa Mesa
Via Planet Bids

Reference: Construction Management and Special Inspection Support Services for Fire Station No. 4 - Training Tower Facility (City Project No. 23-04)

Dear Mr. Soriano:

The City of Costa Mesa (City) is seeking a consultant to provide construction management and inspection services to replace the existing fire tower. STV Construction Inc. (STV) is the right team to provide the technical expertise, innovation, and collaboration to place your objectives for this project at the heart of every decision made. Our vision for delivering this project will be to work with the City, the site and prefabrication contractors, the community, and additional project stakeholders as **One Team**. We will mobilize quickly upon award to facilitate coordination, synergy, and teamwork for efficient project delivery.

VALUE OFFERED TO THE CITY BY THE STV TEAM

A Proven Team. STV's team of highly skilled construction management professionals can draw upon the multidisciplinary resources of the STV organization, including construction, engineering, and architectural specialists, which will prove invaluable throughout the project delivery process as we address your complex challenges. James (Jim) Adams, AIA, CCM, will lead our integrated team. With more than 25 years of experience, Jim previously led the City's multifaceted Donald Dungan Library and Costa Mesa Neighborhood Community Center Reconstruction project to a successful outcome. Our teaming partner, Delta Group, provided all inspection services for the City's library project, and they will serve in the same capacity for this project. As project manager, Jim will lead the entire design and construction team and be a reliable partner for City staff.

A Relevant Portfolio. Having shaped some of Southern California's most exciting projects for more than 30 years, STV is committed to creating exceptional value for our clients. We offer a portfolio of municipal buildings and facilities and high-profile projects.

Commitment to the City. As principal-in-charge for this project, I assure you that our local team fully understands its impact and importance. To deliver a solid management approach to provide comprehensive construction management services, you have STV's and my commitment to bringing top industry staff to assist the City. We commit that every person designated as key to the project will not be removed or replaced without your written concurrence. All key staff members identified on our organization chart are available for this assignment and will be committed for the project's duration when needed for successful completion.

Should you require any further information, please get in touch with me at (530) 802-6911 or david.watson@stvinc.com.

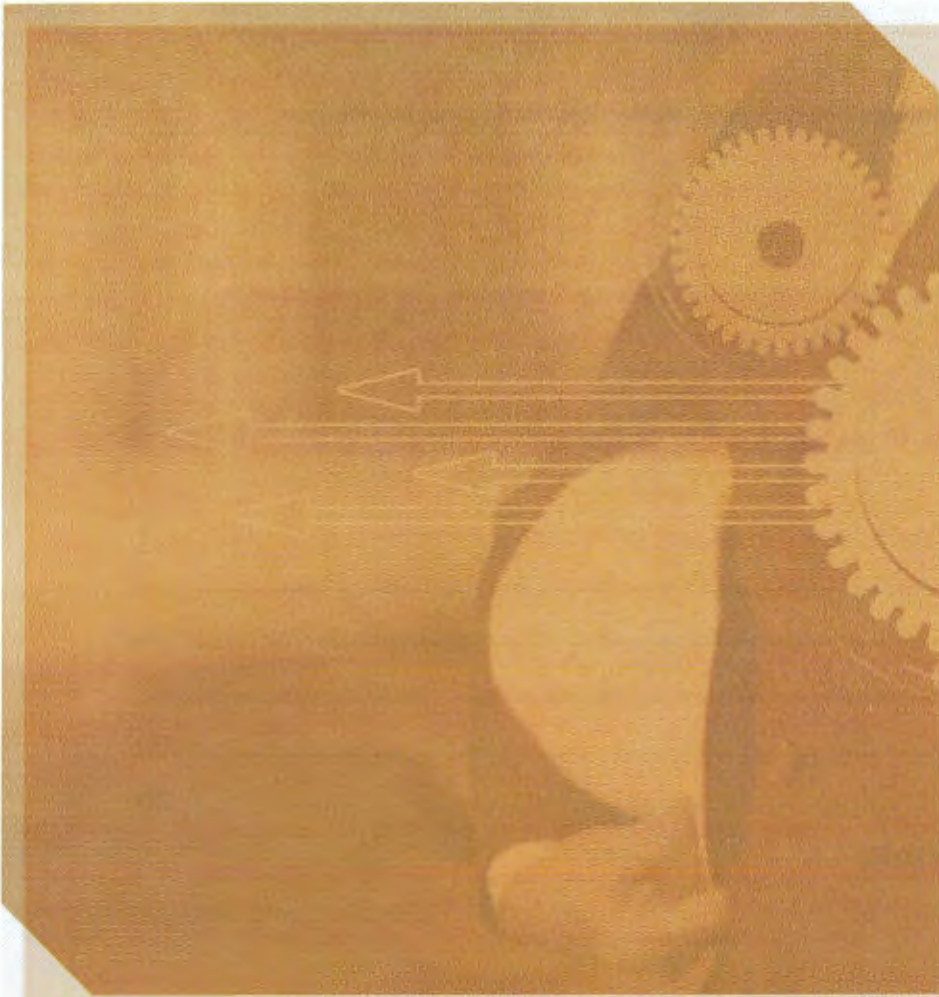
We acknowledge receipt of Addendum 1 and 2, issued 12/11 and 12/28.

Sincerely,
STV Construction, Inc.

David Watson, CCM, MBA
Vice President, Principal-in-Charge

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PROJECT UNDERSTANDING



PROJECT UNDERSTANDING

QUALIFICATIONS AND EXPERIENCE

Providing a Core Team with the Right Experience

We have developed a staffing/organizational approach for the City that draws upon the experience of a core team to provide continuity of construction expertise as the project transitions from pre-construction activities through project closeout and certification. Our staff will be supported throughout the project delivery process by project controls, project management, field management, and technical services professionals. Our team's proposed schedule is directly linked to the staffing resources we have proposed. The resumes of our team members also highlight the relevance of their backgrounds to meet the City's programmatic and project needs successfully.

We Recognize Your Challenges
This project presents challenging logistical interfaces. Communication and transparent information will be critical, and the STV team will work closely to recommend and support the City of Costa Mesa with the professional resources necessary to enhance the construction of the center FS No. 4 TT Facility.

The STV team recognizes that project success takes work and effort; it results from hard work, focus, diligence, and communication among all project stakeholders. Our approach is founded on proper planning, partnering, communication, and collaboration.

Our Commitment to the City

The recipe for success weighs heavily on our unyielding commitment to support our core team throughout the life of the Fire Station No. 4 Training Tower (FS No. 4 TT) project. In doing so, we establish not only continuity but also optimize our ability to complete each of the identified milestones within the City's preliminary schedule, which includes pre-construction review activities from March 2024 through the construction of the new FS No. 4 TT, classroom addition, and related utilities within the 180 allocated work days to make sure the project remains eligible to receive all anticipated outside funds.

Comprehensive Project and Construction Management Services

- **Focused on SAFETY FIRST!!!**
- Program/project management
- Design management
- Construction management
- Asset management
- Project controls – eBuilder, Sharepoint
- Sustainability – Leader in Energy and Environmental Design (LEED)
- Risk management, modeling
- Value engineering/cost management
- Earned value management
- Constructability/ bidability reviews
- Estimating (Southern California Database)
- Timberline estimating – quantity extraction
- Scheduling (Primavera P6) – cost/time management
- Financial reporting (budget vs. actuals, forecast cost)
- Community outreach/public relations
- Owner representative services

STANDARD SERVICES, TECHNICAL APPROACH, AND WORK PLAN

FS No. 4 TT Overview

STV has offices across the United States, including Southern California offices in downtown Los Angeles, Irvine, and Rancho Cucamonga. STV will mobilize qualified resources and deploy strategies that have repeatedly proven effective in managing projects similar in size and complexity.

Approach to Project Delivery Planning and Execution

FS No. 4 TT – Project Phase

Our proposed team will provide the appropriate level of service to manage this project through successful completion and will rely on sound planning, communication, and an effective management approach outlined as follows:

- Establish our team as a trusted partner to help the City make informed decisions, as we have done on previous Costa Mesa projects
- Provide leadership and proactive communication at all levels
- Enable on-time completion of all deliverables
- Challenge the technical merits of proposed solutions, while also examining cost and schedule ramifications both short- and long-term
- Maintain a safe and non-disruptive construction site
- Examine short- and long-term operational life cycle costs
- Minimize unnecessary changes during design and construction
- Comply with the quality standards expected by the City
- Validate architectural/infrastructure requirements, site logistics, and any potential impacts to the FS No. 4 TT project
- Validate the schedule of both the tower fabricator and the general contractor for compliance with the contract requirements and coordination.

Project Approach

We have structured our delivery approach using the scope of consultant services, RFP Section 9.0, to showcase our project delivery in more detail. We have indicated next to each approach section what RFP sections they relate to for easy reference and understanding of our approach to deliver our services.

An Established Team

Executive oversight of the FS No. 4 TT project will be led by STV's Construction Management Vice President, David Watson. We will reunite our construction management team from the Lions Park Donald Dungan Library, with Jim Adams as our lead construction manager, Group Delta's Jessie Iniguez as lead site special inspector, along with the entire Group Delta Anaheim Lab, and STV's Bob Quickel as scheduling engineer. All of our proposed team members have established a solid and trusted relationship with the City through our previously delivered Multi-Award Winning Lion Park project. Additionally, our proposed project engineer, Gabe McCreary, will be new to Costa Mesa but has worked successfully with Jim Adams on other projects, which will complete the overall synergy this project requires.

Construction Management Administration, Quality Assurance, and Special Staffing ^{RFP} SOW 9.2, 9.8

Our team will function as the City's "eyes" in the field and coordinate and facilitate construction-required services with our designated project inspector. STV maintains a company-wide Quality Management System (QMS) conforming to ISO 9001:2015 Quality System Standards. Central to our QMS are independent audits and a corporate quality manual, which defines our quality policy and how we manage, control, document, and improve our quality processes through the project life cycle.

A significant element of our quality manual is a series of standard procedures that guide project execution from start to finish. These procedures are stored on our company intranet and available to all employees.

In addition, a project-specific quality plan (PQP) is prepared for each project, which establishes and describes the interactions between the quality system processes and identifies the personnel responsible. The PQP describes the quality methods related to, at a minimum, the following:

A Committed Team

We are committed to providing excellent, integrated services as a capable, effective, and local partner. The STV team will provide continuity of key personnel (subject to reasonable control) assigned to this project engagement through the completion of the work.

- Document control as it applies to all quality-related documentation of a magnitude that control of such documents is necessary for compliance with contractual requirements
- Process control, the planning and development of which considers quality objectives and requirements; the need to establish processes; required verification, monitoring, inspection, testing, and acceptance criteria; records needed to provide evidence of conformity to requirements; and client communication
- Inspection and testing to describe the procedures for planning, implementing, and controlling inspections and test activities necessary to verify field conformance to design/construction and installation criteria required per approved contract documents
- Non-conformance, preventive action, and corrective action to describe the processes used to identify, analyze, and control non-conformance, as well as to implement corrective actions designed to prevent the recurrence of such non-conformance

Quality is dependent upon a clear understanding and examination of project requirements. Subsequently, a project manual is prepared for each project that addresses how the higher-tiered directives of the PQP will be implemented in the field. The project manual includes:

- Pre-construction elements include project contacts, scope of services, contract summary form, permitting and codes, etc.
- QA/QC elements include a project organization chart, management decision/review flow chart, document control and distribution, retention of project records, etc.
- Construction elements include roles and responsibilities, daily/weekly/monthly reporting, safety/ emergency/ facility communications, schedule, budget, change order control, noncompliant work, etc.

- Project closeout as established within the contract documents for substantial/final completion, punch list management, as-builts, O&M Manuals, warranties, etc.

Pre-construction phase services ^{RFP SOW 9.2:}

- Schedule: Carefully review the project sequence regarding the established end date and interim milestones and obtain approval from the City. Conduct project schedule workshop for the contractor's development of the project's baseline schedule. Our team will make sure that the individual components within the overall master schedule verifies that any alternative phasing as proposed by the project team and/or the general contractor complies with the established parameters as outlined in the contract.
- Establish the Inspector's Monitoring of the Special Inspection and Materials Testing Program in accordance with Group Delta's Anaheim Testing Lab procedures
- Perform a thorough review of the construction documents and conduct a constructability analysis
- Conduct construction document reviews for economy and efficiency of design and construction operations
- Evaluate and minimize construction impact on operations and minimization
- Review site logistics
- Provide final construction document review so that requirements are clearly defined and add/deduct alternates are delineated accurately for the City's review and approval
- Schedule and conduct an initial pre-construction meeting with the contractor, utilities, other City divisions and departments, and potentially adjacent community and neighbors
- Prepare and distribute pre-construction minutes to attendees and other parties. The pre-construction meeting will cover, as a minimum, the overall project objectives, responsibilities of key personnel and agencies, schedules, schedule of values (bid breakdown), procedures for handling submittals, correspondence, utility relocations, local agency permit requirements, requests for clarification, progress payments, change orders, safety issues, emergency response requirements, and other pertinent topics
- Allow opportunities to have the contractor's questions answered
- Collect from the contractor the submittal items required to be submitted at the pre-construction meeting
- Review project schedule and analyze progress and progress analytics (earned vs. actual duration)

- Evaluate long-lead item procurement
- Capture meeting attendance with the City and all regulatory state agencies to make sure approvals are obtained efficiently
- Maintain correspondence and any other communication files as required to advance the project
- Conduct reviews that address coordination, cost impact on agency operations, time of performance, compliance with the required scope of services, and compliance with the City's comments
- Review and assist the general contractor and the pre-fab manufacturer/installer in aligning the critical scheduling activities to verify schedule alignment and reduce potential project delivery risks
- Prepare RFPs and cost estimates, negotiate proposals and CORs for work to be performed on a change order basis, and recommend approval to the City's project management staff
- Maintain accurate, orderly, and detailed files, as well as written records and documents concerning the project during all stages of construction, including project correspondence, meeting minutes of job conferences, progress reports, shop drawings, and other submissions, contract documents, Architect's Bulletins, as-built record drawings, and all other project-related documents. Provide all records, documents, and information regarding the project upon completion of the work
- Review the contractor's daily production report describing all of the activities that occurred on the site, including the number of workers identified by trade, contractors employed at the site by each contractor, the number of hours worked, material deliveries, labor difficulties, weather conditions, visits by officials, testing that has occurred, decisions reached, action items to be resolved, and any other observations pertinent to the work. (If we are not on-site full-time, one of the options in question/response addendum we could offer to monitor the contractor's daily field reports.)

Construction phase services RFP SOW 9.0:

- Assist in obtaining all necessary permits, certificates, licenses, and approvals, and advise the City that work does not proceed without these documents
- Review preliminary construction schedules with the selected contractor, develop start-up construction schedules, and verify compliance with progress scheduling requirements
- Provide technical supervision and coordination of the work until final completion and acceptance by the City, verifying that the materials furnished and work performed are in accordance with the plans, drawings, specifications, and approved contractor submittals
- Prevent work installation or furnishing of materials or equipment that has not been adequately approved or otherwise fails to conform to the plans, drawings, specifications, and construction documents
- Along with our Group Delta Inspection team, verify that all inspection, quality control tests, or any other tests required by law, rule, or regulation, or by the construction documents, are performed satisfactorily and on time, including off-site inspections and controlled on-site inspections, by our Inspector's Monitoring of Special Inspection and Materials Testing Program. Make sure that soils compaction testing, welding, concrete testing, and masonry, structural, or reinforcing steel inspections are procured as specified and scheduled, and that final reports are obtained and this information is conveyed back to the contractor
- Conduct job meetings with contractors, consultants, and stakeholders to discuss procedures, performance, progress, problems, and scheduling; minutes of such meetings will be distributed to all attendees in a format authorized by the City
- Maintain accurate, orderly, and detailed cost accounting records concerning all work performed, including RFPs/ CORs, scope of work development, cost control spreadsheet, and change order summary log
- Coordinate with the City to verify that all temporary facilities and utilities are provided as necessary for the performance of the work
- Review and address, as appropriate, RFIs, requests for extensions of time, change order requests, and disputes from the contractor
- Implement a Quality Management and Inspection Program that will make sure that construction activities are performed in accordance with approved drawings, specifications, applicable codes and standards, and contractual requirements. Responsibilities and authority for the administration of the program and completion of work and the standards of quality to be applied will be clearly defined
- As needed, prepare daily inspection reports that will be filed within one day following the inspection of any work performed. In addition, our team will prepare regular weekly and monthly reports to describe the progress and conditions of the project
- Observe the construction activities and monitor the

schedule to identify any interface issues between the general contractor and the pre-fabrication contractor/installer. Focused scheduling using Fragnet Net scenarios may be developed as necessary to verify the proper sequencing of fabrication, delivery, storage, installations, utility connections, and on-site construction activities are successfully implemented. Our STV scheduling team has many years of participating in and developing these types of schedule oversight activities to help verify the project's timely completion

- Resolve constructability problems, day-to-day construction issues, and investigate claims
- Provide monthly progress reports, including project progress photos, and prepare weekly and monthly reports to describe the progress and conditions of the project
- Maintain a daily field report describing all of the activities that were observed on the site, including monitoring the contractor's superintendent's daily report for the number of workers identified by trade, contractors employed at the site by each contractor, the number of observed hours worked, material deliveries, labor difficulties, weather conditions, visits by officials, testing that has occurred, decisions reached, action items to be resolved, and any other observations pertinent to the work
- Review the safety program developed by the general contractor and coordinate safety programs for the project. Contractor deviance from the safety programs will be pointed out to the general contractor's superintendent for immediate resolution of the safety issue, and precautions will be taken to minimize the risk of injury to persons and damage to property from the work. The weekly progress meetings will also discuss any observed safety issues or concerns

Correspondence, Reports, and Other Forms of Communication RFP SOW 9.3 and 9.4

Our team will establish recommended protocols for creating and issuing daily, weekly, and monthly reports to the City and the general contractor. Maintaining effective communication will be essential to the FS No. 4 TT success, and the following tools and methodology will be implemented consistently.

- **Daily Reports:** Field management staff will generate daily reports with a minimum of the information below identified:
 - Description of observed work performed and major

quantities installed

- Key project developments or milestones completed
- Photo documentation of progress and work-in-place construction
- Equipment at the site, material deliveries or short-ages, and workforce
- Issue resolution
- Safety issues

- **Monthly Executive Progress Reports:** This report is typically circulated to a broad audience, many of whom do not have day-to-day contact with the program. It is also intended to summarize progress and trends so that even day-to-day management can step back regularly and assess where the program is going from a more global perspective. Monthly reports typically include:
 - Executive summary including construction milestones, look-ahead schedule, and photos of progress made during the month
 - Detailed schedule analysis
 - Detailed budget and expenditures report
 - Project open issues and resolution status
 - Environmental mitigation measures report
 - Project design information
 - Project control documents summary

Reports are available both in hard copy and electronically on the program website. In addition, an online project management system (e-Builder) will be implemented (pending approval by the City) to provide real-time status.

Site Conditions and Progress Documentation RFP SOW 9.4

Field Engineering Investigations, Assessments, and Reports RFP SOW 9.4

- Coordinate and review the contractor's video and photos of pre-construction site conditions and utilities before beginning any construction operation
- Confirm existing conditions within the limits of the work in adjacent areas and along access and haul roads. The contractor's documentation will depict the pre-existing conditions of public and private improvements, including, but not limited to, street, drainage, utilities, landscaping, and irrigation improvements
- Compare the contractor's pre-construction site surveys

to the site surveys performed under this scope of work. Note any discrepancies and resolve issues

- Describe in a memorandum, submitted before any construction operation, pre-existing damage identified within the limits of work and along access and haul roads
- Meet with owners of pre-existing damage to document and confirm existing conditions. Document any damage to public and private improvements incurred during construction operations and meet with owners immediately after the damage discovery to resolve repair requirements and responsibilities. As part of this task, it is required to document all the existing utilities for any needed utility adjustment/relocation coordination and planning

Meetings RFP SOW 9.5

Our team will organize and lead project kick-off meetings to establish proper project expectations and to create working relationships with the architect, engineers, contractors, major vendors/subcontractors (TT pre-fab manufacturer and installer), the City, stakeholders, and agency staff. These meetings will also catalyze the creation and review of design and construction work plans, safety expectations, traffic management plans, stormwater pollution prevention plans (SWPPP), and various procedures, including hauling the demolished existing training tower for offsite disposal. We will prepare an agenda listing the most important items during a particular phase, such as regulatory agency, peer review/design, bid strategy, award, construction, and post-construction.

Project Meetings:

- **Weekly Project Team Meetings:** Our team will convene and chair weekly design and construction meetings, including representatives of the City, contractor, design team, and any other stakeholders required to participate. These meetings will be action-oriented and cover general status, cost and schedule status, design and construction issues, open issues from the issue/action log, pending changes, and any other critical issues.
- **Phase-Specific Meetings:** We will plan and convene other regular meetings that will occur during specific phases of the project when a particular subject requires either more attention or a different group of attendees (e.g., pre-demolition of an existing training tower, hauling off debris, pre-construction storage and installation of a new pre-fabricated training tower, commissioning or move-in). If necessary and requested, we can bring in specialists to provide specific expertise for these types of meetings.

- **Special and Workshop Meetings:** Occasionally, special meetings may be required for issues that impact operational changes or major problems, such as responding to mid-project regulatory changes, delivery issues of pre-fabricated towers, or force-majeure events. The meetings may be one-time events or go on for a period of time. We will convene and chair these meetings, track issue resolution, and issue meeting minutes similarly to other meetings.

Meeting Agendas

STV will prepare a written agenda for all meetings. The agenda will be issued to meeting participants in advance, allowing all attendees to prepare appropriately for the meeting and request modifications if required.

Meeting Minutes RFP SOW 9.5

All meetings are documented via meeting minutes. Issuing meeting minutes is the responsibility of the STV team initiator. Such minutes are essential to open communication between all parties that systematically record, identify, and define project goals and responsibilities. Proper meeting minutes will record the meeting number, date of the meeting, participants, distribution list, all documents that are exchanged in the meeting, specific weekly discussed items (i.e., three-week look-ahead-schedule, RFIs, change orders, etc.), informational items discussed during the meeting, past action items, past resolved items, and new action items. Meeting minutes will record all activities throughout the project. They will live as an organic document that will clarify the project's goals to keep the project progressing as required. Though the RFP states the meeting minutes are to be distributed to the attendees within five calendar days of the meeting, it is our practice to distribute the meeting minutes by the next day, as we previously did on the Donald Dungan Library (DDL) and Neighborhood Community Center (NCC) projects. All parties will have a chance to review such meeting minutes and make revisions as needed in the time allotted for changes. Once meeting minutes have been finalized and posted, they will become a legal document that can be referenced by all team members.

STV uses e-Builder as its preferred Project Management Information System (PMIS), and our proposed team has additional expertise in other comparable systems if the City should currently work within an established system or reserve a preferred platform.

Shop Drawing and Submittal Review

RFP SOW 9.6A, 9.6B

Project Shop Drawings

We will use the management information system e-Builder, which our construction management teams have successfully used on many projects, including the City's DD/NNC projects. We also used the contractor's Pro-Core informational software to monitor daily contractor issues such as RFIs, submittal, manpower reports, potential claims, pay applications and scheduling status. Alternatively, we can use another type of Construction Management Information software system that the City would prefer. We will create a submittal log/register for the FS No. 4 TT project before the start of construction. Our staff will receive and review all shop drawings, product data, samples, and other submittals from the contractor and will coordinate them with information contained in related documents.

In collaboration with the City, we will establish and implement procedures for expediting the processing and approval of shop drawings, product data, samples, and other submittals. We will work with the contractor to develop the submittal schedule (as required by the contract documents) and invite the architect and associated team to review submittal dates for proper review time and to avoid revisions and re-submittals. By tracking submittals, our team can expedite turnaround time and determine if a project shows early signs of schedule slips.

Project Submittals RFP SOW 9.6

Our team will maintain a submittal log to record and track all submittals. In conjunction with the City's contractor, we will develop an initial list of required submittals and establish the submittal format and number of copies necessary for each submittal item based on the contract documents. Our team will define the procedures and coordinate the processing, reviewing, and returning all submittals to the contractor. We will monitor the date that submittals are made against the contractor's performance in reviewing and returning documents that include but are not limited to, shop drawings, working drawings, material samples, and equipment catalog cuts.

Our team will expedite the flow of drawings and materials through the approval process. We will maintain a current set of approved submittals at the job site. The submittal status will be a regular agenda item at the weekly construction progress meetings. Submittal delay will be identified as a potential risk, and the contractor will be alerted to its potential impact on the project. We will also recommend ways to resolve any delays or mitigate their effects.

Plan and Specification Interpretation and Control RFP SOW 7.1

RFIs RFP SOW 9.7A

We will consult with the architect/designer if the contractor asks for interpretations of the meaning and intent of drawings and specifications, and we will help resolve questions. Our team will maintain an RFI (also known as Request for Clarification) tracking system that analyzes the cost and schedule implications for the RFIs and coordinates all requests for survey information. Our close communication with the City will help avoid potential delays. This information will be tracked in e-Builder to provide complete transparency in a collaborative, web-based environment.

Change Control RFP SOW 9.7B, 9.7C, and 9.7D

Our team recognizes the importance of an effective, systematic process for managing change throughout the project's life cycle. Once a project baseline WBS, scope, cost, and schedule have been established, the most important project management task will be managing change.

If the City permits, our team will use e-Builder as our integrated project management platform to manage the change control process. The e-Builder provides a complete change management workflow processing center that captures and tracks each change, from the initial change request phase to final approval. It facilitates an effective process to track and route supporting documentation using standard "ball-in-court" and date-driven approvals and custom workflow in which parties are required to review and approve/disapprove before implementation. The program effectively enables analysis of financial and schedule impacts a change may have at any stage in the negotiation process.

Project Schedule Updates and Progress Payment Applications RFP SOW 9.9

Project Schedule Updates

As noted in the RFP and during the pre-bid job site walk, the City indicated the schedule is critical in securing and receiving funds for this specific project. The construction manager must take the lead in managing this project's successful overall time frame. To that end, STV uses various scheduling tools (Primavera P6, Sure Trak, and Microsoft Project) to document critical elements of the project. Our in-house STV professional project scheduler will support our on-site project management team on an as-needed basis, at least during the monthly pay application review. Our scheduler's review comments will be included in our monthly reports. Our project scheduler,

Bob Quickel, also performed the schedule reviews for the DDL project. The master project schedule includes permitting, contractor procurement of prefabricated materials, including the TT, and other activities.

Progress Payment Applications

Our team will also confirm and validate monthly construction progress and work with our assigned project inspector to determine the percentage of work completed each month. This will allow our team to review the contractor's monthly progress invoices and determine whether the submitted percentages align with the work progress completed for that particular month's invoice or if revisions will be required. Our team will recommend our concurrence of the progress shown in the monthly invoice to the City and process the invoice for approval signature(s).

Earned Value Management

Earned Value Analysis (EVA) is an industry-standard method of measuring a project's progress at any given time, forecasting its completion date and final cost, and analyzing variances in the schedule and budget as the project proceeds. It compares the planned amount of work with what has been completed to determine if the cost, schedule, and work accomplished are progressing according to the plan. As work is completed, it is considered "earned." Three measurements are used in the EVA:

- The actual cost of work performed
- The budget cost of work performed
- The budget cost of work scheduled

STV has the proven cost engineering expertise and the necessary EVM software programs — such as Microsoft.

STV will use MS Project, Timberline, and e-Builder along with Primavera P6 Project Planning to manage client contractors and consultants effectively.

Change Control Management RFP SOW 9.10

Change Management RFP SOW 9.10

Our team will identify and track changes, evaluate contractors' requests for extra work, evaluate and prepare written recommendations for the justification for additional work or changes, and prepare change orders.

Our team will review and be thoroughly familiar with the contract requirements and scope of work to manage what is entitled and what is not. We will always refer to the contract to mitigate potential claims arising from requested changes. Scope, schedule, and budget always

go hand-in-hand, and the ability to control scope and changes will be a critical factor in completing the project on time and within budget. A well-implemented change control process considers the impact on cost and schedule for each change in scope.

The STV team will apply proven "change order management techniques" to minimize costs and schedule impacts associated with changes in scope. All changes in scope will be thoroughly investigated and substantiated before being recommended for acceptance and implementation.

Our team will also make sure that all changes in scope are thoroughly investigated and substantiated before recommending for acceptance and implementation. Key stages within this process include:

- **Finding of Fact (FOF):** The FOF provides information on the basis, analysis, and reasoning of a change order. Our team will evaluate the reasons for the change in scope and whether a change order is justified
- **Discretionary or Non-Discretionary Determination:** The critical distinction between a discretionary and non-discretionary change in scope is vital to determining whether or not the change is implemented. A discretionary change is one in which the project can do without and still meet design criteria and other requirements. A non-discretionary change must be performed to meet project objectives
- **Development of Alternatives:** Our team will evaluate cost- and time-saving alternatives to the changed work scope. These alternatives will be developed and presented to the City's project manager for review and approval
- **Potential Change Order:** A potential change order that includes the new additive and/or deductive scope will be prepared
- **Cost Estimates and Schedule Analysis:** An independent cost estimate and schedule analysis will be performed on the changed work scope and the alternatives to be considered
- **Request for Quote:** In parallel with our team's evaluation, a quote request will be issued for the item of work to be performed. All estimates obtained from the contractor will require full details of supporting costs and a report of any schedule impacts
- **Pre-negotiation Position:** By comparing the contractor's cost and time estimates to those prepared by our team, a pre-negotiation position will be developed, and

Past Cost Savings Success

Our STV team successfully negotiated tens of thousands of dollars in savings for the City from the contractor/sub-contractor claims for additional scope of work on our DD/NCC project, which helped keep the project within its original budget.

maximum cost/schedule negotiation amounts will be obtained through discussion with the City

- **Negotiation of Change Order:** A formal negotiation process will be instituted to scrutinize and agree on change order costs with the contractor
- **Approval of Change Order:** A change order will be issued once the changed work is identified and justified. Plans and specifications for the revised work will be included in the change order document
- **Monitor Change Order:** Change order work, especially time and materials-based, will be monitored closely in the field, with complete and accurate documentation of labor, equipment, and materials. This is critical if any disputes arise

Claims Management RFP SOW 9.11

STV will strive to reduce or avoid claims by gaining the commitment of all parties involved to collaborate closely and communicate regularly throughout the project by resolving day-to-day issues as they arise. Our team will identify and track claims, provide a written explanation of each claim, find facts about the issues, propose resolution alternatives, and recommend resolution actions. Our field team is highly conversant in resolving potential claims. Our typical approach to claims resolution relies on our field staff, who have access to our multidisciplinary staff of engineers, architects, estimators, and scheduling specialists if needed. Such a range of expertise is essential to analyzing a claim's often complex liability, causation, and damage components.

Our team's claims expertise includes preparing cost estimates in sufficient detail to allow reasonable negotiations with the contractor for added scope beyond what was indicated in the base contract documents, with impact (delay) costs separately identified where necessary. Through review and analysis of supporting financial documentation, our team will ascertain whether the dollar amounts claimed are reasonable in nature and quantity, properly allocable, and by sound and generally accepted

cost accounting principles and practices. Our team will draw upon our collective knowledge and experience to verify that we minimize any chance of duplication in our review and that the costs presented by the contractor are in line with our team's independent and unbiased estimates.

Specialized Inspection Services RFP SOW 9.1

Our team will prepare the Project's Inspector's Monitoring of the Special Inspection and Materials Testing Program. It will verify that approved contract documents, including plans, specs, procedures, applicable codes, standards, and the testing and inspection sheet/list perform testing and inspections. We will monitor the contractor's Construction Quality Control (CQC) plans and coordinate/facilitate inspection of all general contractor subcontractors' work for compliance with the Quality Management Program.

Our team will be the primary liaison with the contractor's team for identifying corrective actions and administering open items resolution. Our designated project inspector, Jesse Iniguez, will conduct inspections, perform and witness tests, and monitor subcontractors' activities related to quality in all areas, including, but not necessarily limited to, civil, structural, architectural, mechanical, plumbing, fire protection, and electrical. Inspections will be performed under the approved, current plans, drawings, specifications, and referenced codes and standards.

During construction, when on-site, and when inspections are performed, Jesse's observation will be followed by a same-day summary field report outlining observations relative to the progress and quality of the work. The field report will be forwarded to the contractor's quality manager, with copies to our team on-site. It is the responsibility of the contractor's quality manager and our staff to make sure that all deficiencies and defects are corrected. The site observation personnel will verify that deficiencies noted in the previous field reports have been updated. The weekly quality management will discuss any outstanding issues to identify inspection requests further, coordinate with the contractor team's superintendents for inspections, and correct defective work. Our team and the inspector will immediately inform the contractor's quality control manager of any defects and deficiencies in the work.

Off-Site Source Inspections: During the FS No. 4 TT project, certain items may require source inspections, such as concrete plant and off-site raw materials inspections. Our team will review the specifications and determine the scope and extent of those items requiring source inspections. Source inspections required by code, such as for shop structural steel fabrication and welding,

will be performed by the designated independent testing laboratory and associated personnel. The contractor's quality manager and superintendents will coordinate with the appropriate suppliers and subcontractors to determine a schedule for timely source inspections.

Requirements: During any construction operation or required source inspection, and in addition to performing inspections and tests as outlined by the appropriate inspection plan, the contractor's field staff will verify the following requirements are met before submitting an inspection request:

- The latest approved construction document drawings, submittals, and reviewed shops are being used for the construction, fabrication, or installation of the item being inspected and tested
- The equipment and materials are available for testing and inspection, are in good condition, and the equipment calibration is current
- Personnel performing special inspections are qualified and certified to perform the specific assignment where such qualification or certification is required per the approved contract documents

Field Sign-off Inspection: To maintain quality assurance throughout the project, certain portions of the work will require completion inspection sign-off before final acceptance. The contractor's quality manager will identify these portions before completion, which will be mutually agreed upon with our on-site staff and signed off on by our project inspector. This procedure is necessary for operations when the progress of the work will result in concealed conditions. An example of this is the pouring of concrete footings and slabs. Concrete slabs may contain embeds for various electrical conduits, duct openings, pipe sleeves, etc. This type of work requires inspection and sign-off before enclosing the work.

Startup, Closeout, and Acceptance Services RFP SOW 9.12

Success on any project depends on the completeness of the entire system and all stakeholders' acceptance. This means that we all work together towards a common goal. The final project inspection is the last opportunity to address deficiencies and discrepancies and adjust and incorporate ideas generated during construction. Once contract work is completed, our team will coordinate and schedule final inspections for every aspect of the project. The final inspections will include members of the

City, project-related personnel, including our architects and engineers, and our inspection team. Our team will compile a comprehensive punch list with comments from all parties involved throughout the final inspection and the following days. Our team will notify the City in writing upon completing the original master punch list. It will update as specific items are completed and signed off for final acceptance.

Our inspection team will be able to monitor the correction of punch list items until work is completed by the contract documents and to the satisfaction of the City. Maintaining an updated punch list will inform all parties of outstanding and completed work. Final punch list reports will be generated, and copies will be distributed to all project team members for accurate record documentation, making sure all deficiencies were identified, the work was completed, and our project manager and project inspector signed off on final corrections.

Post Construction RFP SOW 9.13

Our team will prepare a detailed plan and schedule for the substantial and final completion, acceptance, and closeout of the construction contract, which will contain the following:

- Assist with the implementation of the commissioning program
- Review operations and maintenance manuals with manual and spare parts (attic stock) delivery to the City
- Review warranties and guarantees
- Provide contractor's red-line drawings to the City for 'as-built' drawings. Review and certify that the record drawings are complete and provide drawings to the architect
- Conduct punch list management
- Manage final inspection
- Prepare the closing out of the contract and a letter of acceptance in association the City's Inspection Department
- Turn over final project records and documents to the City upon completion
- Final progress payment report and retention release
- Final payment checklist
- Release and waiver of lien

Our team will prepare a final payment checklist that will be completed before preparing the final progress and payment report. A release and waiver of lien will then be

required before payment of the contract retention. This will document that no outstanding liens, claims, or stop notices are filed against the City.

Following our team's notification to the City of the contractor's final completion, there will be a final inspection. We will transmit the required guarantee affidavits, releases, bonds, waivers, keys, manuals, record drawings, and stock maintenance to the City. Our team will certify that all work was performed and completed by the plans and specifications and that the final payment estimates to the contractors are correct. We will also initiate a final progress payment report and retention release form. When completed, these will be sent to the City, thereby requesting issuance of the final progress payment or retention release. Finally, all project records and documents will be inventoried and turned over to the City in archive condition. A detailed index of these records will be prepared and submitted as well.

Project Record Drawings RFP SOW 9.13B and 9.9B

During the project, our team will work with the contractor team to maintain accurate sets of as-built drawings and specifications. Our team will recommend a monthly

workshop with the entire contractor team to review the status of their ongoing as-builts so that the team maintains both accurate and timely record drawings. The status of this requirement will be part of the weekly team meetings so the contractor understands the importance of this task and the strict adherence to this requirement.

The recorded drawings will be returned to the City after the FS No. 4 TT project. The contractor team will certify the drawings as "as-built," and the STV team will accept them as "as-built" by reviewing them for accuracy and completeness before submission to the City. Our team will consistently update and keep a marked-up set of field drawings on file during construction. This record will be used to check the required compliance of the contractor's as-built drawings. Our team's "field set" drawings will be turned over to the City at the project's closeout.



Costa Mesa's Donald Dugan Library



PROJECT TEAM ORGANIZATION



PROJECT TEAM ORGANIZATION

WHY THIS TEAM

The team assembled for this project is our "A" team, and we expect these seasoned members will provide comprehensive construction management services focused on the needs of the community and the City of Costa Mesa. Our team members have the direct relevant expertise, capacity, and lessons learned to offer the City of Costa Mesa practical solutions for successful project completion.

Professional resumes of our key staff can be found in the appendix.

EXPERIENCED TEAM TO DELIVER THIS PROJECT

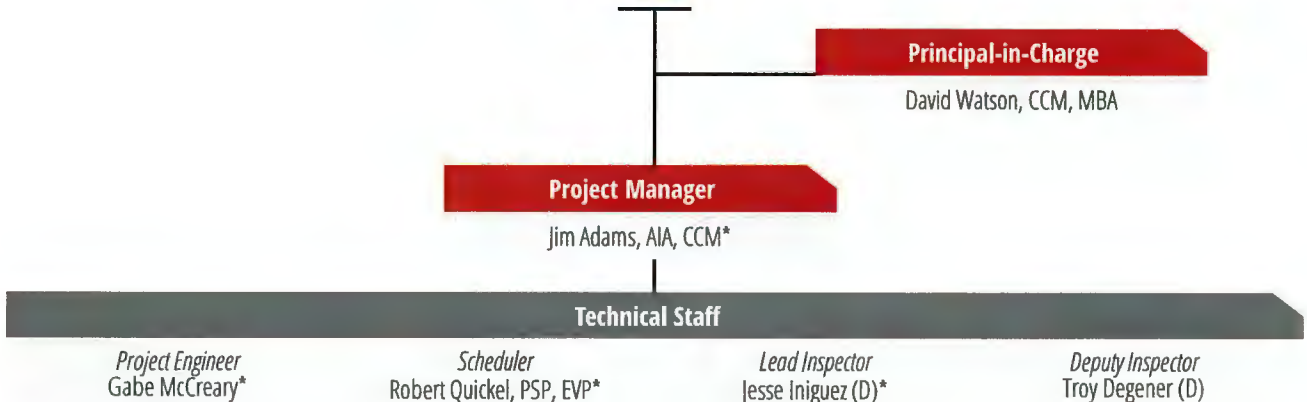
James Adams, AIA, CCM - Project Manager

Jim offers more than 25 years of experience leading projects where he applies sound leadership qualities with specific expertise in program management, master planning, design management, and on-site construction management services. A results-oriented individual, Jim

Jim Adams, our project manager, led the STV/Group Delta team that successfully completed the City's Donald Dungan Library and Costa Mesa Neighborhood Community Center Reconstruction project.

works with staff at all organizational levels, from consulting architects and engineers to government agencies and owners, to effectively manage complex and challenging projects.

Group Delta Consultants, Inc. is a full-service engineering and materials testing firm providing materials testing and inspection services for this project. With approximately 110 employees, the firm has been providing services to cities, agencies, and public firms throughout Southern California for 30 years. Group Delta currently has seven offices and two certified laboratories in California.



(D) Group Delta
* indicates resume included





SIMILAR PROJECTS



SIMILAR PROJECTS

STV and Group Delta have provided construction, project, and program management services for many notable projects relevant to the City. The highlights of our relevant projects include participation by our proposed key personnel and team members. These demonstrate our team’s competence in providing the services required to complete this project successfully. Please also refer to the photo gallery in our appendix, which includes STV’s additional relevant experience as a full-service engineering, architectural, planning, environmental, and construction management services firm.



LA ISD Construction Project Management and Support Services Los Angeles County, CA

Client:	County of Los Angeles Internal Services Department
Reference:	Tom DeSantis
Telephone:	(323) 267-3467
Year Complete:	2023
STV Fee:	\$10.5 million
Construction Cost:	\$750 million

The County of Los Angeles Internal Services Department (ISD) is committed to confirming staff and the public’s safety, comfort, and productivity using county buildings. To assist LA ISD in making sure the quality of its more than 200 facilities is upheld while continuing to meet the evolving needs of staff and local residents, LA ISD contracted STV, in joint venture, to provide construction project management and support services to its Facilities Operations Service, Program and Project Management Division. This comprehensive initiative included estimating, scheduling support, cost control, bid and procurement,

program and project controls, and document control for systems replacement, repair, and refurbishment of county-owned and leased facilities.

STV oversaw a team of 13 professionals, including project managers, construction managers, design managers, schedulers, estimators, project control experts, and administration personnel. Their collective role was to augment ISD staff in executing projects for the FRP and Client Funded Projects, with diligent management of key performance indicators for budget, schedule, quality, and safety.

Types of maintenance, refurbishment, and repair projects STV was responsible for managing included ADA, hazardous material remediation, HVAC, tenant improvement and office renovations, and telecommunication projects.

STV’s additional responsibilities included e-Builder system administration, the configuration of business processes, and the automation of processes previously tracked on paper. The implementation of a web-based Project Management Information System enhanced document processing and retrieval, reduced errors, and enabled precise forecasting, providing comprehensive tracking of program financials.





Donald Dungan Library & Costa Mesa Neighborhood Community Center Reconstruction
Costa Mesa, CA

Client:	City of Costa Mesa
Reference:	Arash Rahimian
Telephone:	(714) 754-5096
Year Complete:	2020
STV Fee:	\$3,044,056
Construction Cost:	\$36.5 million

The size and amenities of the Donald Dungan Library (DDL) were limiting the types of programs that the city was able to make available to the public. STV provided CM services for a \$36.5 million project to build a new library, convert the old one into a new Neighborhood Community Center (NCC), and make significant site improvements to the adjacent the 10-acre Lions Park property.

Phase 1 included CM oversight for the demolition of the existing 20,000-sf NCC and construction of the new two-story, 23,355-sf DDL. Work also involved redevelopment of Lions Park. Additional improvements involved approximately 2.45 acres of site improvements, including new landscaping, hardscaping, and irrigation systems that increased the usable park open space by approximately 1-acre, as well as site utility work, including installing underground utility connections and preparing points of connection to facilitate future construction work. The firm also oversaw streetfront improvements, including construction of new sidewalk, entrance driveway, curb, and gutter; parkway landscaping; street tree planting and street furniture; and 27 new parking spaces.

Phase 2 included renovation of the 8,700-sf DDL for reuse as the new NCC. STV's team managed the renovations, which involved floor area modifications to accommodate

a catering kitchen. The work also entailed the installation of new exterior glazing and entrance doors, mechanical equipment, electrical panels, lighting, audiovisual equipment, and infrastructure. Also included in this phase was a new loading/delivery area to serve the facility, and site landscaping surrounding the building.

During both phases, STV managed the day-to-day construction activities, working closely with city project staff, the architect, and the general contractor to oversee the budget, schedule, quality, and overall safety of the project site. The firm was responsible for constructability, bidability, and peer reviews; value engineering; construction cost estimating; project scheduling; long-lead item procurement evaluation; bid support, including extensive contractor prequalification; permitting; and technical supervision and coordination of construction through closeout.

The detailed constructability review provided by STV during the 90% design was appreciated by the city and facilitated the process of obtaining permit approvals. The trust and relationships built during this process will also help future proposed street improvement projects for the city to progress smoothly.

The team used Procore project management software to track the CM process and Primavera P6 for scheduling. Final documentation was provided to the city through the e-Builder document management platform. Implementation of the e-Builder project management information system enabled the city to store and manage access to more than 12,000 project documents, including the schedule, RFIs, submittals, shop drawings, photographs, and reports.

Group Delta supported the STV team by providing on-call special inspection and materials testing services for this project.



Renovations Bond Program CM Freemont, CA

Client:	Fremont Unified School District
Reference:	Kevin Arthur
Telephone:	(510) 657-076
Year Complete:	varies by project (2015 - 2025)
STV Fee:	\$2,445,47
Construction Cost:	\$650 million - \$1.6 billion

The Fremont Unified School District (FUSD) in California’s San Francisco Bay area serves nearly 35,000 students in grades K-12, and also includes an adult school. The district’s mission is to provide equitable opportunities to educate, challenge, and inspire students of all ages, talents, and ability levels while striving to prepare each with the skills required to adapt and succeed.

STV, in joint venture, is providing CM services for additions and renovations to multiple FUSD schools. Projects to date include six new buildings, support facilities, hardscape, track and field facilities, and site utilities at Horner Middle School, valued at \$78.9 million; modernization of 10 existing classroom buildings and construction of three new buildings housing 22 classrooms at Walters Junior High School, valued at \$27.2 million; a \$9.4 million, 2-story, 12-classroom building addition at Irvington High School; and a \$6.7 million, 2-story, 8-classroom building addition at Patterson Elementary School.

Additional efforts include renovations and IT infrastructure upgrades at Walters Junior High School, Fred E. Weibel Elementary School, Millard Elementary School, Hirsch Elementary School, Robertson Vista High School, Green Elementary School, and E.M. Grimmer Elementary School, along with IT upgrades at 10 other schools.

The firm’s services include all aspects of construction management, such as procurement and bid services; recommendations for awards of contracts; coordinating vendors and AE teams; meeting and communicating with project stakeholders and community leaders; coordinating project requirements, schedules, submittals, and purchase orders; providing QC reviews; processing change order requests and payment applications; supporting the client with the completion of closeout requirements; and managing moving services.

HORNER JUNIOR HIGH SCHOOL CAMPUS CONVERSION

The JV is provided CM services for the construction of a new middle school campus on existing school property. The construction of six new structures, underground utilities, playfields, outdoor spaces, and a new parking lot houses an estimated student population of 1,900 students.

WALTERS JUNIOR HIGH SCHOOL MODERNIZATION

The JV is providing CM services for the modernization of 10 existing classroom buildings at Walters Junior High School as well as for the construction of 3 new classroom buildings in preparation for campus conversion into a middle school and the addition of a 6th grade student population.

DISTRICTWIDE IT UPGRADES

The JV is managing several IT upgrade projects involving 17 schools simultaneously. The scope includes site work; installation of new conduits, wire-mold, and other pathways; installation, termination, and testing of new Cat 6 and Cat 6A conductors; installation, termination, and testing of new fiber-optic cabling and copper backbone; installation of new equipment racks for MDFs and IDFs; and general electrical and mechanical as required.

GROUP DELTA PROJECT EXPERIENCE



CITY OF ANAHEIM, FIRE STATION NO. 12 - GEOTECHNICAL INVESTIGATION

Anaheim, CA

Client: City of Anaheim
Reference: Tim Cho
Telephone: (714) 765-4937
Year Complete: 2021
Group Delta Fee: \$10,000
Construction Cost: N/A

Group Delta provided the geotechnical investigation for Fire Station No. 12 for the City of Anaheim.



Anaheim FS No. 5

FIRE DEPARTMENT TRAINING FACILITY

Ontario, CA

Client: City of Ontario
Reference: Charity Hernandez
Telephone: (909) 395-2000
Year Complete: 2020
Group Delta Fee: \$262,500
Construction Cost: N/A



Ontario Training Facility

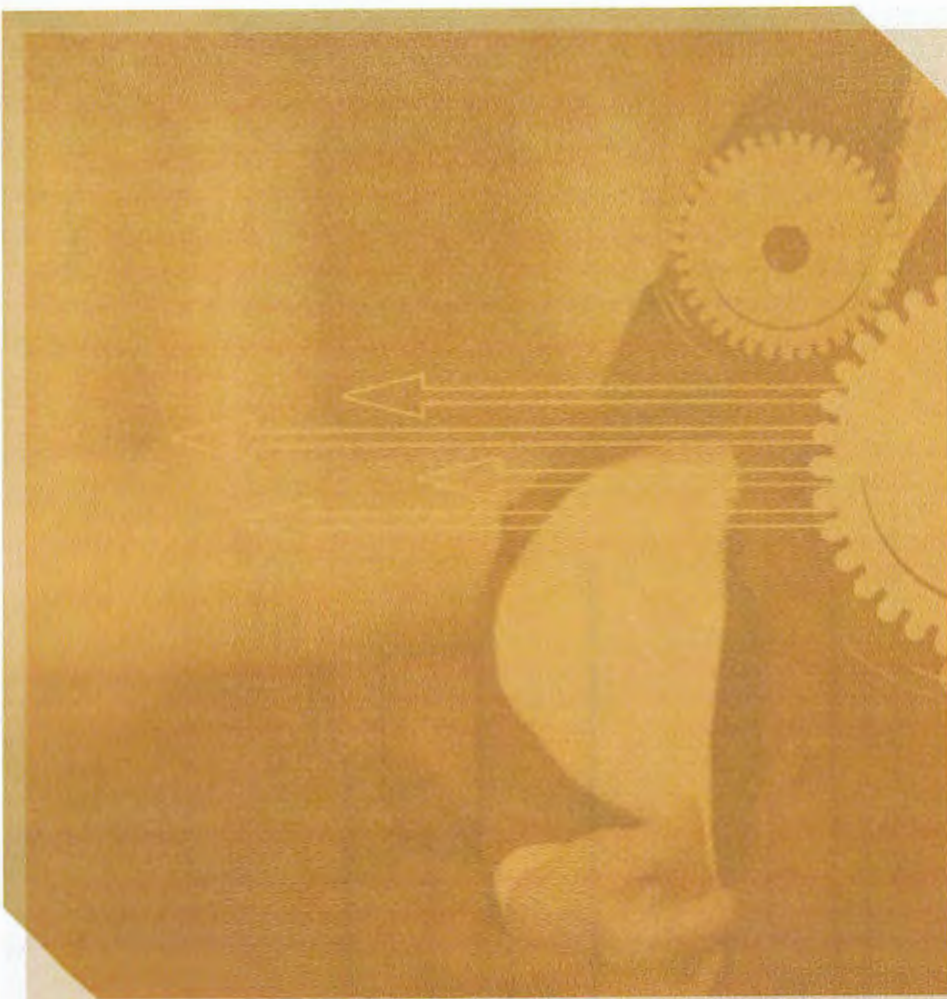
The work performed under this contract by Group Delta consists of constructing several multi-story CMU-block buildings, which will comprise the Ontario Fire Department – Training Facility and Tower in Ontario, CA. The improvements included site work, remodeling of existing facilities, and new construction. Site work included demolition, grading, stormwater runoff improvements, utility extensions, repaving, and landscaping. Remodel work included the renovation of an existing classroom building. Renovations included demolishing interior areas, new walls and ceilings, new HVAC equipment, and electrical upgrades. New construction included several multi-story masonry buildings with concrete floors, steel pan stairs, and burn areas.

EL CAJON FIRE STATION, BRADLEY AVENUE

El Cajon, CA

Client: San Miguel Fire Protection District
Reference: George Tockstein
Telephone: (619) 972-2765
Year Complete: 2018
Group Delta Fee: \$780
Construction Cost: N/A

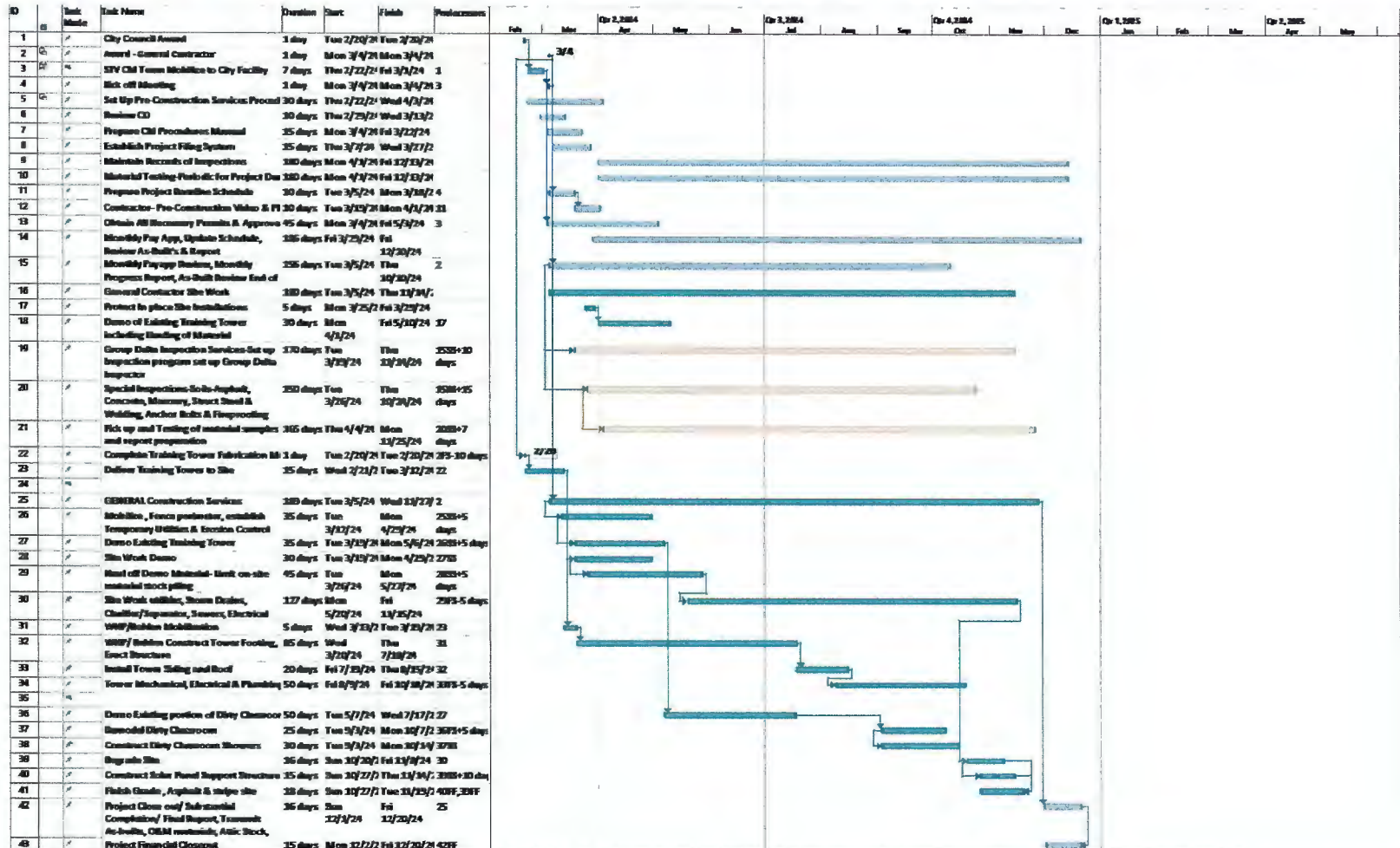
Group Delta provided special inspection services for the proposed temporary fire station in El Cajon, CA. The temporary site improvements will be constructed interim until a new fire station can be designed and built later. A new concrete slab on grade has been constructed to support a steel-framed sprung structure for equipment storage. The County of San Diego requires special inspection of the soil ground anchors that support the structure.



SCHEDULE



SCHEDULE





**APPENDIX/KEY STAFF
RESUMES**

JAMES H. ADAMS, AIA, CCM Project Manager

FIRM STV

EDUCATION

Bachelor of Architecture;
California Polytechnic State
University

Bachelor of Science,
Construction Engineering;
California Polytechnic State
University

PROFESSIONAL REGISTRATIONS

Licensed Architect: California

Licensed Contractor:
California, General
Engineering - A; General
Building – B

Registered Architect: Nevada

TRAINING

OSHA 30-hour Construction
Health and Safety

MEMBERSHIPS

American Institute of
Architects (AIA)

Construction Management
Association of America
(CMAA)

Construction Specifications
Institute (CSI)

International Code Council
(ICC)

SCARAB National Honorary
Architectural Fraternity

Jim is a licensed California architect and Certified Construction Manager with more than 25 years of experience who has led projects for public buildings, airports, public schools, universities, libraries, and commercial and industrial facilities. He applies sound leadership qualities with specific experience in program management, master planning, design management, and on-site construction management (CM) services. A results-oriented individual, Jim is capable of working with staff at all organizational levels, from consulting architects and engineers to government agencies and owners, to effectively manage complex and challenging projects. His accumulated experience includes successfully completing a wide and varied range of construction and contract types, including design-bid-build and guaranteed maximum price.

Project Experience

City of Costa Mesa Donald Dungan Library & Costa Mesa Neighborhood Community Center | Senior Project Manager/ Owner's Representative

Coordinated CM services for a \$36.5 million design-bid-build project at Lions Park in Costa Mesa, CA. The project involved five sub-projects completed in two successive construction phases. Jim oversaw each phase, which involved the demolition of the existing 20,000-sf Neighborhood Community Center (NCC); construction of a new two-story, 23,355-sf library, including site utilities; redevelopment of the Lions Park property, including new landscaping, irrigation, streetfront improvements, and construction of a new surface parking lot; construction of a snack and beverage service kiosk; and renovations to the existing 9,300-sf Donald Dungan Library facility for use as the new NCC, including landscape and parking lot improvements. Along with managing day-to-day construction activities and overseeing the budget, schedule, quality, and overall safety of the project site, services Jim was responsible for included constructability, bidability, and peer reviews; value engineering; construction cost estimating; project scheduling; long-lead item procurement evaluation; bid support, including extensive contractor prequalification; permitting; and technical supervision and coordination of construction, testing and inspections through closeout. He also oversaw the LEED® certification and commissioning processes for the library and NCC. Under Jim's management of site safety and safety orientations.

Metro Emergency Security Operations Center Design-Build | LA County Metro Licensed Resident Engineer

Supporting CM services for a new Los Angeles Metropolitan Transportation Authority (Metro) facility in the City of Los Angeles Arts District that will serve as a central location for security operations, dispatch, and emergency coordination. The building will incorporate sustainable design features to minimize non-renewable energy consumption, reduce waste, and conserve water.

City of Anaheim Convention Center Expansion | Senior Project Manager

Oversaw owner's representation, project management, and construction management services to the City of Anaheim, CA, for the \$190 million design-build expansion of the Anaheim Convention Center. The expansion encompasses 400,000 sf of space for exhibit halls; ballrooms; flexible meeting space; office and meeting rooms; and an interior bridge/skyway, of which approximately 200,000 sf will be devoted to leasable, eliminate

controlled, flexible multipurpose space. The scope of work included all necessary front-of-house, back-of-house, and circulation; outdoor areas to maximize special event activity and existing views; replacement of the existing parking inventory on the project site with 1,400 spaces; loading docks to accommodate needs of the new space; climate controlled connection to existing space; finish quality equal to or above that of most recently constructed existing space at the center; and sustainable building features intended to earn LEED® Silver certification. Working closely with the city, Jim was responsible for managing all aspects of the project, including preconstruction, project controls, community outreach planning, construction phasing planning, inspections, and QA/QC. He also provided claims mitigation measures representing the city's interest.

***City of Anaheim DPW Anaheim Regional Transportation
Intermodal Center (ARTIC) | Deputy Program Manager***

Responsible for oversight of the development of the Program Management Plan and Program Procedures Manual in accordance with FTA guidelines for the Anaheim Regional Transportation Intermodal Center (ARTIC) project in Anaheim, CA. The 68,000-sf center functions as a regional intermodal gateway and mixed-use destination, offering convenient travel via train, car, intercity bus, taxi, and local transit to facilitate transportation throughout Orange County and the Southern California region. It also provides easy connections to the nearby Angel Stadium, Honda Center, and Disneyland, and space is reserved to accommodate the state's future high-speed rail service. Jim worked as an extension of staff to the program director during the program launch phase. He also oversaw the development of a unique procurement strategy for the early fabrication and erection of the facility's state-of-the-art structural arched frame and ethylene-tetrafluoroethylene (ETFE) pneumatic membrane building envelope system. The Anaheim Department of Public Works (DPW) project earned LEED® Platinum certification.

***BGPAA Bob Hope Airport RITC PM/CM | Senior Project Manager/
Design-Build Coordinator***

Oversaw design of the \$87.5 million Consolidated Rental Car (ConRAC) Facility and the Regional Intermodal Transportation Center (RITC) in Burbank, CA, on behalf of the Burbank-Glendale-Pasadena Airport Authority (BGPAA). The design provides a state-of-the-art, three-level, 505,000-sf transit hub with a ConRAC; a bus transit area; a 1,100-foot-long elevated pedestrian walkway connecting the ConRAC to the airport's main terminal; a compressed natural gas station; and a five-level, 1,043-space valet parking structure. The project is intended to achieve LEED® Silver certification. The scope of work included providing program management (PM) and CM services, for which Jim directed all technical reviews of the drawings and specifications, and managed coordination of all owner and technical reviewer comments with the Architect of Record and design-builder. He also led constructibility/bidability review efforts on behalf of the BGPAA.

FIRM
STV

EDUCATION
Bachelor of Science,
Construction Science, Texas
A&M University

**PROFESSIONAL
TRAINING**
OSHA 30-hour Construction
Safety and Health

GABE MCCREARY Project Engineer

Gabe is a construction management (CM) professional with experience providing office engineering services on projects in the Los Angeles and Dallas metropolitan areas, including airport, educational, and commercial facilities. His site supervision and project management skill sets include managing the submittal, RFI, and materials delivery processes; site logistics planning; and performing quality inspections to confirm that contractors meet design and schedule obligations. A skilled communicator, Gabe excels in coordinating across teams, managing subcontractors, and training junior staff in project controls procedures.

Project Experience

Metro Emergency Security Operations Center Design-Build PM/CM | Assistant Project Manager

Supporting the team providing program management and construction management (PM/CM) services for a new Los Angeles County Metropolitan Transportation Authority (Metro) security facility in the City of Los Angeles Arts District. The single-story, 26,000-sf facility will house Metro's Emergency Security Operations Center (ESOC) and serve as a central location to support daily security operations and as an emergency coordination facility to mitigate and prevent disruptions to Metro services. Gabe is responsible for managing submittals and RFIs requiring review by the ownership team. In addition, Gabe supports the project team by tracking and reviewing change orders, performing document control, and managing the closeout process.

Delta Airlines Sky Way at LAX Terminals 2 & 3 Reconstruction | Office Engineer

Provided project management support as part of the CM team for the \$2.3 billion renovation of Terminals 2 and 3 at Los Angeles International Airport (LAX) as part of the carrier's move from Terminals 5 and 6. The Delta Sky Way project upgraded and connected Terminals 2 and 3 while also providing a direct, secure connection to the Tom Bradley International Terminal. The new headhouse facility includes a centralized check-in lobby with 32 self-serve kiosks and 46 check-in positions, as well as expanded security check-point and baggage claim areas. The effort was designed to earn LEED® Silver certification. Gabe furnished contract administration for construction subcontracts valued at up to \$60 million; coordinated with project stakeholders to resolve issues; facilitated field operations by maintaining a material delivery schedule and performing QC inspections; and trained junior office engineers.

Texas A&M Dentistry Clinical Education Facility CM | Assistant Superintendent

Assisted the lead superintendent during construction of the Texas A&M University Dentistry Clinical Education Facility on the school's Dallas campus. The 9-level building provides 292,000 sf of clinics with facilities that range from general practice to prosthodontics and implant surgery. The building, attached to a new three-story, 250-space parking garage, contains laboratories, classrooms, student spaces, offices, and a rooftop central utility plant. Gabe coordinated the activities of multiple trades to facilitate construction consistent with scheduling, QA, safety, and other project goals; assisted in the development and execution of the site logistics plan; supervised field operations; and performed QC inspections to verify that contractors fulfilled obligations.

Dallas Cowboys World Headquarters P3 CM | Project Engineer Intern

Supported CM activities for the construction of the new \$1.5 billion Dallas Cowboys World Headquarters in Frisco, TX — an 8-story, 396,000-sf Class-A commercial office building with a 600,000-sf below-grade parking garage. Constructed as a public-private partnership (P3) involving the Dallas Cowboys, the City of Frisco, and Frisco Independent School District, the facility includes 105,000 sf of retail and conference center space on its first three levels and employed 22,000 cy of cast-in-place concrete, 4 million pounds of reinforcing steel, and 142,000 sf of exterior curtain wall glass. Gabe reviewed subcontractor submittals and shop drawings for adherence to plans and specification; managed document controls, including updating and distributing new contract documents; crafted RFIs to resolve discrepancies in the plans and recommend solutions; and assisted the MEP project engineer in plumbing and mechanical coordination.

FISD Frisco Independent School District Multi-Use Special Events Center P3 CM | Project Engineer Intern

Provided CM support for the construction of the new Multi-Use Events Center (MUEC) in Frisco, TX. Constructed as a public-private partnership (P3) involving the Frisco Independent School District (FISD), the Dallas Cowboys, and the City of Frisco, the facility is now known as The Ford Center at the Star. Serving as the Dallas Cowboys' world headquarters, the facility is a 12,000-seat indoor events center, as well as a sports training facility currently being used by both the Cowboys and FISD students. Gabe reviewed subcontractor submittals and shop drawings for adherence to plans and specification; managed document controls, including updating and distributing new contract documents; crafted RFIs to resolve discrepancies in the plans and recommend solutions; and assisted the MEP project engineer in plumbing and mechanical coordination.

FIRM

Group Delta

EDUCATION

Bachelor of Science,
Business Administration;
California State University

CERTIFICATIONS

ICC California Commercial
Building Special Inspector

ICC Reinforced Concrete
Special Inspector

ACI Field Technician Grade 1

JESSE INIGUEZ

Lead Inspector

Jesse is experienced in performing inspections on steel reinforcement and concrete quality control, epoxy embedments in slabs, wall footings, pool, and shear wall wood framing to approved plans and code with commercial, residential, and public works projects. He routinely works with inspectors, superintendents, engineers, and trade foremen to resolve issues. His communication efforts includes daily official written reports, meetings, emails, text communication, telephone communication, and on-site verbal corrective directions to verify proper construction practices. Jesse demonstrates expert knowledge in applying approved plan details, code interpretation, and testing. He has the proven ability to work independently, effectively communicate, and maintain a high level of inspection proficiency.

Project Experience

City of Costa Mesa Donald Dungan Library & Costa Mesa Neighborhood Community Center | Field Inspector

Provided special inspection services for the proposed two-story library, renovation, and conversion of the existing Donald Dungan Library building to include a new neighborhood community meeting center, park expansion, and new parking lots.

Metro Emergency Security Operations Center Design-Build PM/CM | Field Inspector

Provided special inspection services for the construction of this new \$83.6-million facility in Los Angeles's Arts District that will serve as a central location for Metro's emergency preparedness and security operations.

Metro 20 Portal Widening | Field Inspector

Provided special inspection services for the proposed division 20 portal widening improvement project, which aims to accommodate increased service levels on the Metro Red and Purple lines.

Symphony Halcyon House Building A and B | Field Inspector

Provided material testing and special inspection services during the construction of this mixed-use apartment/retail community in Costa Mesa, CA. The project includes one level of subterranean parking, a large on-grade public courtyard between the buildings, a pedestrian bridge connecting the two buildings at the podium level, and retail at the ground level.

FIRM
STV

EDUCATION
Bachelor of Arts, Psychology;
University of California, San
Diego

CERTIFICATIONS
Earned Value Professional
(EVP); Association for
the Advancement of
Cost Engineering (AACE)
International

Planning and Scheduling
Professional (PSP); AACE
International

TRAINING
Primavera for Engineering and
Construction (P3 e/c) Training
Program; ETrac Solutions

ROBERT QUICKEL, PSP, EVP **Scheduler**

Robert has 25 years of experience developing, implementing, and maintaining complex schedules and project controls for significant transportation, facility, and infrastructure projects. He is adept at creating and maintaining cost- and resource-loaded design and construction schedules, reviewing contractors' baseline schedules and schedule updates, and coordinating closely with design and construction management (CM) groups to create and maintain schedule analysis reports. Robert has updated schedules based on firsthand knowledge of the construction progress gained from on-site visits. He has experience controlling project costs through earned value management and is proficient in the use of Primavera and Microsoft Project software to develop and maintain schedules.

Project Experience

City of Costa Mesa Donald Dungan Library & Costa Mesa Neighborhood Community Center Reconstruction | Scheduler

Reviewed contractor's monthly schedule updates in support of CM services for a new two-story, 23,355-sf library and renovation of the existing 8,700-sf Donald Dungan Library facility for use as a Neighborhood Community Center at the Lions Park property in Costa Mesa, CA. Robert also performed delay analyses for the multi-phased \$27.5 million project.

City of Anaheim Convention Center Expansion | Scheduler

Reviewed the contractor's construction schedule for the \$190 million design-build expansion of the Anaheim Convention Center for the City of Anaheim, CA. The project included approximately 400,000 sf of space to be used for exhibit halls; ballrooms; flexible meeting space; office and meeting rooms; and an interior bridge/skyway, of which approximately 200,000 sf will be devoted to leasable flexible multipurpose space. Robert closely reviewed and tracked the contractor's progress; participated in bi-weekly progress meetings to review detailed schedules and track key interim milestones so that the firm could closely monitor how much work the contractor was accomplishing; and suggested strategies for making up lost time. This intense schedule review and tracking over the final several months of the project helped the contractor to ultimately complete the expansion in time for the client to use the space for previously scheduled large events.

Anaheim Regional Transportation Intermodal Center (ARTIC) | Scheduler

Created and maintained updates to the baseline master project schedule for the 68,000-sf Anaheim Regional Transportation Intermodal Center (ARTIC) in Anaheim, CA. The \$185 million facility offers convenient access to various travel options, including train, intercity bus, automobile, and taxi, and will accommodate planned high-speed train service.

NYCDDC Firehouse Engine Co. 258/Ladder Co. 115 Renovation | Scheduler

Created and maintained construction schedules for the \$4 million renovation of the historic four-story Firehouse Engine Co. 258/Ladder Co. 115 building in Long Island City, which encompassed the renovation of an apparatus floor, dormitories, a kitchen, lounges, and weight rooms. This was part of a CM/build requirements task order contract with the New York City Department of Design and Construction.

NYCDDC Engine Co. 73/Ladder Co. 42 Renovation | Scheduler

Created and updated schedules for the \$4 million renovation of this Bronx firehouse as part of a CM/build requirements task order contract with the New York City Department of Design and Construction (NYCDDC). The project included complete construction services including holding four Wicks Law subcontracts. The scope of work consisted of the renovation of an apparatus floor, dormitories, a kitchen, lounges, and weight rooms. The project also included new roof and windows, masonry restoration, apparatus floor replacement, and rehabilitation of all interior spaces, as well as new heating and central air conditioning systems, a wet pipe sprinkler system throughout the building, electrical power/lighting systems, and a communication system.

NYCDDC New York City Police Training Academy CM | Scheduler

Created a baseline construction schedule for a \$760 million police academy in Queens, NY, for the New York City Department of Design and Construction (NYCDDC). The 720,000-sf Phase I facility comprises a new academic building, a physical training facility, and a central utility plant. The project earned LEED Gold certification. Robert performed his work as part of the firm's comprehensive CM services.

Metro Active Transportation Rail to River Corridor | Scheduler

Developed the design schedule for the preliminary design phase of Los Angeles County Metropolitan Transportation Authority (Metro)'s two-phase plan to convert approximately 10 miles of railroad ROW between Inglewood, CA, and the Los Angeles River into a multi-use bicycle and pedestrian corridor. Robert also provided schedule updates in support of the preparation of design alternatives.

Metro Airport Metro Connector AA/Draft EIR/EA | Scheduler

Developed and maintained the design schedule for planning, environmental services, and conceptual design to prepare an AA/Draft EIR/environmental assessment (EA) for the Los Angeles County Metropolitan Transportation Authority (Metro) Airport Metro Connector project. The project will link a planned Metro station at Century Boulevard and Aviation Boulevard, about 1.5 miles from Los Angeles International Airport (LAX), with the Central Terminal Area of LAX by an extension of the Green Line light rail transit line, a bus rapid transit connection, an automated people mover, or a transportation systems management alternative.

BGPAA Bob Hope Airport RITC PM/CM | Scheduler

Prepared the master schedule and provided schedule updates for the program management (PM) and CM of the \$87.5 million Regional Intermodal Transportation Center (RITC) in Burbank, CA, on behalf of the Burbank-Glendale-Pasadena Airport Authority (BGPAA). The project included a three-level, 505,000-sf consolidated rental car facility and five-level, 1,043-space valet parking structure.

EXHIBIT C
FEE SCHEDULE



April 19, 2024

Mr. Hector Soriano, Associate Engineer
City of Costa Mesa
Via E-mail

**Reference: Costa Mesa Fire Station #4 Training Tower (City Project No.23-04)
Proposed Construction Management Scope Reduction**

Dear Mr. Soriano,

STV has evaluated the City's request of a reduction to STV's Construction Management services for the Fire Station #4 Training Tower without reducing the Deputy Inspection and testing services. Utilizing STV's Gantt Chart Schedule that was submitted with our original proposal we prepared a new schedule deleting the removed scope of work items from the Schedule's Work Breakdown Structure (WBS) as follows:

- Remove Task 36 – Demo Existing Portion of Dirty Classroom – 50 days.
- Remove Task 37 – Remodel Dirty Classroom – 30 days.
- Remove Task 38 – Construct Dirty Classroom Showers – 30 days.
- Remove Task 39 – Regard Site – 16 days.
- Remove Task 40 – Construct Solar Panel Support Structure – 15 days.

The proposed scope reduction items did not reduce the overall schedule duration because all the deleted items are concurrent with the Critical Path construction activities of the new Metal Training Tower and its associated mechanical, electrical and plumbing installations. The building addition and restroom remodel scope reductions, however, will reduce contractor's and architect's CA efforts but not the overall project duration.

All of the site preparation and utility construction activities remain the same for STV's oversight efforts along with Group Delta's testing and inspections. STV provides independent onsite observation, documentation and inspections of the daily construction activities. Any reduction in STV's onsite presence will leave the project exposed to daily unobserved and undocumented contractor activities. Our goal is to make the Fire Station #4 Training Tower a successful project, to ensure the City receives the anticipated Grant Funds within this year's time frame and is constructed per the plans and specifications that the City has paid for.

As good faith partners, we are willing to offer a reduction of \$14,178 or 4.4% of the core project team's contract monthly values for a total of \$308,063.00, as we have removed Dave Watson's time and reallocated some additional hours from Jim Adams to Gabe McCreary to help with your endeavor without harming the outcome of the project.



We are available at any time and at your convenience to discuss these proposed scope reductions to aid the City in finalizing the Contracts. We look forward to serving you on this assignment.

Sincerely,
STV Construction, Inc.

A handwritten signature in blue ink that reads "James H. Adams". The signature is fluid and cursive, with the first name being the most prominent.

James H. Adams, AIA/CCM
Sr. Project Manager

EXHIBIT D

CITY COUNCIL POLICY 100-5

CITY OF COSTA MESA, CALIFORNIA

COUNCIL POLICY

SUBJECT	POLICY NUMBER	EFFECTIVE DATE	PAGE
DRUG-FREE WORKPLACE	100-5	8-8-89	1 of 3

BACKGROUND

Under the Federal Drug-Free Workplace Act of 1988, passed as part of omnibus drug legislation enacted November 18, 1988, contractors and grantees of Federal funds must certify that they will provide drug-free workplaces. At the present time, the City of Costa Mesa, as a sub-grantee of Federal funds under a variety of programs, is required to abide by this Act. The City Council has expressed its support of the national effort to eradicate drug abuse through the creation of a Substance Abuse Committee, institution of a City-wide D.A.R.E. program in all local schools and other activities in support of a drug-free community. This policy is intended to extend that effort to contractors and grantees of the City of Costa Mesa in the elimination of dangerous drugs in the workplace.

PURPOSE

It is the purpose of this Policy to:

1. Clearly state the City of Costa Mesa's commitment to a drug-free society.
2. Set forth guidelines to ensure that public, private, and nonprofit organizations receiving funds from the City of Costa Mesa share the commitment to a drug-free workplace.

POLICY

The City Manager, under direction by the City Council, shall take the necessary steps to see that the following provisions are included in all contracts and agreements entered into by the City of Costa Mesa involving the disbursement of funds.

1. Contractor or Sub-grantee hereby certifies that it will provide a drug-free workplace by:
 - A. Publishing a statement notifying employees that the unlawful manufacture, distribution, dispensing, possession, or use of a controlled substance is prohibited in Contractor's and/or sub-grantee's workplace, specifically the job site or location included in this contract, and specifying the actions that will be taken against the employees for violation of such prohibition;
 - B. Establishing a Drug-Free Awareness Program to inform employees about:

SUBJECT	POLICY NUMBER	EFFECTIVE DATE	PAGE
DRUG-FREE WORKPLACE	100-5	8-8-89	2 of 3

1. The dangers of drug abuse in the workplace;
 2. Contractor's and/or sub-grantee's policy of maintaining a drug-free workplace;
 3. Any available drug counseling, rehabilitation and employee assistance programs; and
 4. The penalties that may be imposed upon employees for drug abuse violations occurring in the workplace;
- C. Making it a requirement that each employee to be engaged in the performance of the contract be given a copy of the statement required by subparagraph A;
- D. Notifying the employee in the statement required by subparagraph 1 A that, as a condition of employment under the contract, the employee will:
1. Abide by the terms of the statement; and
 2. Notify the employer of any criminal drug statute conviction for a violation occurring in the workplace no later than five (5) days after such conviction;
- E. Notifying the City of Costa Mesa within ten (10) days after receiving notice under subparagraph 1 D 2 from an employee or otherwise receiving the actual notice of such conviction;
- F. Taking one of the following actions within thirty (30) days of receiving notice under subparagraph 1 D 2 with respect to an employee who is so convicted:
1. Taking appropriate personnel action against such an employee, up to and including termination; or
 2. Requiring such employee to participate satisfactorily in a drug abuse assistance or rehabilitation program approved for such purposes by a Federal, State, or local health agency, law enforcement, or other appropriate agency;

SUBJECT	POLICY NUMBER	EFFECTIVE DATE	PAGE
DRUG-FREE WORKPLACE	100-5	8-8-89	3 of 3

- G. Making a good faith effort to maintain a drug-free workplace through implementation of subparagraphs 1 A through 1 F, inclusive.
2. Contractor and/or sub-grantee shall be deemed to be in violation of this Policy if the City of Costa Mesa determines that:
 - a. Contractor and/or sub-grantee has made a false certification under paragraph 1 above;
 - b. Contractor and/or sub-grantee has violated the certification by failing to carry out the requirements of subparagraphs 1 A through 1 G above;
 - c. Such number of employees of Contractor and/or sub-grantee have been convicted of violations of criminal drug statutes for violations occurring in the workplace as to indicate that the contractor and/or sub-grantee has failed to make a good faith effort to provide a drug-free workplace.
 3. Should any contractor and/or sub-grantee be deemed to be in violation of this Policy pursuant to the provisions of 2 A, B, and C, a suspension, termination or debarment proceeding subject to applicable Federal, State, and local laws shall be conducted. Upon issuance of any final decision under this section requiring debarment of a contractor and/or sub-grantee, the contractor and/or sub-grantee shall be ineligible for award of any contract, agreement or grant from the City of Costa Mesa for a period specified in the decision, not to exceed five (5) years. Upon issuance of any final decision recommending against debarment of the contractor and/or sub-grantee, the contractor and/or sub-grantee shall be eligible for compensation as provided by law.