

City of Costa Mesa

Memorandum

TO: SCOTT DRAPKIN, ASSISTANT DIRECTOR OF DEVELOPMENT SERVICES

FROM: GABRIEL VILLALOBOS, ASSISTANT PLANNER

DATE: AUGUST 23, 2024

SUBJECT: MINOR MODIFICATION PMND-24-0011 FOR A 20 PERCENT REDUCTION IN THE FRONT YARD SETBACK TO ACCOMODATE A RESIDENTIAL ADDITION AT 990 TRENTON WAY

BACKGROUND

The subject property is located at 990 Trenton Way on a level 60-foot wide and 100-foot deep, 6,000 square foot lot.

In 1968, Building Permit No. 28739 was issued for a 1,463 square foot, three-bedroom and two-bathroom, detached single-story, single-family home with an attached 440 square foot two-car garage accessed via 21.5-foot deep two-car wide driveway. A swimming pool and spa was added to the property's rear yard in 1981 (Building Permit No. 51979). A six-foot tall stucco block wall and raised planter was added to the front yard in 1994 (Building Permit No. 67589).

SETTING

Trenton Way is a local residential cul-de-sac street located near State Route 73, at its transition to the 405 freeway. It is designated Low Density Residential by the Land Use Element of the General Plan and is zoned R1 (Single Family Residential). Properties to the north, east, south, and west share the same designations and, excepting a few properties located on the bulb of the cul-de-sac, are similarly-sized and shaped as the subject property.

Including the subject property, there are 14 detached single-family homes on Trenton Way. One home is two-stories tall, and eight homes have front-yard setbacks that are less than the R1 zone required 20-foot front-yard setback.

REQUEST

This applicant is requesting City approval to encroach four feet (i.e., 20-percent) into the required 20-foot front-yard setback.

Pursuant to Costa Mesa Municipal Code Section 13-28(j)(1), a decrease in the required front-yard depth of 20-percent or less may be considered through the City's minor modification process provided that the residential garage is setback 19 feet from the front property line.

DESCRIPTION

The proposed four-foot encroachment would facilitate an addition to the front of the house. The addition would be located beside the existing garage and replace a courtyard area currently located behind the six-foot tall block wall.

The proposed addition includes two new bedrooms, a bathroom, a relocated front-door, and a new entry hall. In conjunction with this addition, the owner will also reconfigure three existing bedrooms at the back corner of the house into two bedrooms; one of which will be a larger master bedroom suite.

As proposed, the 2,001-square-foot house will have four bedrooms and three baths with an attached two car garage accessed via a 21.5-foot deep two-car compliant driveway.

With the exception of the proposed four-foot front-yard setback encroachment, the proposed addition will comply with all R1 (Single-Family Residential) zone development standards, including height (13 feet, 11 inches where up to 27 feet is allowed) and open space (52 percent provided where 40 percent is required).

ANALYSIS

Staff supports the requested four-foot encroachment. The proposal is relatively minor and would not have a direct adverse effect upon any neighbor's use and enjoyment of their property. This is because the addition does not have any windows facing the side yard. Instead all windows face the applicant's front-yard and public street, and are at least 80 feet from the two-story residence, located directly across Trenton Way.

Existing development on Trenton Way includes legal non-conforming front setbacks for the majority of the homes lining the street. Therefore, allowing the requested minor modification for front-yard depth decrease would not permit a standard which is not already present in the immediate area and would not create a unique condition that could have a negative impact upon the neighborhood.

Staff finds that the addition will not be materially detrimental to the health, safety, and welfare of the neighborhood. The new addition will mirror the home in terms of architectural style, materials, colors, and side-setback. The proposed one-story addition will complement the existing home and site improvements and will not appear out of place for the street, which is comprised of similar ranch-style homes.

Minor Modification Findings

Pursuant to Costa Mesa Municipal Code Section 13-29(g)(6), two findings must be made for the Director of Economic and Development Services to approve a minor modification. These findings and facts in support of the findings are provided below:

Finding I: *The improvement will not be materially detrimental to the health, safety and general welfare of persons residing or working within the immediate vicinity of the project or to property and improvements within the neighborhood.*

Facts in Support of Finding:

The proposed four-foot encroachment associated with the addition at the front of the house will not be detrimental to the health and safety and general welfare of any neighboring property. The addition does not have a direct adverse effect upon any neighbor's use and enjoyment of their property. This is because the addition does not have any windows facing the side yard. Instead, all windows face the applicant's front-yard and public street, and are at least 80 feet from the two-story residence directly located across Trenton Way.

Further, existing development on Trenton Way includes legal non-conforming front-setbacks for the majority of the homes along the street. As such, granting the requested minor modification for front-yard encroachment would not result in a condition that is not already present in the immediate area.

For these reasons, the proposed encroachment to accommodate the addition of two bedrooms and a bath will not be materially detrimental to the health, safety, and welfare of the neighborhood and, more specifically, the most affected neighbor located at 994 Trenton Way.

Finding II: *The improvement is compatible and enhances the architecture and design of the existing and anticipated development in the vicinity. This includes the site planning, land coverage, landscaping, appearance, scale of structures, open space and any other applicable features relative to a compatible and attractive development.*

Facts in Support of Finding:

The proposed addition will mirror the home in terms of architectural style, setback distance, materials, and colors. As such, the one-story addition will complement the existing home and site improvements and is neighborhood compatible, which is comprised of similar ranch-style homes. Further, the addition will maintain a front-yard setback that is similar to the front setbacks for eight of the 14 homes along Trenton Way. Notwithstanding the encroachment, the property will retain adequate setback for landscaping and the existing two-car driveway will not be impacted by the scope of the project. Though the project will result in four bedrooms, no additional parking is required to meet code. The site has an existing two-car garage and two open parking spaces on a compliant-sized driveway to satisfy the Code's requirement for parking. Given that the

addition is designed to not impact the side neighbor, and that its windows face the applicant's front-yard and public street and maintains a separation of 80 feet from the front of the house across the street, the requested minor modification will be compatible with the neighborhood and enhance architecture of the subject property.

RECOMMENDATION

Approve the minor modification.

ATTACHMENTS

- 1. ASSESSOR'S MAP
- 2. PLANS

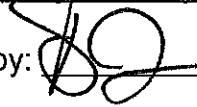
DIRECTOR DECISION

THE MINOR MODIFICATION REQUEST IS **APPROVED** / **DENIED** BASED ON THE FOLLOWING FINDINGS:

The improvement **will not be** / **will be** materially detrimental to the health, safety, and general welfare of persons residing or working within the immediate vicinity of the project or to property and improvements within the neighborhood.

The improvement **is** / **is not** compatible and enhances the architecture and design of the existing and anticipated development in the vicinity. This includes the site planning, land coverage, landscaping, appearance, scale of structures, open space and any other applicable features relative to a compatible and attractive development.

Zone: R1 (Single-Family Residential)

Approved by:  Decision Date: 8/23/24

Appeal of this decision shall be filed within 7 days of the decision date noted above by remittance of the appeal fee and according to the procedures set forth in Title 2, Chapter IX, of the Costa Mesa Municipal Code.

SAN DIEGO

FREEWAY

412-48

141-05

T. 5S., R. 10W. GISLER
T. 6S., R. 10W. AVE.

418-05

CONCORD STREET

THIS MAP WAS PREPARED FOR ORANGE COUNTY
ASSESSOR DEPT. PURPOSES ONLY. THE ASSESSOR
MAKES NO GUARANTEE AS TO ITS ACCURACY
NOR ASSUMES ANY LIABILITY FOR OTHER USES.
NOT TO BE REPRODUCED. ALL RIGHTS RESERVED.
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AVENUE

CORONA DEL MAR

HARTFORD WAY

JEFFERSON

TRENTON WAY

CHEYENNE

STREET

MARCH 1966

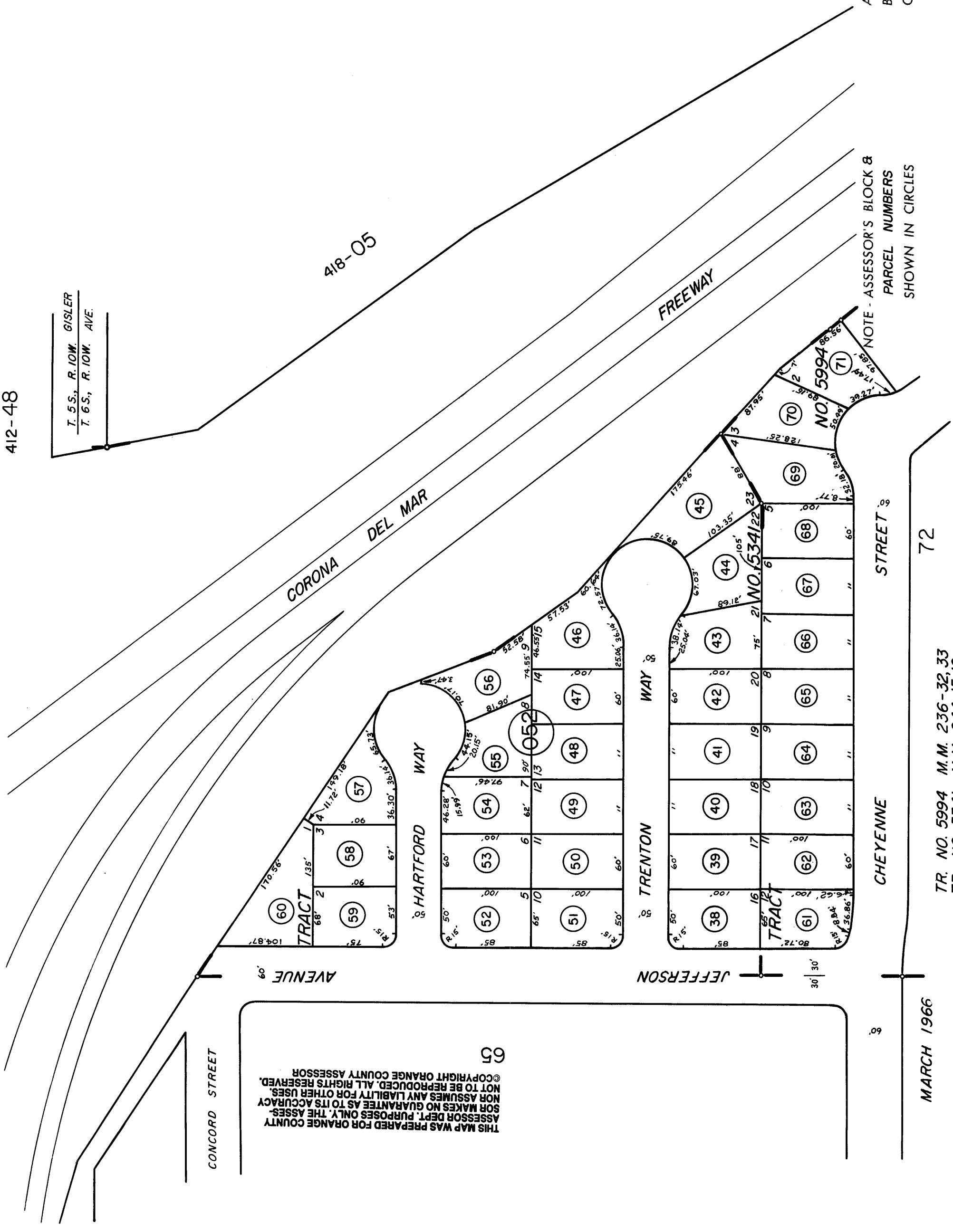
TR. NO. 5994 M.M. 236-32, 33
TR. NO. 5341 M.M. 244-15, 16

72

FREEWAY

NOTE - ASSESSOR'S BLOCK &
PARCEL NUMBERS
SHOWN IN CIRCLES

ASSESSOR'S MAP
BOOK 141 PAGE 05
COUNTY OF ORANGE



SANTOSDIAZ RESIDENCE

(BEDROOM
ADDITION)

990 TRENTON WAY
COSTA MESA, CA 92626

SHEET INDEX

DESIGN

TS-1	TITLE SHEET, SHEET INDEX, PROJECT INFO, VICINITY MAP
GN-1	GENERAL NOTES
GN-2	CAL GREEN NOTES
GN-3	CAL GREEN NOTES
AS-1	EXISTING SITE PLAN (FOR REFERENCE)
A-1.1	FLOOR PLANS
A-1.2	WINDOWS AND DOORS SCHEDULES
A-2.0	ROOF PLAN
A-3.0	EXTERIOR ELEVATIONS
A-4.0	ELECTRICAL & PLUMBING PLANS
A-5.0	DETAILS
A-5.1	ROOF DETAILS

STRUCTURAL



DESIGN STUDIO

1600 Dove Street, #101
Newport Beach, CA. 92660

PROJECT NAME

SANTOSDIAZ
RESIDENCE

(BEDROOM
ADDITION)

990 TRENTON WAY
COSTA MESA, CA. 92626

Review Set
Not For
Submittal

PROJECT DIRECTORY

OWNER

JR SANTOSDIAZ
990 TRENTON WAY
COSTA MESA, CA. 92626
PHONE: (630) 815-8927

STRUCTURAL

NICK ENGINEERING
3842 HENDRIX STREET
IRVINE, CA. 92614
PHONE: (310) 433-7927

DESIGN

K1 DESIGN STUDIO
1600 DOVE STREET #101
NEWPORT BEACH, CA. 92660
PHONE: (714) 337-6224

PROJECT DATA

BUILDING & SAFETY

CITY OF COSTA MESA DEPARTMENT
OF BUILDING & SAFETY
77 FAIR DRIVE
COSTA MESA, CA 92628
PHONE: (714) 574-5273

BUILDING CODES:

2022 CALIFORNIA RESIDENTIAL CODE
2022 CALIFORNIA EXISTING BUILDING CODE
2022 CALIFORNIA MECHANICAL CODE
2022 CALIFORNIA PLUMBING CODE
2022 CALIFORNIA ELECTRICAL CODE
2022 CALIFORNIA ENERGY CODE
2022 CALIFORNIA FIRE CODE
2022 CALIFORNIA BUILDING CODE
2022 CALIFORNIA ADMINISTRATIVE CODE
2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
2022 CITY OF COSTA MESA MUNICIPAL CODES

BUILDING INFORMATION:

ADDRESS: 990 TRENTON WAY
TYPE: SINGLE FAMILY RESIDENCE
PARCEL NUMBER: 14105249
OCCUPANCY GROUP: R-3 / U
CONSTRUCTIONS TYPE: V-B
NO. OF STORIES: 1
FIRE SPRINKLER: NO
YEAR BUILT: 1968
EXISTING FLOOR SIZE: ± 1,463 SQ. FT.
PROPOSED FLOOR SIZE: ± 2,001 SQ. FT. (± 538 SQ. FT.)
EXISTING LOT SIZE: ± 6,000 SQ. FT.

EXISTING SQUARE FOOTAGE:

FIRST FLOOR AREA: 1,463 S.F.
GARAGE AREA: 450 S.F.

PROPOSED SQUARE FOOTAGE:

FIRST FLOOR AREA: 2,001 S.F. (± 538 SQ. FT.)
GARAGE AREA: 431 S.F. (NO CHANGE)

SETBACKS:

	EXISTING	PROPOSED
FRONT YARD	30'-0"	16'-0"
LEFT SIDE YARD	5'-0"	(NO CHANGE)
RIGHT SIDE YARD	7'-0"	(NO CHANGE)
REAR YARD	28'-6"	(NO CHANGE)

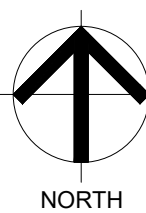
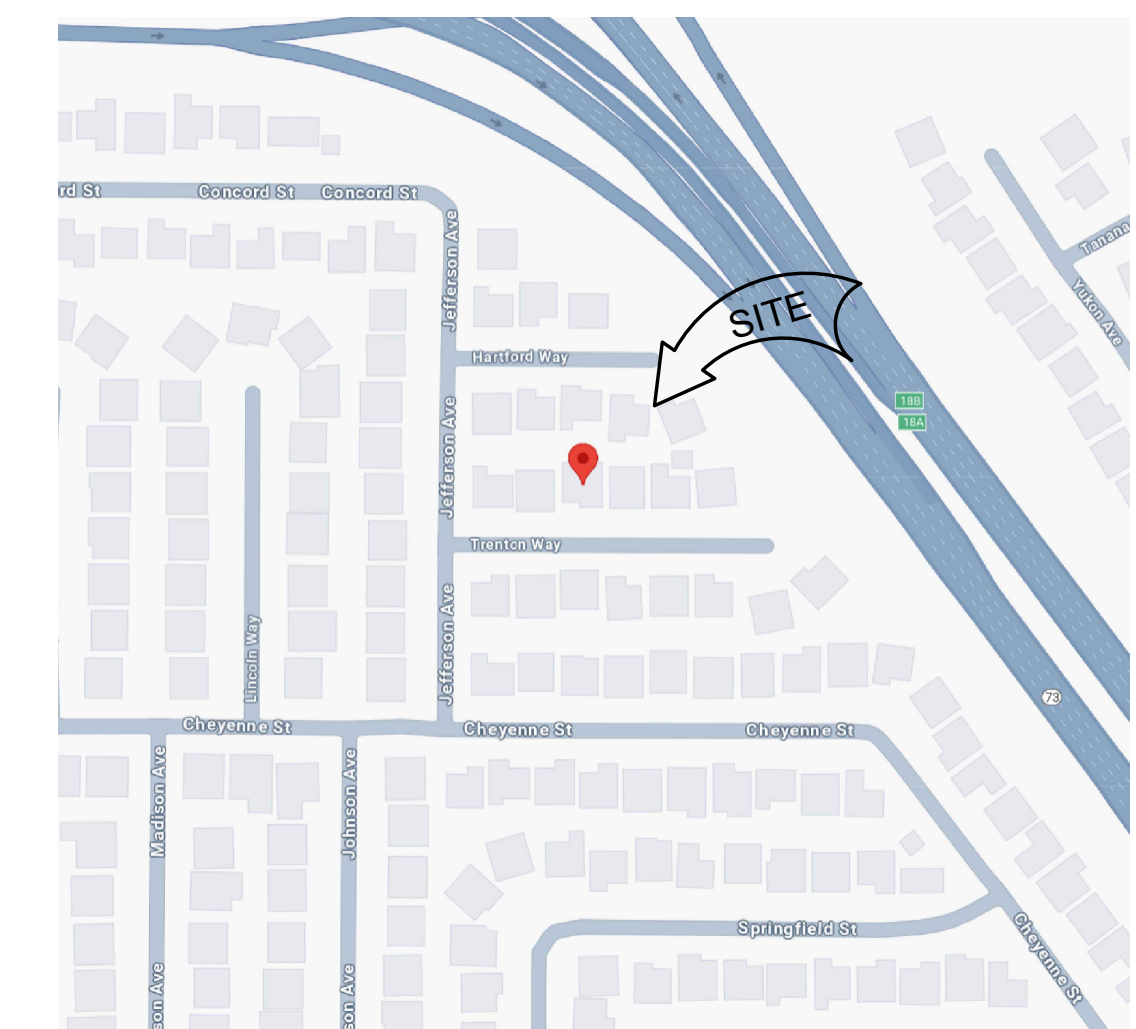
BUILDING HEIGHT:

	EXISTING	PROPOSED
	14'-0"	(NO CHANGE)

SCOPE OF WORK:

- GENERAL CONTRACTOR SHALL:
- CONSTRUCT 2 BEDROOM AND 1 RESTROOM ADDITION, PER PLAN
 - REMOVE WALL BETWEEN 2 EXISTING BEDROOM TO COMBINE INTO ONE MASTER BEDROOM, PER PLAN.
 - REMOVE EXISTING CONC. SITE WALL AND PLANTERS FOR ACCOMMODATING BEDROOM ADDITION.

VICINITY MAP



ARCHITECTURAL LEGEND

	SECTION NUMBER SHEET WHERE SECTION IS DRAWN		WOOD FRAMING (CONT. MEMBER)
	DETAIL NUMBER SHEET WHERE DETAIL IS DRAWN		AREA OF WORK
	KEYNOTE		INSULATION
	REVISION NUMBER		DATUM, WORK OR CONTROL NUMBER

PROJECT TEAM

PRINCIPAL IN CHARGE

Kayvon Mobed

DESIGNER

Kayvon Mobed

SIGNATURE: *K.M.*

06/22/2024

REVISIONS

NO.	REASON	DATE

ISSUE DATE

07/17/2024

SHEET TITLE

TITLE
SHEET

PROJECT NO.

RES.2024.18

SHEET NUMBER

TS-1



DESIGN STUDIO

1600 Dove Street, #101
Newport Beach, CA. 92660

PROJECT NAME

SANTOSDIAZ
RESIDENCE

(BEDROOM
ADDITION)

990 TRENTON WAY
COSTA MESA, CA. 92626

PROJECT TEAM

PRINCIPAL IN CHARGE

Kayvon Mobed

DESIGNER

Kayvon Mobed

SIGNATURE: *K.M.*

06/22/2024

REVISIONS

NO.	REASON	DATE

ISSUE DATE

07/17/2024

SHEET TITLE

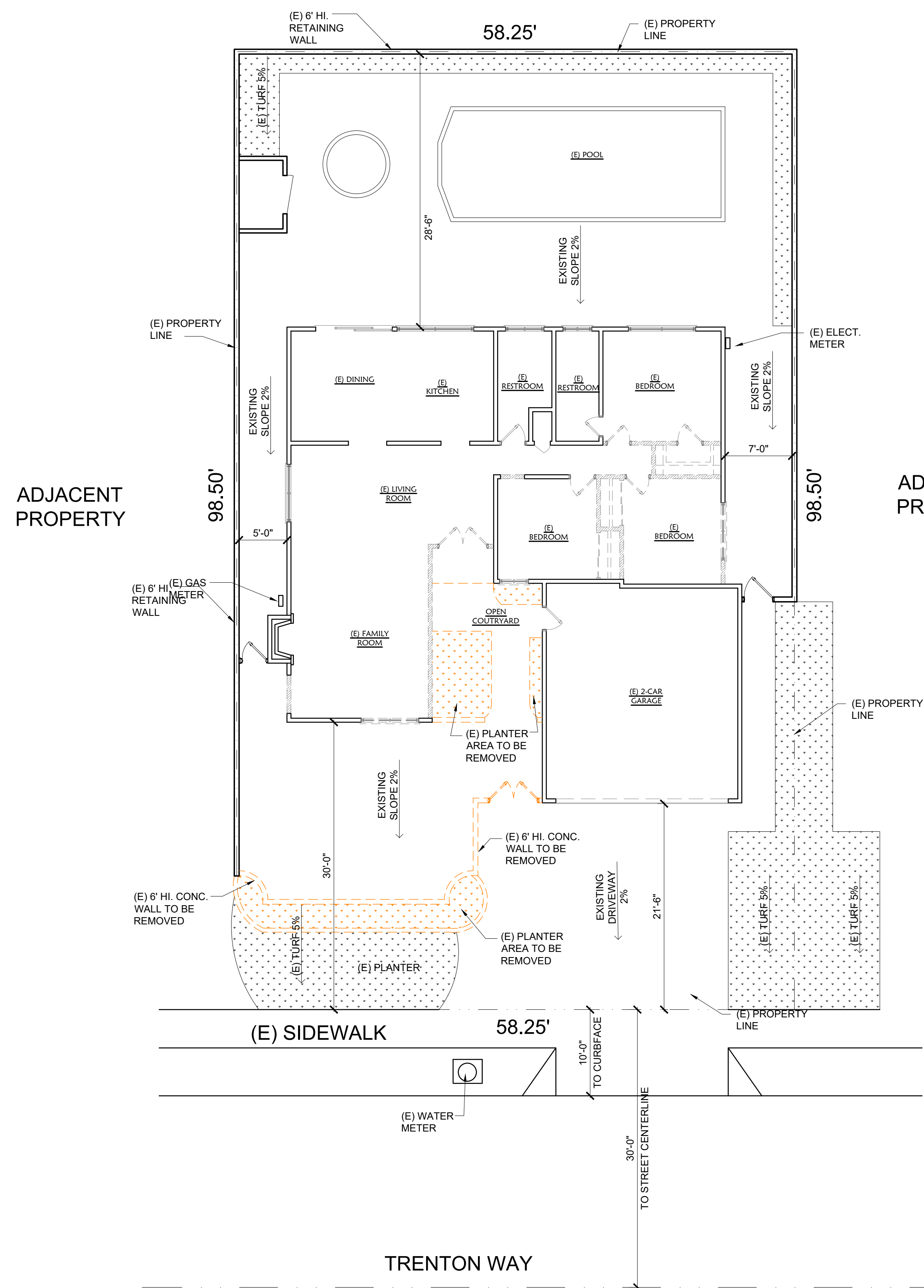
SITE
PLAN

PROJECT NO.

RES.2024.18

SHEET NUMBER

AS-1

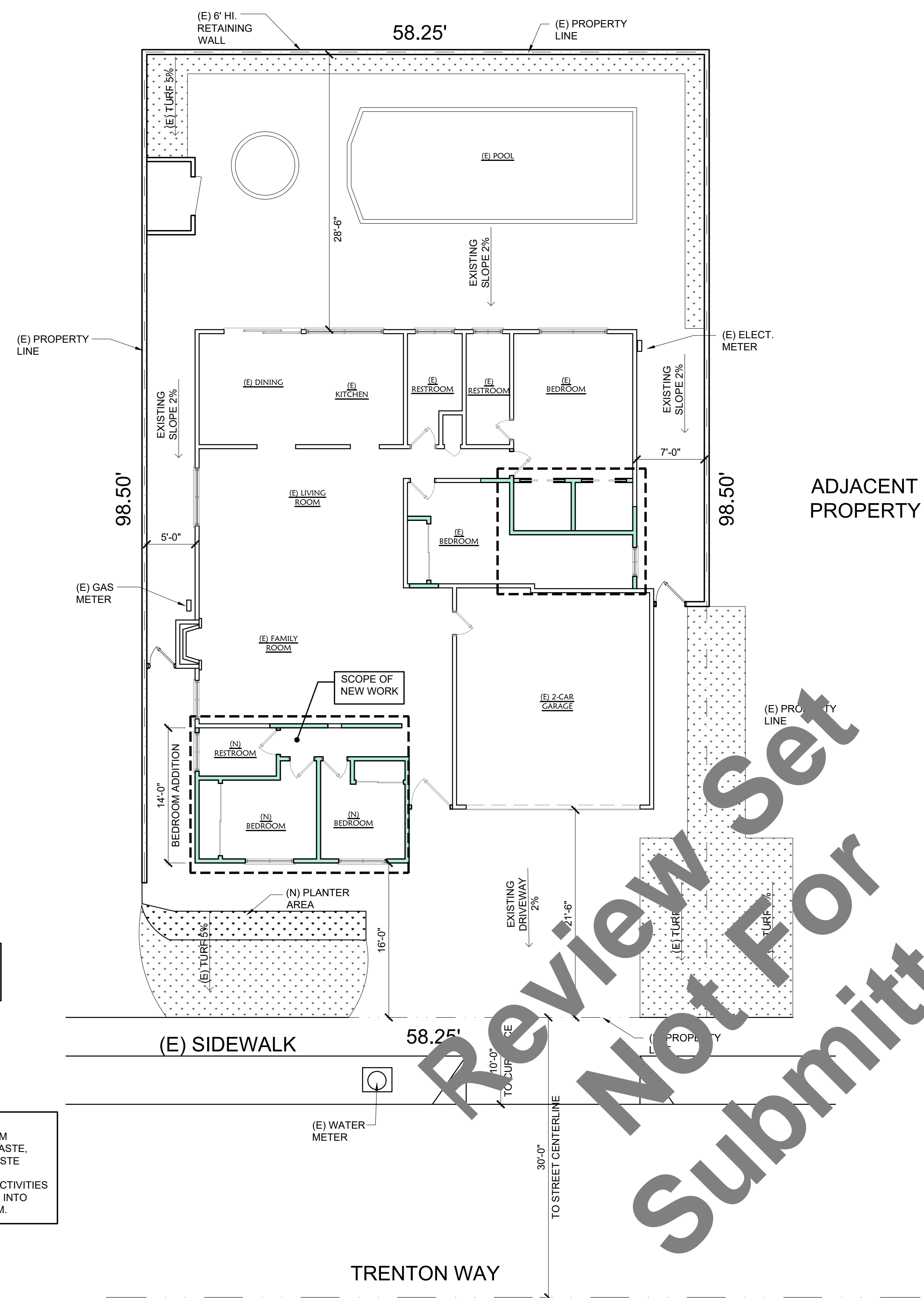


01 EXISTING SITE PLAN
SCALE: 1/8" = 1'-0"

NOTE:
NO 3:1 OR STEEPER SLOPES WITHIN 40-FT
OF PROPOSED CONSTRUCTION.

NOTE:
THE DISCHARGE OF POLLUTANTS TO ANY STORM
DRAINAGE SYSTEM IS PROHIBITED. NO SOLID WASTE,
PETROLEUM BYPRODUCTS, CONSTRUCTION WASTE
MATERIALS, OR WASTEWATER GENERATED ON
CONSTRUCTION SITES OR BY CONSTRUCTION ACTIVITIES
SHALL BE PLACED, CONVEYED OR DISCHARGED INTO
THE STREET, GUTTER OR STORM DRAIN SYSTEM.

ADJACENT
PROPERTY



02 NEW SITE PLAN
SCALE: 1/8" = 1'-0"

Review Set
Not For
Submittal

GENERAL NOTES

- REFER TO GENERAL NOTES SHEET GN-1 FOR ADDITIONAL INFORMATION
- ALL STRUCTURAL WORK MUST BE DONE BY A LICENSED GENERAL CONTRACTOR.
- THIS PLAN IS GENERATED WITH THE USE OF AS-BUILTS. ALL ITEMS AND DIMENSIONS SHOULD BE VERIFIED IN THE FIELD BY CONTRACTOR. THE GENERAL CONTRACTOR SHALL VERIFY ALL PLANS, EXISTING DIMENSIONS & FIELD CONDITIONS ON THE JOB SITE & SHALL IMMEDIATELY NOTIFY TO DESIGNER ANY DISCREPANCIES IN WRITING BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.

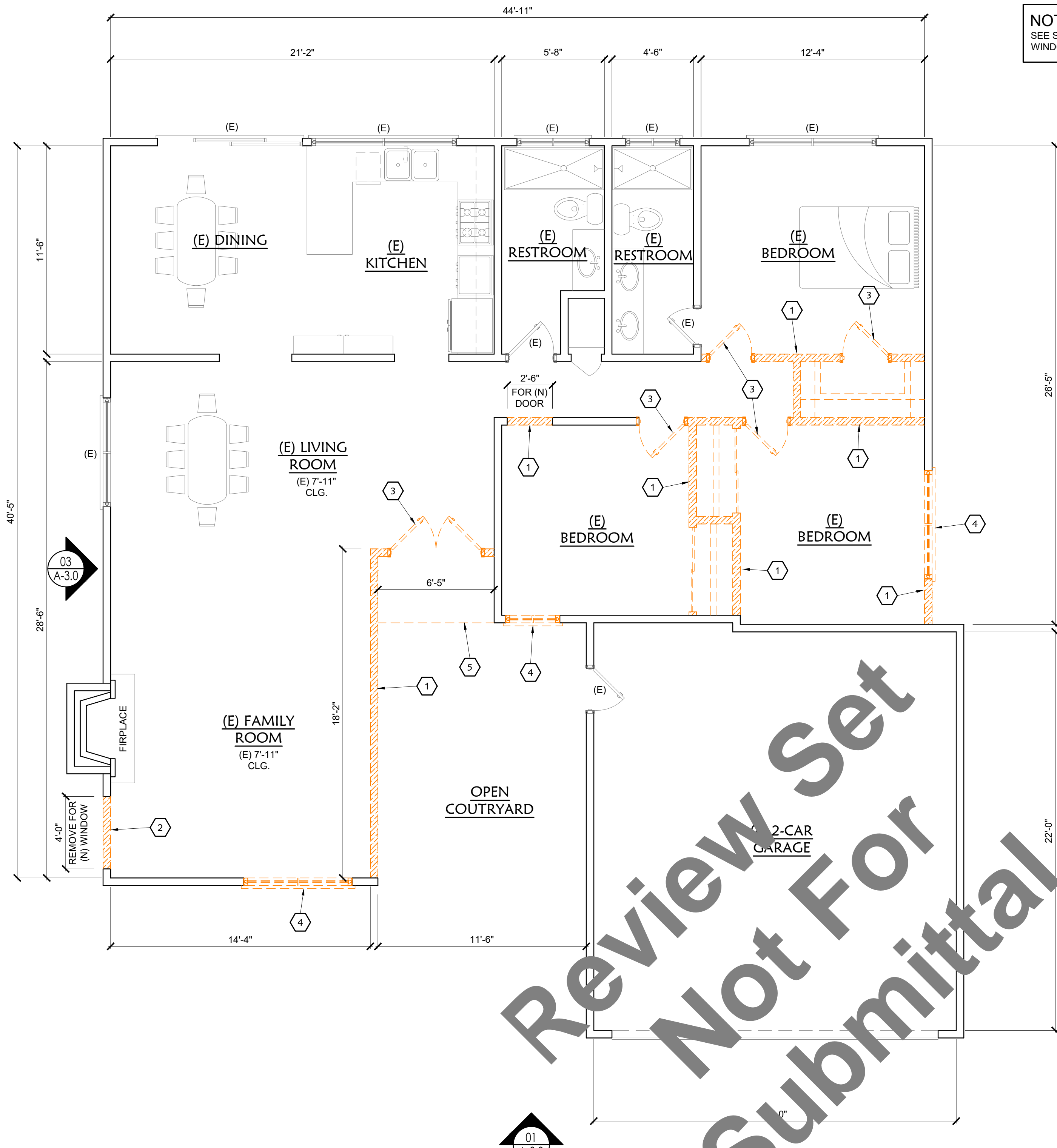
LEGEND

- EXISTING WALL
- WALL TO BE REMOVED
- NEW WALL, 2X STUDS.
- EXISTING WINDOW GLAZING
- WINDOW GLAZING TO BE REMOVED
- NEW WINDOW GLAZING
- FIXTURE TO BE REMOVED
- NEW FIXTURES
- WALL TYPES (SEE SHEET A-5.0)

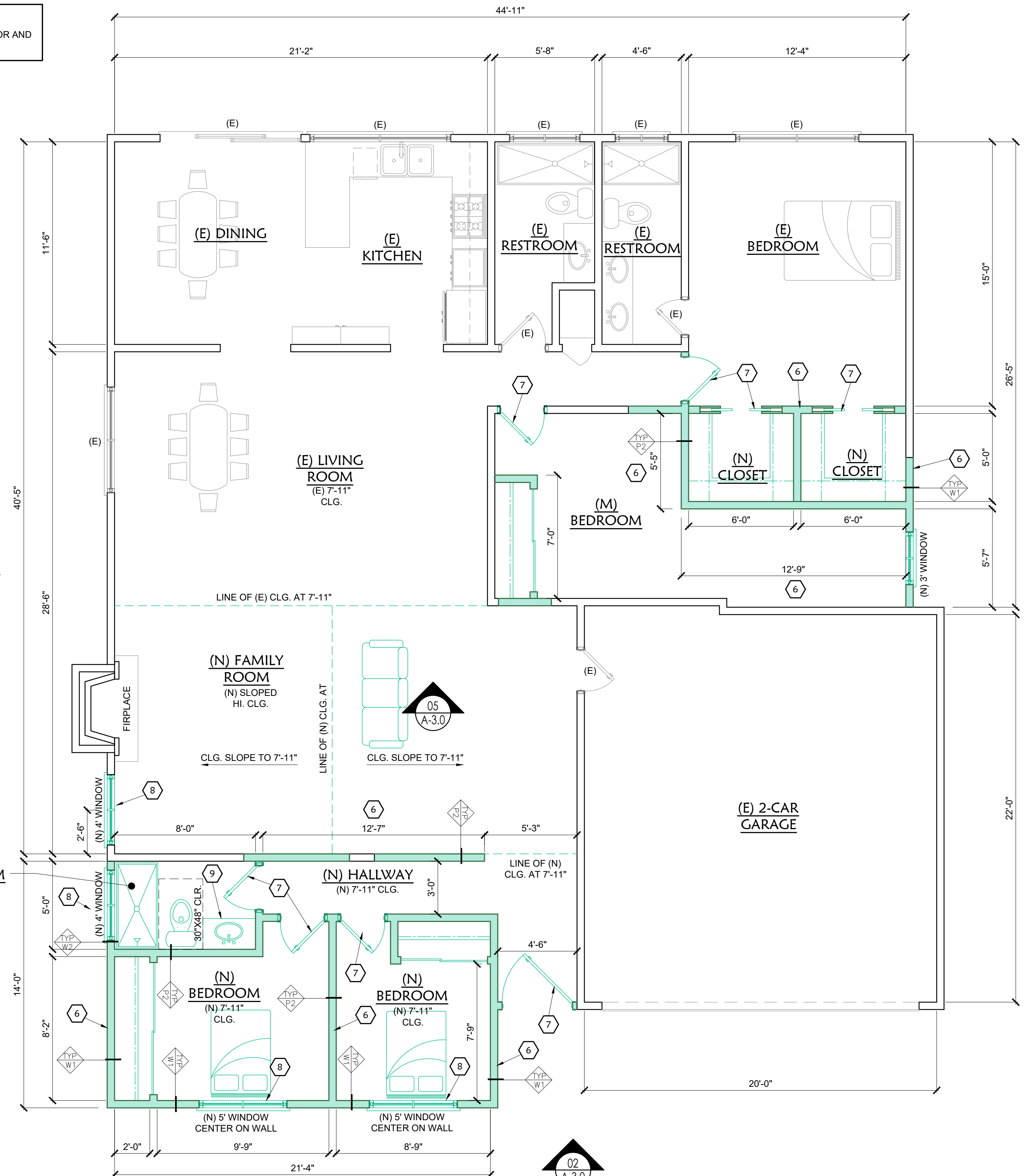
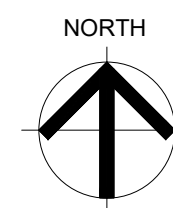
CONSTRUCTION KEYNOTES

- EXISTING WALLS TO BE REMOVED BY G.C. TYPICAL.
- PORTION OF EXISTING WALLS TO BE REMOVED BY G.C. FOR INSTALLATION OF NEW WINDOW FRAME, TYPICAL.
- EXISTING DOOR AND FRAME TO BE REMOVED BY G.C., TYPICAL.
- EXISTING GLAZING AND WINDOW FRAME TO BE REMOVED BY G.C., TYPICAL.
- G.C. TO REMOVE (E) CONG. STEP.
- NEW 2X STUD WALLS. SEE SHEET A-5.0 FOR TYPE.
- NEW DOOR & FRAME BY G.C., TYPICAL.
- G.C. TO INSTALL NEW WINDOW WITH U-FACTOR ≤ 0.29 AND SOLAR HEAT GAIN COEFFICIENT (SHGC) 0.26-0.40.
- NEW COUNTERS, APPLIANCES, AND FIXTURES BY G.C., TYPICAL.

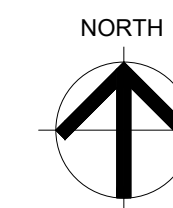
NOTE:
SEE SHEET A-1.2 FOR DOOR AND WINDOW SCHEDULES.



01 DEMO FLOOR PLAN
SCALE: 1/4" = 1'-0"



02 NEW FLOOR PLAN
SCALE: 1/4" = 1'-0"



Review Set
Not For
Submittal



DESIGN STUDIO

1600 Dove Street, #101
Newport Beach, CA. 92660

SANTOSDIAZ RESIDENCE

(BEDROOM ADDITION)

990 TRENTON WAY
COSTA MESA, CA. 92626

PROJECT TEAM
PRINCIPAL IN CHARGE
Kayvon Moberd
DESIGNER
Kayvon Moberd
SIGNATURE: *K.M.*
06/22/2024

NO.	REVISION	DATE

ISSUE DATE: 07/17/2024

SHEET TITLE: FLOOR PLANS

PROJECT NO.: RES.2024.18

SHEET NUMBER: A-1.1



DESIGN STUDIO

1600 Dove Street, #101
Newport Beach, CA. 92660

PROJECT NAME

SANTOSDIAZ
RESIDENCE

(BEDROOM
ADDITION)

990 TRENTON WAY
COSTA MESA, CA. 92626

PROJECT TEAM

PRINCIPAL IN CHARGE

Kayvon Mobed

DESIGNER

Kayvon Mobed

SIGNATURE: *K.M.*

06/22/2024

REVISIONS

NO.	REASON	DATE

ISSUE DATE

07/17/2024

SHEET TITLE

WINDOWS
& DOORS
SCHEDULES

PROJECT NO.

RES.2024.18

SHEET NUMBER

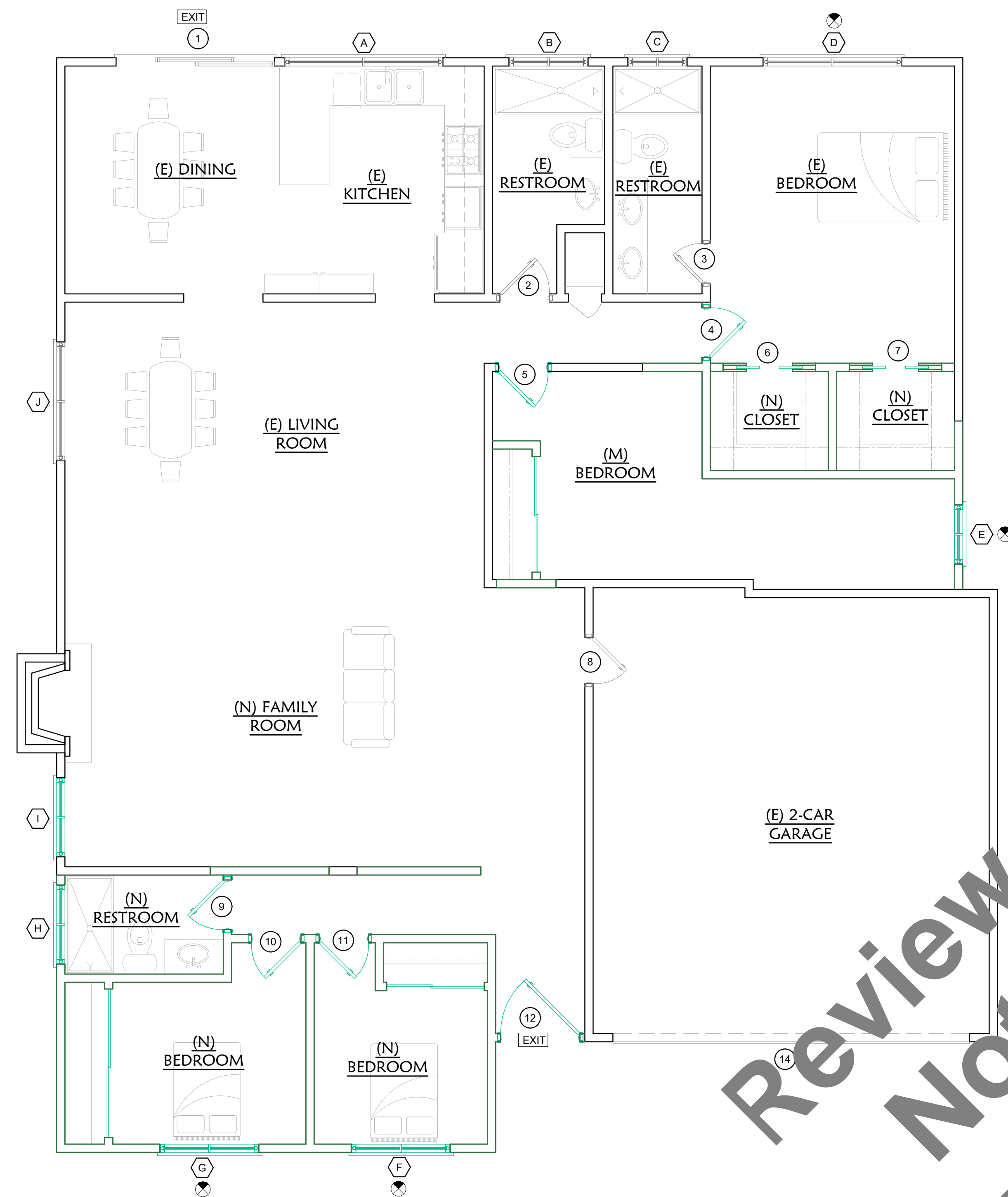
A-1.2

LEGEND

- EXISTING WALL
- NEW WALL, 2X STUDS.
- EXISTING WINDOW GLAZING
- NEW WINDOW GLAZING
- WINDOW DESIGNATION
- DOOR DESIGNATION
- EGRESS DOOR
- EGRESS WINDOW

GENERAL NOTES

- REFER TO GENERAL NOTES SHEET GN-1 FOR ADDITIONAL INFORMATION
- ALL STRUCTURAL WORK MUST BE DONE BY A LICENSED GENERAL CONTRACTOR.
- THIS PLAN IS GENERATED WITH THE USE OF AS-BUILTS. ALL ITEMS AND DIMENSIONS SHOULD BE VERIFIED IN THE FIELD BY CONTRACTOR. THE GENERAL CONTRACTOR SHALL VERIFY ALL PLANS, EXISTING DIMENSIONS & FIELD CONDITIONS ON THE JOB SITE & SHALL IMMEDIATELY NOTIFY TO DESIGNER ANY DISCREPANCIES IN WRITING BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.



WINDOW SCHEDULE

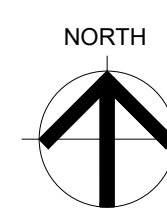
NO.	STATUS	PRODUCT	MATERIAL	GLASS	OPERATING / VENTING	DIMENSIONS
A	EXISTING	SLIDER GLASS WINDOW	WOOD	DOUBLE PANE TEMPERED	SL	± 96" W. X ± 40" H.
B	EXISTING	SLIDER GLASS WINDOW	WOOD	DOUBLE PANE TEMPERED	SL	± 48" W. X ± 18" H.
C	EXISTING	SLIDER GLASS WINDOW	WOOD	DOUBLE PANE TEMPERED	SL	± 36" W. X ± 12" H.
D	EXISTING	SLIDER GLASS WINDOW	WOOD	DOUBLE PANE TEMPERED	SL	± 84" W. X ± 36" H.
E	NEW	SLIDER GLASS WINDOW	WOOD	DOUBLE PANE TEMPERED	SL	± 36" W. X ± 36" H.
F	NEW	SLIDER GLASS WINDOW	WOOD	DOUBLE PANE TEMPERED	SL	± 60" W. X ± 48" H.
G	NEW	SLIDER GLASS WINDOW	WOOD	DOUBLE PANE TEMPERED	SL	± 60" W. X ± 48" H.
H	NEW	SLIDER GLASS WINDOW	WOOD	DOUBLE PANE TEMPERED	SL	± 48" W. X ± 18" H.
I	NEW	SLIDER GLASS WINDOW	WOOD	DOUBLE PANE TEMPERED	SL	± 48" W. X ± 48" H.
J	EXISTING	SLIDER GLASS WINDOW	WOOD	DOUBLE PANE TEMPERED	SL	± 72" W. X ± 48" H.

DOOR SCHEDULE

NO.	STATUS	PRODUCT	MATERIAL	GLASS	TYPE	DIMENSIONS
1	EXISTING	SLIDER GLASS ENTRY	GLASS	DOUBLE PANE TEMPERED	SL	± 96" W. X ± 80" H.
2	EXISTING	ENTRY	WOOD	--	HC	± 30" W. X ± 80" H.
3	EXISTING	ENTRY	WOOD	--	HC	± 28" W. X ± 80" H.
4	NEW	ENTRY	WOOD	--	HC	± 30" W. X ± 80" H.
5	NEW	ENTRY	WOOD	--	HC	± 30" W. X ± 80" H.
6	NEW	POCKET ENTRY	WOOD	--	HC	± 28" W. X ± 80" H.
7	NEW	POCKET ENTRY	WOOD	--	HC	± 28" W. X ± 80" H.
8	EXISTING	ENTRY	WOOD	--	HC	± 28" W. X ± 80" H.
9	NEW	ENTRY	WOOD	--	HC	± 30" W. X ± 80" H.
10	NEW	ENTRY	WOOD	--	HC	± 30" W. X ± 80" H.
11	NEW	ENTRY	WOOD	--	HC	± 30" W. X ± 80" H.
12	NEW	ENTRY	WOOD	--	HC	± 48" W. X ± 80" H.
14	EXISTING	GARAGE	METAL	--	GARAGE	± 18" W. X ± 7" H.

Review Set
Not For
Submittal

01 SCHEDULES
SCALE: 1/4" = 1'-0"



GENERAL NOTES

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ROOF LEGEND

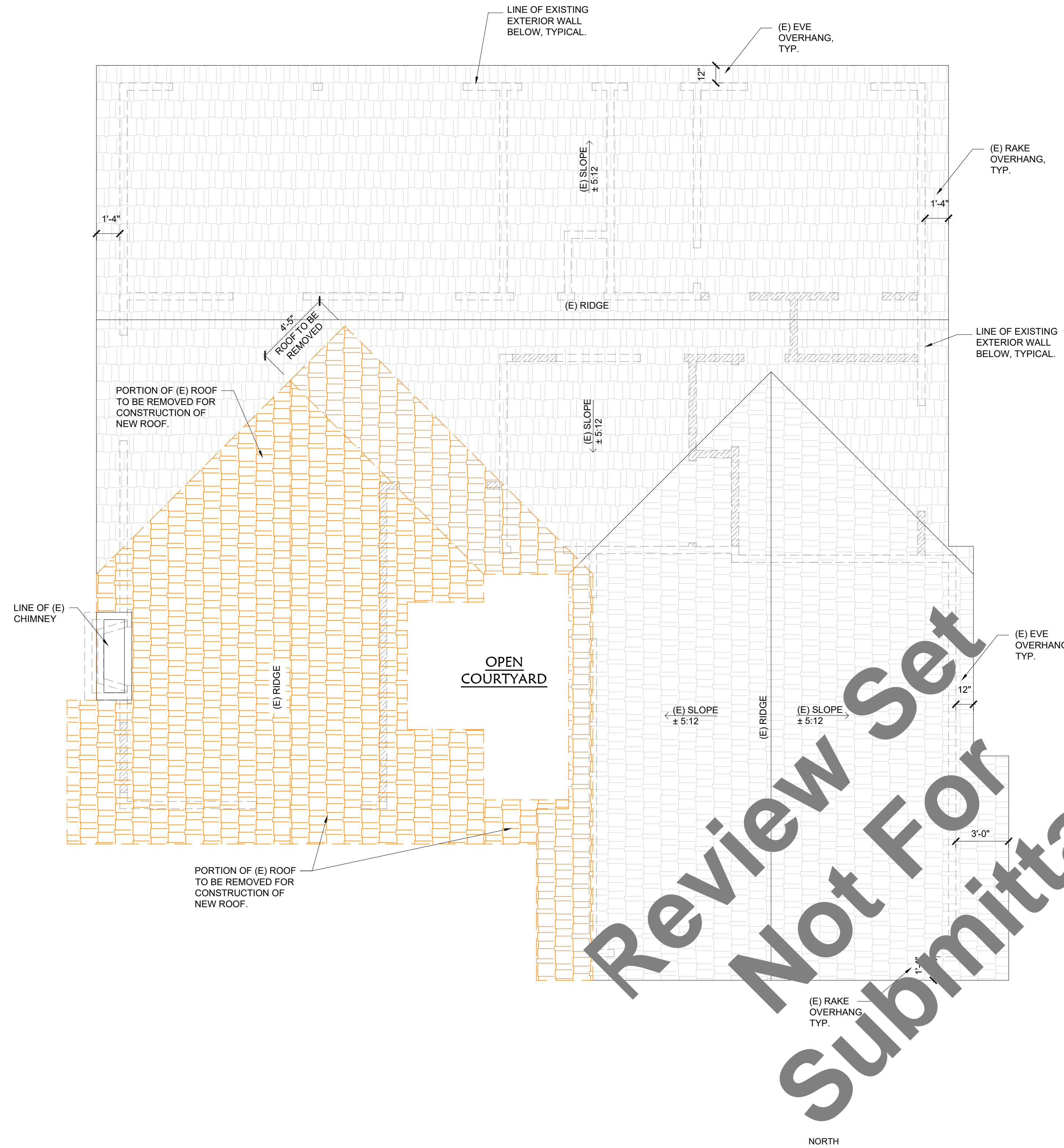
- EXISTING WALL BELOW
- EXISTING ROOF TO REMAIN
- NEW ROOFING
- DEMO ROOFING

ROOF TILE SPECIFICATIONS:

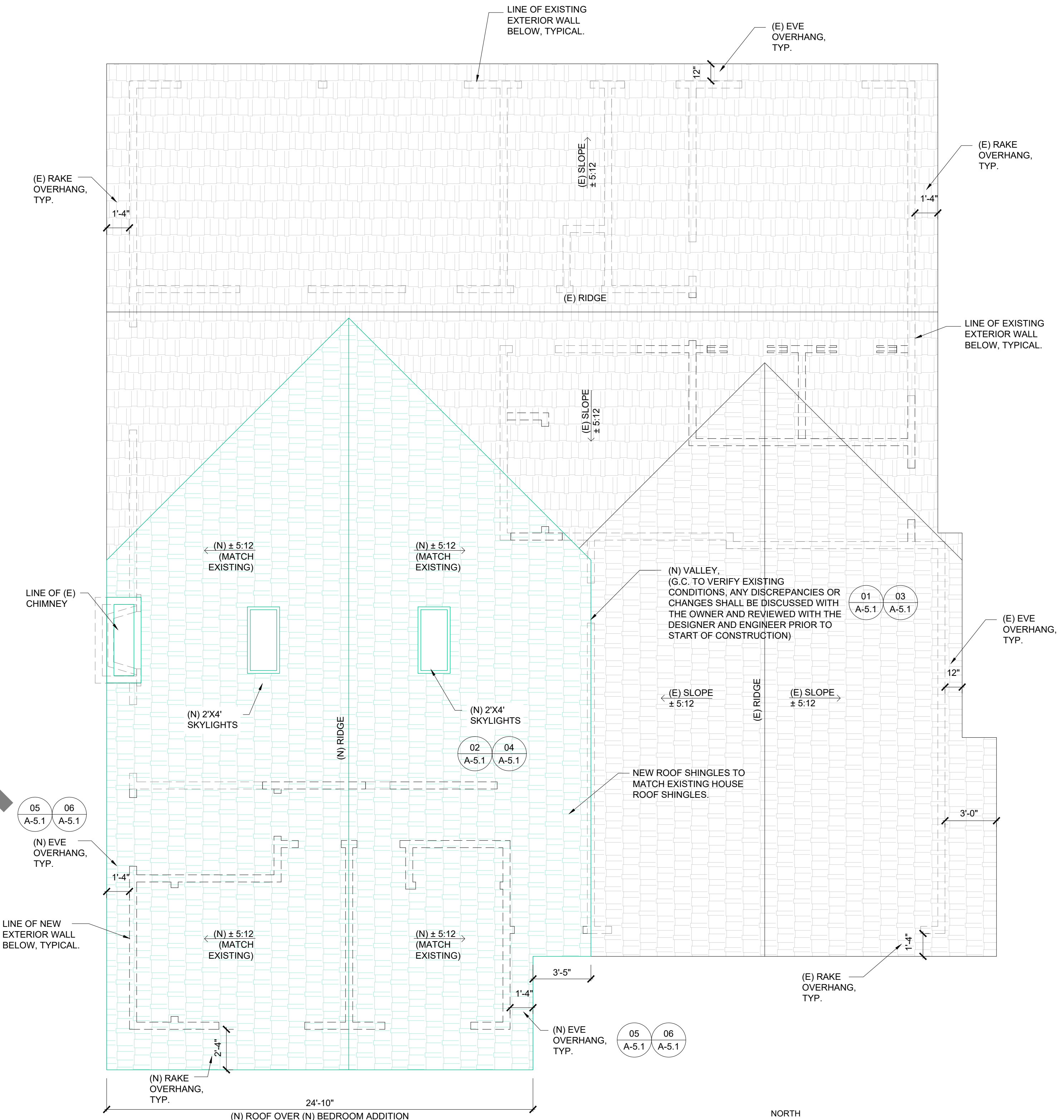
- ROOF TILE: MCA CLAY ROOF TILE "CLASSIC TAPERED MISSION" COLOR: MATCH EXISTING
- TILE CLASS: CLASS "A" FIRE RATED ASTM C1167 GRADE 1 ICC-ES AC180
- TILE LISTING: LAPMO UES ER-356*

NOTE:
G.C TO USE RADIANT BARRIER AT NEW ROOF INSTALLATION.
RADIANT GUARD, RIP-GUARD WHITE 7.0 MILS THICKNESS
FIRE RATING: CLASS A / CLASS 1 PER ASTM E84-10

NOTE:
FOR ROOF DETAILS SEE SHEET A-5.1 ROOF DETAILS.



01 DEMO FLOOR PLAN
SCALE: 1/4" = 1'-0"



02 NEW FLOOR PLAN
SCALE: 1/4" = 1'-0"



DESIGN STUDIO
1600 Dove Street, #101
Newport Beach, CA. 92660

SANTOS DIAZ RESIDENCE

(BEDROOM ADDITION)

990 TRENTON WAY
COSTA MESA, CA. 92626

PROJECT TEAM
PRINCIPAL IN CHARGE: Kayvon Mobed
DESIGNER: Kayvon Mobed
SIGNATURE: *K.M.*
06/22/2024

NO.	REVISION	DATE

ISSUE DATE: 07/17/2024

SHEET TITLE: **ROOF PLANS**

PROJECT NO.: RES.2024.18

SHEET NUMBER: **A-2.0**



DESIGN STUDIO

1600 Dove Street, #101
Newport Beach, CA. 92660

PROJECT NAME

SANTOSDIAZ
RESIDENCE

(BEDROOM
ADDITION)

990 TRENTON WAY
COSTA MESA, CA. 92626

PROJECT TEAM

PRINCIPAL IN CHARGE

Kayvon Mobed

DESIGNER

Kayvon Mobed

SIGNATURE: *K.M.*

06/22/2024

REVISIONS

NO.	REASON	DATE

ISSUE DATE

07/17/2024

SHEET TITLE

EXTERIOR
ELEVATIONS
PLAN

PROJECT NO.

RES.2024.18

SHEET NUMBER

A-3.0

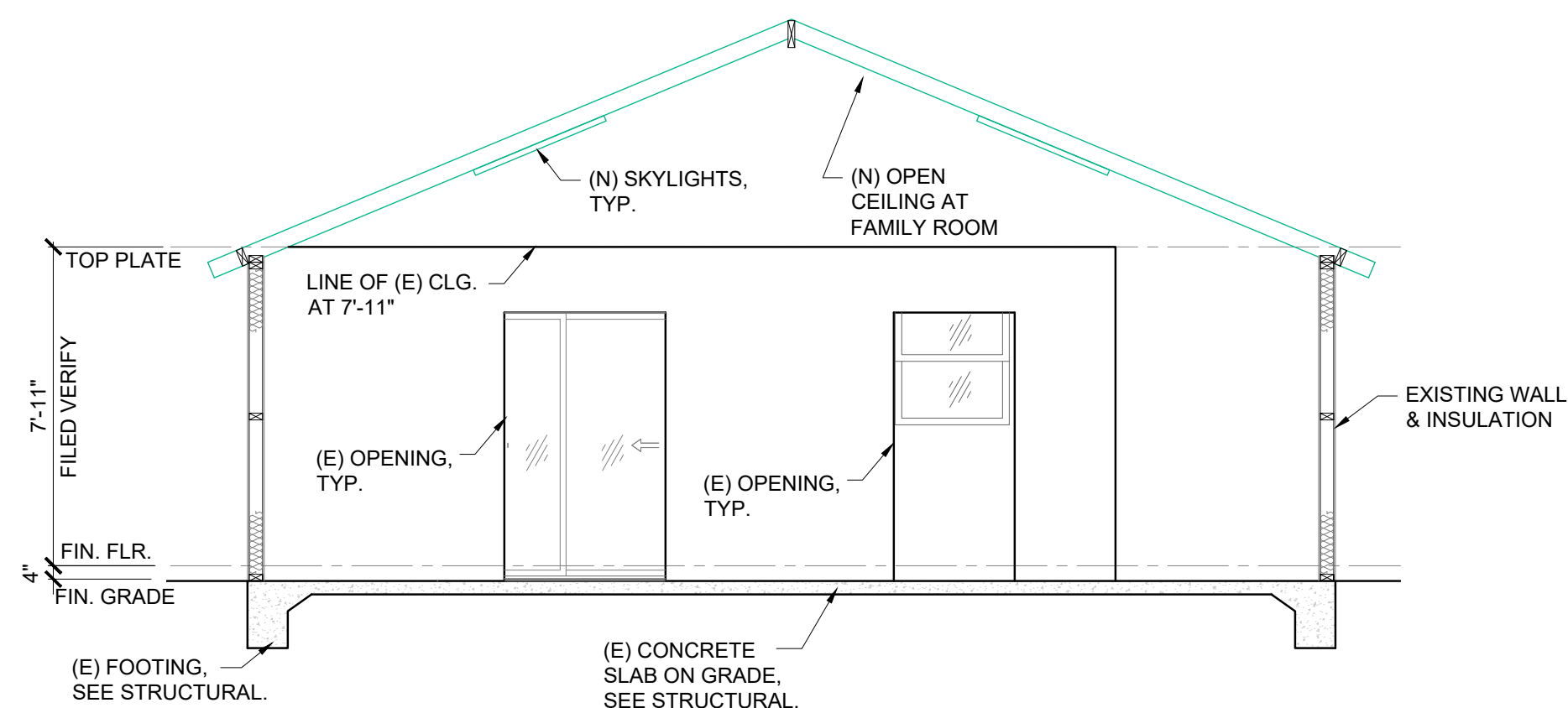
GENERAL NOTES

- REFER TO GENERAL NOTES SHEET GN-1 FOR ADDITIONAL INFORMATION
- ALL STRUCTURAL WORK MUST BE DONE BY A LICENSED GENERAL CONTRACTOR.
- THIS PLAN IS GENERATED WITH THE USE OF AS-BUILTS. ALL ITEMS AND DIMENSIONS SHOULD BE VERIFIED IN THE FIELD BY CONTRACTOR. THE GENERAL CONTRACTOR SHALL VERIFY ALL PLANS, EXISTING DIMENSIONS & FIELD CONDITIONS ON THE JOB SITE & SHALL IMMEDIATELY NOTIFY TO DESIGNER ANY DISCREPANCIES IN WRITING BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.

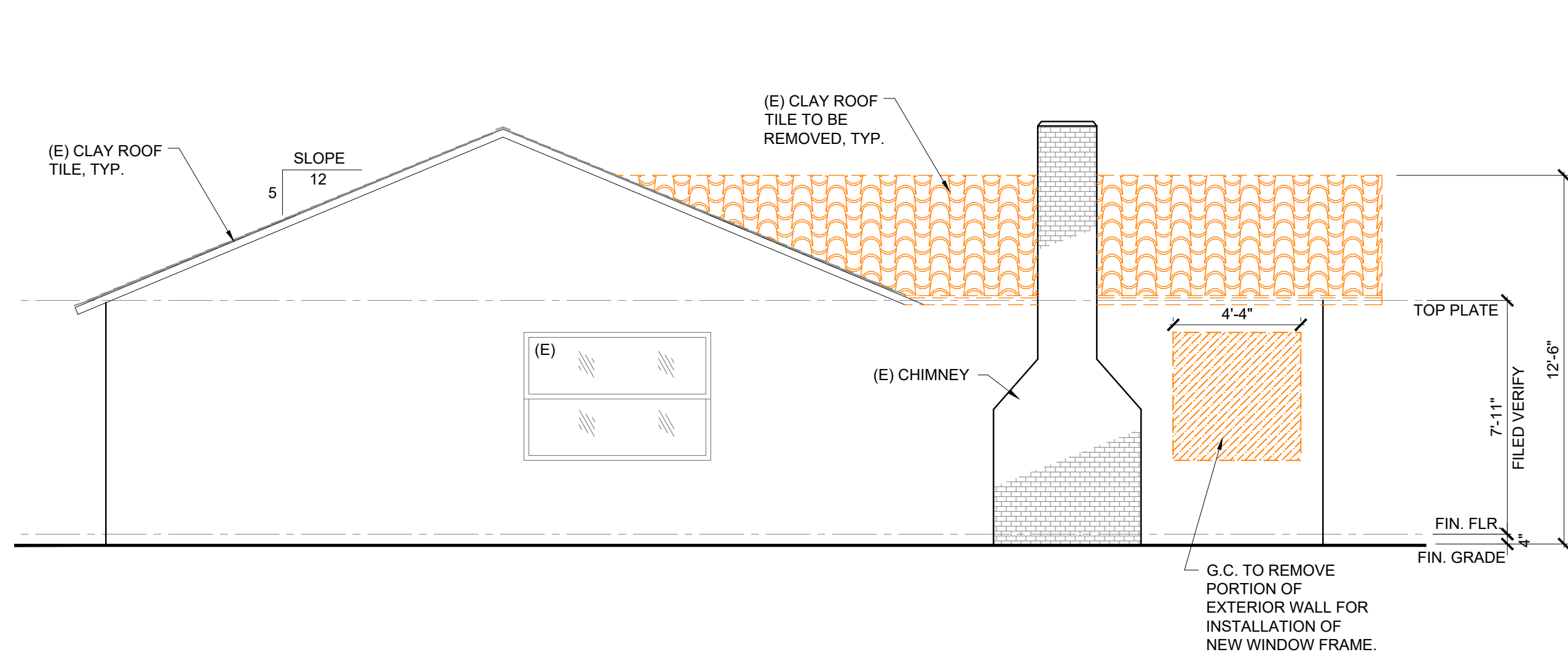
LEGEND

- EXISTING WALL
- EXISTING WINDOW GLAZING
- WINDOW GLAZING TO BE REMOVED
- NEW WINDOW & GLAZING
- WALL TO BE REMOVED
- NEW WALL, 2X STUDS.

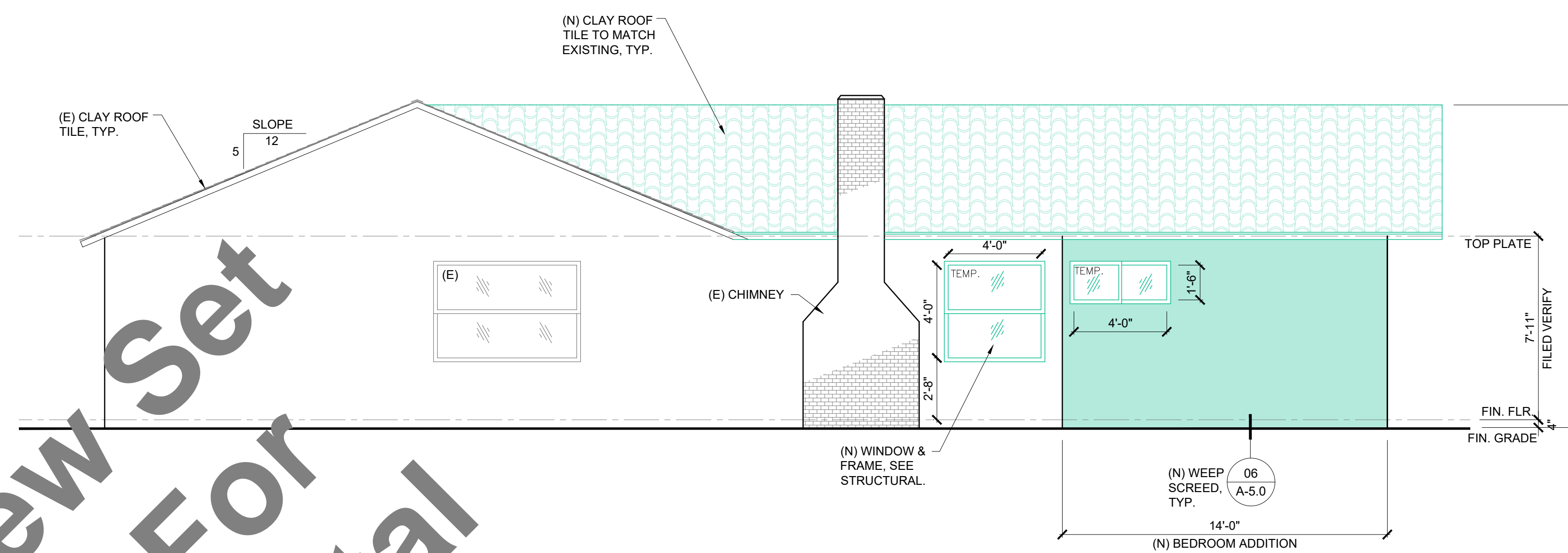
G.C. TO VERIFY EXISTING CONDITIONS, ANY DISCREPANCIES OR CHANGES SHALL BE DISCUSSED WITH THE OWNER AND REVIEWED WITH THE DESIGNER AND ENGINEER PRIOR TO START OF CONSTRUCTION



05 INTERIOR ELEVATION / SECTION
SCALE: 1/4" = 1'-0"

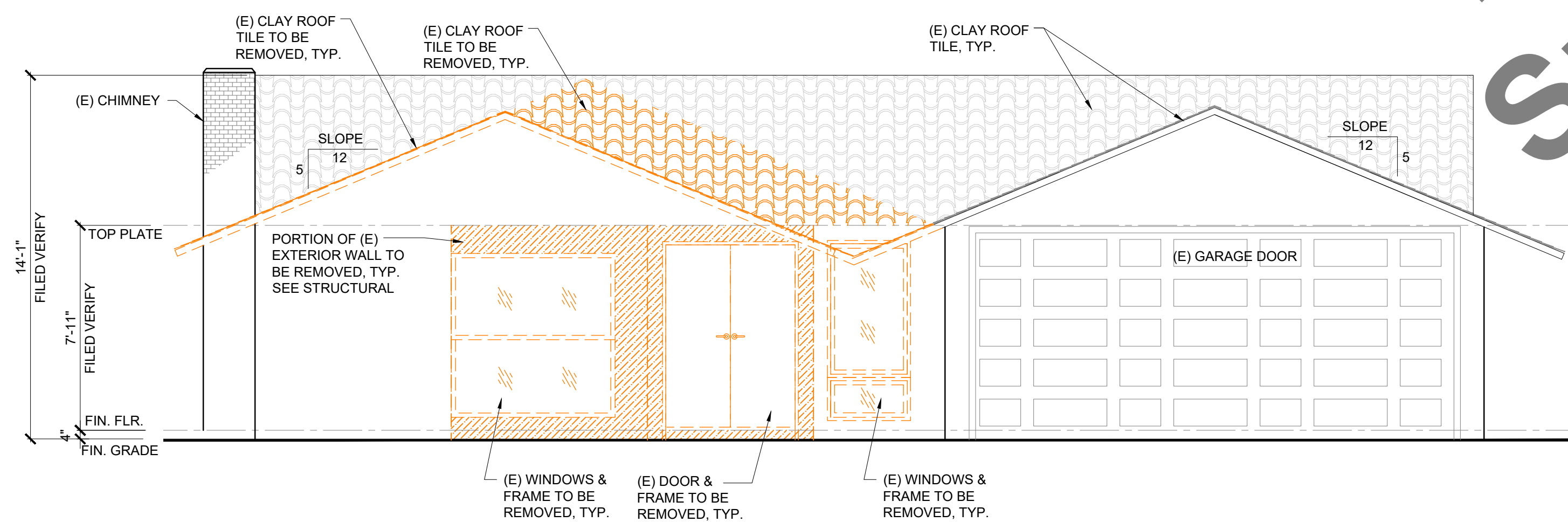


03 EXISTING SIDE ELEVATION
SCALE: 1/4" = 1'-0"

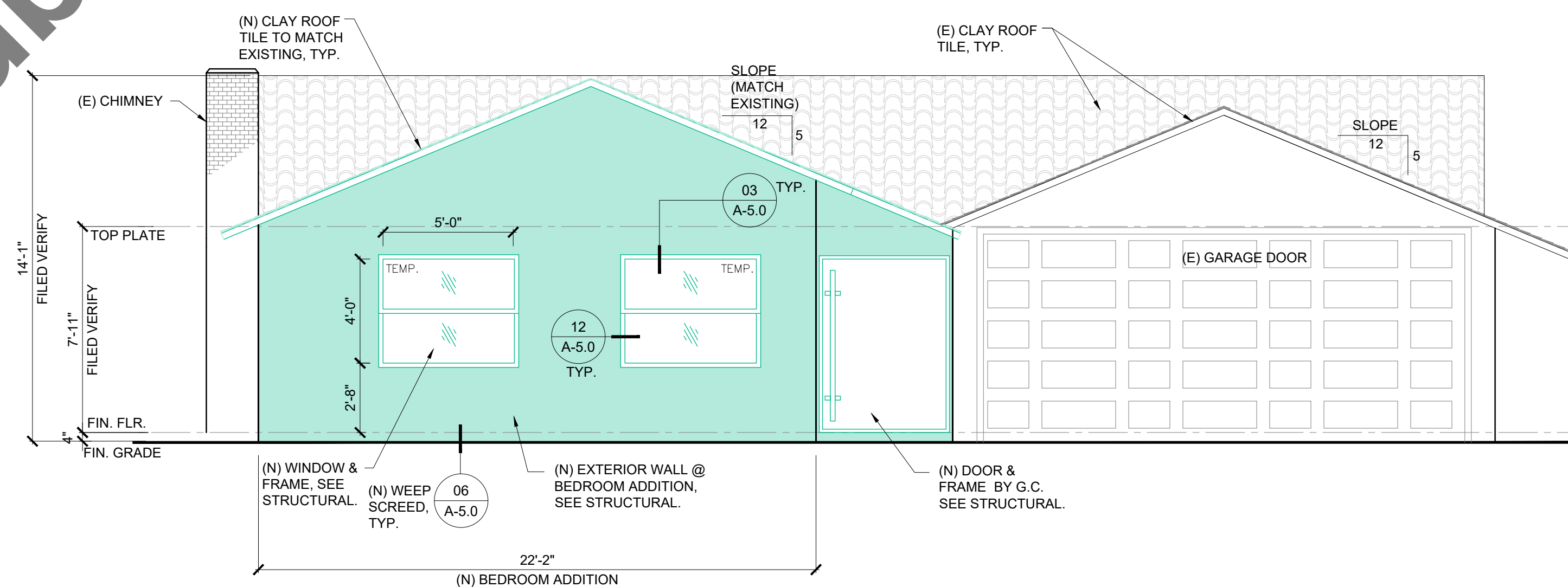


04 NEW SIDE ELEVATION
SCALE: 1/4" = 1'-0"

Review Set
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01 EXISTING FRONT ELEVATION
SCALE: 1/4" = 1'-0"



02 NEW FRONT ELEVATION
SCALE: 1/4" = 1'-0"



DESIGN STUDIO

1600 Dove Street, #101
Newport Beach, CA. 92660

PROJECT NAME

SANTOSDIAZ
RESIDENCE

(BEDROOM
ADDITION)

990 TRENTON WAY
COSTA MESA, CA. 92626

PROJECT TEAM

PRINCIPAL IN CHARGE

Kayvon Mobed

DESIGNER

Kayvon Mobed

SIGNATURE: *K.M.*

06/22/2024

REVISIONS

NO.	REASON	DATE

ISSUE DATE

07/17/2024

SHEET TITLE

ELECT.
& PLUMB.
PLANS

PROJECT NO.

RES.2024.18

SHEET NUMBER

A-4.0

GENERAL NOTES

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LEGEND

- EXISTING WALL
- NEW WALL, 2X STUDS.
- EXISTING WINDOW GLAZING
- NEW WINDOW GLAZING
- 120V DUPLEX CONVENIENCE RECEPTACLE
12" A.F.F. TYPICAL U.N.O.
- 120V DUPLEX GFCI RECEPTACLE
48" A.F.F. TYPICAL U.N.O.
- PENDANT LIGHT FIXTURE
- RECESSED HIGH EFFICACY LED LIGHT FIXTURE
- WALL MOUNT HIGH EFFICACY LIGHT FIXTURE
- TWO-POLE LIGHT SWITCH @42" A.F.F.
8" ABOVE COUNTER U.N.O.
- DIMMER LIGHT SWITCH
- VACANCY SENSOR LIGHT SWITCH
- SMOKE DETECTOR
- EXHAUST FAN 50 CFM TO OUTSIDE.
- VENT TO ROOF.
- COLD WATER
- HOT WATER
- DIRECT WASTE
- OUTDOOR COLD WATER VALVE
- FUEL GAS

NOTE:
ALL RECEPTACLES SHALL BE TAMPER RESISTANT.

NOTE:
CARBON MONOXIDE ALARM IS REQUIRED IN ALL AREAS LEADING INTO THE BEDROOM AND ON EVERY FLOOR. CRC R315.3

NOTE:
ALL INSTALLED LUMINARIES SHALL BE HIGH-EFFICIENCY IN ACCORDANCE WITH CENERGYC TABLE 150.0-A CENERGYC 150(K)(1)(A).

NOTE:
G.C. SHALL PROVIDE "A.F.C.I." PROTECTION FOR ALL 15 AND 20 AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS IN DWELLING UNIT KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, LAUNDRY AREAS, OR SIMILAR ROOMS AND AREAS. (210.12)

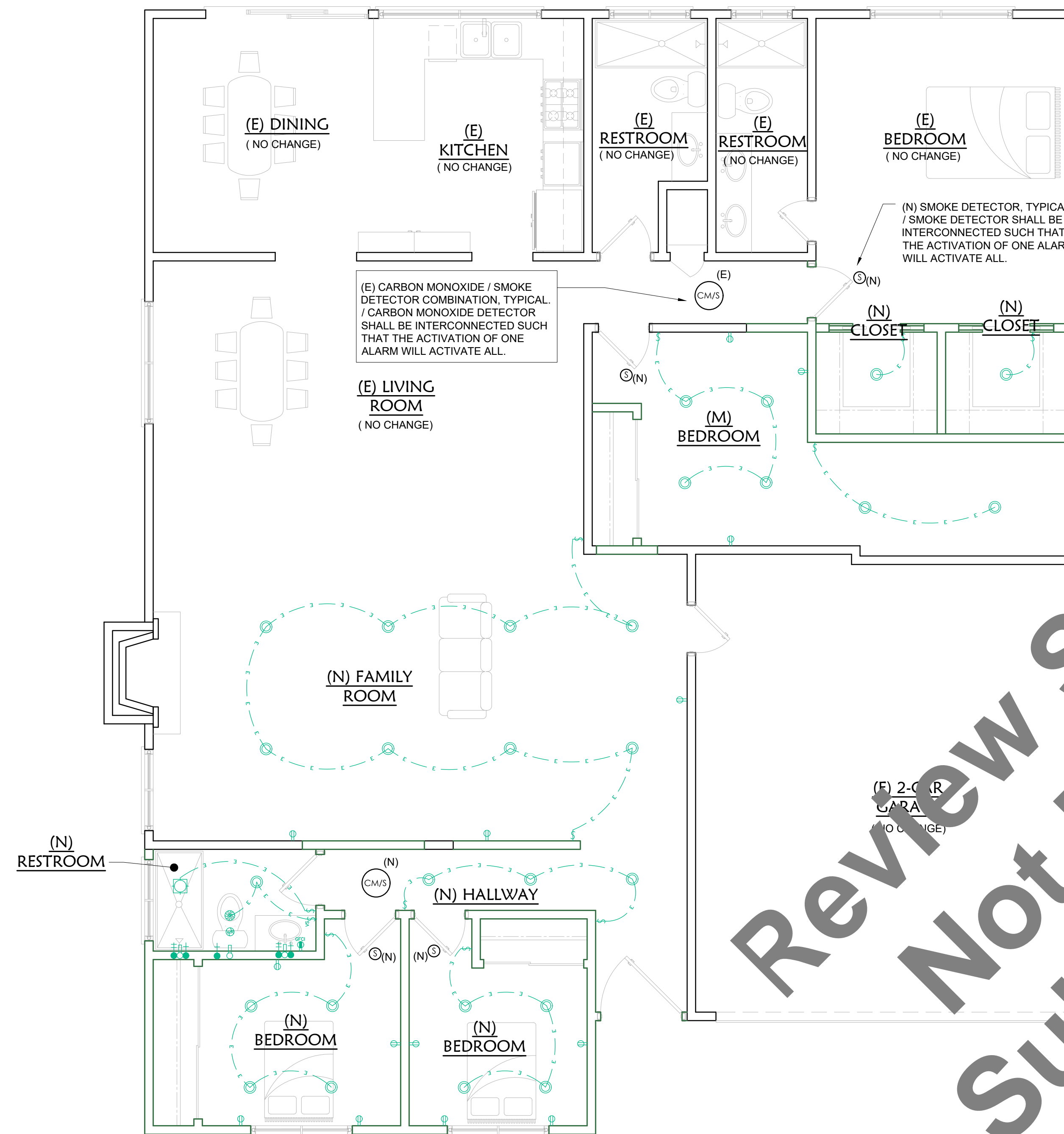
NOTE:
SMOKE ALARMS ARE REQUIRED IN EVERY BEDROOM, AREA LEADING TO THESE BEDROOMS AND ON EVERY FLOOR. CRC 314.3

NOTE:
LIGHTING IN HABITABLE SPACES (E.G. LIVING ROOMS, DINING ROOMS, KITCHENS, AND BEDROOMS) MUST HAVE READILY ACCESSIBLE WALL-MOUNTED DIMMING CONTROLS THAT ALLOW THE LIGHTING TO BE MANUALLY ADJUSTED UP AND DOWN. FORWARD PHASE CUT DIMMERS CONTROLLING LED LIGHT SOURCES IN THESE SPACES MUST COMPLY WITH NEMA SSL 7A. CENERGYC 150.0 (K)2F

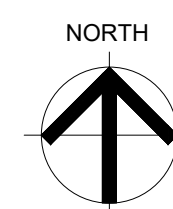
NOTE:
GROUND CIRCUIT INTERRUPTER (GFI) OUTLETS SHALL BE PROVIDED IN BATHROOMS, GARAGES, BASEMENTS, CRAWL SPACES, OUTSIDE, AND AT ALL KITCHEN COUNTERS AND ISLANDS

NOTE:
ELECTRICAL SYSTEMS ARE SHOWN FOR INTENT ONLY. THESE SYSTEMS SHALL BE ENGINEERED BY OTHERS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER INSTALLATION AND PLACEMENT. ALL HEIGHTS SHOWN ARE TO CENTERLINE OF FIXTURE.

NOTE:
EXHAUST FAN 50 CFM TO OUTSIDE. HUMIDISTAT CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF 50 TO 80 PERCENT. (ON SEPARATE SWITCH FROM LIGHT)



01 ELECT. & PLUMB. PLANS
SCALE: 1/4" = 1'-0"





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COSTA MESA, CA. 92626

PROJECT TEAM

PRINCIPAL IN CHARGE

Kayvon Mobed

DESIGNER

Kayvon Mobed

SIGNATURE: *K.M.*

06/22/2024

REVISIONS

NO.	REVISION	DATE

ISSUE DATE

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SHEET TITLE

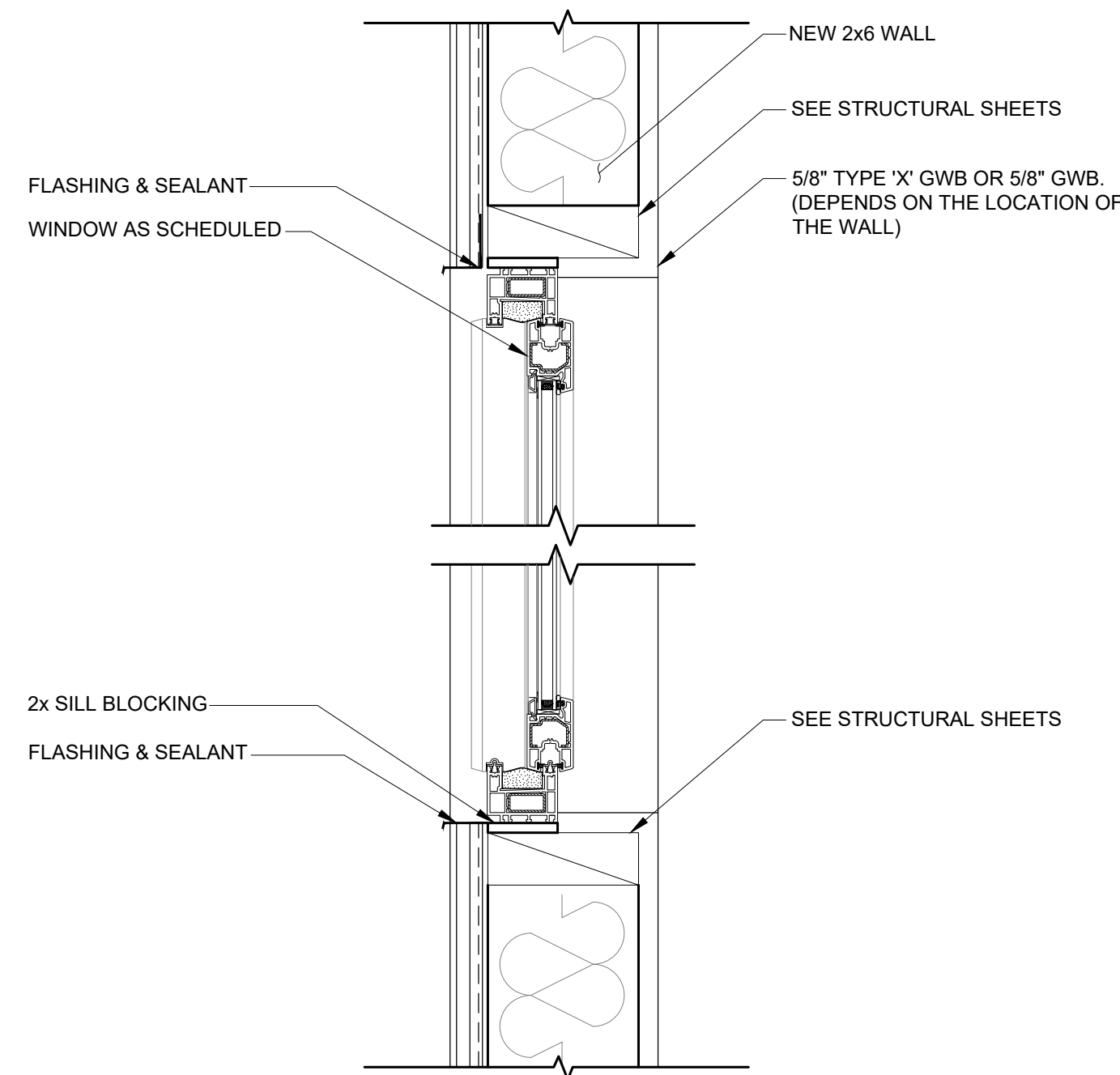
DETAILS

PROJECT NO.

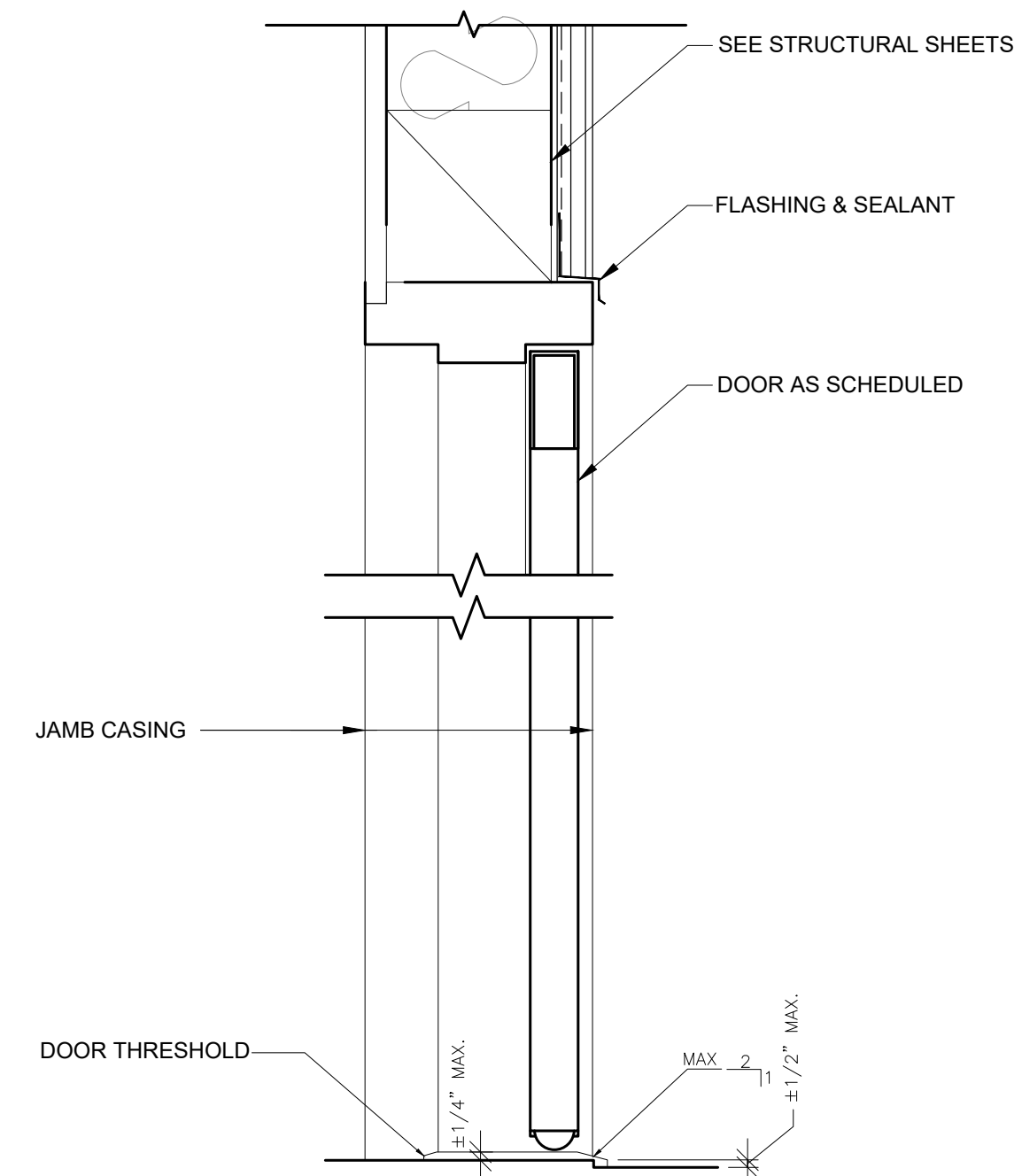
RES.2024.18

SHEET NUMBER

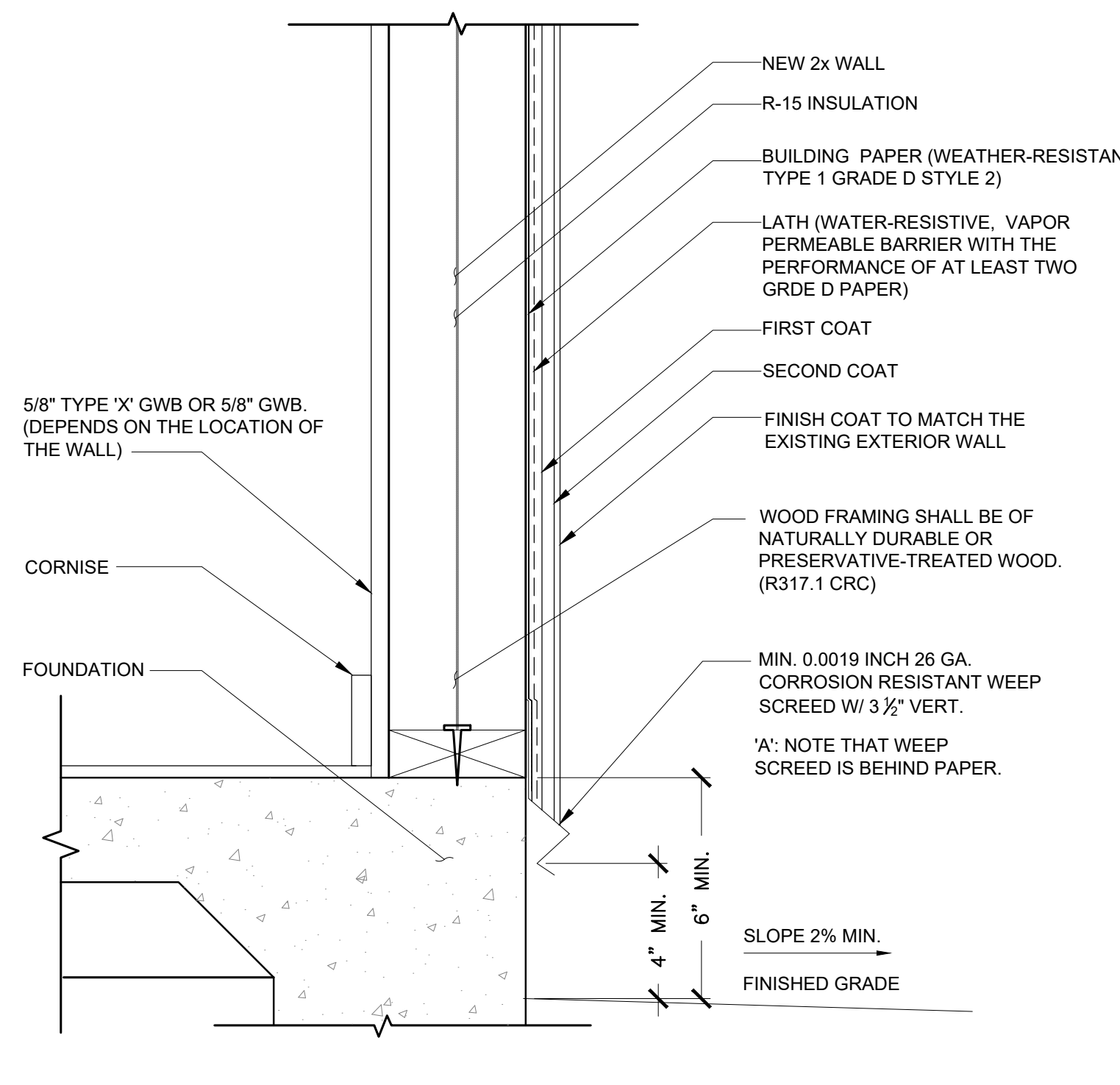
A-5.0



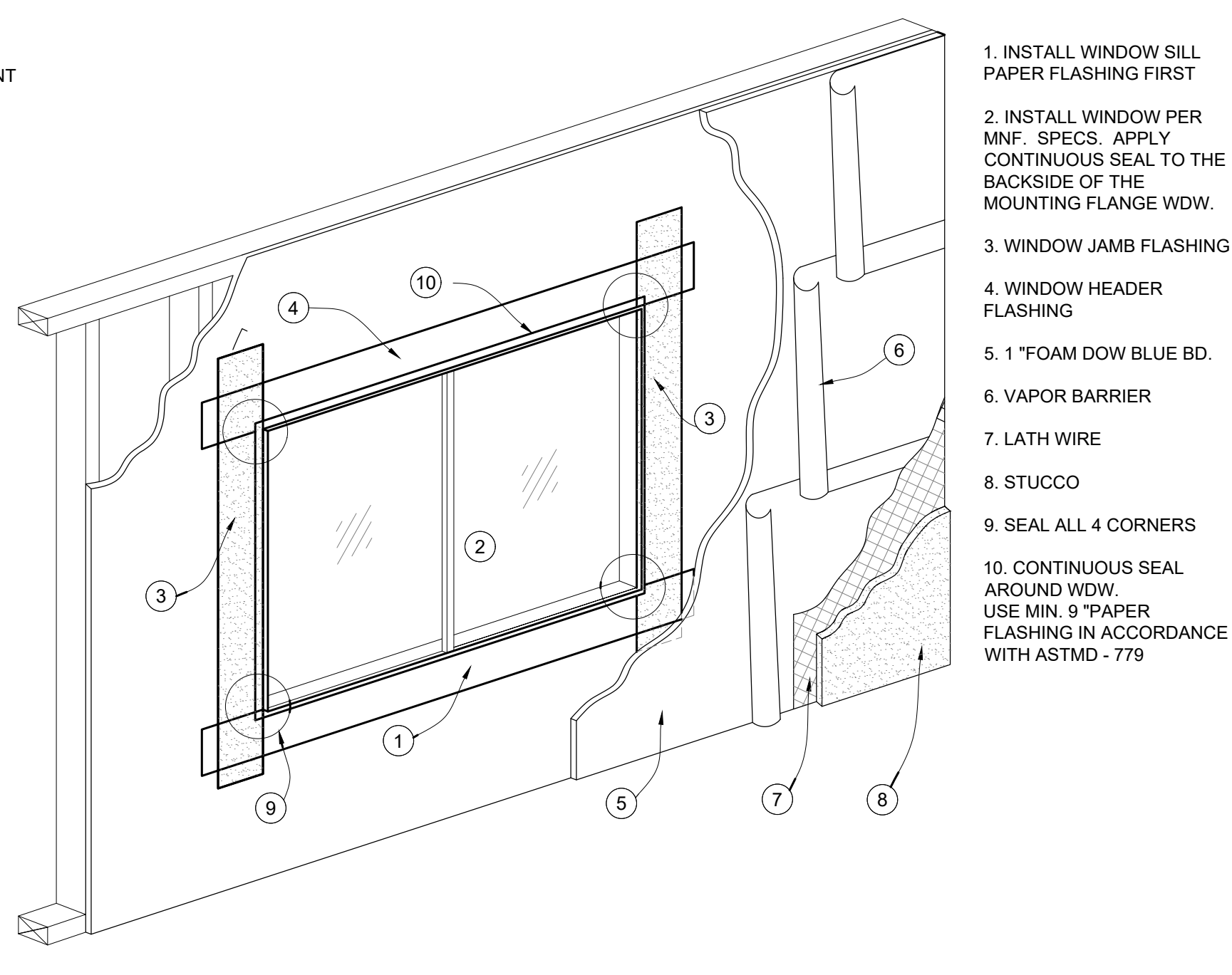
12 TYPICAL WINDOW DETAIL
SCALE: 3" = 1'-0"



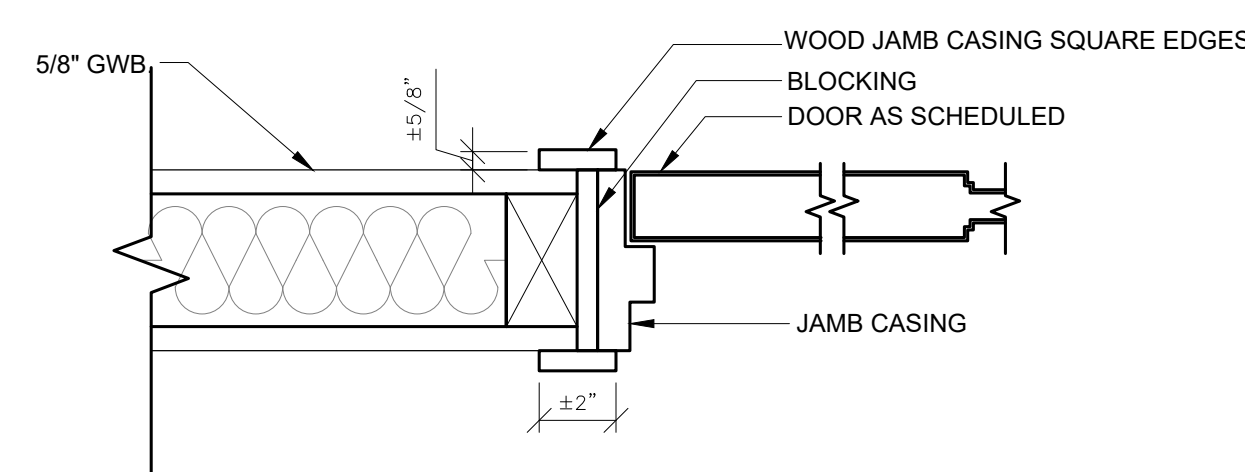
09 TYPICAL EXTERIOR DOOR DETAIL
SCALE: 3" = 1'-0"



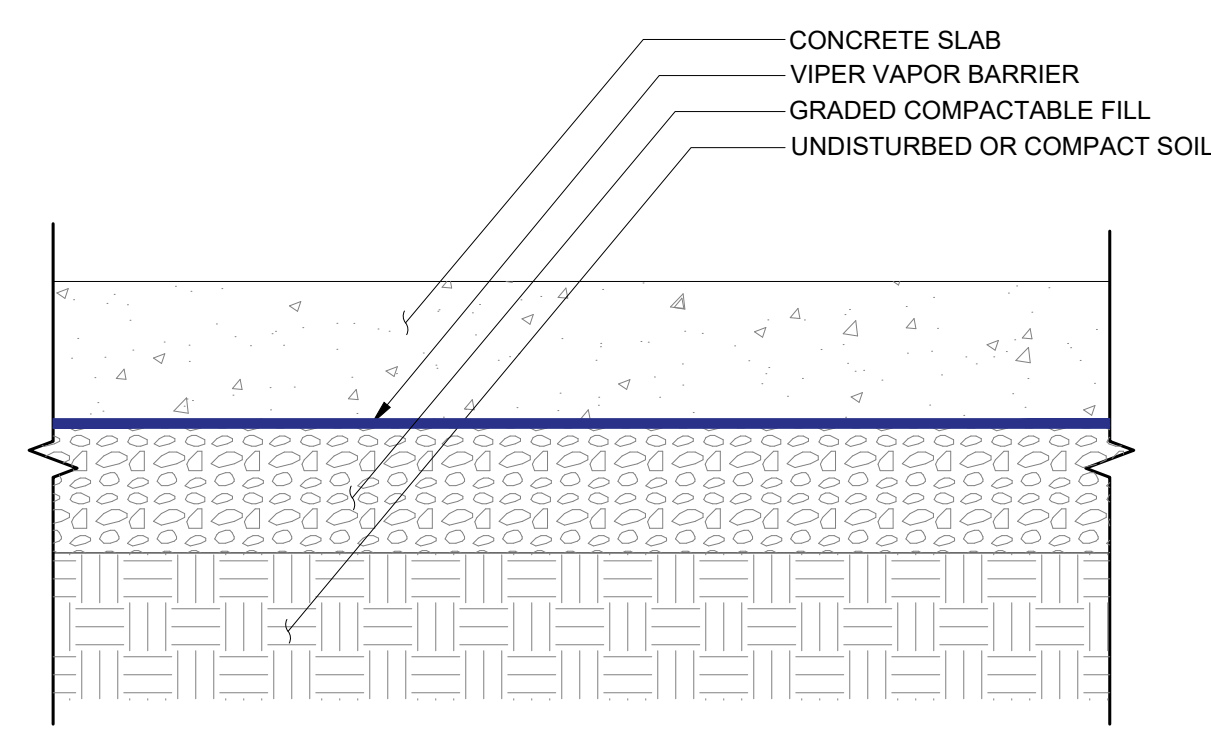
06 WEEP SCREED AND EXTERIOR WALL SECTION (STC:38)
SCALE: N.T.S.



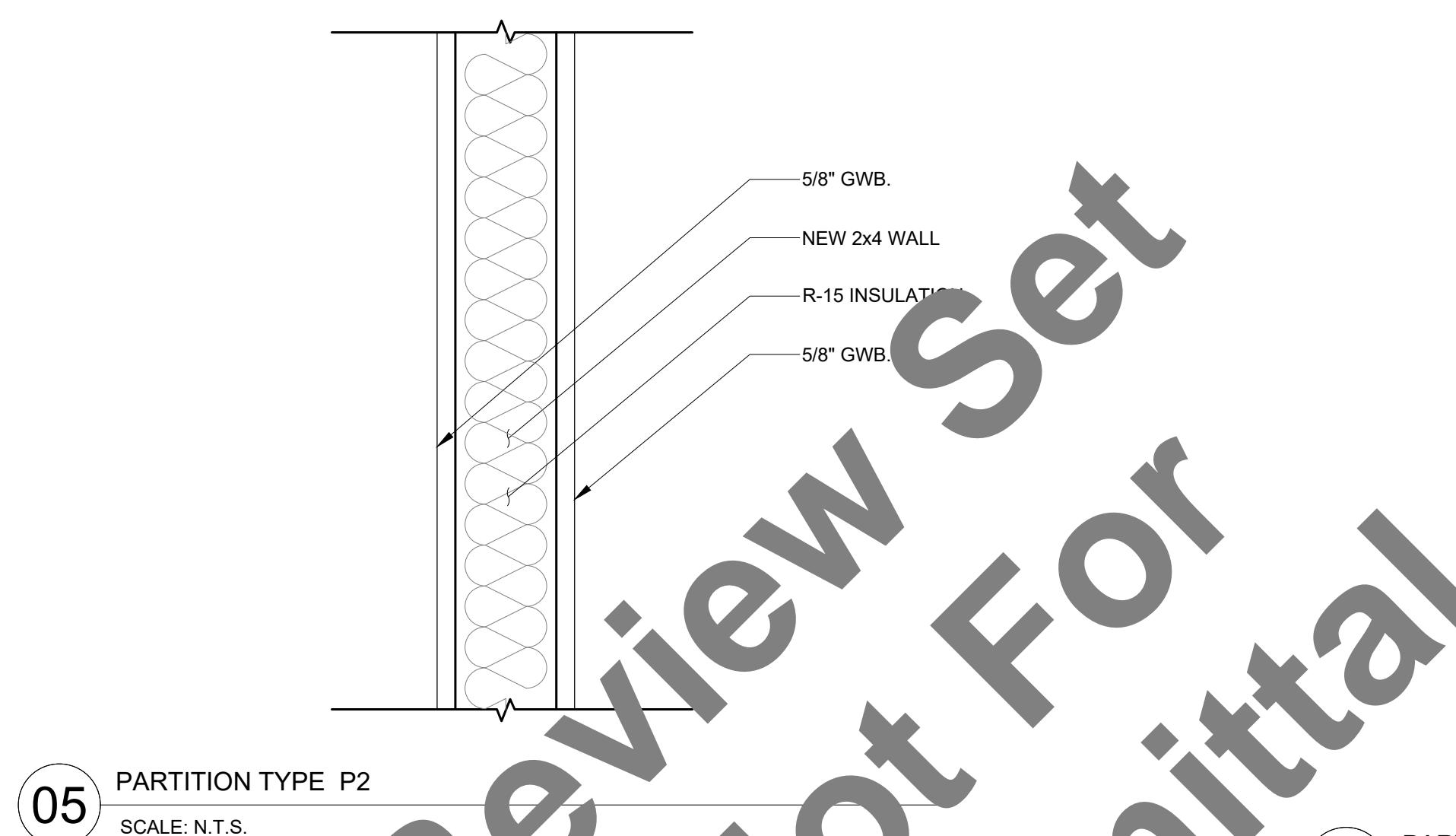
03 WINDOW FLASHING DETAIL
SCALE: N.T.S.



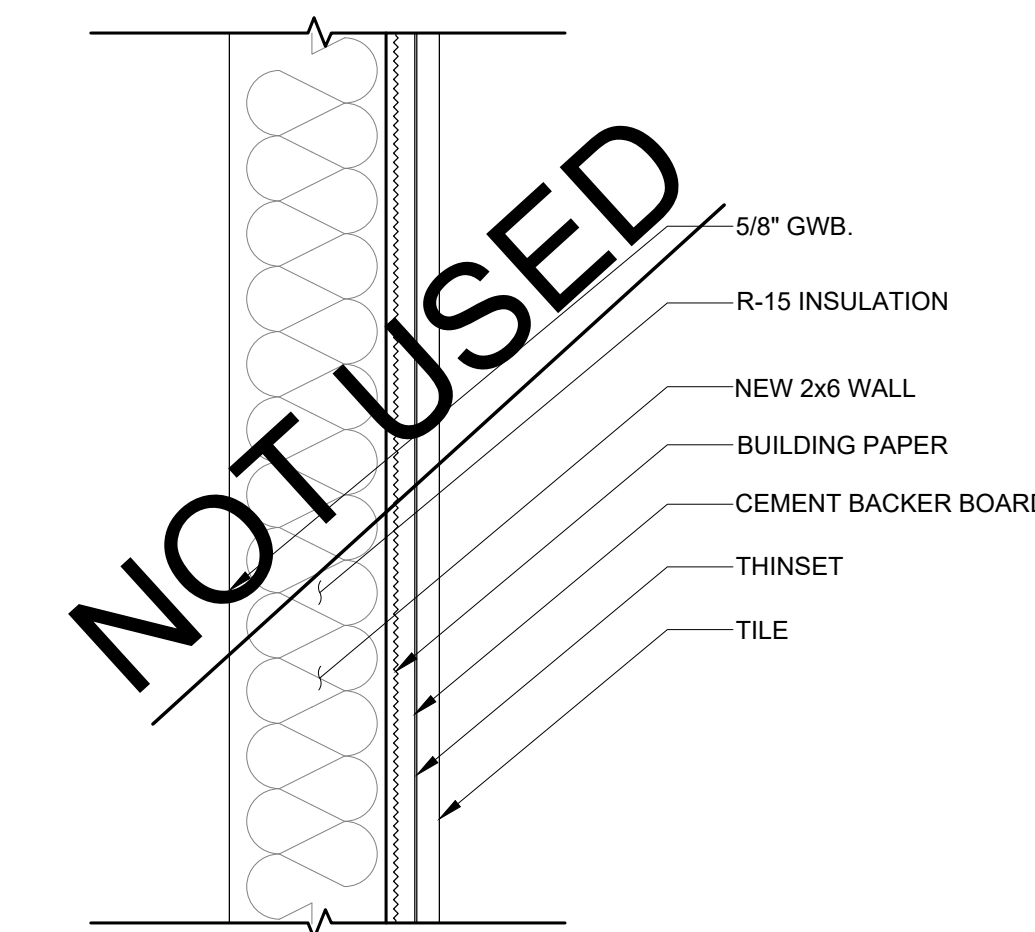
11 TYPICAL DOOR JAMB DETAIL
SCALE: 3" = 1'-0"



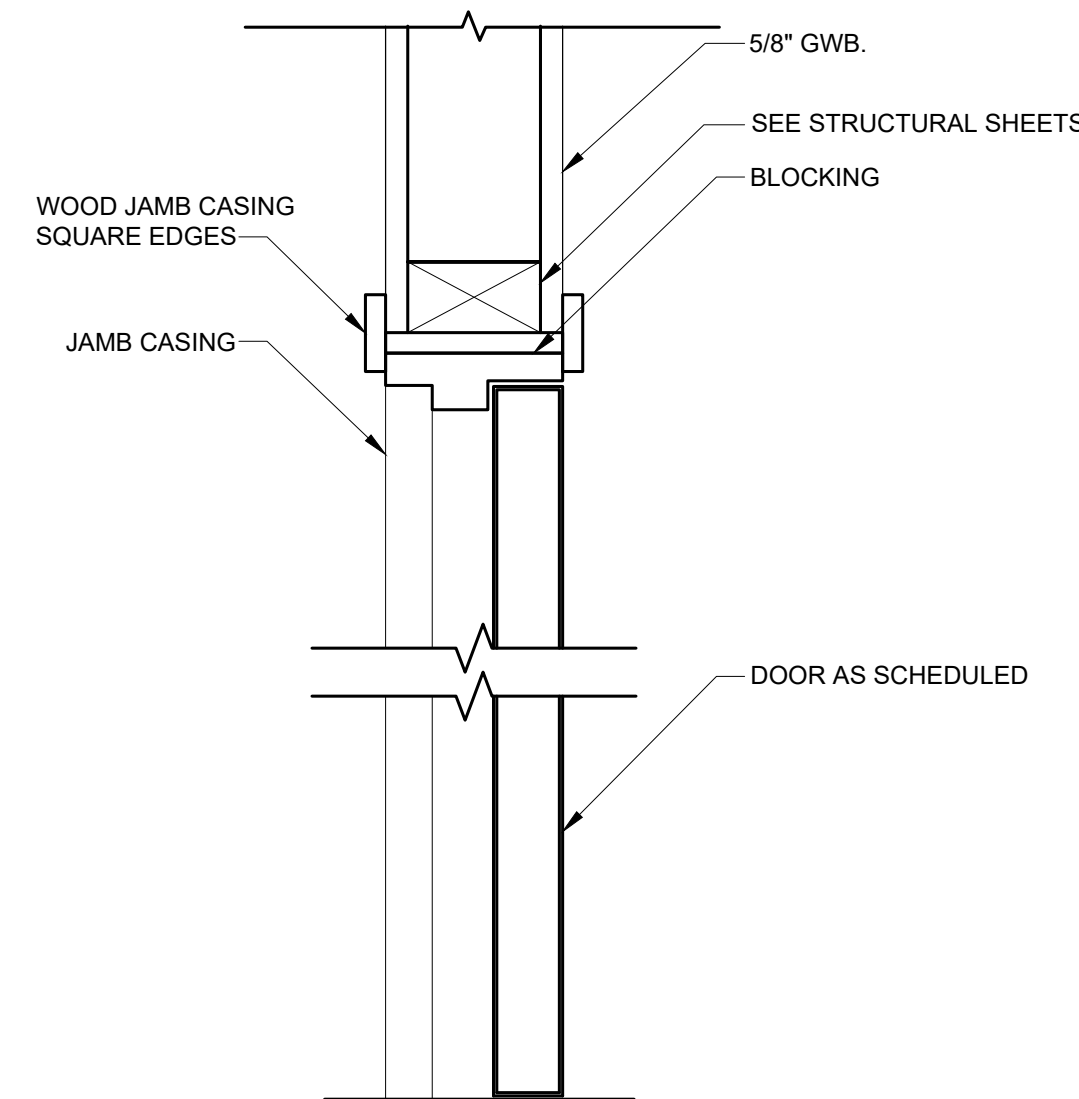
08 SLAB ON GRADE DETAIL
SCALE: N.T.S.



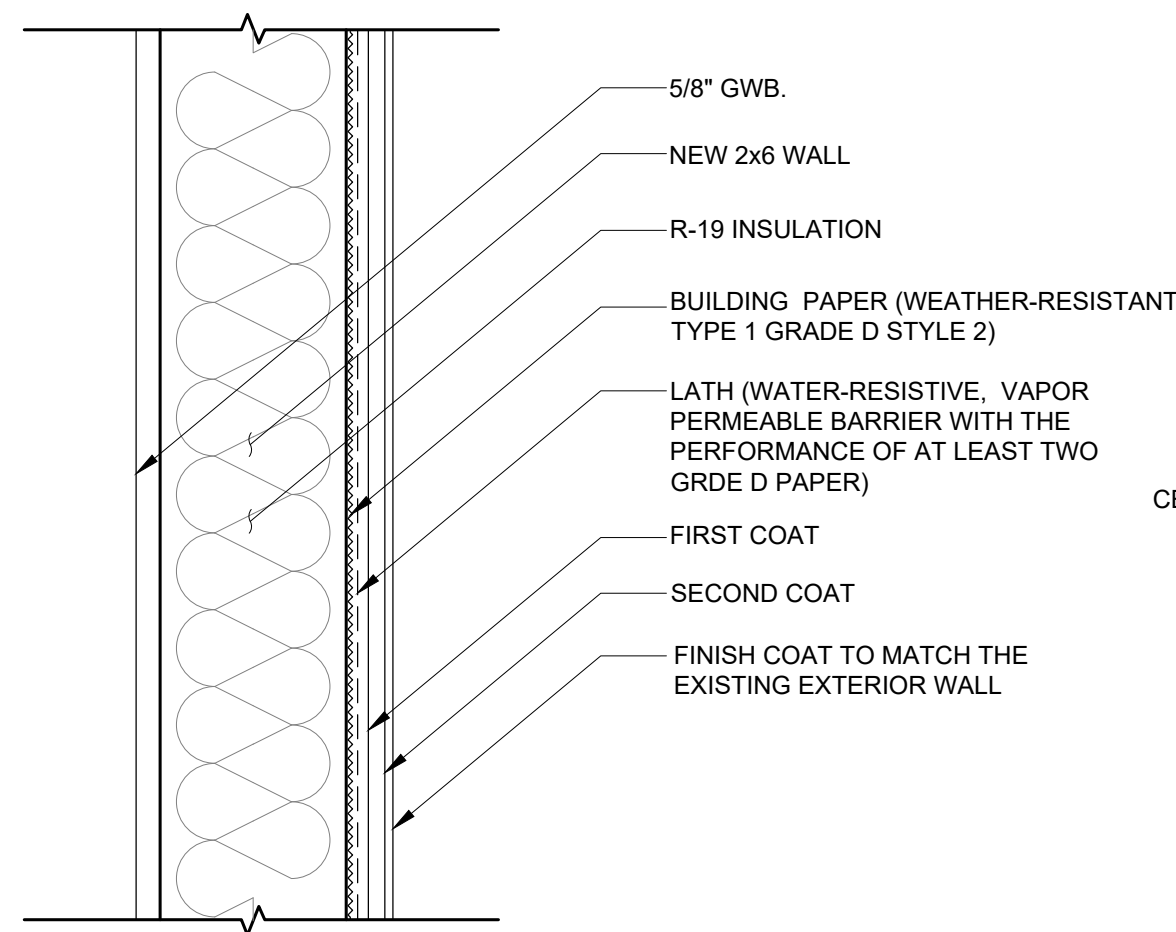
05 PARTITION TYPE P2
SCALE: N.T.S.



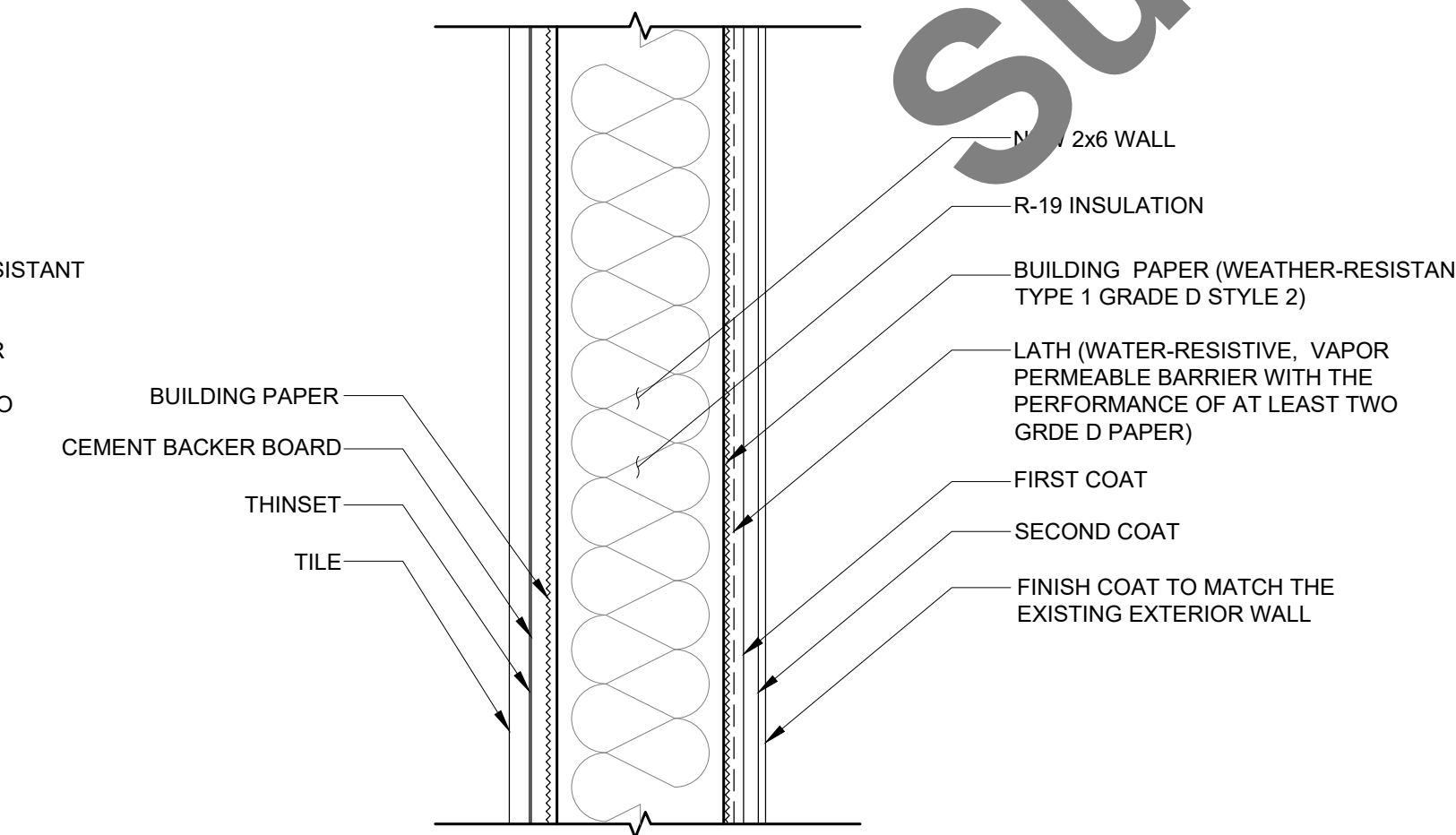
02 PARTITION TYPE P3
SCALE: N.T.S.



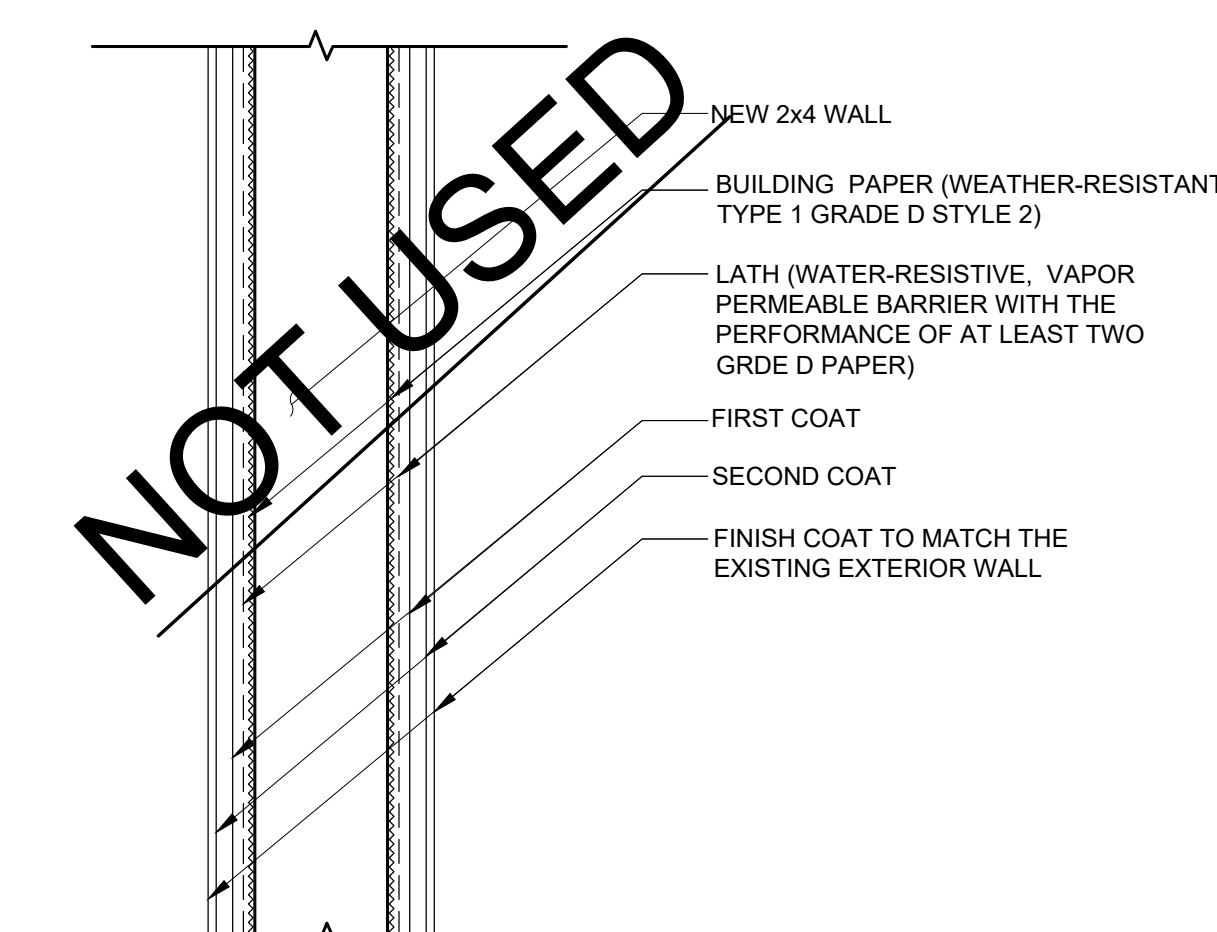
10 TYPICAL INTERIOR DOOR DETAIL
SCALE: 3" = 1'-0"



07 WALL TYPE W1
SCALE: N.T.S.



04 WALL TYPE W2
SCALE: N.T.S.



01 BALCONY WALL TYPE (PONY WALL)
SCALE: N.T.S.

Review Set
Not For
Submittal

NOT USED

NOT USED



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Kayvon Mobed

DESIGNER

Kayvon Mobed

SIGNATURE: *K.M.*

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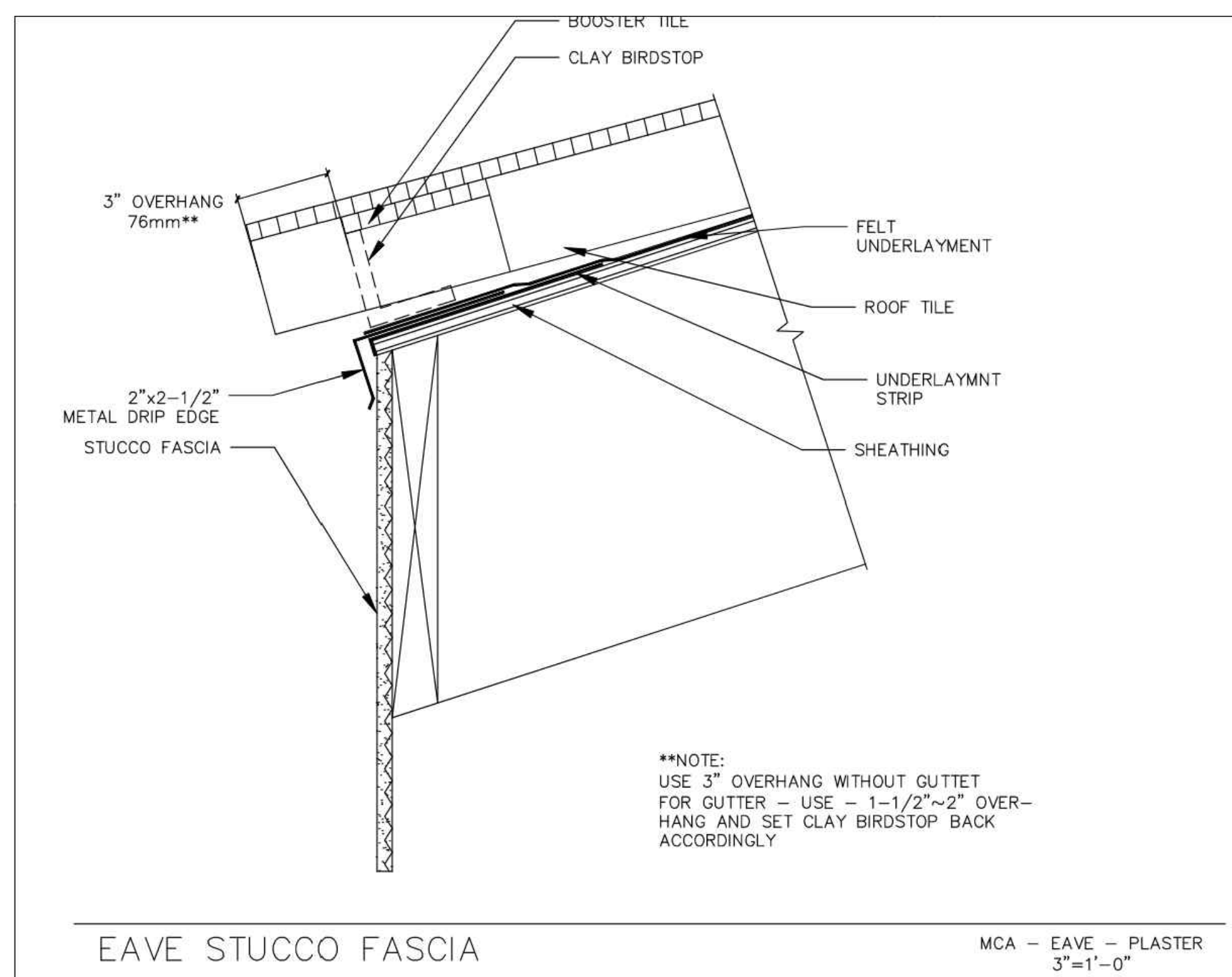
ROOF
DETAILS

PROJECT NO.

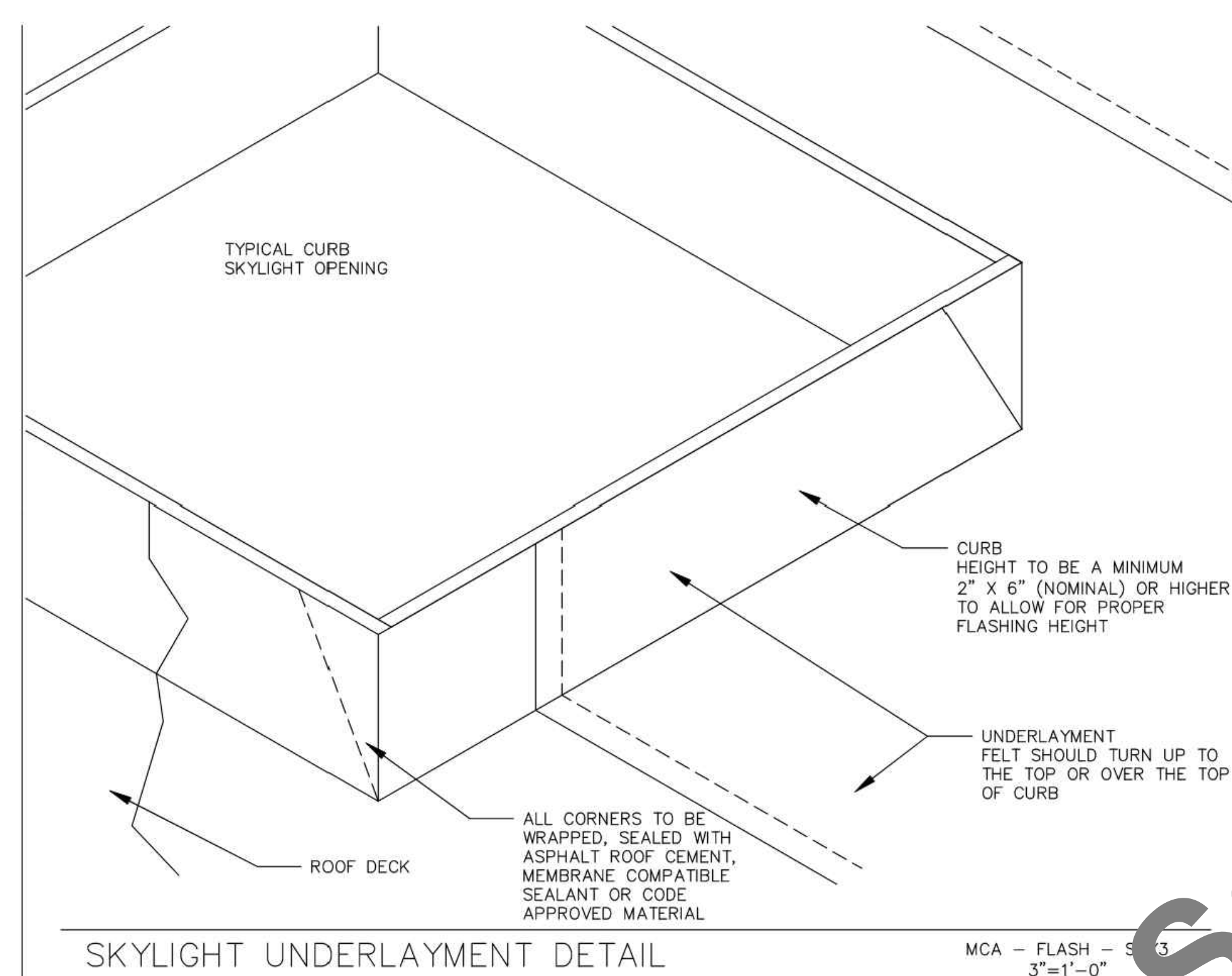
RES.2024.18

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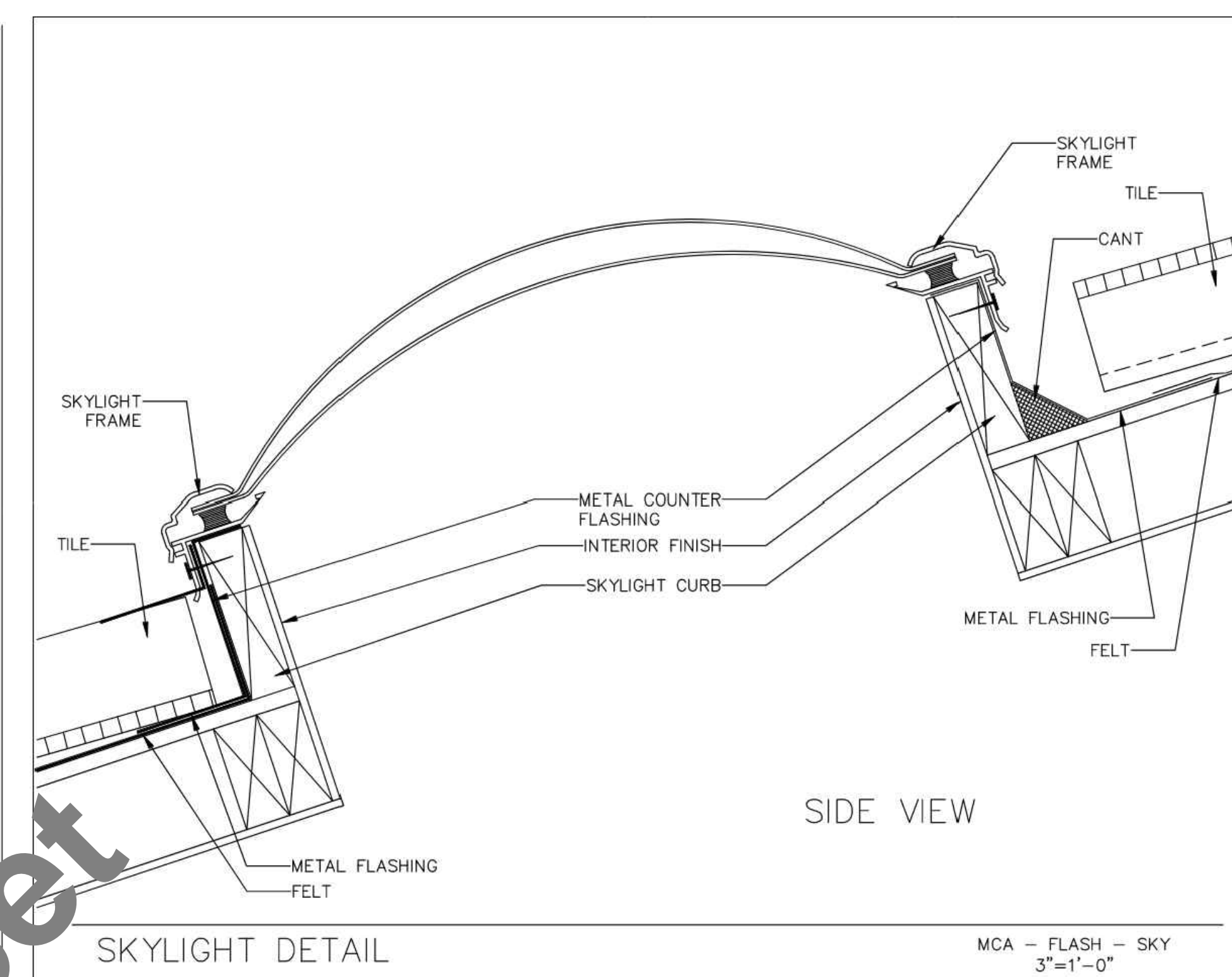
A-5.1



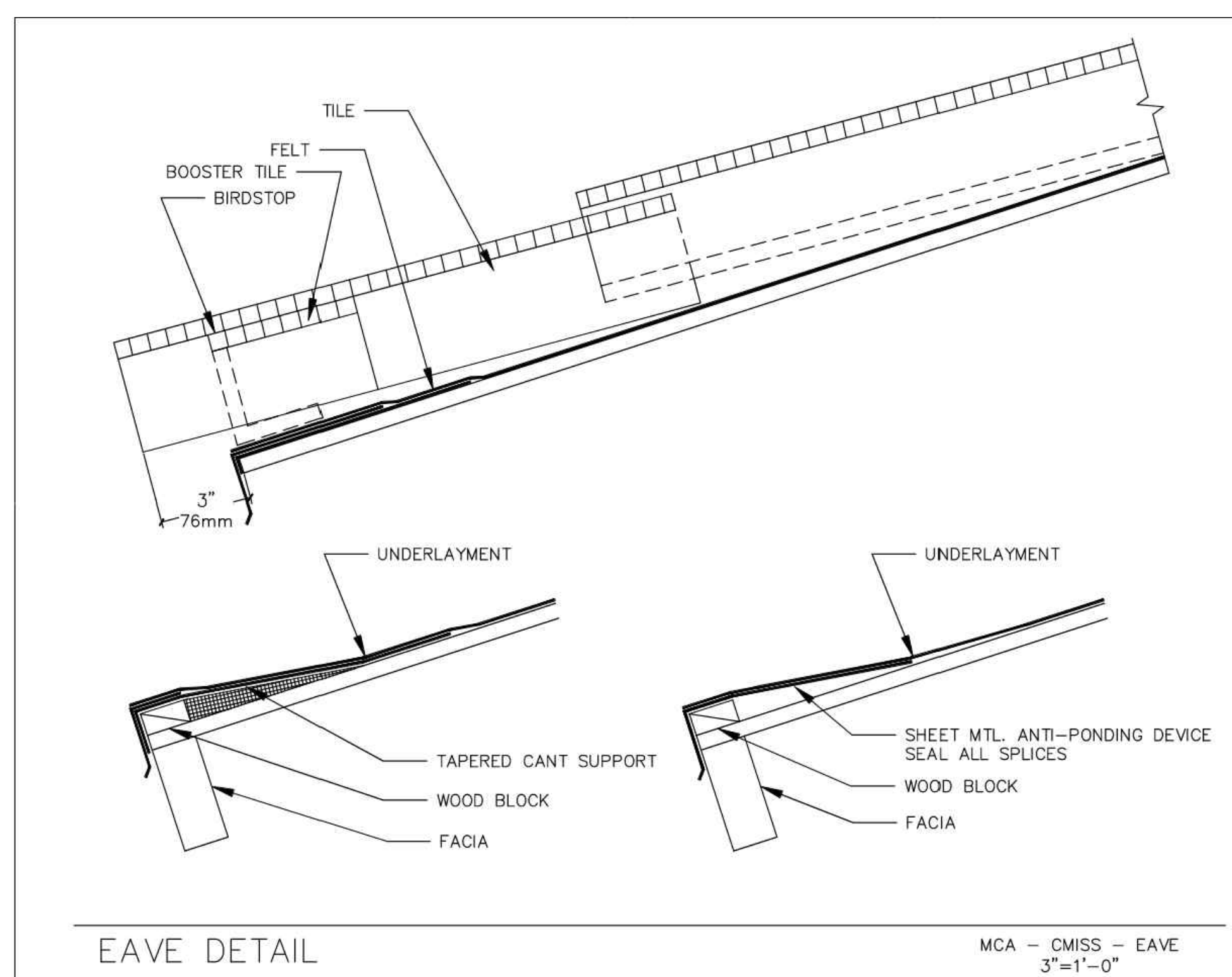
06 EAVE STUCCO FASCIA
SCALE: 3" = 1'-0"



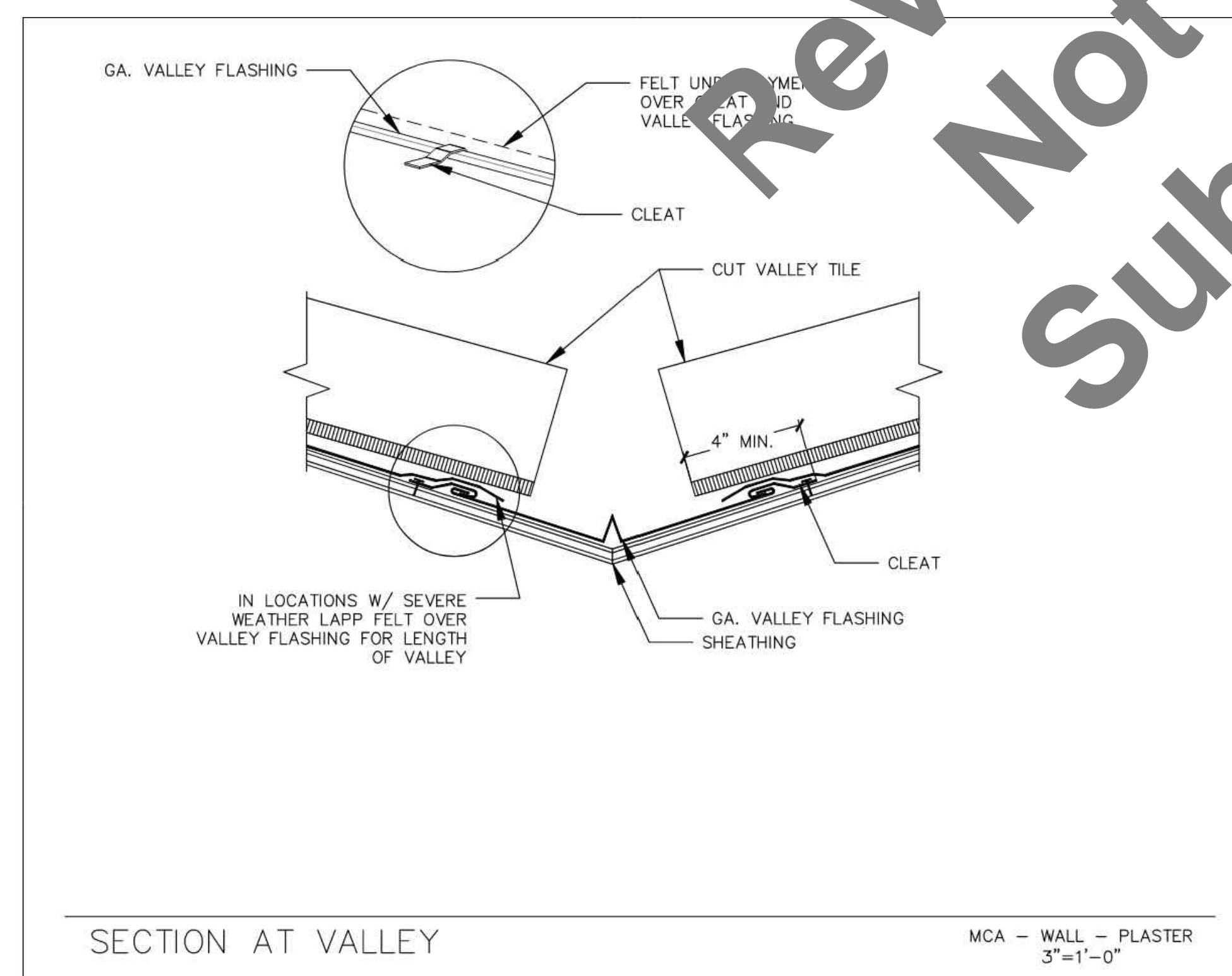
04 SKYLIGHT UNDERLAYMENT DETAIL
SCALE: 3" = 1'-0"



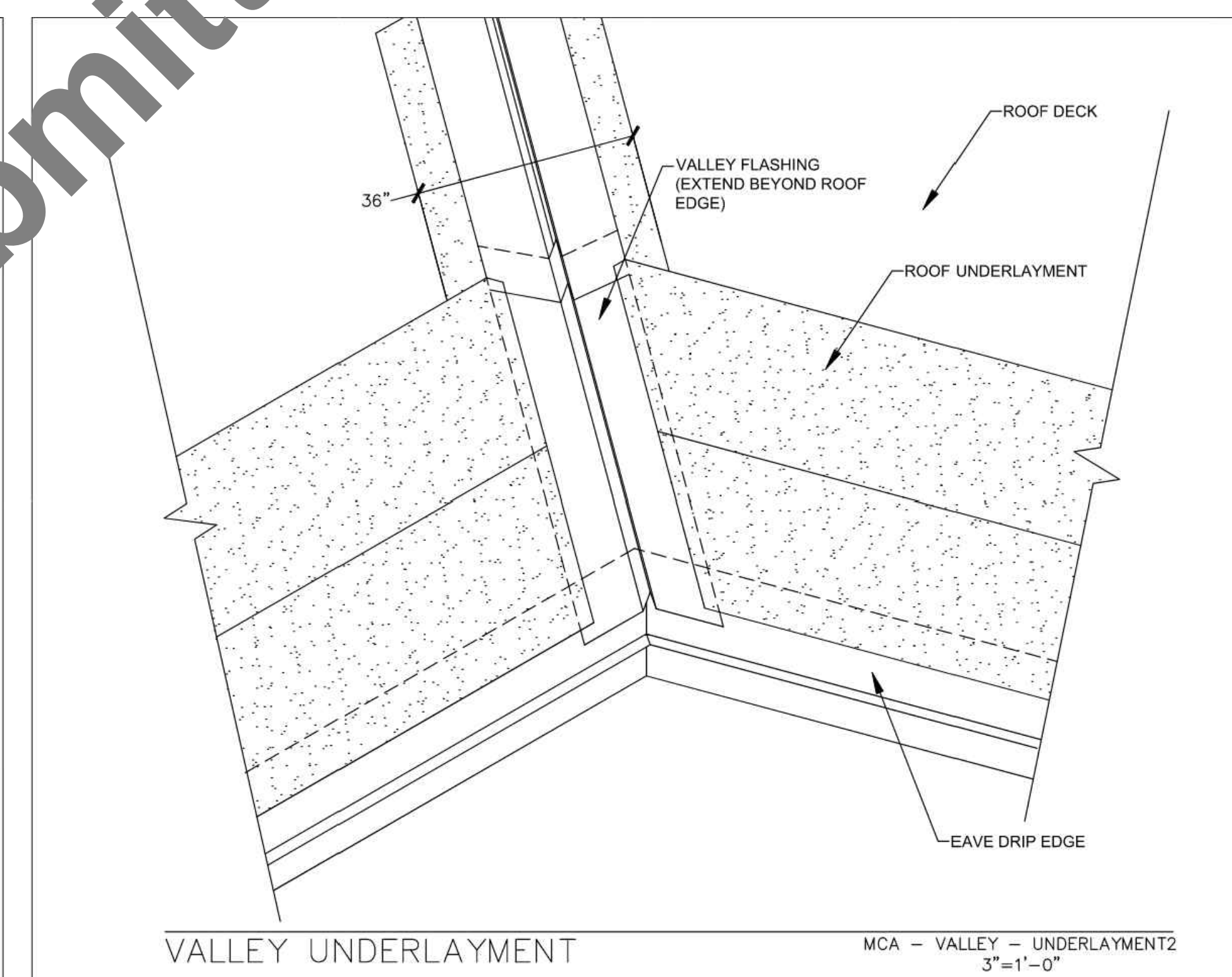
02 SKYLIGHT DETAIL
SCALE: 3" = 1'-0"



05 EAVE DETAIL
SCALE: 3" = 1'-0"



03 SECTION AT VALLEY
SCALE: 3" = 1'-0"



01 VALLEY UNDERLAYMENT DETAIL
SCALE: 3" = 1'-0"

Review Set
Not For
Submittal