

SITE PLAN:

SPECIFIC PROJECT INFORMATION:

SCOPE OF WORK:

1. LENGTH OF POOL: _____ FT.
2. WIDTH OF POOL: _____ FT.
3. DEEPEST DEPTH: _____ FT.
4. SHALLOWEST DEPTH: _____ FT.
5. ESTIMATED VOLUME OF POOL : _____ GALLONS

I/WE, _____ AM/ARE THE OWNER(S) OF THE PROPERTY ADDRESS: _____

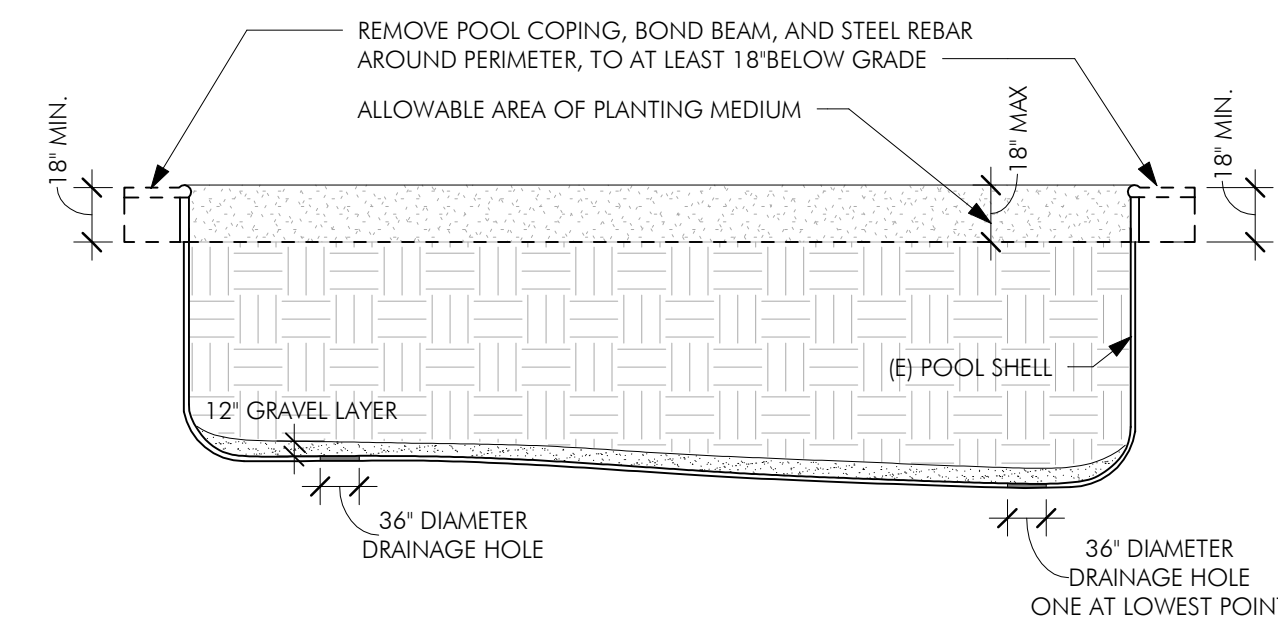
I/WE DECLARE THAT THE AREA OF THE POOL OR SPA AFTER REMOVAL AND BACKFILL WILL BE USED FOR OPEN, GARDEN OR LANDSCAPE PURPOSES ONLY AND THAT NO STRUCTURE, OUTBUILDING, DECK, PATIO, DRIVEWAY OR OTHER SIMILAR ELEMENT WILL BE PLACED OR CONSTRUCTED AT THIS LOCATION. I/WE ACKNOWLEDGE AND UNDERSTAND THAT THE BACKFILL IN A POOL OR SPA SHELL EXCAVATION MAY RESULT IN DIFFERENTIAL SETTLEMENT AND AGREE TO REMEDIATE ANY HAZARDOUS OR SAFETY ISSUES WHICH MIGHT RESULT FROM SAID DIFFERENTIAL SETTLEMENT. I/WE AGREE TO DISCLOSE UPON SALE, THE DEMOLITION AND BACKFILL OF ANY POOL OR SPA. SUCH DISCLOSURE SHALL INCLUDE THE SIZE AND LOCATION OF THE DEMOLISHED POOL OR SPA, AND THAT SUCH DEMOLITION WAS COMPLETED WITHOUT FULL REMOVAL OF THE POOL SHELL, AND WAS AND BACKFILLED.

DATE: _____
OWNER NAME: _____ OWNER SIGNATURE: _____
OWNER NAME: _____ OWNER SIGNATURE: _____

GENERAL REQUIREMENTS:

- A. CONDITIONS FOR USE OF THIS FORM**
1. THIS FORM MAY BE USED IF THE AREA OF POOL REMOVAL IS INTENDED TO BECOME OPEN SPACE, LANDSCAPE OR GARDEN AREAS AND IS NOT INTENDED TO SUPPORT ANY STRUCTURE, DRIVEWAY, OR OTHER SIMILAR ELEMENT, THE POOL SHELL MAY REMAIN BELOW GRADE SUBJECT TO THE REQUIREMENTS NOTED BELOW.
 2. THIS FORM MAY NOT BE USED IF THE POOL AREA AFTER DEMOLITION IS INTENDED TO SUPPORT ANY STRUCTURE SUCH AS A NEW BUILDING OR ADDITION, OUTBUILDING, DRIVEWAY, PATIO, DECK OR OTHER SIMILAR ELEMENT. FOR THIS OPTION, PLEASE CONSULT WITH THE BUILDING DEPARTMENT FOR PROPER PERMIT PROCESS. NOTE THAT THE POOL SHELL WILL BE REQUIRED TO BE REMOVED IN ITS ENTIRETY, DISPOSED OFFSITE AT AN APPROVED LOCATION, AND BACKFILLED WITH APPROVED ENGINEERED AND COMPACTED FILL. A GEOTECHNICAL REPORT PREPARED BY A LICENSED ENGINEER SHALL BE REQUIRED FOR THIS OPTION.
 3. CONVERSION OF THE EXISTING POOL ELECTRICAL SYSTEM FOR OTHER USES REQUIRES A SEPARATE PERMIT AND APPROVAL.
- B. GENERAL REQUIREMENTS:**
4. DEMOLITION OF A SWIMMING POOL/SPA REQUIRES PREPARING THE POOL/SPA FOR BACKFILLING, AND PLACEMENT AND COMPACTION OF BACKFILL MATERIAL.
 5. REQUEST A BUILDING INSPECTION PRIOR TO COVERING THE DEMOLISHED AREAS.
 6. WATER DRAINAGE:
 - a. POOL WATER MUST BE FREE OF DEBRIS AND CONTAMINANTS BEFORE DRAINING.
 - b. DE-CHLORINATED POOL WATER IS ALLOWABLE FOR DISCHARGE INTO THE STORM DRAIN. DE-CHLORINATED WATER SHOULD BE DRAINED ON-SITE BY PERCOLATION OR INTO THE STORM DRAINAGE SYSTEM.
 - c. CLEANING WASTEWATER OR FILTER BACKWASH ARE NOT PERMITTED TO BE DRAINED TO STORM WATER. CONTAMINATED OR CHLORINATED WATER MUST BE TRANSPORTED OFF-SITE AND DISCHARGED AT AN APPROVED CONTAINMENT FACILITY.
 7. REMOVAL OF EQUIPMENT AND UTILITIES
 - a. ALL ABOVE-GROUND POOL EQUIPMENT AND PLUMBING MUST BE REMOVED.
 - b. THE GAS LINE MUST BE DISCONNECTED AND CAPPED OFF AT BOTH THE METER AND THE EQUIPMENT LOCATION.
 - c. THE ELECTRICAL SUB-PANEL AND ALL RELATED ELECTRICAL CONDUCTORS MUST BE REMOVED BACK TO THE SERVICE SUPPLY CONNECTION.
- C. STRUCTURAL MODIFICATIONS TO POOL/SPA SHELL**
8. SHELL DRAINAGE:
 - a. POOL REQUIRES TWO (2) 36" DIAMETER DRAINAGE HOLES DRILLED OR BROKEN INTO THE BOTTOM OF THE POOL, AND ONE OF THE HOLES MUST BE AT THE LOWEST POINT OF THE POOL.
 - b. HOLES SHOULD BE EQUALLY SPACED ACROSS THE DEEP END AND LEVELS OF THE POOL SHELL.
 - c. SPAS REQUIRE ONLY ONE DRAINAGE HOLE 36" IN DIAMETER AT THE LOWEST POINT OF THE SPA.
 - d. A 12-INCH GRAVEL LAYER OF #4 ROCK (1" TO 2-1/2" CLASS II PERMEABLE FREE-DRAINING ROCK) SHOULD BE PLACED OVER THE DRAIN HOLES AND THE POOL SHELL BOTTOM.
 9. COPING AND BOND BEAM REMOVAL:
 - a. REMOVE THE POOL COPING, BOND BEAM, AND STEEL REBAR AROUND THE PERIMETER OF THE POOL AND SPA TO A LEVEL OF AT LEAST 18 INCHES BELOW GRADE.
 - b. DEMOLITION MATERIALS FROM COPING AND BOND BEAM MAY BE PLACED ON THE GRAVEL PRIOR TO BACKFILLING, WITH MATERIAL DIMENSIONS NOT EXCEEDING 3 INCHES.
- D. BACKFILLING**
10. MATERIAL BACKFILL THE POOL/SPA WITH SELF-COMPACTING FILL SAND (TYPE S2.5), CLEAN FILL DIRT, OR AS SPECIFIED IN A SOILS REPORT, TO WITHIN 30 INCHES OF THE FINAL SURFACE.
 11. COMPACT SOIL FIRMLY WITH HAND COMPACTION EQUIPMENT ON 6-INCH LIFTS WITH PRUDENT USE OF WATER.
 12. APPLY GEOTECHNICAL FILTER FABRIC AFTER BACKFILLING.
 13. FOR TOP AREA TO BE LANDSCAPED, THE UPPER 18 INCHES MAY BE BACKFILLED WITH A SUITABLE PLANTING MEDIUM.
 14. REMINDER: THE BACKFILLED AREA WILL NOT BE SUITABLE FOR CONSTRUCTION (E.G., ROOM ADDITIONS, DECKS) UNDER THIS PERMIT.
 15. BACKFILL MATERIALS CANNOT BE STORED ON PUBLIC STREETS OR RIGHTS-OF-WAY WITHOUT AN ENCROACHMENT PERMIT.
 16. ALL STORED MATERIALS MUST BE PROTECTED BY APPROPRIATE EROSION CONTROL MEASURES.

POOL DEMO SECTION:



CITY OF COSTA MESA



POOL DEMOLITION STANDARD

PERMIT LIMITATIONS:

1. THIS PERMIT IS FOR THE DEMOLITION OF AN EXISTING POOL AND/OR SPA; INCLUDING THE CAPPING OF ASSOCIATED PLUMBING AND ELECTRICAL CONNECTIONS.
2. NO OTHER IMPROVEMENTS ARE ALLOWED WITH THIS PERMIT.

FOR OFFICE USE ONLY:

PERMIT #: _____

ISSUED: _____

PROJECT NAME: _____
PROJECT ADDRESS: COSTA MESA, CA

CITY REQUIREMENTS:

1. JOB PLACARD SHALL BE POSTED ON THE SITE, IN A LOCATION READILY VISIBLE FROM THE STREET.
2. ALL COMPANIES & CONTRACTORS WORKING OR OPERATING WITHIN THE CITY OF COSTA MESA MUST HAVE A VALID CITY OF COSTA MESA BUSINESS LICENSE. (BUSINESS LICENSES CAN BE APPLIED FOR ONLINE WITH TESSA)
3. OVERSIZED LOAD PERMITS ARE REQUIRED FOR:
 - SINGLE TRUCKS EXCEEDING 8'-6" W X 40' L X 14'
 - COMBINATION TRUCKS EXCEEDING 8'-6" W X 75' L X 14'
4. (OVERSIZED LOAD PERMITS CAN BE APPLIED FOR ONLINE WITH TESSA)
5. A PRELIMINARY PUBLIC WORKS INSPECTION IS REQUIRED PRIOR TO THE COMMENCEMENT OF ANY WORK.
6. A FINAL PUBLIC WORKS INSPECTION IS REQUIRED IMMEDIATELY PRIOR TO THE FINAL BUILDING INSPECTION.
7. ANY DAMAGE TO THE EXISTING PUBLIC IMPROVEMENTS (E.G. SIDEWALKS, CURB & GUTTER, STREET PAVING, LANDSCAPING, ETC.) THAT OCCURRED TO THE AREA SURROUNDING THE SITE DURING THE COURSE OF CONSTRUCTION SHALL BE REPAIRED PER THE CITY STANDARDS AT THE PROPERTY OWNERS EXPENSE.
8. AN ENCROACHMENT PERMIT IS REQUIRED FOR ANY AND ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY (SEPARATE APPLICATION REQUIRED)

CONSTRUCTION WORKING HOURS:

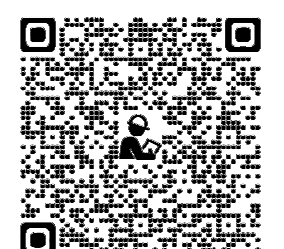
- MONDAY THROUGH FRIDAY, 7AM TO 7PM
- SATURDAYS, 9AM THROUGH 6PM
- CONSTRUCTION WORK IS NOT ALLOWED ON SUNDAYS OR THE FOLLOWING SPECIFIED FEDERAL HOLIDAYS: NEW YEAR'S DAY, MEMORIAL DAY, INDEPENDENCE DAY, LABOR DAY, THANKSGIVING DAY, AND CHRISTMAS DAY.
- VIOLATORS WILL BE CITED AND POTENTIALLY FINED.

INSPECTIONS:

- 2 - CONSULT - PRE-CONSTRUCTION MEETING (PUBLIC WORKS)
- 20 - SITE - NPDES / BMP
- 190 - DEMO - SEWER CAP
- 400 - DEMO - FINAL DEMOLITION

* AFTER BOOKING THIS INSPECTION, LOG INTO TESSA TO UPLOAD THE SUPPORTING DOCUMENTATION TO THIS INSPECTION ITEM BEFORE THE INSPECTOR ARRIVES.

TO BOOK AND INSPECTION, VIEW THE INSPECTION SCHEDULE, OR SEE INSPECTION RESULTS, VISIT TESSA

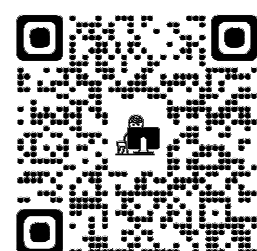


FORM NUMBER: CBPD-1

(RELEASE: 09-2024)

SITE PLAN CHECKLIST:

- A DIMENSIONED (OR SCALED) DRAWING THAT INCLUDES THE FOLLOWING:
 - DRAW THE PROPERTY LINES WITH DIMENSIONS (LOT WIDTH X DEPTH)
 - SHOW ALL BUILDINGS ON THE PROPERTY. THIS INCLUDES THE HOUSE AND OTHER ABOVE GRADE STRUCTURES LIKE: PATIO COVERS, TRASH ENCLOSURES, BBQ, FIRE PITS, ETC.
 - SHOW POOLS, SPAS, AND OTHER DECORATIVE WATER FEATURES.
 - SHOW ALL EASEMENTS & SETBACKS FROM ULTIMATE PROPERTY LINES AND THE DISTANCES BETWEEN BUILDINGS AND OTHER STRUCTURES.
 - SHOW DRIVEWAYS
 - SHOW STREETS, WITH STREET NAMES, AND SIDEWALKS ADJACENT TO THE PROPERTY
 - SHOW ORIENTATION WITH A NORTH ARROW
 - SHOW FENCE LOCATIONS WITH HEIGHTS AND TYPE (WOOD, VINYL, BLOCK WALL)
 - LOCATION OF THE ELECTRICAL PANEL AND GAS METER.
 - SPECIFY PROPOSED FILL MATERIAL.
 - LOCATION OF PROPOSED REMOVED DEBRIS AND/OR BACKFILL STORAGE DURING CONSTRUCTION.
 - METHODS FOR EROSION CONTROL MEASURES PROPOSED DURING CONSTRUCTION.



WARNINGS & DISCLOSURES:

THE CITY OF COSTA MESA PROVIDES THESE STANDARD PLANS FOR A LIMITED NUMBER OF PERMITS AND A NARROWLY DEFINED SCOPE OF WORK. BY USING THESE STANDARDS, THE PERMIT HOLDER AGREES TO THE FOLLOWING TERMS:

- THE PLANS MUST BE SUBMITTED EXACTLY AS PROVIDED BY THE CITY, WITHOUT ALTERATION OR MODIFICATION. ANY UNAUTHORIZED CHANGES, INCOMPLETE SECTIONS, OR DOCTORED INFORMATION INVALIDATE THE PLANS & PERMIT.
- THESE PLANS MAY ONLY BE USED FOR THE SPECIFIC PROJECT AND SCOPE ASSOCIATED WITH THE CURRENT PERMIT APPLICATION. USE FOR ANY OTHER PURPOSE, INCLUDING PROJECTS OUTSIDE OF COSTA MESA, IS PROHIBITED.
- ALL INTELLECTUAL PROPERTY RELATED TO THESE PLANS REMAINS THE PROPERTY OF THE CITY OF COSTA MESA.
- FAILURE TO ADHERE TO THE PROVIDED STANDARDS, OR SUBMISSION OF INCOMPLETE OR INCORRECT INFORMATION, WILL RESULT IN DELAYS; AND MAY: REQUIRE ADDITIONAL DOCUMENTATION, SUBMITTAL OF NEW APPLICATION(S), VOIDING OF THE PERMIT, AND/OR LEAD TO CODE ENFORCEMENT ACTIONS, INCLUDING CITATIONS AND FINES.

BY PROCEEDING, THE APPLICANT ACKNOWLEDGES THESE TERMS AND AGREES TO COMPLY FULLY WITH THE CITY OF COSTA MESA'S RESIDENTIAL RE-ROOF STANDARD DETAILS, SPECIFICATIONS, LIMITATIONS, AND REQUIREMENTS.

SIGNATURE: _____