

City of Costa Mesa

Memorandum

TO: SCOTT DRAPKIN, ASSISTANT DEVELOPMENT SERVICES DIRECTOR

FROM: JEFFREY RIMANDO, ASSISTANT PLANNER

DATE: NOVEMBER 5, 2024

SUBJECT: MINOR MODIFICATION PMND-24-0010 FOR A REDUCED SOUTH SIDE-YARD SETBACK TO ACCOMMODATE A PROPOSED RESIDENTIAL ADDITION AT 2837 EUROPA DRIVE

REQUEST

This application seeks minor modification approval to encroach a maximum of eleven inches (i.e., 18.3-percent) into the required five-foot south side-yard setback. Costa Mesa Municipal Code Section 13-28(j)(1) allows maximum encroachments of 20-percent into side-yard setbacks subject to the approval of a minor modification.

SETTING

The subject property is located on the west side of Europa Drive, between Balearic Drive and North Capella Court. The property is designated Low Density by the Land Use Element of the General Plan and has a zoning designation of R1, Single-Family Residential. The property is developed with a two-story, 2,137-square-foot single-family residence and an attached 471-square-foot garage. The residence has five bedrooms and was constructed in 1963 under Building Permit Number 19116. The home is legal non-conforming in that it does not comply with the minimum required five-foot side-yard setback (4' - 8" from the southside property line and 4' - 10" from the northside property line).

Properties to the north, east, south, and west share the same land use and zoning designations and are similarly-sized and shaped as the subject property. Other residences located along Europa Drive generally consist of ranch-style one- and two-story detached single-family homes designed with a variety of facade materials such as stucco, stone veneer and wood siding.

BACKGROUND

Two story construction often requires City approval of a Minor Design Review application. However, when the subject property is located in the R1 zone, Minor Design Review is only required if the proposal does not comply with the City's Residential Design Guidelines. Staff has

reviewed the proposed second-story addition and determined that it complies with these design guidelines and, therefore, Minor Design Review approval is not required.

The applicant proposes an extensive remodel to the house by adding square footage to both the first and second floors. The first floor would be substantially demolished; however, several walls will remain in place. The new addition will result in a 476 square-foot increase over the current ground floor size to accommodate a powder room, mud room, pantry, storage room, and expand the living, kitchen and dining areas. As proposed, the north side-yard setback will be increased in compliance with the five-foot setback requirement. Additionally, a 160-square-foot patio cover will also be attached to the rear of the residence. The existing garage will be increased in size by 13 square feet and will shift 5' - 11" towards the front property line, while retaining a compliant-sized driveway. Additionally, an attached 325 square-foot ADU is proposed at the northeast corner of the home's ground floor. The existing 1,058 second floor area will be demolished and replaced with a new 2,030-square-foot second floor area resulting in a net increase of 972 square feet. The new second floor will include four bedrooms and a loft area. The second floor will comply with all applicable development standards.

DESCRIPTION

As part of the overall remodel and addition, the applicant is requesting approval to preserve the existing southerly first-floor wall which is setback from the property line 4' - 8". The proposed main building new additions at this location are similarly proposed to maintain a 4' - 8" side-yard setback and would thus encroach into the required five-foot side-yard setback. Pursuant to CMMC Table 13-204(5), alterations may be made to nonconforming dwelling units provided that when the existing main building, excluding architectural features, projects into required setback areas, minor building additions may encroach into required setback areas with approval of a minor modification. Therefore, the existing encroaching wall can remain; however, the new encroachments require approval of a Minor Modification. A small portion at the corner of the garage will project further with a stone veneer treatment that wraps the corner and is located 4'-1" from the south property line. This proposed stone veneer treatment is also allowed with the approval of a Minor Modification as long as it does not encroach more than 20 percent of the required five-foot side-yard setback, which it does not. All improvements at the second-story of the house comply with applicable setback requirements.

The improvements along the south-side at the ground level will not contain windows along the southern façade encroaching into the side setback area. Improvements on the neighbor's lot along this common property line mostly consists of the neighbor's attached two-car garage that is set back 8' - 5" from the common property line.

With the exception of the proposed side yard setback encroachment, the proposed overall addition will comply with all R1 (Single-Family Residential) zone development standards, including height (27 feet where up to 27 feet is allowed) and open space (58.5 percent provided where 40 percent is required). The proposed remodel will also update the home in terms of its architectural style, materials, and colors. The façade of the residence will primarily consist of a stucco material with a stone veneer proposed along the first-floor garage and entry way.

ANALYSIS

Pursuant to Costa Mesa Municipal Code (CMMC) Section 13-28(j), a "Minor Modification" can be approved, subject to findings, to reduce the required side-yard setback a maximum of 20-percent. In this case, the subject property has a required five-foot setback and therefore the minor modification would allow a maximum encroachment of one-foot into the required five-foot side-yard setback. Pursuant to CMMC Section 13-29(c), the final review authority of a minor modification is the Planning Division, and pursuant to the CMMC, a minor modification does not require public noticing, a public hearing, nor a notice of decision. Pursuant to CMMC Section 13-29(g)(6), prior to approval of a minor modification, the Planning Division must make the following findings:

- a) The improvement will not be materially detrimental to the health, safety and general welfare of persons residing or working within the immediate vicinity of the project or to property and improvements within the neighborhood; and
- b) The improvement is compatible and enhances the architecture and design of the existing and anticipated development in the vicinity. This includes the site planning, land coverage, landscaping, appearance, scale of structures, open space and any other applicable features relative to a compatible and attractive development.

As indicated below under "Minor Modification Findings" the findings can be made, and staff supports the requested encroachments. Further, the proposal is relatively minor, aligns with existing improvements, and would not have a direct adverse effect upon the neighbor's use and enjoyment of their property.

Minor Modification Findings

Finding I: *The improvement will not be materially detrimental to the health, safety and general welfare of persons residing or working within the immediate vicinity of the project or to property and improvements within the neighborhood.*

Facts in Support of Finding:

The proposed encroachment would not have a direct adverse effect upon any neighbor's use and enjoyment of their property. This is because the portion of the first-floor addition encroaching into the required side-yard setback area does not have any windows facing the side-yard and is limited to non-habitable development. In addition, the proposed encroachment does not extend beyond the existing 1963 constructed development, with the exception of a limited area proposed for architectural accents (stone veneer). Improvements on the neighbor's lot along this common property line generally consists of the neighbor's attached two-car garage setback 8' - 5" from the common property line, and the neighboring residence's living area is stepped back approximately 14' - 8" from the common property line. For these reasons, the proposed encroachments will not be materially detrimental to the health, safety, and welfare of the neighborhood and, more specifically, the most affected neighbor located at 2833 Europa Drive.

Finding II: *The improvement is compatible and enhances the architecture and design of the existing and anticipated development in the vicinity. This includes the site planning, land coverage, landscaping, appearance, scale of structures, open space and any other applicable features relative to a compatible and attractive development.*

Facts in Support of Finding:

Overall, the proposed remodel is neighborhood compatible in regard to design, size and location, and the proposed encroachment is not anticipated to result in negative impacts related to site planning, land coverage, landscaping, appearance, scale of structures, or open space. Specifically, the proposed remodel will result in updating a home that was originally constructed in 1963 with a comprehensive re-design that includes building articulation, first/second floor varied setbacks and new façade treatments.

RECOMMENDATION

Approve the minor modification.

ATTACHMENTS

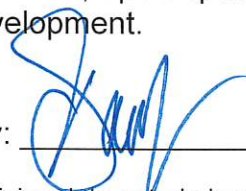
1. PLANS

DIRECTOR DECISION

THE MINOR MODIFICATION REQUEST IS **APPROVED** / **DENIED** BASED ON THE FOLLOWING FINDINGS:

The improvement **will not be** / **will be** materially detrimental to the health, safety, and general welfare of persons residing or working within the immediate vicinity of the project or to property and improvements within the neighborhood.

The improvement **is** / **is not** compatible and enhances the architecture and design of the existing and anticipated development in the vicinity. This includes the site planning, land coverage, landscaping, appearance, scale of structures, open space and any other applicable features relative to a compatible and attractive development.

Zone: R1 (Single-Family Residential) Approved by:  Decision Date: 11/5/24

Appeal of this decision shall be filed within 7 days of the decision date noted above by remittance of the appeal fee and according to the procedures set forth in Title 2, Chapter IX, of the Costa Mesa Municipal Code.

site plan notes

1. ARCHITECTURAL SITE PLAN. FIELD TO VERIFY ALL SITE DIMENSIONS WITH CIVIL DRAWINGS.
2. THE PROJECT SHALL BE DESIGNED TO ACHIEVE AT LEAST THE MINIMUM ENERGY EFFICIENCY PER CURRENT ENERGY EFFICIENCY STANDARDS.
3. THE PROJECT SHALL RECYCLE AND/OR SALVAGE AT LEAST THE MINIMUM AMOUNT OF NON-HAZARDOUS CONSTRUCTION AND DEMOLITION DEBRIS AND IN COMPLIANCE WITH REQUIREMENTS SET FORTH BY THE LOCAL GOVERNING JURISDICTION.

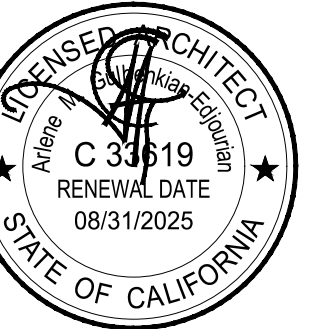
site plan key

- PROPERTY LINE
- BUILDING FOOTPRINT
- PROPOSED ADDITION
- (E) PERIMETER/PRIVACY FENCE
- EXISTING PAVING TO BE DEMOLISHED
- VISIBILITY TRIANGLE

public services general notes

1. PUBLIC SERVICES INSPECTION IS REQUIRED PRIOR TO ISSUANCE OF BUILDING FINAL AT THE TIME OF INSPECTION. IF ANY OF EXISTING PUBLIC IMPROVEMENTS SURROUNDING THE SITE IS DAMAGED: NEW CURB, GUTTER, AND STREET PAVEMENT WILL BE REQUIRED.
2. AN APPROVED ENCROACHMENT PERMIT IS REQUIRED FOR ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY FROM PUBLIC SERVICES.
3. CITY SIDEWALK EXCEEDING 2% SHALL BE REMOVED AND REPLACED PER CCM STD 411.

SCOPE OF WORK:
EXISTING 2,137 SF SINGLE-FAMILY RESIDENCE TO BE REMODELED AT FIRST AND SECOND FLOORS. ADDING 467 SF TO EXISTING 1,079 SF FIRST FLOOR. EXISTING 1,058 SF SECOND FLOOR TO BE DEMOLISHED AND REPLACED. ADDING 972 SF FOR A TOTAL OF 2,030 SF AT PROPOSED SECOND FLOOR. ADDING 13 SF TO EXISTING TWO-CAR GARAGE. NEW ATTACHED 325 SF ADU.



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amkSTUDIO

nassif residence
2837 EUROPA DR, COSTA MESA
DR. NADER & GENIEVEYE NASSIF

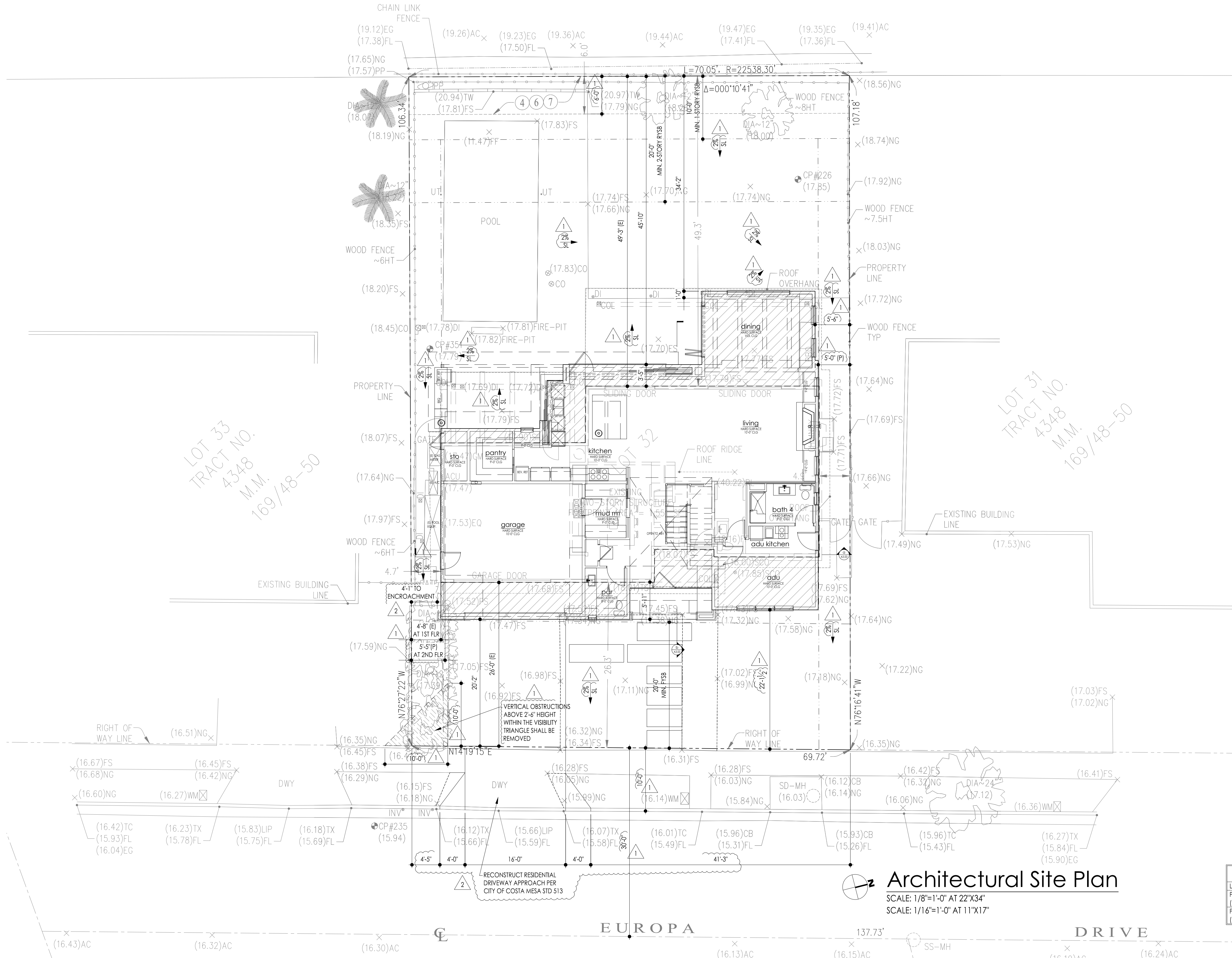
issue date: 03-06-2024

revisions
PLAN CHECK COMMENTS 07-01-2024
PLAN CHECK COMMENTS 09-19-2024

JOB NO: 22031 PROJ MGR: KF
DRAWN: EB CHECKED:

architectural site plan

site areas	
LOT AREA	7,461 sf
PROPOSED LOT COVERAGE (INCL DRIVEWAY & COVERED PATIO)	3,096 sf (41.5%)
PROPOSED OPEN SPACE (INCL POOL AND POOL DECK)	4,365 sf (58.5%)



TITLE EASEMENTS:

- ④ EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS DELINEATED OR AS OFFERED FOR DEDICATION ON THE MAP OF SAID TRACT.
PURPOSE: PUBLIC UTILITIES
AFFECTS: AS DESCRIBED THEREIN
- ⑥ EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS GRANTED IN A DOCUMENT:
GRANTED TO: PACIFIC TELEPHONE AND TELEGRAPH
PURPOSE: PUBLIC UTILITIES
RECORDING DATE: JANUARY 22, 1963
RECORDING NO: BOOK 6403, PAGE 522, OF OFFICIAL RECORDS
AFFECTS: AS DESCRIBED THEREIN
- ⑦ EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO AS GRANTED IN A DOCUMENT:
GRANTED TO: SOUTHERN CALIFORNIA EDISON
PURPOSE: PUBLIC UTILITIES
RECORDING DATE: JANUARY 22, 1963
RECORDING NO: BOOK 6405, PAGE 819, OF OFFICIAL RECORDS
AFFECTS: AS DESCRIBED THEREIN

ABBREVIATIONS

AC	ASPHALT CONCRETE
CL	STREET CENTERLINE
CB	CATCH BASIN
CO	POOL CLEANOUTS
CP	SURVEY CONTROL POINT
DI	DRAIN INLET
EQ	POOL EQUIPMENT
EG	EDGE OF GUTTER
FD	FOUND SURVEY MONUMENT
FF	FINISHED FLOOR ELEVATION
FL	FLOW LINE
FS	FINISHED SURFACE ELEVATION
GM	GAS METER
HT	HEIGHT
MH	MANHOLE
MM	MISCELLANEOUS MAP
NG	NATURAL GRADE ELEVATION
NO	NUMBER
PP	POWER POLE
SF	SQUARE FEET
SD	STORM DRAINAGE
SS	SANITARY SEWER
TC	TOP OF CURB
TS	TOP OF STEP
TW	TOP OF WALL
TX	TOP OF RAMP
UT	UTILITY SERVICE
WM	WATER METER
ACU	AIR CONDITIONING UNIT
APN	ASSESSOR'S PARCEL NUMBER
COL	COLUMN
DIA	TREE DIAMETER
DWY	DRIVEWAY APPROACH
INV	INVERT
M&R	MEASURED AND RECORD DISTANCE
SCO	SEWER CLEAN OUT
TYP	TYPICAL

LINE LEGEND

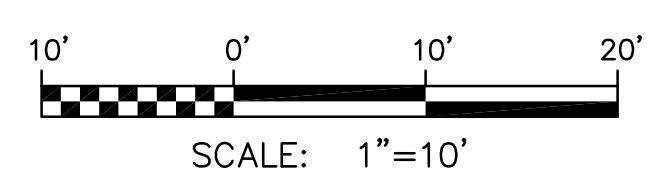
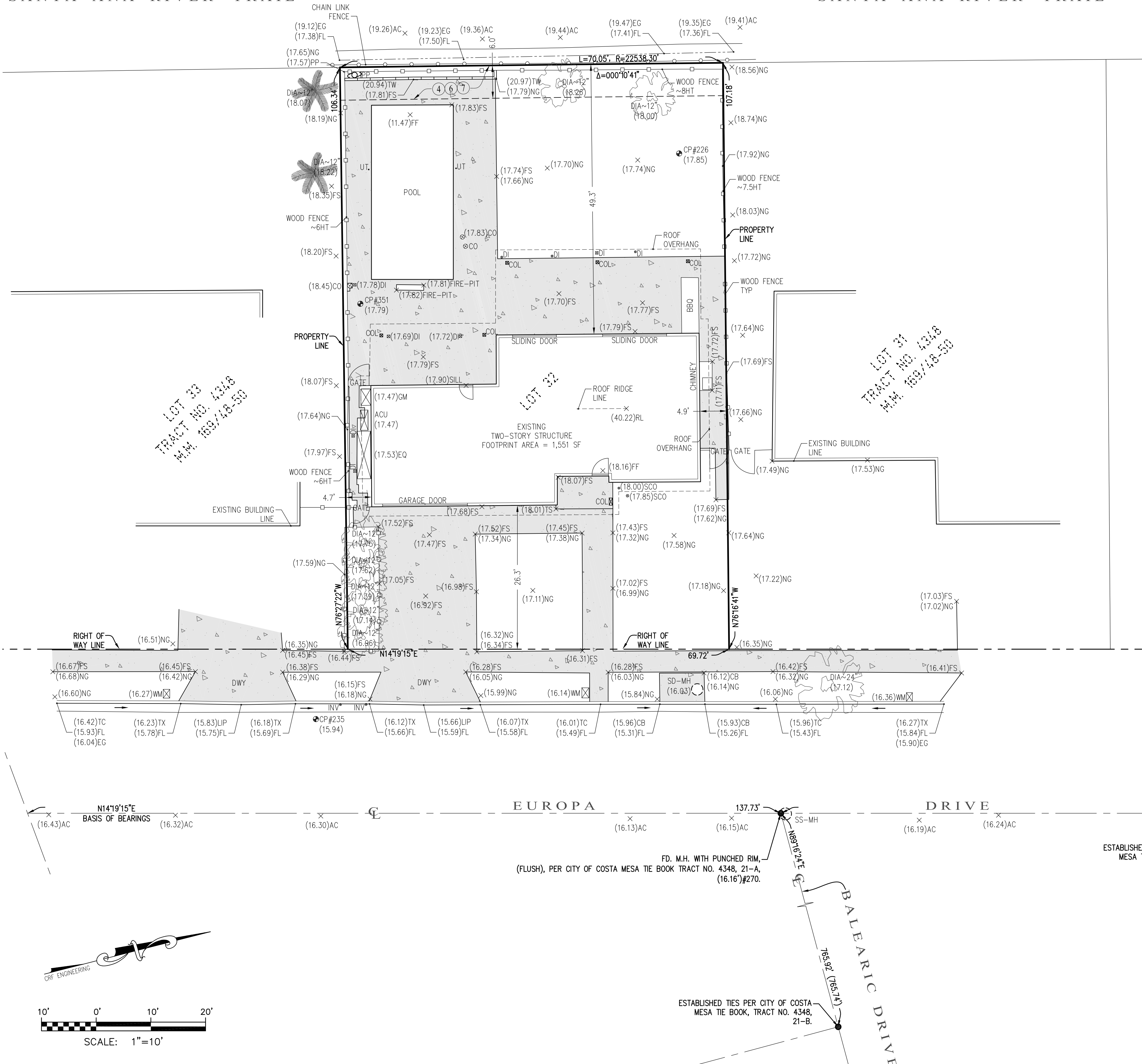
	STREET CENTERLINE
	RIGHT OF WAY LINE
	PROPERTY LINE
	EXISTING LOT
	EASEMENT LINE
	WOOD/VINYL FENCE
	CHAIN LINK FENCE
	WALL

FEATURES LEGEND

	EXISTING UTILITY AS NOTED
	EXISTING TREE
	EXISTING PALM TREE
	DOOR
	SURVEY CONTROL POINT
	FOUND SURVEY MONUMENT
	EXISTING DRAINAGE ARROW
	CONCRETE AREAS

SURVEYOR'S NOTES:

- LOT 32 AREA = 7,461 SF OR 0.171 ACRES
- SURVEY PERFORMED WITHOUT BENEFIT OF A TITLE REPORT. ANY EXISTING EASEMENTS OF RECORD MAY NOT BE SHOWN HEREON.



PREPARED BY: 6782 STANTON AVENUE, SUITE A BUENA PARK, CALIFORNIA, 90621 T: 714-522-2266 F: 657-239-0193	PREPARED FOR: KATIE FLORES P: 949-863-3000 E: KLORES@AMKSTUDIO.COM	BASIS OF BEARINGS: THE CENTERLINE OF EUROPA DRIVE BEARING N41°19'15"E AS SHOWN ON TRACT NO. 4348, BOOK 169, PAGES 48-50, OF MISCELLANEOUS MAPS, AS FILED IN THE COUNTY OF ORANGE RECORDER'S OFFICE.	COUNTY BENCHMARK: BENCHMARK: CM-35A-81 3 3/4" ALUMINUM DISK, SET IN THE S.W. CORNER OF A 9 FT BY 3 FT CONG. CB MONUMENT LOCATED AT INTERSECTION OF MESA VERDE WEST AND AYON CIRCLE. DATUM: NAVD88 YEAR ELEVATED: 2005 ELEVATION: 54.140 FT	TOPOGRAPHIC SURVEY MAP 2837 EUROPA DRIVE, COSTA MESA, CALIFORNIA, 92626. (DATE OF SURVEY: 02-08-2023)		LEGAL DESCRIPTION: LOT 32 OF TRACT NO. 4348, BOOK 169, PAGES 48-50, OF MISCELLANEOUS MAPS, AS FILED IN THE COUNTY OF ORANGE RECORDER'S OFFICE. APN: 139-455-20	Printed: 02-16-2023 Date Surveyed: 02-08-2023 Project Number: 23-021 Surveyed By: O.G./T.S. Drafted By: T.S. Checked By: C.R., P.L.S.	<input type="checkbox"/> Design Development <input type="checkbox"/> Progress Const. Docs. <input checked="" type="checkbox"/> City Submittal <input type="checkbox"/> Bid Package <input type="checkbox"/> Construction Issue <input type="checkbox"/> Record Drawings <input type="checkbox"/> Construction Staking	SHEET : <div style="font-size: 48pt; text-align: center;">1</div> OF 1 SHEET

demolition plan notes

- DEMOLITION PLAN FOR REFERENCE ONLY. ALL DIMENSIONS SHALL BE FIELD VERIFIED BY THE CONTRACTORS OR SUBCONTRACTORS WHO WILL BE SOLELY RESPONSIBLE FOR INSURING COMPLIANCE WITH ANY APPLICABLE CODE OR ORDINANCES.
- THE PROJECT SHALL RECYCLE AND/OR SALVAGE THE MINIMUM AMOUNT OF NON-HAZARDOUS CONSTRUCTION AND DEMOLITION DEBRIS AND IN COMPLIANCE WITH REQUIREMENTS SET FORTH BY THE GOVERNING JURISDICTION.

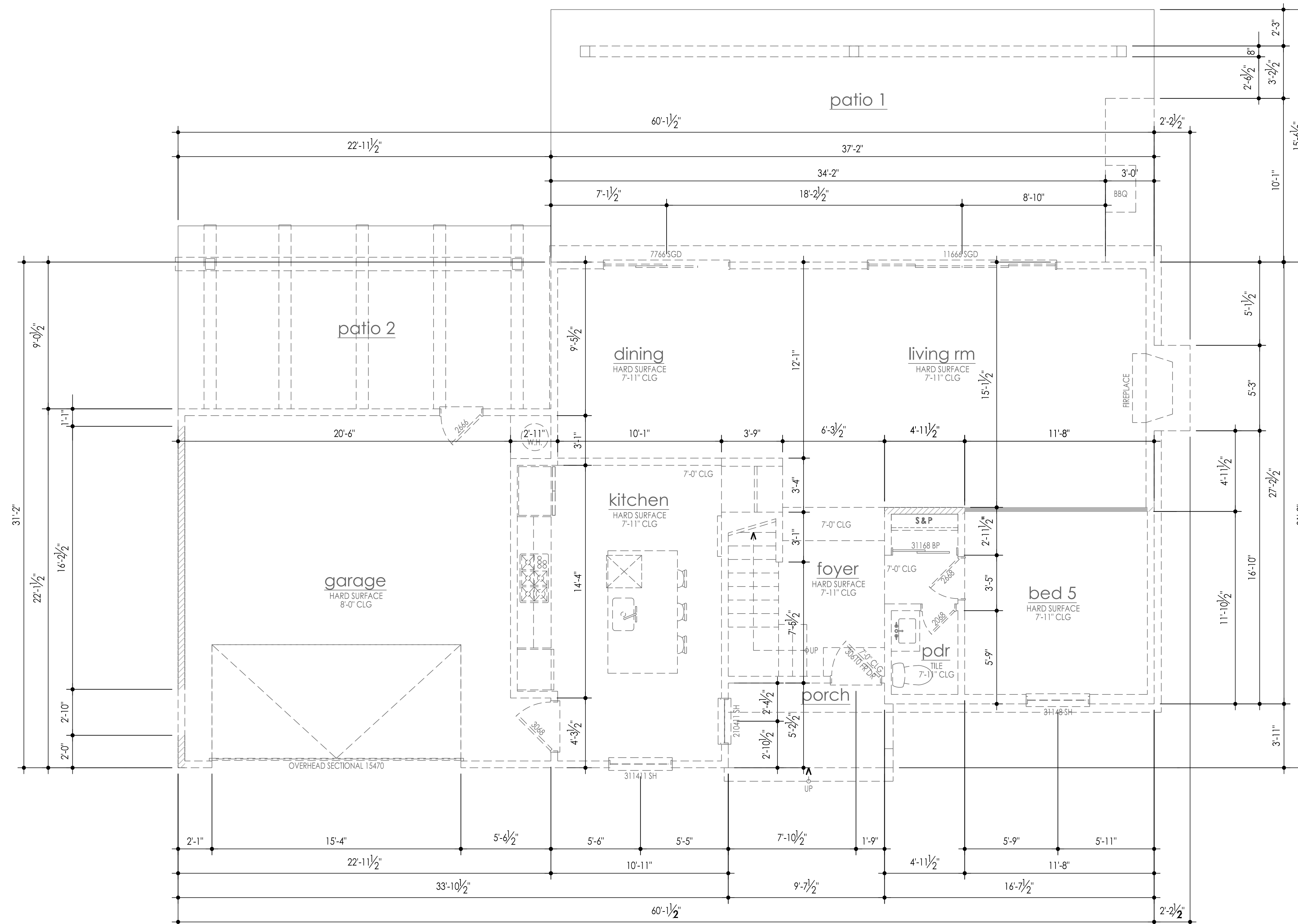


ARCHITECT: ARENE EDJOURIAN
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amkSTUDIO

nassif residence
 2837 EUROPA DR, COSTA MESA
 DR. NADER & GENIEVIEVE NASSIF



First Floor Demolition Plan

SCALE: 1/4"=1'-0" AT 22"X34"
 SCALE: 1/8"=1'-0" AT 11"X17"

(e) square footages	
[E] MAIN FLOOR	1,079 sf
[E] SECOND FLOOR	1,058 sf
[E] SUBTOTAL	2,137 sf
[E] GARAGE	471 sf
[E] PATIO 1	578 sf
[E] PATIO 2	259 sf
[E] PORCH	52 sf

SEE SHEET A3.11 FOR DOOR AND WINDOW SCHEDULE

wall legend	
[Pattern]	2X4 DEMO
[Pattern]	2X4 EXISTING
[Pattern]	2X6 EXISTING
[Pattern]	2X4 NEW
[Pattern]	2X6 NEW

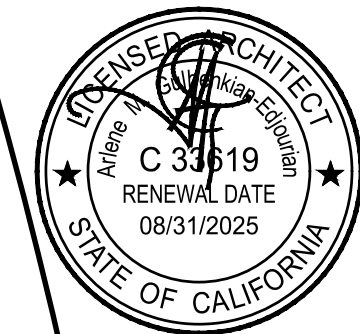
issue date: 03-06-2024

revisions	
△ PLAN CHECK COMMENTS	07-01-2024
△ PLAN CHECK COMMENTS	09-19-2024

JOB NO: 22031 PROJ MGR: KF
 DRAWN: EB CHECKED:

existing first floor

A2.01

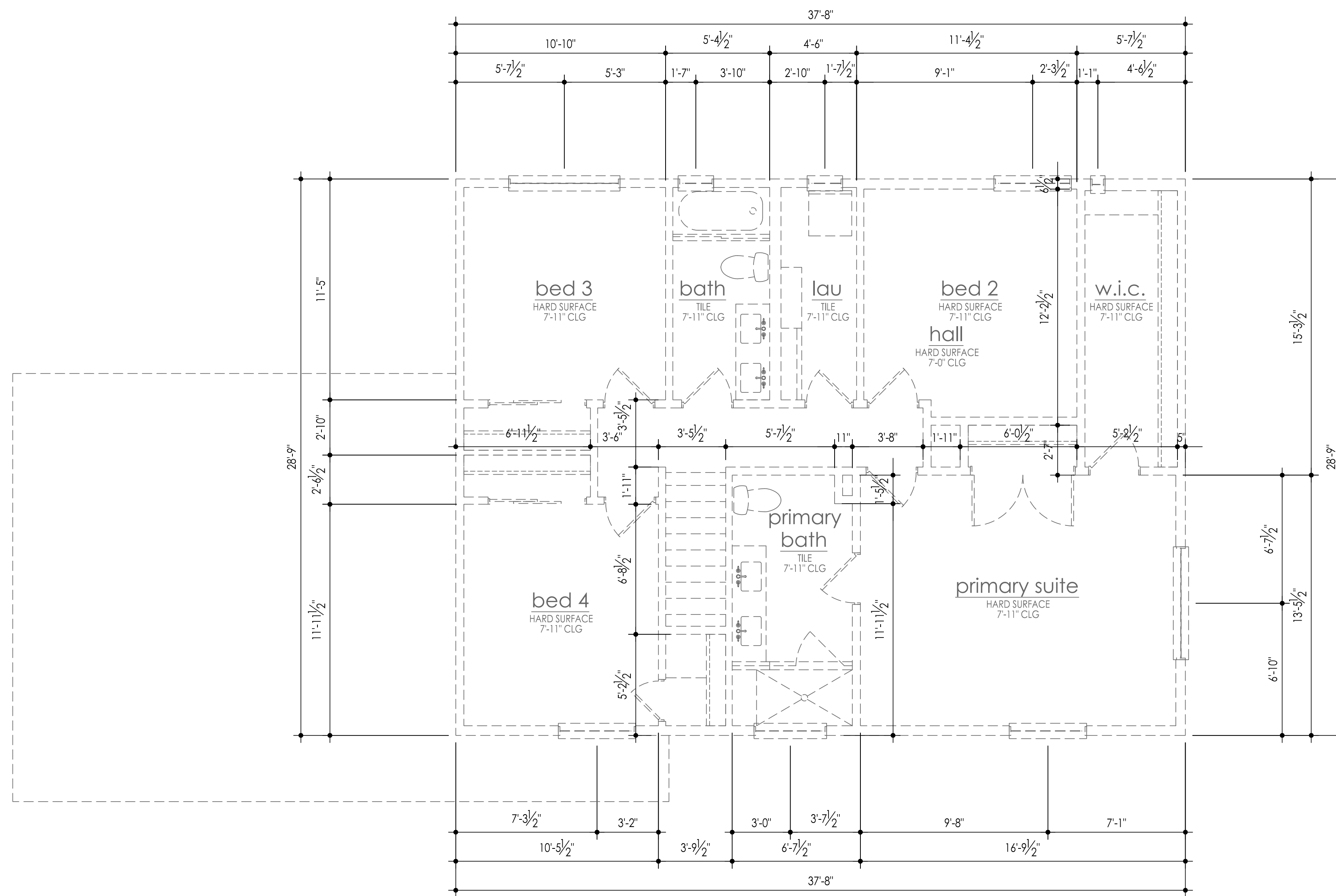


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Second Floor Demolition Plan

SCALE: 1/4"=1'-0" AT 22"X34"
 SCALE: 1/8"=1'-0" AT 11"X17"

(e) square footages	
[E] MAIN FLOOR	1,079 sf
[E] SECOND FLOOR	1,058 sf
[E] SUBTOTAL	2,137 sf
[E] GARAGE	471 sf
[E] PATIO 1	578 sf
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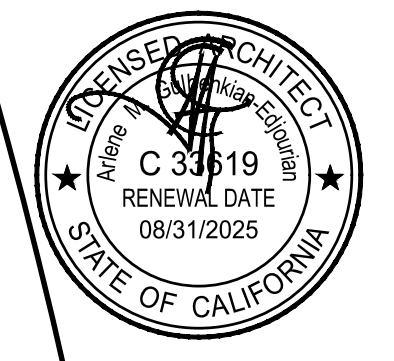
SEE SHEET A3.11 FOR DOOR AND WINDOW SCHEDULE

wall legend	
[Pattern]	2X4 DEMO
[Pattern]	2X4 EXISTING
[Pattern]	2X6 EXISTING
[Pattern]	2X4 NEW
[Pattern]	2X6 NEW

issue date:	03-06-2024
revisions	
△ PLAN CHECK COMMENTS	07-01-2024
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JOB NO: 22031 PROJ MGR: KF
 DRAWN: EB CHECKED:

existing second floor



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revisions:
PLAN CHECK COMMENTS 07-01-2024
PLAN CHECK COMMENTS 09-19-2024
JOB NO: 22031 PROJ MGR: KF
DRAWN: EB CHECKED:
first floor plan

main floor notes

- A. REFER TO GENERAL NOTE SHEETS FOR PLAN GENERAL NOTES.
- B. REFER TO "EN" SHEETS FOR CERTIFICATE OF COMPLIANCE AND INSULATION VALUES. AFTER INSTALLING WALL, CEILING OR FLOOR INSULATION THE INSTALLER SHALL POST IN A CONSPICUOUS LOCATION A CERTIFICATE SIGNED BY THE INSTALLER STATING THAT THE INSTALLATION WAS PERFORMED IN ACCORDANCE WITH THE TITLE - 24 REQUIREMENTS.
- C. ALL DIAGONAL WALLS TO BE 45 DEGREES UNLESS NOTED OTHERWISE.
- D. WINDOW "HEAD" HEIGHTS:
-8'-0" U.N.O. ON EXT. ELEVATIONS
-DOOR HEIGHTS AS NOTED ON PLANS
[ALIGN ADJACENT WINDOW HEADER HEIGHT WITH DOOR HEADERS.]

plan key notes

- 1. ALL PLUMBING FIXTURES SHALL COMPLY WITH THE MAXIMUM FLOW RATE PER CALGREEN SECT 4.303 AS FOLLOWS:
• SINGLE SHOWERHEADS SHALL NOT EXCEED 1.8 GAL PER MINUTE MEASURED AT 80 PSI. WHEN A SHOWER IS SERVED BY MORE THAN ONE SHOWERHEAD, THE COMBINED FLOW RATE OF ALL SHOWER HEADS AND/OR OTHER SHOWER OUTLETS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 1.8 GAL PER MINUTE AT 80 PSI. OR THE SHOWER SHALL BE DESIGNED TO ALLOW ONLY ONE SHOWER OUTLET TO BE IN OPERATION AT A TIME.
• RESIDENTIAL LAVATORY FAUCETS SHALL NOT EXCEED 1.2 GAL PER MINUTE AT 60 PSI.
• KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GAL PER MINUTE AT 60 PSI. KITCHEN FAUCETS MAY TEMPORARILY INCREASE THE FLOW ABOVE THE MAXIMUM RATE, BUT NOT TO EXCEED 2.2 GPM PER MINUTE AT 60 PSI AND MUST DEFAULT TO A MAXIMUM FLOW RATE OF 1.8 GAL PER MINUTE AT 60 PSI.
ALL EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.
- 2. NOT USED
- 3. PRE-FABRICATED DIRECT VENT GAS APPLIANCE. SEE SHEET A5.00 FOR ELEVATIONS AND FIREPLACE NOTES. INSTALL AND USE SHALL BE IN ACCORDANCE WITH THE MANUFACTURER REQUIREMENTS. GAS VALVES MUST BE LOCATED OUTSIDE OF REQUIRED HEARTH AREA, BUT NOT MORE THAN 6 FT UNLESS LISTED FOR INSTALLATION IN THE FIREPLACE PER CPC 1212.5.
- 4. HIGH EFFICIENCY TANKLESS GAS WATER HEATER PER ENERGY CALCS. INSTALL PER MANUFACTURER'S INSTALLATION INSTRUCTIONS W/ APPROPRIATE CLEARANCES AND VENTILATION TO OUTSIDE AIR.
- 5. 30" GAS COOKTOP, 30" HOOD, LIGHT, EXHAUST FAN ABOVE. VENT PER GENERAL NOTES SECTION 076000.
- 6. DRYER VENT TO OUTSIDE AIR. DUCT SHALL BE OF 5" DIA. (OR EQUAL CROSS SECTION) SMOOTH METAL EXTENDING TO EXTERIOR WITH BACKDRAFT DAMPER PER CURRENT CODE.
- 7. BUILT-IN MICROWAVE OVEN
- 8. TEMPERED SAFETY GLASS, PER GENERAL NOTES SECTION 088000.
- 9. EMERGENCY EGRESS: ONE SASH IN EA. SLEEPING AREA SHALL COMPLY WITH GOVERNING FIRE AND BUILDING CODES MAXIMUM SILL HEIGHT AT EGRESS WINDOW SHALL NOT EXCEED 44" A.F.F.
- 10. ATTIC ACCESS LARGE ENOUGH TO REMOVE LARGEST PIECE OF EQUIPMENT BUT NOT LESS THAN 30"x30". SEE DETAIL 1/AD.6.
- 11. FAU IN ATTIC ABOVE. PROVIDE UNOBSTRUCTED PASSAGEWAY WHICH IS LARGE ENOUGH TO REMOVE THE LARGEST PIECE OF EQUIPMENT. PROVIDE 48" HIGH x 30" WIDE PASSAGEWAY WITH 24" WIDE PLYWOOD FLOORING WITH 30"x42" PLATFORM AT SERVICE SIDE OF THE EQUIPMENT. MAX. 20'-0" FROM ACCESS POINT TO FAU. VERIFY LOCATION W/ MECHANICAL DRAWINGS. INSTALL PER GENERAL NOTES SECTIONS 076000 & 230000.
- 12. INTERIOR SOFFITS: FLAT SOFFIT AT 8'-0". U.N.O.
- 13. WALL MOUNTED UPPER CABINET ABOVE
- 14. FACE FRAME CABINET WITH 5 EQ. SHELVES. SEE DETAIL 2/AD.6.
- 15. ALL WATER CLOSETS THAT WILL BE INSTALLED WILL BE LOW FLOW WATER CLOSETS WITH A MAXIMUM CAPACITY OF 1.28 GALLONS.
- 16. STUB WALL HEIGHT AT +42" U.N.O. PROVIDE 1/2" PLYWOOD BELOW DRYWALL IF OTHER THAN SOLID FRAMING.
- 17. PLYWOOD SHELF ABOVE W/ DRYWALL OVER. HEIGHT AT +36" U.N.O.

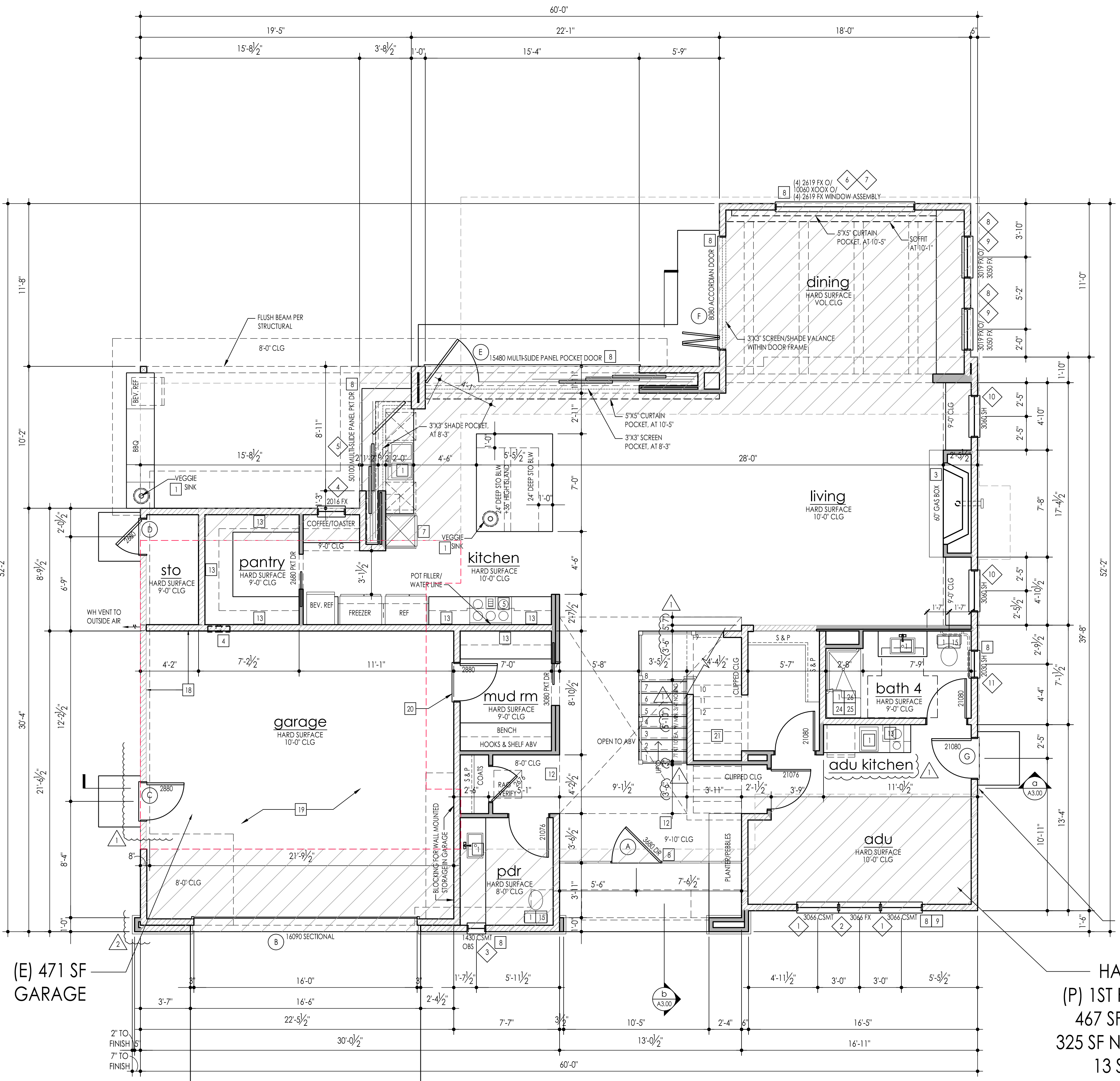
INTERIOR ELEVATION KEY
THESE CALCULATIONS ARE FOR THE ARCHITECTS USE ONLY AND ARE NOT INTENDED FOR USE BY OTHERS.

square footages	
MAIN FLOOR	1,546 sf
SECOND FLOOR	2,030 sf
SUBTOTAL	3,576 sf
ADU	325 sf
GARAGE	484 sf
STORAGE	37 sf
PATIO	160 sf
PORCH	64 sf

SEE SHEET A3.11 FOR DOOR AND WINDOW SCHEDULE

wall legend

- 2X4 DEMO
- 2X4 EXISTING
- 2X6 EXISTING
- 2X4 NEW
- 2X6 NEW



(E) 1,079 SF
1ST FLOOR
HATCH DENOTES
(P) 1ST FLOOR ADDITIONS:
467 SF TO MAIN HOUSE
325 SF NEW ATTACHED ADU
13 SF TO GARAGE

Proposed First Floor Plan

SCALE: 1/4"=1'-0" AT 22"X34"
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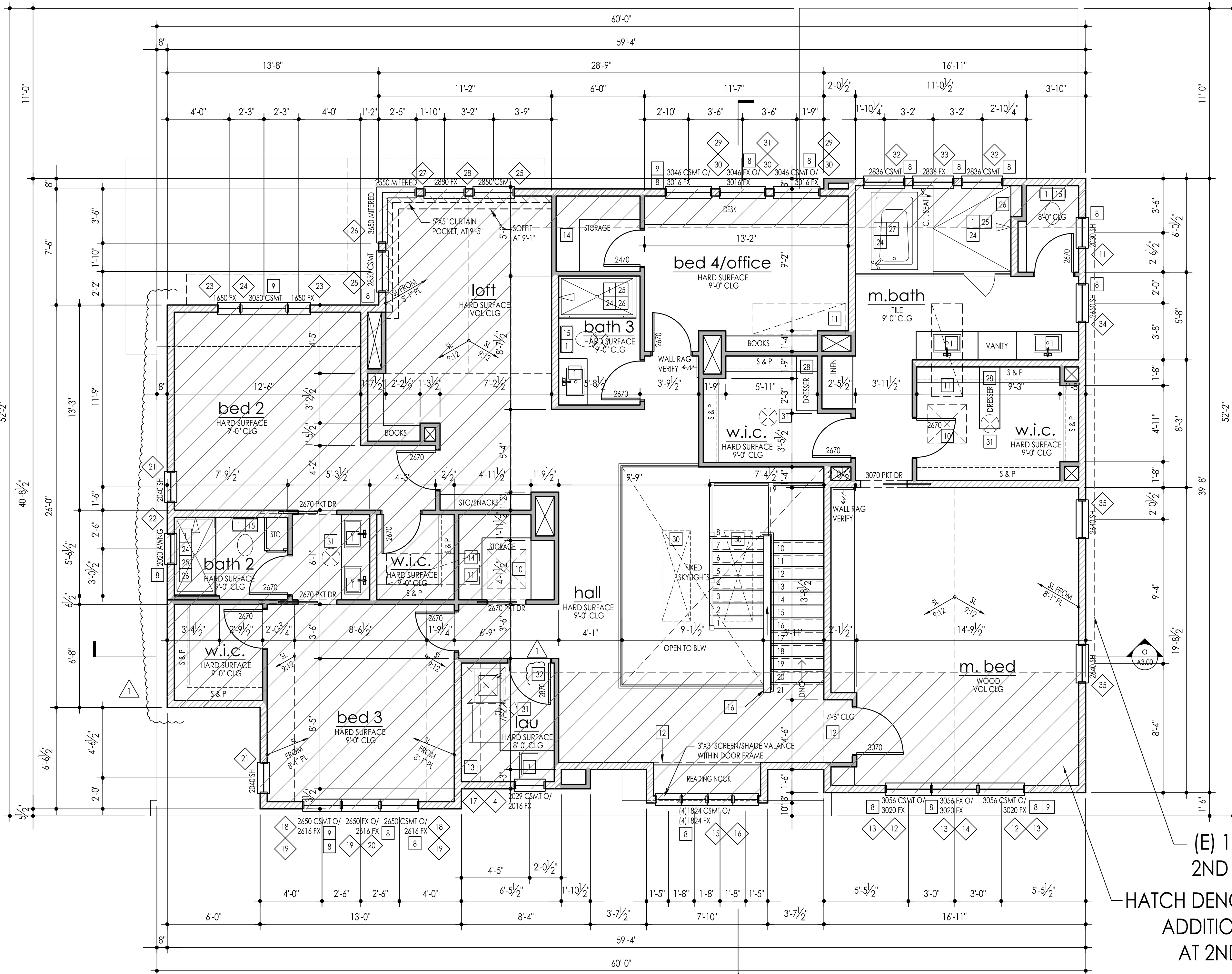
nassif residence
2837 EUROPA DR, COSTA MESA
DR. NADER & GENIEVEVE NASSIF

main floor notes

- A. REFER TO GENERAL NOTE SHEETS FOR PLAN GENERAL NOTES.
 - B. REFER TO "EN" SHEETS FOR CERTIFICATE OF COMPLIANCE AND INSULATION VALUES. AFTER INSTALLING WALL, CEILING OR FLOOR INSULATION THE INSTALLER SHALL POST IN A CONSPICUOUS LOCATION A CERTIFICATE SIGNED BY THE INSTALLER STATING THAT THE INSTALLATION WAS PERFORMED IN ACCORDANCE WITH THE TITLE - 24 REQUIREMENTS.
 - C. ALL DIAGONAL WALLS TO BE 45 DEGREES UNLESS NOTED OTHERWISE.
 - D. WINDOW "HEAD" HEIGHTS: -8'-0" U.N.O. ON EXT. ELEVATIONS -DOOR HEIGHTS AS NOTED ON PLANS (ALIGN ADJACENT WINDOW HEADER HEIGHT WITH DOOR HEADERS.)
- 18. HOUSE TO GARAGE FIRE SEPARATION. GARAGE/HOUSE SEPARATION AT VERTICAL SURFACES AND ATTICS SHALL BE PROTECTED WITH NO LESS THAN 1/2" GYPSUM BOARD. PER CRC TABLE R302.6
 - 19. GARAGE/HOUSE SEPARATION AT HABITABLE ROOMS ABOVE THE GARAGE SHALL BE PROTECTED WITH NO LESS THAN 5/8" TYPE 'X' GYPSUM BOARD. PER CRC TABLE R302.6
 - 20. HOUSE TO GARAGE DOOR SEPARATION. PROVIDE 1-3/8" SOLID CORE DOOR OR APPROVED 20 MINUTE RATED DOOR W/ SELF CLOSURE AND TIGHT FITTING.
 - 21. BENEATH STAIRS AND LANDINGS, 5/8" TYPE 'X' SUPPORTS AT 16" O.C., ON WALLS AND CEILING OF ENCLOSED ACCESSIBLE AREAS.
 - 22. INDOOR AIR QUALITY FAN. VENTILATION SHALL COMPLY WITH SECTION 4 OF ASHRAE 62.2. OPERATE WHEN THE HOUSE IS IN USE. MINIMUM REQUIRED RATE OF VENTILATION (CFM): (3593 SF/100) + (15 BEDROOMS * 11) + (7.5) = 405 CFM EXHAUST FAN AS SELECTED BY OWNER, WITH MAXIMUM SOUND RATING OF 1 SONE. RATED FOR CONTINUOUS USE AND ENERGY STAR RATED.
 - 23. WHOLE HOUSE FAN. MINIMUM RATE OF VENTILATION (CFM): 1.5 CFM PER SF = 5390 CFM ATTIC MUST HAVE A MINIMUM NET FREE VENT AREA OF 1 SF PER 750 CFM OF WHOLE HOUSE FAN RATED AIRFLOW OR GREATER PER MFR. EXHAUST FAN SHALL BE ENERGY STAR RATED AS SELECTED BY OWNER.
 - 24. BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (R307.2).
 - 25. CERAMIC TILE SHOWER AND FLOOR, SHOWER HEAD +84". SEE DETAILS S. 6 & 7/AD.6. CLEAR TEMPERED GLASS ENCLOSURE, ANODIZED ALUMINUM FRAME. HOT MOPPED AS APPROVED BY OWNER.
 - 26. 14"x16" SHAMPOO NICHE. BOT AT +54". INSTALL ELASTOMERIC FLASHING IN ENTIRE NICHE PRIOR TO SCATCH COAT.
 - 27. 42" x 60" ACRYLIC TUB. CERAMIC TILE APRON, SPLASH AND DECK. SEE DETAILS S & 10/AD.6
 - 28. LINEN IN WARDROBE. FIVE (5) 16" DEEP SHELVES.
 - 29. WASHER DRAIN PAN AT SECOND FLOOR ONLY. DRAIN TO EXTERIOR BY MEANS OF AN APPROVED DRAINAGE SYSTEM.
 - 30. SKYLIGHT BY VELUX. SIZE AS NOTED. FIXED MODEL FCM, OPERABLE MODEL VCM. PER GENERAL NOTES SECTION 086200. TESTED IN ACCORDANCE WITH AAMA/WDMA/CSA 101/13.2/A440-08 AND -05 STANDARDS. SKYLIGHTS ARE WDMA HALLMARK CERTIFIED. HALLMARK NO. 426-H. SEE DETAIL 10/AD.4.
 - 31. 14" DIAMETER TUBE SKYLIGHT BY SOLATUBE. PER GENERAL NOTES SECTION 086223.
 - 32. LOUVERED DOOR WITH MIN. OF 100 SQ. IN. FOR MAKEUP AIR WHEN A DOMESTIC CLOTHES DRYER IS INSTALLED IN A CONFINED SPACE PER CMC 504.4.1.

plan key notes

- 1. ALL PLUMBING FIXTURES SHALL COMPLY WITH THE MAXIMUM FLOW RATE PER CALGREEN SECT 4.303 AS FOLLOWS:
 - SINGLE SHOWERHEADS SHALL NOT EXCEED 1.8 GAL PER MINUTE MEASURED AT 80 PSI. WHEN A SHOWER IS SERVED BY MORE THAN ONE SHOWERHEAD, THE COMBINED FLOW RATE OF ALL SHOWER HEADS AND/OR OTHER SHOWER OUTLETS CONTROLLED BY A SINGLE VALVE SHALL NOT TO EXCEED 1.8 GAL PER MINUTE AT 80 PSI. OR THE SHOWER SHALL BE DESIGNED TO ALLOW ONLY ONE SHOWER OUTLET TO BE IN OPERATION AT A TIME.
 - RESIDENTIAL LAVATORY FAUCETS SHALL NOT EXCEED 1.2 GAL PER MINUTE AT 60 PSI.
 - KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GAL PER MINUTE AT 60 PSI. KITCHEN FAUCETS MAY TEMPORARILY INCREASE THE FLOW ABOVE THE MAXIMUM RATE, BUT NOT TO EXCEED 2.2 GPM PER MINUTE AT 60 PSI AND MUST DEFAULT TO A MAXIMUM FLOW RATE OF 1.8 GAL PER MINUTE AT 60 PSI.
- 2. NOT USED
- 3. PRE-FABRICATED DIRECT VENT GAS APPLIANCE. SEE SHEET A5.00 FOR ELEVATIONS AND FIREPLACE NOTES. INSTALL AND USE SHALL BE IN ACCORDANCE WITH THE MANUFACTURER REQUIREMENTS. GAS VALVES MUST BE LOCATED OUTSIDE OF REQUIRED HEARTH AREA, BUT NOT MORE THAN 6 FT UNLESS LISTED FOR INSTALLATION IN THE FIREPLACE PER CPC 1212.5.
- 4. HIGH EFFICIENCY TANKLESS GAS WATER HEATER PER ENERGY CALCS. INSTALL PER MANUFACTURER'S INSTALLATION INSTRUCTIONS W/ APPROPRIATE CLEARANCES AND VENTILATION TO OUTSIDE AIR.
- 5. 30" GAS COOKTOP, 30" HOOD, LIGHT, EXHAUST FAN ABOVE. VENT PER GENERAL NOTES SECTION 076000.
- 6. DRYER VENT TO OUTSIDE AIR. DUCT SHALL BE OF 5" DIA. (OR EQUAL CROSS SECTION) SMOOTH METAL EXTENDING TO EXTERIOR WITH BACKDRAFT DAMPER PER CURRENT CODE.
- 7. BUILT-IN MICROWAVE OVEN
- 8. TEMPERED SAFETY GLASS. PER GENERAL NOTES SECTION 088000.
- 9. EMERGENCY EGRESS: ONE SASH IN EA. SLEEPING AREA SHALL COMPLY WITH GOVERNING FIRE AND BUILDING CODES MAXIMUM SILL HEIGHT AT EGRESS WINDOW SHALL NOT EXCEED 44" A.F.F.
- 10. ATTIC ACCESS LARGE ENOUGH TO REMOVE LARGEST PIECE OF EQUIPMENT BUT NOT LESS THAN 30"x30". SEE DETAIL 1/AD.6.
- 11. FAU IN ATTIC ABOVE. PROVIDE UNOBSTRUCTED PASSAGEWAY WHICH IS LARGE ENOUGH TO REMOVE THE LARGEST PIECE OF EQUIPMENT. PROVIDE 48" HIGH x 30" WIDE PASSAGEWAY WITH 24" WIDE PLYWOOD FLOORING WITH 30"x42" PLATFORM AT SERVICE SIDE OF THE EQUIPMENT. MAX. 20'-0" FROM ACCESS POINT TO FAU. VERIFY LOCATION W/ MECHANICAL DRAWINGS. INSTALL PER GENERAL NOTES SECTIONS 076000 & 230000.
- 12. INTERIOR SOFFITS: FLAT SOFFIT AT 8'-0". U.N.O.
- 13. WALL MOUNTED UPPER CABINET ABOVE
- 14. FACE FRAME CABINET WITH 5 EQ. SHELVES. SEE DETAIL 2/AD.6.
- 15. ALL WATER CLOSETS THAT WILL BE INSTALLED WILL BE LOW FLOW WATER CLOSETS WITH A MAXIMUM CAPACITY OF 1.28 GALLONS.
- 16. STUB WALL HEIGHT AT +42" U.N.O. PROVIDE 1/2" PLYWOOD BELOW DRYWALL IF OTHER THAN SOLID FRAMING.
- 17. PLYWOOD SHELF ABOVE W/ DRYWALL OVER. HEIGHT AT +36" U.N.O.



(E) 1,058 SF
2ND FLOOR
HATCH DENOTES (P) 972 SF
ADDITIONAL AREA
AT 2ND FLOOR

Proposed Second Floor Plan
SCALE: 1/4"=1'-0" AT 22"X34"
SCALE: 1/8"=1'-0" AT 11"X17"

INTERIOR ELEVATION KEY
THESE CALCULATIONS ARE FOR THE ARCHITECTS USE ONLY AND ARE NOT INTENDED FOR USE BY OTHERS.

square footages	
MAIN FLOOR	1,546 sf
SECOND FLOOR	2,030 sf
SUBTOTAL	3,576 sf
ADU	325 sf
GARAGE	484 sf
STORAGE	37 sf
PATIO	160 sf
PORCH	64 sf

SEE SHEET A3.11 FOR DOOR AND WINDOW SCHEDULE

wall legend

[Symbol]	2X4 DEMO
[Symbol]	2X4 EXISTING
[Symbol]	2X6 EXISTING
[Symbol]	2X4 NEW
[Symbol]	2X6 NEW

issue date: 03-06-2024

revisions	
PLAN CHECK COMMENTS	07-01-2024
PLAN CHECK COMMENTS	09-19-2024

JOB NO: 22031 PROJ MGR: KF
DRAWN: EB CHECKED: []
second floor plan



Front Elevation

SCALE: 1/4"=1'-0" AT 22"X34"
SCALE: 1/8"=1'-0" AT 11"X17"



Rear Elevation

SCALE: 1/4"=1'-0" AT 22"X34"
SCALE: 1/8"=1'-0" AT 11"X17"

exterior elevation notes

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- B. WINDOW "HEAD" HEIGHTS: -8'-0" U.N.O. ON EXT. ELEVATIONS -DOOR HEIGHTS AS NOTED ON PLANS. (ALIGN ADJACENT WINDOW HEADER HEIGHT WITH DOOR HEADERS.)
- C. EXTERIOR WALLS: -STUCCO PER GENERAL NOTES, CORROSION RESISTANT WEEP SCREED AT BASE. -ADHERED MANUFACTURED THIN STONE VENEER BY ELDERADO MANUFACTURED PER ICC-ES ESR-1215, OR APPROVED EQUAL.
- D. EXTERIOR SOFFITS: -STUCCO PER GENERAL NOTES.
- E. ROOFING: -3:12 OR GREATER PITCHED ROOFS: CLASS 'A' FIRE-RETARDANT ASPHALT SHINGLES BY CERTAINTED, PER ICC-ES EVALUATION REPORT, ESR-3537. WEIGHT: 290 LB PER SQUARE. INSTALL PER MFR SPECIFICATIONS. -LOW SLOPING ROOFS: CLASS 'A' BUILT-UP ROOFING BY GAF PER UL ERL306-02. INSTALL PER GENERAL NOTES AND MFR INSTRUCTIONS. -ACCENT ROOFS (LOCATIONS SELECTED BY OWNER): CLASS 'A' FIRE RESISTANT, 24 GA STEEL, STANDING SEAM METAL ROOF BY ASC PROFILES PER UES ER-309. INSTALL PER GENERAL NOTES AND MFR INSTRUCTIONS.
- F. WINDOWS: -THERMALLY BROKEN ALUMINUM WINDOWS IN BRONZE FINISH PER GENERAL NOTES. DIVIDED LITES WHERE SHOWN ON EXTERIOR ELEVATIONS.
- G. ENTRY DOORS: -STOREFRONT ASSEMBLY IN BRONZE FINISH PER GENERAL NOTES AND AS SELECTED BY DEVELOPER.
- H. DOOR AND WINDOW TRIM: -FIBERCEMENT TRIM WITH SMOOTH FINISH. PER GENERAL NOTES. SEE DETAILS

elevation key notes

- 1 STUCCO BODY W/ SANTA BARBARA FINISH
- 2 ADHERED STONE VENEER PER GENERAL NOTES HEIGHT AS NOTED. SEE DETAILS.
- 3 CORROSION RESISTANT ROOF TO WALL FLASHING. SEE ROOF DETAILS.
- 4 FIBER CEMENT PANEL SIDING WITH TRIM PER GENERAL NOTES.
- 5 LOW WALL W/ METAL CAP: CONTINUATION OF PARAPET WALL W/ ADHERED STONE VENEER
- 6 FIBER CEMENT TRIM PER GENERAL NOTES. 1X6 U.N.O. SEE DETAILS.
- 7 WOOD FRAMED AWNING AND PATIO COVER WITH METAL FASCIA AND STAIN GRADE T&G LID
- 8 HOUSE STREET NUMBERS PER BUILDER. SHALL BE VISIBLE AND LEGIBLE FROM THE ADJACENT PUBLIC WAY OR STREET. ADDRESS LETTERS/NUMBERS SHALL BE MINIMUM 4 INCHES HIGH, WITH A MINIMUM STROKE WIDTH OF 1/2" INCH. AND SHALL CONTRAST WITH THEIR BACKGROUND. PER SECTION CRC R319.1



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THESE PLANS AND SPECIFICATIONS ARE PREPARED UNDER THE CLOSE PERSONAL SUPERVISION AND CONTROL OF THE ARCHITECT AND HIS LICENSED ARCHITECTS.



amkSTUDIO

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exterior elevations

exterior door schedule

TAG:	TYPE:	SIZE:	MATERIAL:	U FACTOR:	SHGC:	VT:	MANUFACTURER:	NOTES:
(A)	ENTRY FRENCH DOOR	3'-6" X 8'-0"	ALUMINUM	0.3	0.23			(a) TEMPERED GLASS
(B)	OVERHEAD SECTIONAL	16'-0" X 9'-0"	METAL					
(C)	IN-SWING GARAGE DOOR	2'-8" X 8'-0"	FIBERGLASS				THERMATRU	
(D)	OUT-SWING DOOR	2'-6" X 8'-0"	FIBERGLASS				THERMATRU	
(E)	MULTI-SLIDE PANEL POCKET DR	15'-4" X 8'-0"	ALUMINUM	0.3	0.23			(a) TEMPERED GLASS
(F)	ACCORDIAN DOOR	8'-0" X 8'-0"	ALUMINUM	0.3	0.23			(a) TEMPERED GLASS
(G)	IN-SWING ADJ DOOR	2'-10" X 8'-0"	FIBERGLASS				THERMATRU	

exterior window schedule

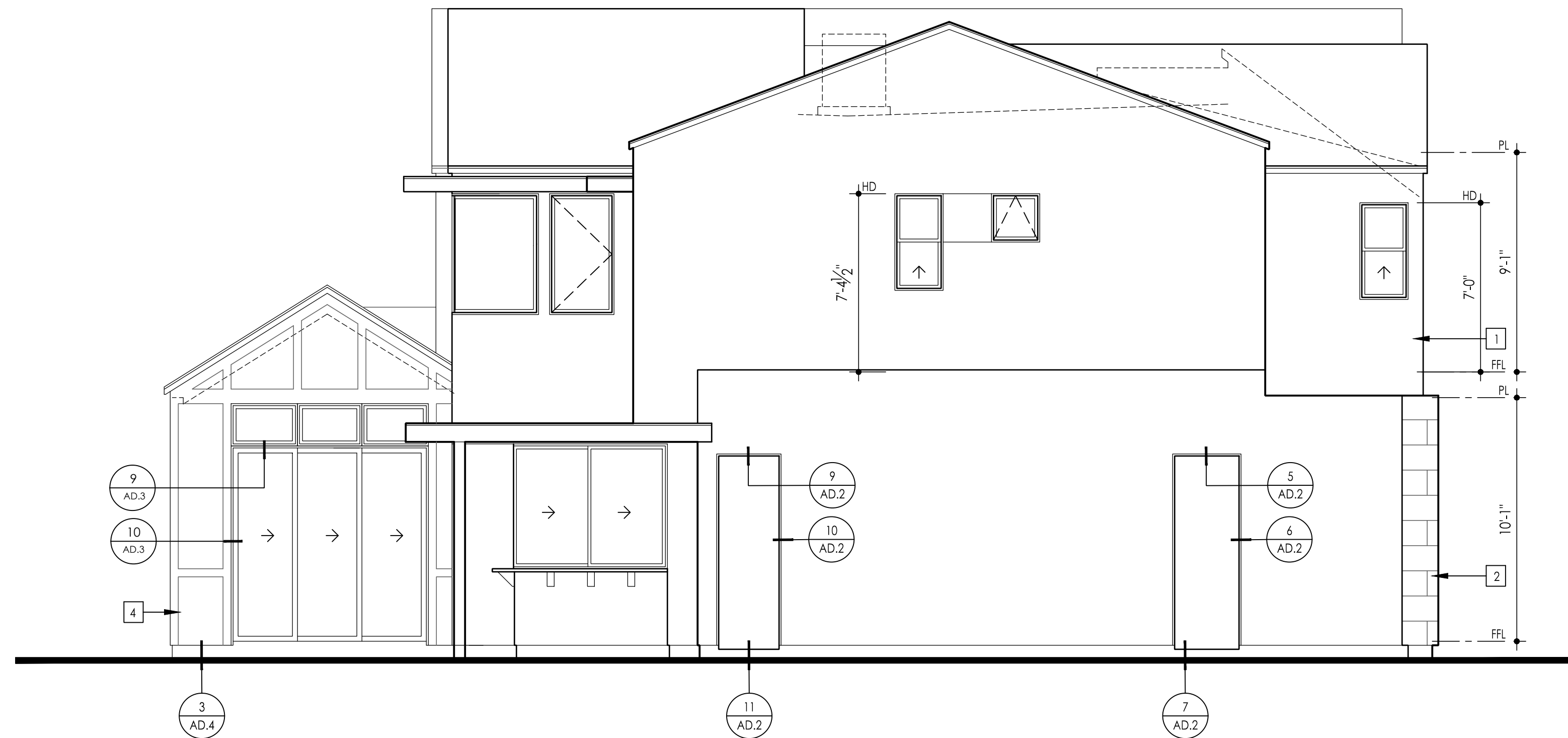
TAG:	TYPE:	SIZE:	MATERIAL:	U FACTOR:	SHGC:	VT:	MANUFACTURER:	NOTES:
(1)	CASEMENT WINDOW	3'-0" X 6'-6"	ALUMINUM	0.3	0.23		WESTERN	
(2)	FIXED WINDOW	3'-0" X 6'-6"	ALUMINUM	0.3	0.23		WESTERN	(a) TEMPERED GLASS
(3)	CASEMENT WINDOW	1'-4" X 3'-0"	ALUMINUM	0.3	0.23		WESTERN	OBS
(4)	FIXED WINDOW	2'-0" X 1'-6"	ALUMINUM	0.3	0.23		WESTERN	
(5)	MULTI-SLIDE PANEL PKT WDO	5'-0" X 10'-0"	ALUMINUM	0.3	0.23		WESTERN	(a) TEMPERED GLASS
(6)	FIXED WINDOW	2'-6" X 1'-9"	ALUMINUM	0.3	0.23		MILGARD	(a) TEMPERED GLASS
(7)	SLIDING WINDOW	10'-0" X 6'-0"	ALUMINUM	0.3	0.23		MILGARD	
(8)	FIXED WINDOW	3'-0" X 1'-9"	ALUMINUM	0.3	0.23		MILGARD	
(9)	FIXED WINDOW	3'-0" X 5'-0"	ALUMINUM	0.3	0.23		MILGARD	
(10)	SINGLE HUNG WINDOW	3'-0" X 6'-0"	ALUMINUM	0.3	0.23		MILGARD	
(11)	SINGLE HUNG WINDOW	2'-0" X 3'-0"	ALUMINUM	0.3	0.23		MILGARD	
(12)	CASEMENT WINDOW	3'-0" X 5'-6"	ALUMINUM	0.3	0.23		WESTERN	
(13)	FIXED WINDOW	3'-0" X 2'-0"	ALUMINUM	0.3	0.23		WESTERN	(a) TEMPERED GLASS
(14)	FIXED WINDOW	3'-0" X 5'-6"	ALUMINUM	0.3	0.23		WESTERN	
(15)	CASEMENT WINDOW	1'-8" X 2'-4"	ALUMINUM	0.3	0.23		WESTERN	
(16)	FIXED WINDOW	1'-8" X 2'-4"	ALUMINUM	0.3	0.23		WESTERN	(a) TEMPERED GLASS
(17)	CASEMENT WINDOW	2'-0" X 2'-9"	ALUMINUM	0.3	0.23		WESTERN	
(18)	CASEMENT WINDOW	2'-6" X 5'-0"	ALUMINUM	0.3	0.23		WESTERN	
(19)	FIXED WINDOW	2'-6" X 1'-6"	ALUMINUM	0.3	0.23		WESTERN	(a) TEMPERED GLASS
(20)	FIXED WINDOW	2'-6" X 5'-0"	ALUMINUM	0.3	0.23		WESTERN	
(21)	SINGLE HUNG WINDOW	2'-0" X 4'-0"	ALUMINUM	0.3	0.23		MILGARD	
(22)	AWNING WINDOW	2'-0" X 2'-0"	ALUMINUM	0.3	0.23		MILGARD	(a) TEMPERED GLASS
(23)	FIXED WINDOW	1'-6" X 5'-0"	ALUMINUM	0.3	0.23		MILGARD	
(24)	CASEMENT WINDOW	3'-0" X 5'-0"	ALUMINUM	0.3	0.23		MILGARD	
(25)	CASEMENT WINDOW	2'-8" X 5'-0"	ALUMINUM	0.3	0.23		MILGARD	
(26)	MITERED WINDOW	3'-6" X 5'-0"	ALUMINUM	0.3	0.23		MILGARD	MITERED GLASS
(27)	MITERED WINDOW	2'-5" X 5'-0"	ALUMINUM	0.3	0.23		MILGARD	MITERED GLASS
(28)	FIXED WINDOW	2'-8" X 5'-0"	ALUMINUM	0.3	0.23		MILGARD	
(29)	CASEMENT WINDOW	3'-0" X 4'-6"	ALUMINUM	0.3	0.23		MILGARD	
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(31)	FIXED WINDOW	3'-0" X 4'-6"	ALUMINUM	0.3	0.23		MILGARD	
(32)	CASEMENT WINDOW	2'-8" X 3'-6"	ALUMINUM	0.3	0.23		MILGARD	(a) TEMPERED GLASS
(33)	FIXED WINDOW	2'-8" X 3'-6"	ALUMINUM	0.3	0.23		MILGARD	(a) TEMPERED GLASS
(34)	SINGLE HUNG WINDOW	2'-6" X 5'-0"	ALUMINUM	0.3	0.23		MILGARD	
(35)	SINGLE HUNG WINDOW	2'-6" X 4'-0"	ALUMINUM	0.3	0.23		MILGARD	

Note: Refer to floor plan(s) & Title 24 calculations in case of discrepancy, and contact Architect of Record.

Note: Fenestrations must have temporary and permanent labels.

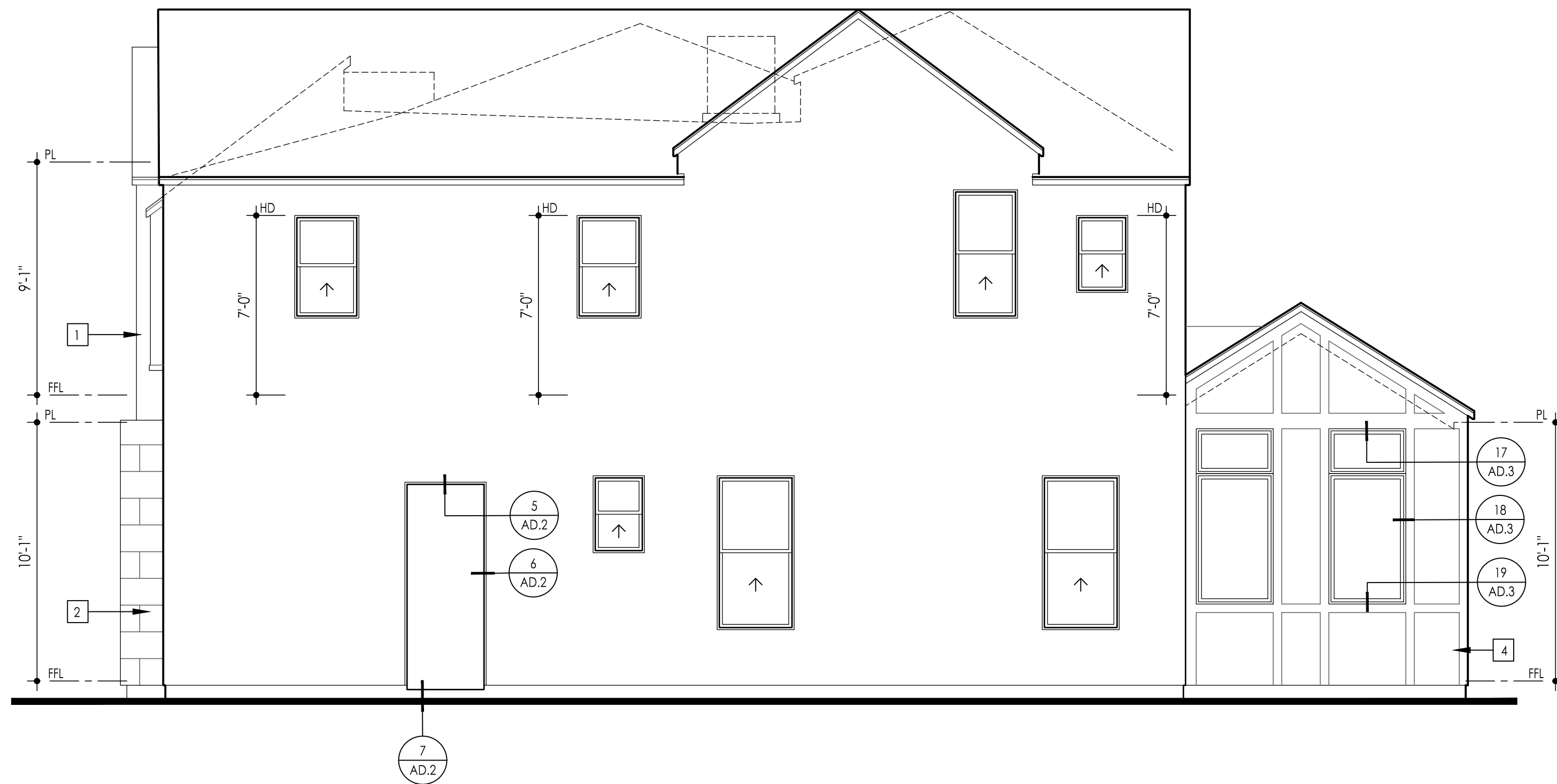
Note: The NFRC temporary label displayed on windows and skylights (incl. Tubular) must remain on the unit until final inspection has been completed.

a. Tempered window per plans.



Left Elevation

SCALE: 1/4"=1'-0" AT 22"X34"
SCALE: 1/8"=1'-0" AT 11"X17"



Right Elevation

SCALE: 1/4"=1'-0" AT 22"X34"
SCALE: 1/8"=1'-0" AT 11"X17"

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THIS SEAL AND CERTIFICATION ARE PROTECTED UNDER THE ARCHITECTURE AND PROFESSIONS ACT AND THE ARCHITECTURE AND PROFESSIONS ACT REGULATION.



amkSTUDIO

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